



ATWELL SUITES - DAC COMMITTEE REVIEW PACKAGE
2025.05.21

GOATSTUDIO, LLC ARCHITECT 3308 MAGAZINE STREET, SUITE 314 NEW ORLEANS, LOUISIANA [70115] (504) 265-9923	BROADMOOR, LLC GENERAL CONTRACTOR 2740 NORTH ARNAULT ROAD NEW ORLEANS, LOUISIANA [70002] (504) 382-2400	451 - 455 S. GALVEZ LLC OWNER 608 BARONNE STREET NEW ORLEANS, LOUISIANA [70113] (504) 715-8935	DUPONT - LECORGNE OWNER'S REP PO BOX 56433 METAIRIE, LOUISIANA [70055] (504) 473-6586	BATTURE LLC CIVIL, STRUCTURAL + LANDSCAPE 510 FRERET STREET NEW ORLEANS, LOUISIANA [70115] (504) 261-7143	PONTCHARTRAIN MEP MEP ENGINEERS 716 LITTLE FARMES AVENUE METAIRIE, LOUISIANA [70003] (504) 373-2756
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GENERAL PROPERTY INFORMATION:

ADDRESS: 451 South Galvez Street, New Orleans, LA - 70119

OWNER: 451-455 S. Galvez LLC

DATE: 2025.05.12

LEGAL LOT DESCRIPTION: SQ 527 LOT A, TO BE RE-SUBDIVIDED WITH SQ 527 LOT 4 (2215 GRAVIER STREET), SQ 527 LOT 5 (29354 GRAVIER STREET), SQ 527 LOT 6 (2225 GRAVIER STREET), SQ 527 LOT 7 (2231 GRAVIER STREET) INTO A SINGLE LOT OF RECORD UNDER SOLE OWNERSHIP OF 451 - 455 S. GALVEZ LLC.

APPLICABLE CODES: Louisiana State Uniform Construction Code Council adopted codes with Louisiana specific amendments. These substantially include the following: International Building Code (IBC), 2021 Edition; National Fire Protection Association (NFPA) Life Safety Code, 2015 Edition; Americans with Disabilities Act Accessibility Guidelines (ADAAG), 2010 Edition; International Mechanical Code (IMC), 2021 Edition; International Plumbing Code (IPC), 2021 Edition; International Fuel Gas Code (IFGC) 2021 Edition; National Electrical Code (NEC), 2020 Edition; International Energy Conservation Code (IECC) 2021 Edition

ZONING INFORMATION:

- **PROPOSED USE:** Hotel, Commercial (Permitted IN MU-2, per CZO Section 15.2.A)
- **DESIGN REVIEW:** Development plan and design review, including neighborhood participation program, is required, per 4.5.B, as proposed development exceeds 40,000 SF
- **ZONING DISTRICT:** MU-2 (High Intensity Mixed Use District)
- **FUTURE LAND USE:** MUH (Mixed Use High Density)
- **OVERLAY AND INTERIM ZONING DISTRICTS:** (1) HUC Historic Urban Corridor Use Restriction Overlay District; (2) Bed and Breakfast Interim Zoning District; (3) Commercial Short-Term Rental Interim Zoning District; (4) Non-Commercial Short Term Rental Special Exception Interim Zoning District
- **MANDATORY INCLUSIONARY ZONING SUB-DISTRICTS:** Strong Sub-District
- **LOCAL HISTORIC DISTRICT:** Mid-City Historic District (Partial Control)
- **2016 FLOOD ZONE:** AE, EL -2
- **COUNCIL DISTRICT:** B
- **CODE ENFORCEMENT INSPECTION DISTRICT:** 10

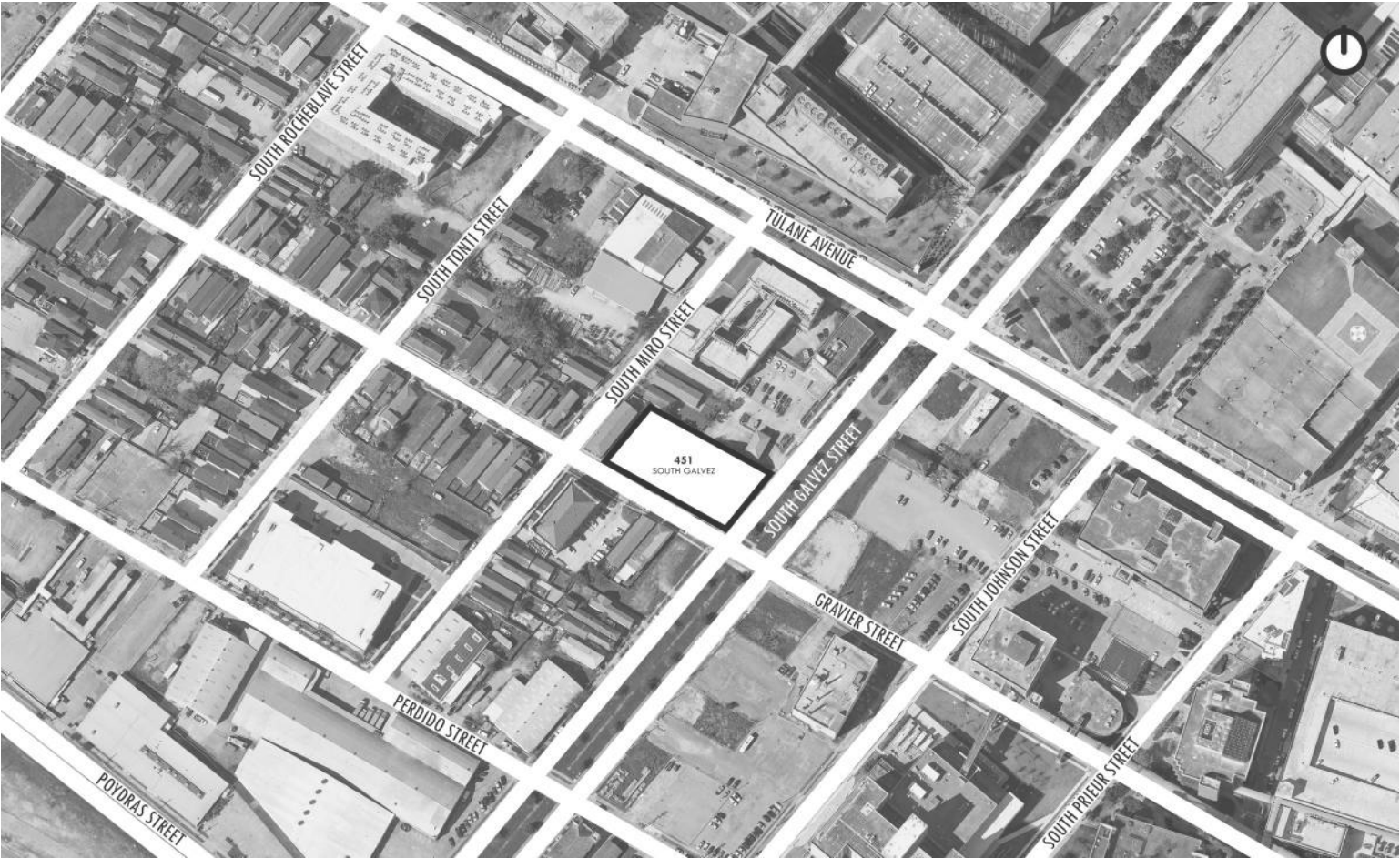
BULK AND YARD RESTRICTIONS PER CZO SECTION 15.3.A.1:

- **MINIMUM LOT AREA:** None for Non-Residential
 - LOT IS 27,394 TOTAL SF/0.629 Acres
- **MAXIMUM BUILDING HEIGHT:** 85'-0" OR (7) Stories
 - Proposed maximum height of new construction is 74'-0" above grade to top of parapet
- **MINIMUM PERMEABLE OPEN SPACE:** 20% of site area, or 5,478 SF
 - 6,678 SF; See civil / landscape site plans
- **MINIMUM FRONT YARD SETBACK, PER 15.3.A.2:** Average setback of other structures on the primary street (Galvez) block is 6'-0".
 - Proposed setback for new construction is 5'-6", as variation of +/- 3'-0" from above is permitted
- **MINIMUM INTERIOR SIDE YARD SETBACK:** None, Unless abutting a residential district
 - Proposed interior yard setback for new construction is 0'-0"; All abutting lots are zoned MU-2
- **MINIMUM CORNER SIDE YARD SETBACK:** None
 - Proposed corner side yard setback for new construction is 0'-0"
- **MINIMUM REAR YARD SETBACK:** None, Unless abutting a residential district
 - Proposed rear yard setback for new construction is 1'-0". Abutting lot is also MU-2

DESIGN STANDARDS PER CZO SECTION 15.3B:

The following building design standards apply to development within all MU-2 distinct, with exception of single- and two-family residential uses. Lists has been edited for applicability to the proposed project:

1. The primary entrance shall be oriented to the primary street (Galvez).
2. The ground floor of newly constructed commercial buildings shall contain min. transparency of fifty percent (50%) on the primary street and windows shall be constructed of transparent glass. Opaque, highly tinted, or reflective glass is prohibited. Transparency into the building shall be maintained. Any window signs shall consist of individual letters and numerals without the use of any background.
3. Security bars, if installed, shall be on the inside of windows. Roll-up or accordion security grills are permitted on the ground floor when constructed of a see-through, non-solid material. The casing shall be painted to match building and shall not damage or obscure architectural detailing.



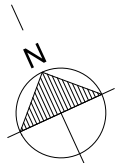
4. Plain mansard roofs are prohibited. Decorative mansard roofs are permitted on buildings with a minimum wall height of two (2) stories.
5. Decorative elements having historically functional purposes, such as shutters, balconies, windows, and doors shall be operational.
6. Any structure designed for a ground floor non-residential use shall be designed with a min. ceiling height of twelve (12) feet, except for parking areas.
7. The following building materials are prohibited on exterior elevations visible from the public right-of-way. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction that is not used as surface finish material:
 1. Exterior insulating finish system (EIFS)
 2. Stuccato board
 3. Vinyl

OFF-STREET VEHICLE AND BICYCLE PARKING REQUIREMENTS, PER ARTICLE 22:

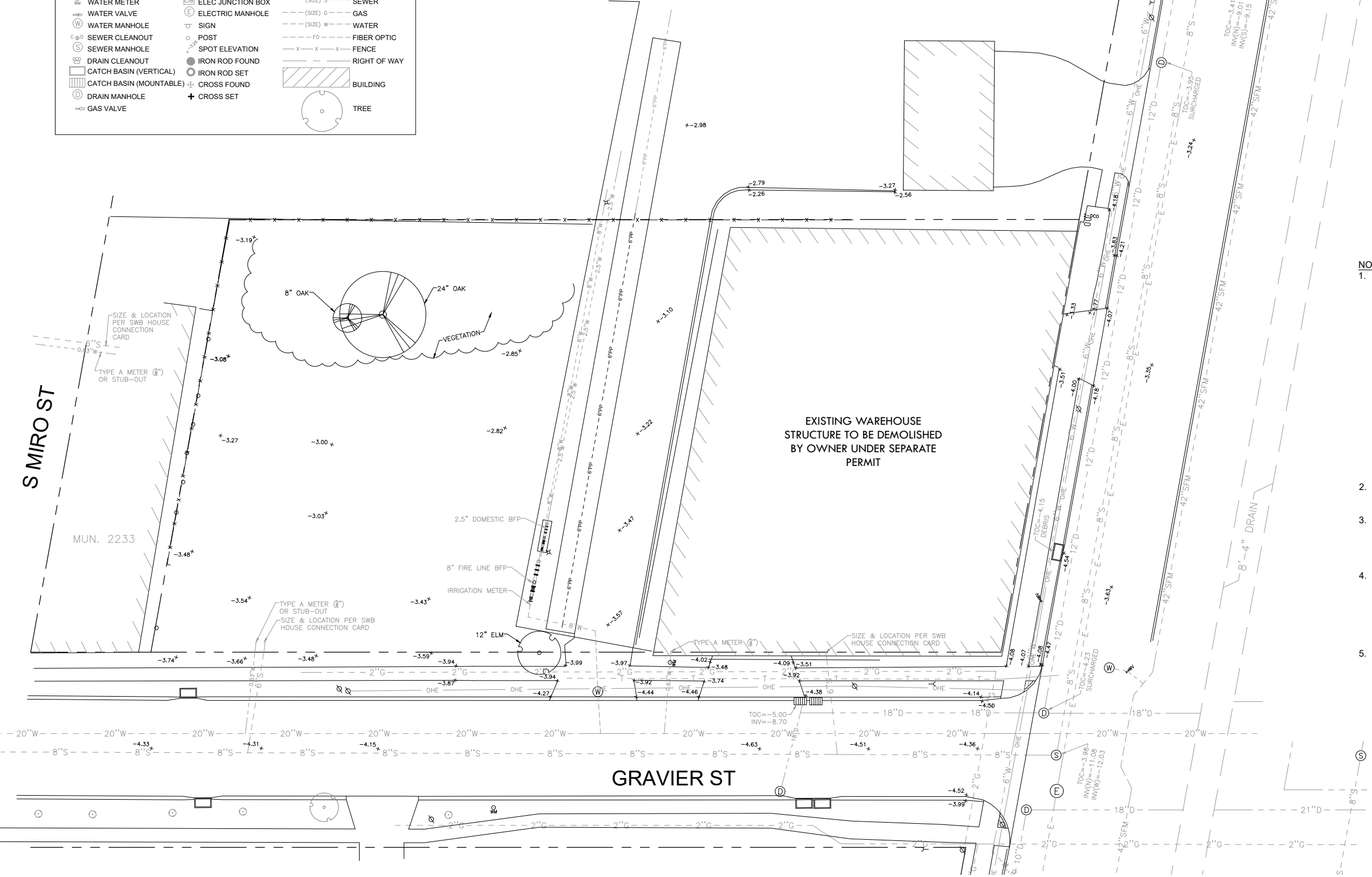
- **MINIMUM REQUIRED VEHICLE SPACES:** (1) space for every (2) guestrooms, per CZO table 22-1
- **PROPOSED STRUCTURE:** (133) Guestrooms = (67) Parking space required
 - (43) On-site parking spaces are provided
 - (12) On-street spaces can be counted
 - 20% (13 Spaces) Reduction is achieved by providing (7) Level 3 EV parking spaces beyond the minimum required
 - (2) space reduction is achieved by providing (12) additional bicycle parking spaces
- (55) TOTAL PARKING SPACES PROVIDED, PLUS (14) SPACE REDUCTION = (69)
- **MINIMUM REQUIRED BIKE SPACES:** (1) space for every (10) guestrooms, per CZO table 22-1
 - Proposed structure - (133) Guestrooms = (13) Bike parking spaces required
 - (25) Bicycle spaces provided to achieved above parking reduction
 - No long-term bike storage spaces required
- **ELECTRIC VEHICLE CHARGING REQUIREMENTS:** 10% of total required off-street vehicle parking spaces with level 2 or level 3 electric vehicle charging stations installed; 10% percentage of total required off-street vehicle parking spaces that are electric ready.
 - (15) Level 3 charging stations are provided to achieve 20% reduction in required parking
- **OFF-STREET LOADING REQUIREMENTS, PER TABLE 22-3:** (1) Off-street loading space required; provided in hotel drop-off

LEGEND			
⋈ LIGHT POLE	TEL JUNCTION BOX	---	UG ELECTRIC
— GUY WIRE	TEL TELEPHONE PEDESTAL	— OHE	OVERHEAD ELEC
⊗ POWER POLE	① TELEPHONE MANHOLE	--- (SIZE) D ---	DRAIN
⊗ FIRE HYDRANT	⊗ TRAFFIC POLE	---	UG TELEPHONE
⊗ WATER METER	ELEC JUNCTION BOX	--- (SIZE) S ---	SEWER
⊗ WATER VALVE	⊗ ELECTRIC MANHOLE	--- (SIZE) G ---	GAS
⊗ WATER MANHOLE	⊗ SIGN	---	WATER
⊗ SEWER CLEANOUT	⊗ POST	--- FD ---	FIBER OPTIC
⊗ SEWER MANHOLE	⊗ SPOT ELEVATION	— X — X — X —	FENCE
⊗ DRAIN CLEANOUT	● IRON ROD FOUND	---	RIGHT OF WAY
⊗ CATCH BASIN (VERTICAL)	⊗ IRON ROD SET	▨	BUILDING
⊗ CATCH BASIN (MOUNTABLE)	⊗ CROSS FOUND	○	TREE
⊗ DRAIN MANHOLE	⊗ CROSS SET		
⊗ GAS VALVE			

TULANE AVE (SIDE)



SCALE: 1"=30' (11x17)
SCALE: 1"=15' (22x34)



- NOTES
1. THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LA. ONE CALL. (1-800-272-3020).
 2. NO TITLE RESEARCH OR UTILITY SERVITUDE RESEARCH WAS PERFORMED BY THE SURVEYOR.
 3. AS PER FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 22071C0229F, EFFECTIVE DATE SEPTEMBER 30, 2016, THE SITE IS IN ZONE AE (-2.0') AND X (NO FLOOD ZONE).
 4. ELEVATIONS AND BEARINGS SHOWN ARE BASED ON GPS MEASUREMENTS, LSU C4GNET, VRS, NORTH AMERICAN DATUM (1983) LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM, US SURVEY FEET, NAVD88.
 5. SOME FEATURES NOT DRAWN TO SCALE FOR CLARITY.

I HEREBY CERTIFY THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL.



View from Gravier St. with the western end of the lot visible



View from Gravier St. with the middle portion of the lot visible



View from Gravier St. with the middle portion of the lot visible



View from the southwest corner, looking across the lot



View from Gravier St. with the southeast corner of the lot visible



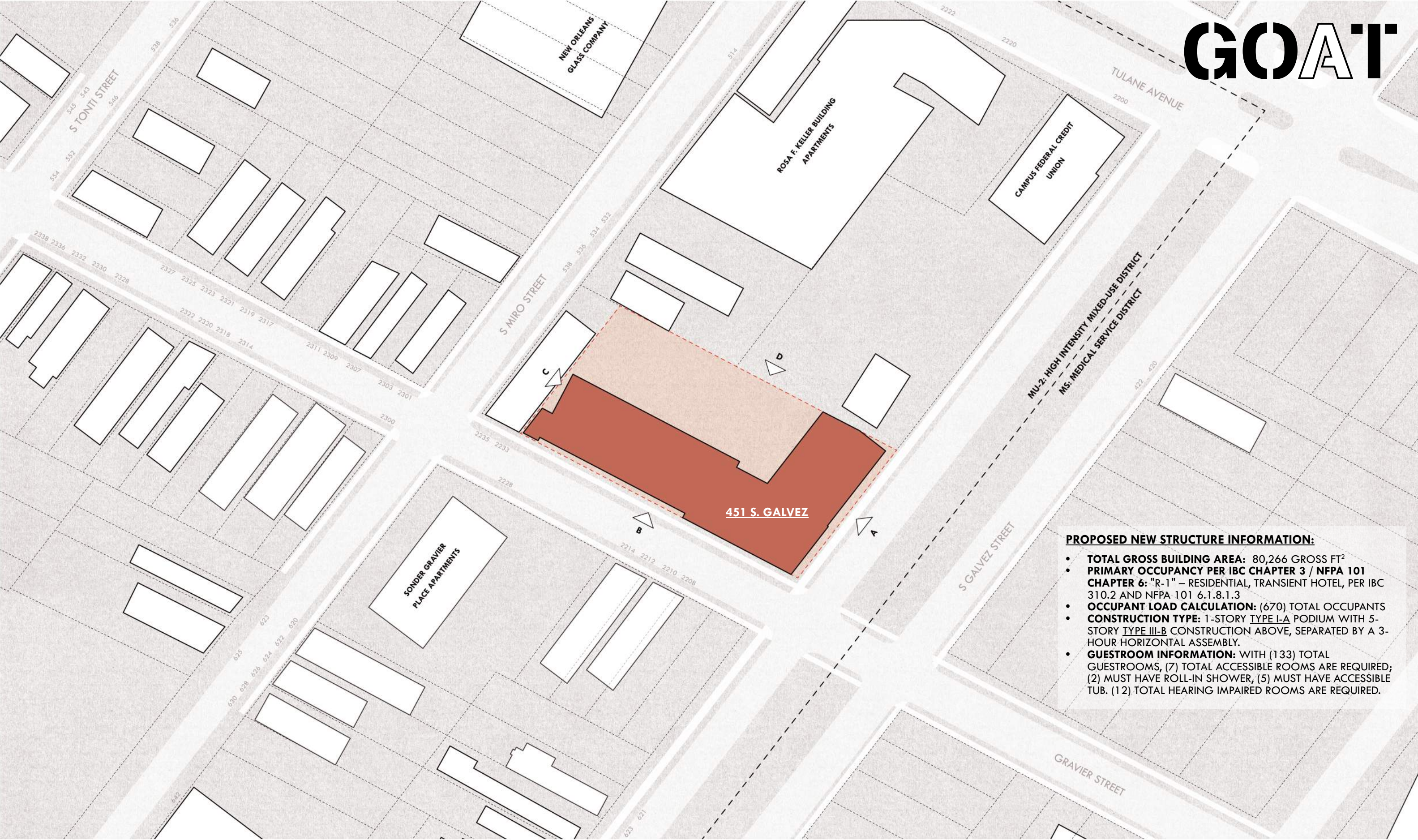
View from across Galvez St. with the southeast corner of the lot visible



ATWELL SUITES | EXISTING CONDITIONS COLLAGE - S GALVEZ, FROM GRAVIER TOWARD TULANE



ATWELL SUITES | EXISTING CONDITIONS COLLAGE - GRAVIER STREET FROM MIRO TO GALVEZ



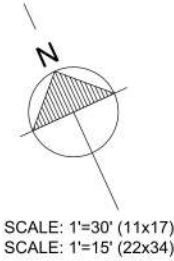
PROPOSED NEW STRUCTURE INFORMATION:

- **TOTAL GROSS BUILDING AREA:** 80,266 GROSS FT²
- **PRIMARY OCCUPANCY PER IBC CHAPTER 3 / NFPA 101 CHAPTER 6:** "R-1" – RESIDENTIAL, TRANSIENT HOTEL, PER IBC 310.2 AND NFPA 101 6.1.8.1.3
- **OCCUPANT LOAD CALCULATION:** (670) TOTAL OCCUPANTS
- **CONSTRUCTION TYPE:** 1-STORY TYPE I-A PODIUM WITH 5-STORY TYPE III-B CONSTRUCTION ABOVE, SEPARATED BY A 3-HOUR HORIZONTAL ASSEMBLY.
- **GUESTROOM INFORMATION:** WITH (133) TOTAL GUESTROOMS, (7) TOTAL ACCESSIBLE ROOMS ARE REQUIRED; (2) MUST HAVE ROLL-IN SHOWER, (5) MUST HAVE ACCESSIBLE TUB. (12) TOTAL HEARING IMPAIRED ROOMS ARE REQUIRED.

SITE PLAN NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
2. ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
3. REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
4. BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
5. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.
7. ALL DIMENSIONS SHOWN ARE FROM:
 - FACE OF CURB TO FACE OF CURB
 - FACE OF CURB TO PROPERTY LINE
 - FACE OF CURB TO CENTER OF STRUCTURE (DROP INLET, MANHOLE, ETC.)
 - PROPERTY LINE TO BUILDING FACE

TULANE AVE (SIDE)



S MIRO ST

MUN. 2233

BUILDING 1'-0" OFF
PROPERTY LINE

BUILDING 1'-3" OFF
PROPERTY LINE

REQ'D DRAIN CLEANOUT

BACKUP OUTFLOW

2ND FLOOR ABOVE

NEW BUILDING (REF.
ARCHITECTURAL DWGS)

BUILDING 5'-6" OFF
PROPERTY LINE

BUILDING
PROPERTY LINE

GRAVIER ST

SITE PLAN CALLOUT LEGEND

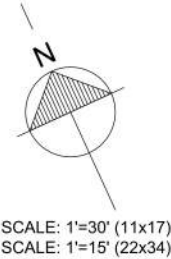
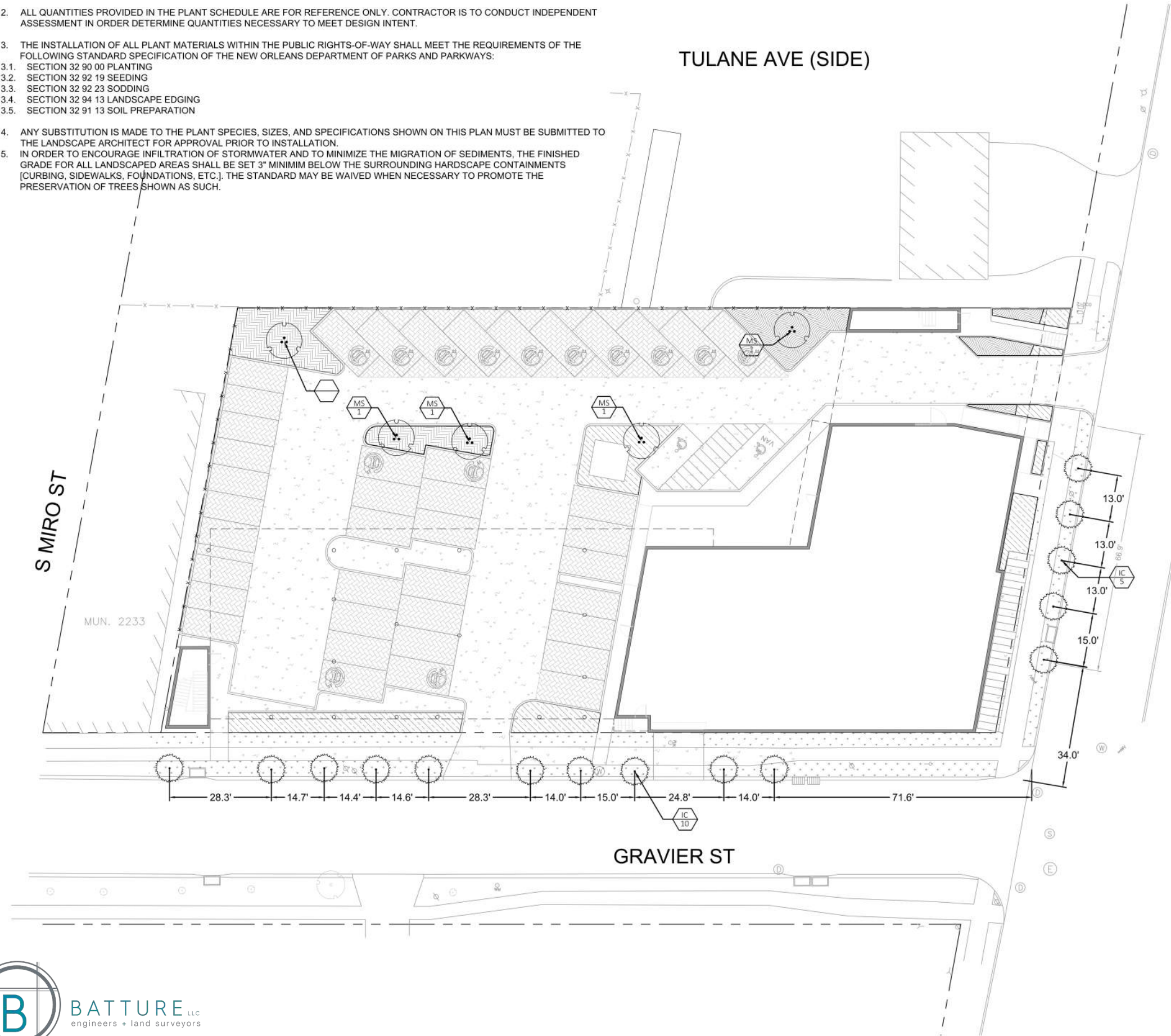
- | | |
|----|---|
| 1 | PERMEABLE PAVERS, VEHICULAR RATED, SEE DETAIL X, SHT C0X |
| 2 | VEHICLE CONCRETE PAVEMENT, SEE DETAIL X, SHT C0X |
| 3 | DPW STANDARD DRIVEWAY FOR CONCRETE MOUNTABLE CURB, SEE DETAIL X, SHT C0X |
| 4 | 4" CONCRETE SIDEWALK, SEE DETAIL X, SHT C0X |
| 5 | STRIPING AND SIGNAGE FOR ADA PARKING STALLS, SEE DETAILS X & X SHT C0X |
| 6 | BICYCLE PARKING, SEE DETAIL X, SHT C0X |
| 7 | 7' WOOD FENCE, SEE DETAIL X, SHT C0X |
| 8 | PLANTING AREAS, SEE PLANTING PLAN SHT L100 |
| 9 | LANDSCAPE SCREENING |
| 10 | REQUIRED STATION AND SIGNAGE ELECTRIC VEHICLE PARKING, SEE MEP FOR ELECTRICAL |
| 11 | LAWN, SEE PLANTING PLAN SHT L100 |
| 12 | COLUMNS, SEE STRUCTURAL |

SITE PATTERN LEGEND

	IMPERMEABLE CONCRETE (8310 SF)		EV PARKING SPACE
	PERMEABLE PAVER - PARKING (6678 SF)		TRANSFORMER
	PLANTING - (2275 SF)		HANDICAP PARKING SEE CALLOUT 7
	LAWN AREAS - (1935 SF)		

PLANTING NOTES:

1. REFER TO PARKS AND PARKWAYS STANDARD SPECIFICATIONS FOR INFORMATION REGARDING THE PROTECTION OF EXISTING TREES AND OTHER PLANT MATERIALS
2. ALL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONDUCT INDEPENDENT ASSESSMENT IN ORDER DETERMINE QUANTITIES NECESSARY TO MEET DESIGN INTENT.
3. THE INSTALLATION OF ALL PLANT MATERIALS WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARD SPECIFICATION OF THE NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS:
 - 3.1. SECTION 32 90 00 PLANTING
 - 3.2. SECTION 32 92 19 SEEDING
 - 3.3. SECTION 32 92 23 SODDING
 - 3.4. SECTION 32 94 13 LANDSCAPE EDGING
 - 3.5. SECTION 32 91 13 SOIL PREPARATION
4. ANY SUBSTITUTION IS MADE TO THE PLANT SPECIES, SIZES, AND SPECIFICATIONS SHOWN ON THIS PLAN MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
5. IN ORDER TO ENCOURAGE INFILTRATION OF STORMWATER AND TO MINIMIZE THE MIGRATION OF SEDIMENTS, THE FINISHED GRADE FOR ALL LANDSCAPED AREAS SHALL BE SET 3" MINIMUM BELOW THE SURROUNDING HARDSCAPE CONTAINMENTS [CURBING, SIDEWALKS, FOUNDATIONS, ETC.]. THE STANDARD MAY BE WAIVED WHEN NECESSARY TO PROMOTE THE PRESERVATION OF TREES SHOWN AS SUCH.



PLANT SCHEDULE

SYMBOL	CODE	COMMON / BOTANICAL NAME	SIZE	QTY
TREES				
	IC	Dahoon Holly / Ilex cassine	2" Cal min., 12' Ht., 6' Canopy clearance	15
	MS	Sweetbay Magnolia / Magnolia virginiana	2" Cal min., 12' Ht., 6' Canopy clearance	5
GROUND COVERS				
	ZX	Empire Zoysia / Zoysia x 'Empire'	sod	1,936 sf

PLANT SCHEDULE

	SHADE MIX 01		474 sf		
	Aspidistra elatior / Cast Iron Plant	14	3 gal.	25% @ 36" o.c.	
	Dryopteris ludoviciana / Southern Shield Fern	110	1 gal.	50% @ 18" o.c.	
	Sabal minor / Dwarf Palmetto	7	7 gal.	25% @ 48" o.c.	
	SUN MIX 01		639 sf		
	Camellia sasanqua 'Dwarf Shishi' / Dwarf Shishi Camellia	41	7 gal.	55% @ 36" o.c.	
	Dietes x 'Nola Alba' / Katrina* African Iris	14	3 gal.	20% @ 36" o.c.	
	Muhlenbergia capillaris / Pink Muhly Grass	19	3 gal.	25% @ 36" o.c.	
	SUN MIX 02		1,159 sf		
	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	76	3 gal.	40% @ 30" o.c.	
	Iris hexagona / Dixie Iris	39	3 gal.	20% @ 30" o.c.	
	Rosa x 'Meisweldom' / Sweet Drift* Groundcover Rose	76	3 gal.	40% @ 30" o.c.	

GROUND FLOOR INFORMATION:
LEVEL 01 GROSS AREA: 7,090 GROSS FT²
TOP OF SLAB HEIGHT: 2'-0" ABOVE GRADE
OCCUPANT LOAD: (173) TOTAL OCCUPANTS



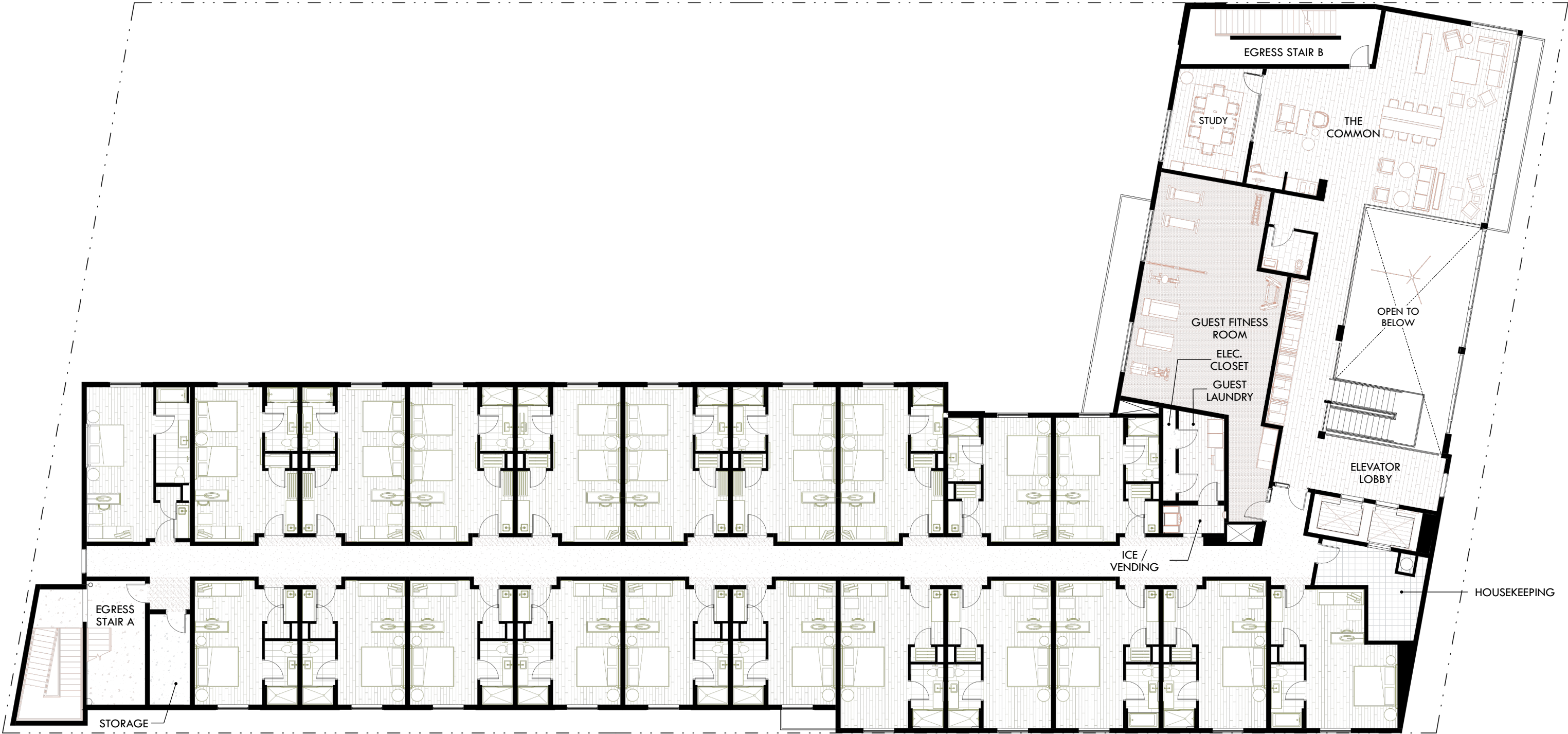
0' 5' 10' 20'



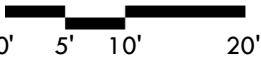
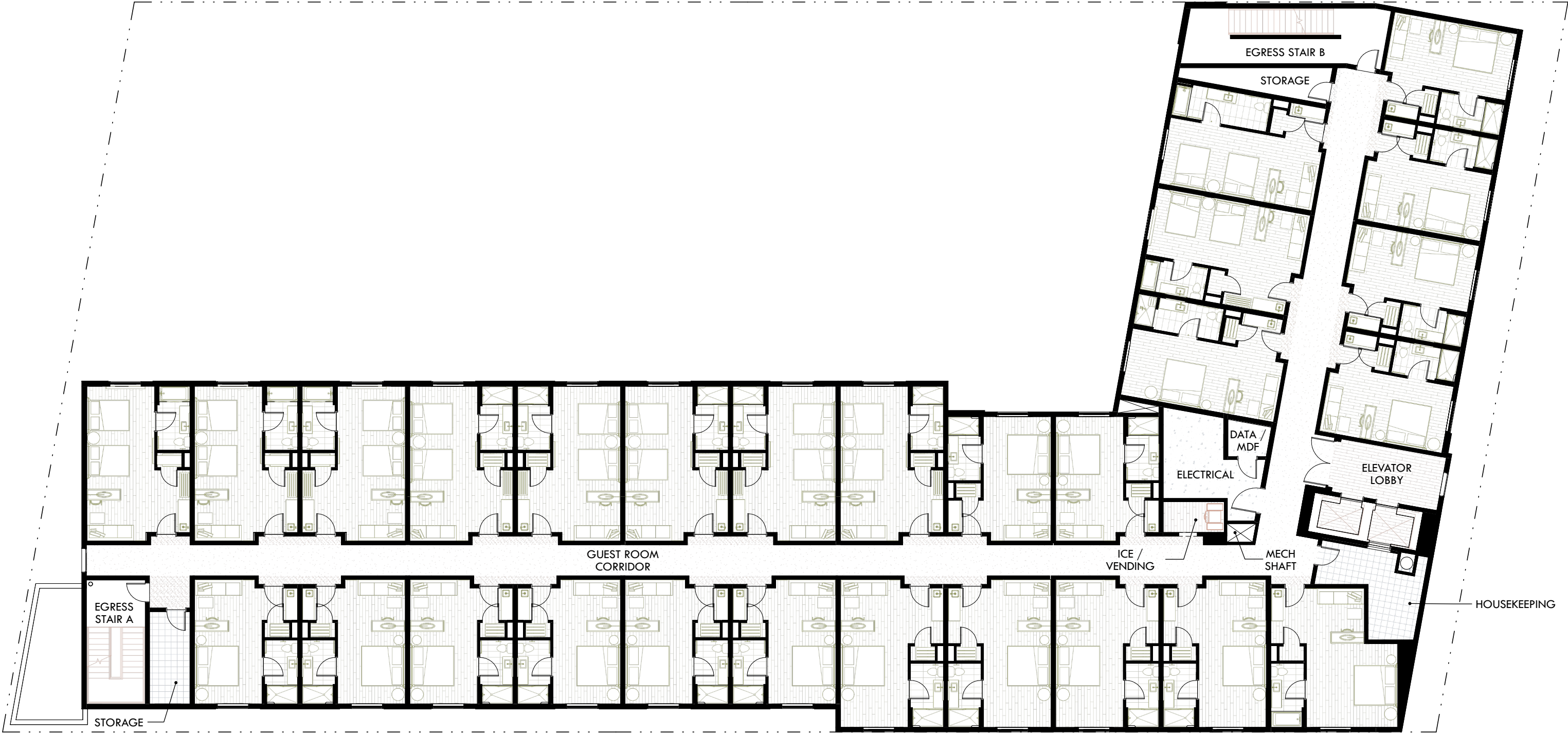
BACK OF HOUSE

PUBLIC SPACES

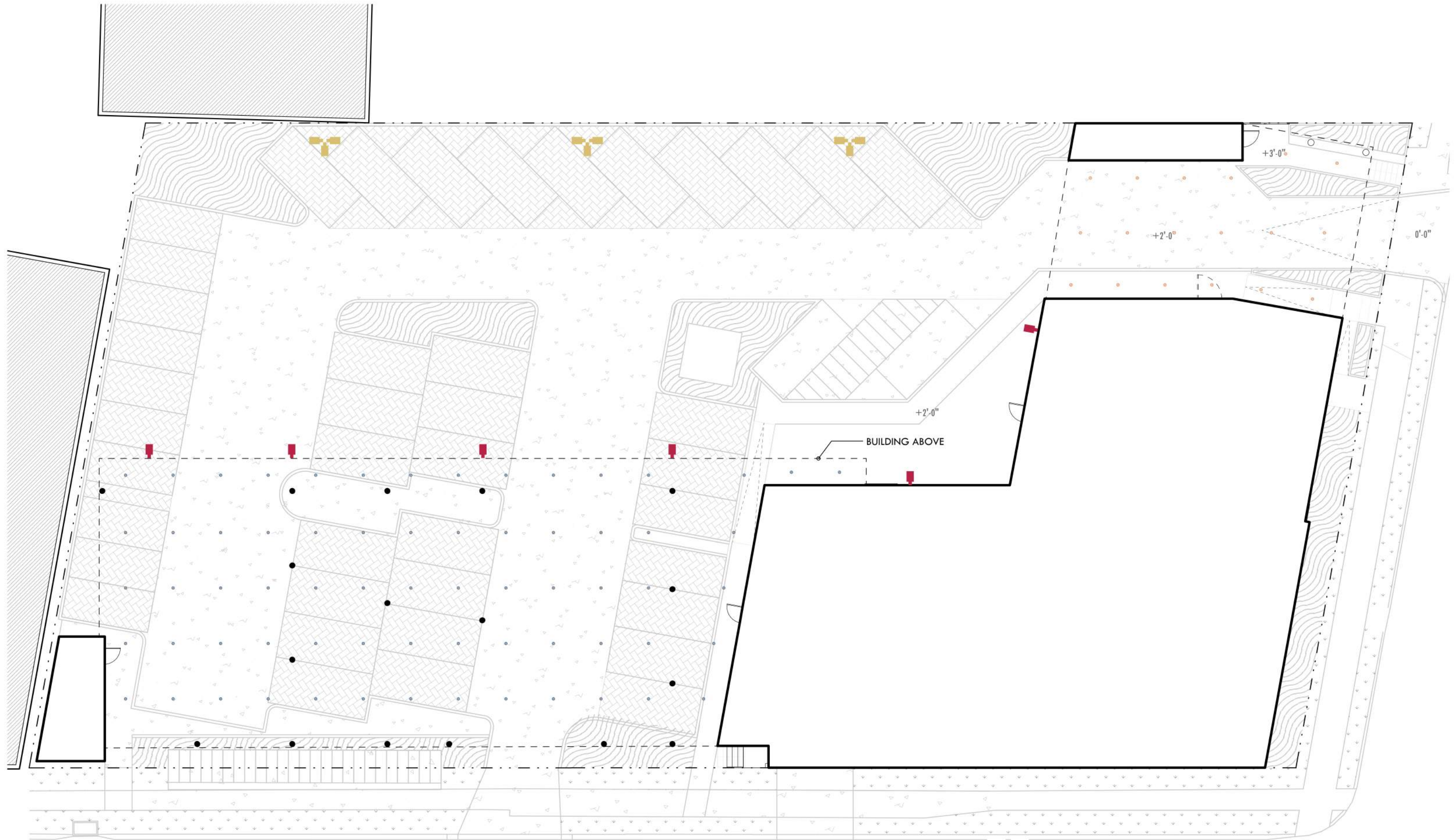
LEVEL 02 INFORMATION:
LEVEL 02 GROSS AREA: 14,800 GROSS FT²
TOP OF SLAB HEIGHT: 15'-2" ABOVE GRADE
OCCUPANT LOAD: (196) TOTAL OCCUPANTS



LEVEL 03 THRU 06 INFORMATION:
GROSS AREA, TYPICAL: 14,594 GROSS FT²
TOP OF SLAB HEIGHT (LEVEL 06): 58'-5" ABOVE GRADE
OCCUPANT LOAD: (74) TOTAL OCCUPANTS



BACK OF HOUSE PUBLIC SPACES GUEST ROOMS



0' 5' 10' 20'



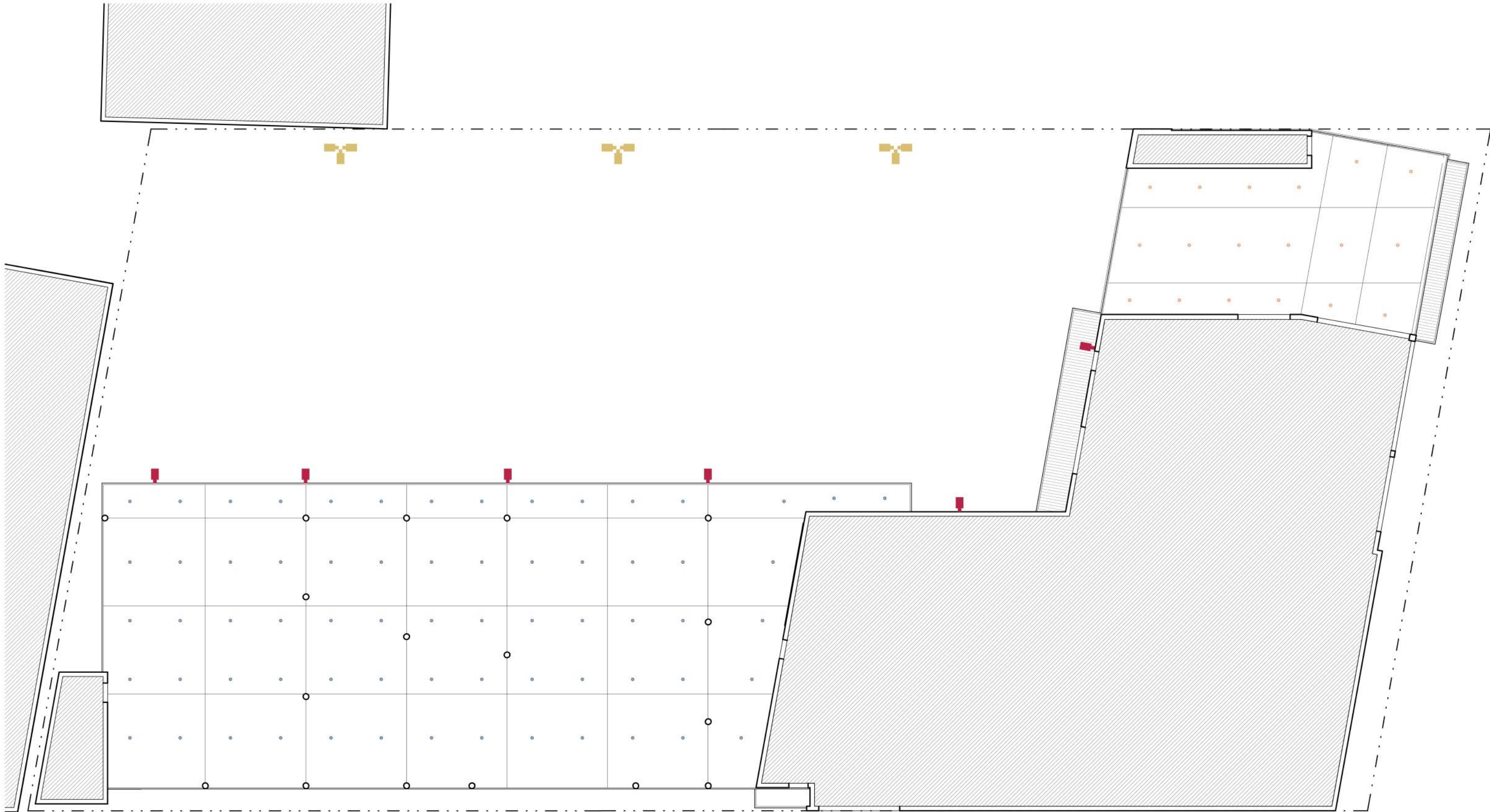
F1. LED GENERAL DOWNLIGHT
IN CEILING ABOVE

F4. LED GENERAL DOWNLIGHT
IN CEILING ABOVE

F2. LED LIGHT -
WALL MOUNTED

F3. LED LIGHT -
POLE MOUNTED

ATWELL SUITES | LIGHTING SITE PLAN



0' 5' 10' 20'



F1. LED GENERAL DOWNLIGHT
IN CEILING ABOVE

F4. LED GENERAL DOWNLIGHT
IN CEILING ABOVE

F2. LED LIGHT -
WALL MOUNTED

F3. LED LIGHT -
POLE MOUNTED

ATWELL SUITES | EXTERIOR LIGHTING RCP

F1: LDN6 STATIC WHITE



F2: RSX2 LED AREA LUMINARE



Specifications

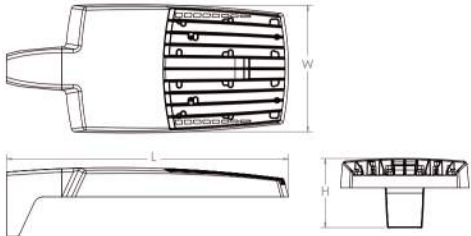
EPA (ft²@0°): 0.69 ft² (0.06 m²)

Length: 29.3" (74.4 cm) (SPA mount)

Width: 13.4" (34.0 cm)

Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Weight: 30.0 lbs (13.6 kg) (SPA mount)



LDN6						
Series	Color temperature	Lumens ‡	Trim Style	Trim Color	Trim Finish	Flange Color ‡
LDN6 6" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens 50 5000 lumens	LO6 Downlight LW6 Wallwash	AR Clear WR ‡ White BR ‡ Black TCPC ‡ Custom painted trim TRALTBD ‡ RAL painted trim	LSS Semi-specular LD Matte diffuse LS Specular	TRW White painted flange TRBL Black painted flange FCPC Custom painted flange only FRALTBD RAL painted flange only
						MVOLT Multi-volt 120 120V 277 277V 347 ‡ 347V

Driver	Emergency ‡	Control Input ‡	Options
GZ10 0-10V driver dims to 10% GZ1 0-10V driver dims to 1% D10 Minimum dimming 10% driver for use with JOT D1 Minimum dimming 1% driver for use with JOT EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% eldoLED DALI SOLDRIIVE dim to dark EDAB	(blank) No Emergency Needed EL Battery pack (10W constant power), non-T20 compliant, integral test switch ELR Battery pack (10W constant power), non-T20 compliant, remote test switch ELSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, integral test switch ELRSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, remote test switch E10WCP Battery pack (10W constant power), T20 compliant, integral test switch E10WCPR Battery pack (10W constant power), T20 compliant, remote test switch E10WRSTAR Emergency battery pack, 10W with remote test switch and Iota STAR technology	(blank) No Control Input Needed JOT Wireless room control with "Just One Touch" pairing NPP16D nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). NPP16DER nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). NPS80EZER nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). ER controls fixtures on emergency circuit. N80 nLight™ Lumen Compensation NLTAIR2 nLight® Air enabled NLTAIRER2 nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options NLTAIREM2 nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	HAO ‡ High ambient option (40°C) CP ‡ Chicago Plenum RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. BAA Buy America(n) Act and/or Build America Buy America Qualified 90CRI High CRI (90+) SF ‡ Single fuse

RSX2 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX2 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁶ AARP Adjustable tilt arm round pole mounting ⁶ AAWB Adjustable tilt arm with wall bracket ⁶ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶

Options	Finish
Shipped Installed HS House-side shield ⁷ PE Photocontrol, button style ^{8,9} PER7 Seven-wire twist-lock receptacle only (no controls) ^{3, 10, 11} SF Single fuse (120, 277, 347) ⁵ DF Double fuse (208, 240, 480) ⁵ SPD20KV 20KV Surge pack (10KV standard) FAO Field adjustable output ⁹ DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ³ DS Dual switching ^{9,12}	Shipped Installed *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) NLTAIR2 PIRHN nLight AIR generation 2, with Networked, Bi-Level motion/ambient sensor ^{9, 13, 14, 15} BAA Buy America(n) Act and/or Build America Buy America Qualified CCE Coastal Construction ¹⁶ *Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted. Shipped Separately (requires some field assembly) EGS External glare shield ⁷ EGFV External glare full visor (360° around light aperture) ⁷ BS Bird spikes ¹⁷
	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured Dark Bronze DBLBXD Textured Black DNATXD Textured Natural Aluminum DWHGXD Textured White

F4: LDN6 STATIC WHITE

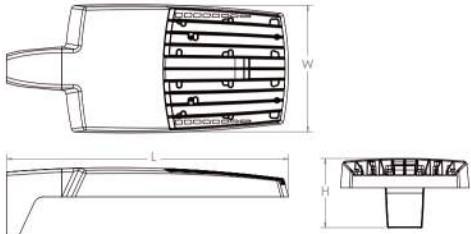


F3: RSX2 LED AREA LUMINARE



Specifications

EPA (ft²@0°):	0.69 ft² (0.06 m²)
Length:	29.3" (74.4 cm) (SPA mount)
Width:	13.4" (34.0 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.3 cm) Arm
Weight: (SPA mount)	30.0 lbs (13.6 kg)



LDN6						
Series	Color temperature	Lumens ‡	Trim Style	Trim Color	Trim Finish	Flange Color ‡
LDN6 6" round	27/ 2700K 30/ 3000K 35/ 3500K 40/ 4000K 50/ 5000K	05 500 lumens 07 750 lumens 10 1000 lumens 15 1500 lumens 20 2000 lumens 25 2500 lumens 30 3000 lumens 40 4000 lumens 50 5000 lumens	LO6 Downlight LW6 Wallwash	AR Clear WR ‡ White BR ‡ Black TCPC ‡ Custom painted trim TRALTBD ‡ RAL painted trim	LSS Semi-specular LD Matte diffuse LS Specular	TRW White painted flange TRBL Black painted flange FCPC Custom painted flange only FRALTBD RAL painted flange only
						MVOLT Multi-volt 120 120V 277 277V 347 ‡ 347V

Driver	Emergency ‡	Control Input ‡	Options
GZ10 0-10V driver dims to 10% GZ1 0-10V driver dims to 1% D10 Minimum dimming 10% driver for use with JOT D1 Minimum dimming 1% driver for use with JOT EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% EDAB eldoLED DALI SOLDRIIVE dim to dark	(blank) No Emergency Needed EL Battery pack (10W constant power), non-T20 compliant, integral test switch ELR Battery pack (10W constant power), non-T20 compliant, remote test switch ELSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, integral test switch ELRSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, remote test switch E10WCP Battery pack (10W constant power), T20 compliant, integral test switch E10WCPR Battery pack (10W constant power), T20 compliant, remote test switch E10WRSTAR Emergency battery pack, 10W with remote test switch and Iota STAR technology	(blank) No Control Input Needed JOT Wireless room control with "Just One Touch" pairing NPP16D nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). NPP16DER nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). NPS80EZER nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). ER controls fixtures on emergency circuit. N80 nLight™ Lumen Compensation NLTAIR2 nLight® Air enabled NLTAIRER2 nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options NLTAIREM2 nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.	HAO ‡ High ambient option (40°C) CP ‡ Chicago Plenum RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. BAA Buy America(n) Act and/or Build America Buy America Qualified 90CRI High CRI (90+) SF ‡ Single fuse

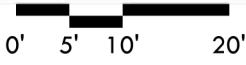
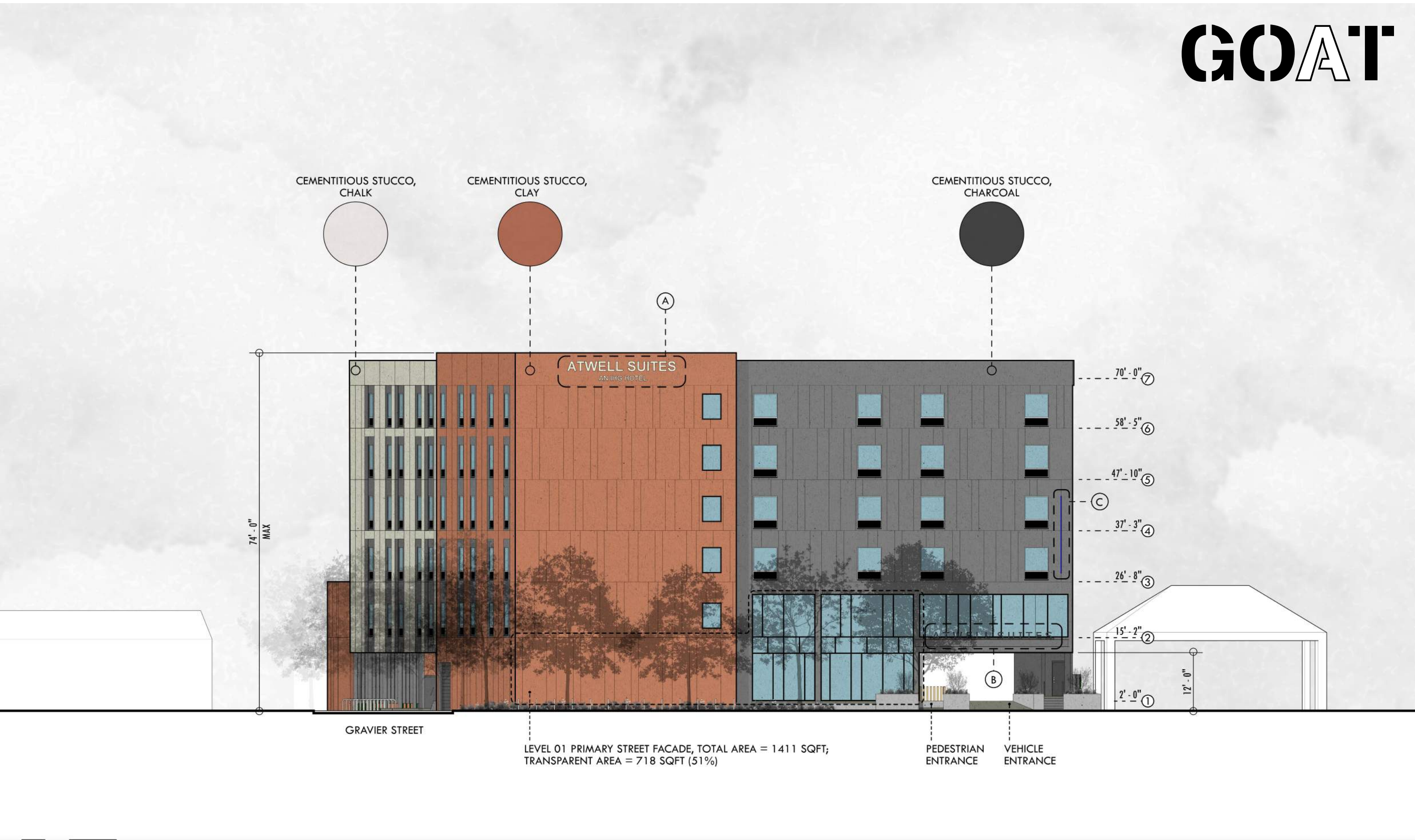
RSX2 LED					
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX2 LED	P1 P2 P3 P4 P5 P6	30K 3000K 40K 4000K 50K 5000K	R2 Type 2 Wide R3 Type 3 Wide R3S Type 3 Short R4 Type 4 Wide R4S Type 4 Short R5 Type 5 Wide ¹ R5S Type 5 Short ¹ AFR Automotive Front Row AFRR90 Automotive Front Row Right Rotated AFRL90 Automotive Front Row Left Rotated	MVOLT (120V-277V) ² HVOLT (347V-480V) ³ XVOLT (277V-480V) ⁴ (use specific voltage for options as noted) 120 ³ 277 ⁵ 208 ³ 347 ⁵ 240 ³ 480 ⁵	SPA Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°) RPA Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°) MA Mast arm adaptor (fits 2-3/8" OD horizontal tenon) IS Adjustable slipfitter (fits 2-3/8" OD tenon) ⁶ WBA Wall bracket ¹ WBASC Wall bracket with surface conduit box AASP Adjustable tilt arm square pole mounting ⁶ AARP Adjustable tilt arm round pole mounting ⁶ AAWB Adjustable tilt arm with wall bracket ⁶ AAWSC Adjustable tilt arm wall bracket and surface conduit box ⁶

Options	Finish
Shipped Installed HS House-side shield ⁷ PE Photocontrol, button style ^{8,9} PER7 Seven-wire twist-lock receptacle only (no controls) ^{9, 10, 11} SF Single fuse (120, 277, 347) ⁵ DF Double fuse (208, 240, 480) ⁵ SPD20KV 20KV Surge pack (10KV standard) FAO Field adjustable output ⁹ DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ⁹ DS Dual switching ^{9,12}	Shipped Installed *Standalone and Networked Sensors/Controls (factory default settings, see table page 9) NLTAIR2 PIRHN nLight AIR generation 2, with Networked, Bi-Level motion/ambient sensor ^{9, 13, 14, 15} BAA Buy America(n) Act and/or Build America Buy America Qualified CCE Coastal Construction ¹⁶ *Note: NLTAIR2 PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted. Shipped Separately (requires some field assembly) EGS External glare shield ⁷ EGFV External glare full visor (360° around light aperture) ⁷ BS Bird spikes ¹⁷
	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured Dark Bronze DBLBXD Textured Black DNATXD Textured Natural Aluminum DWHGXD Textured White

GOAT

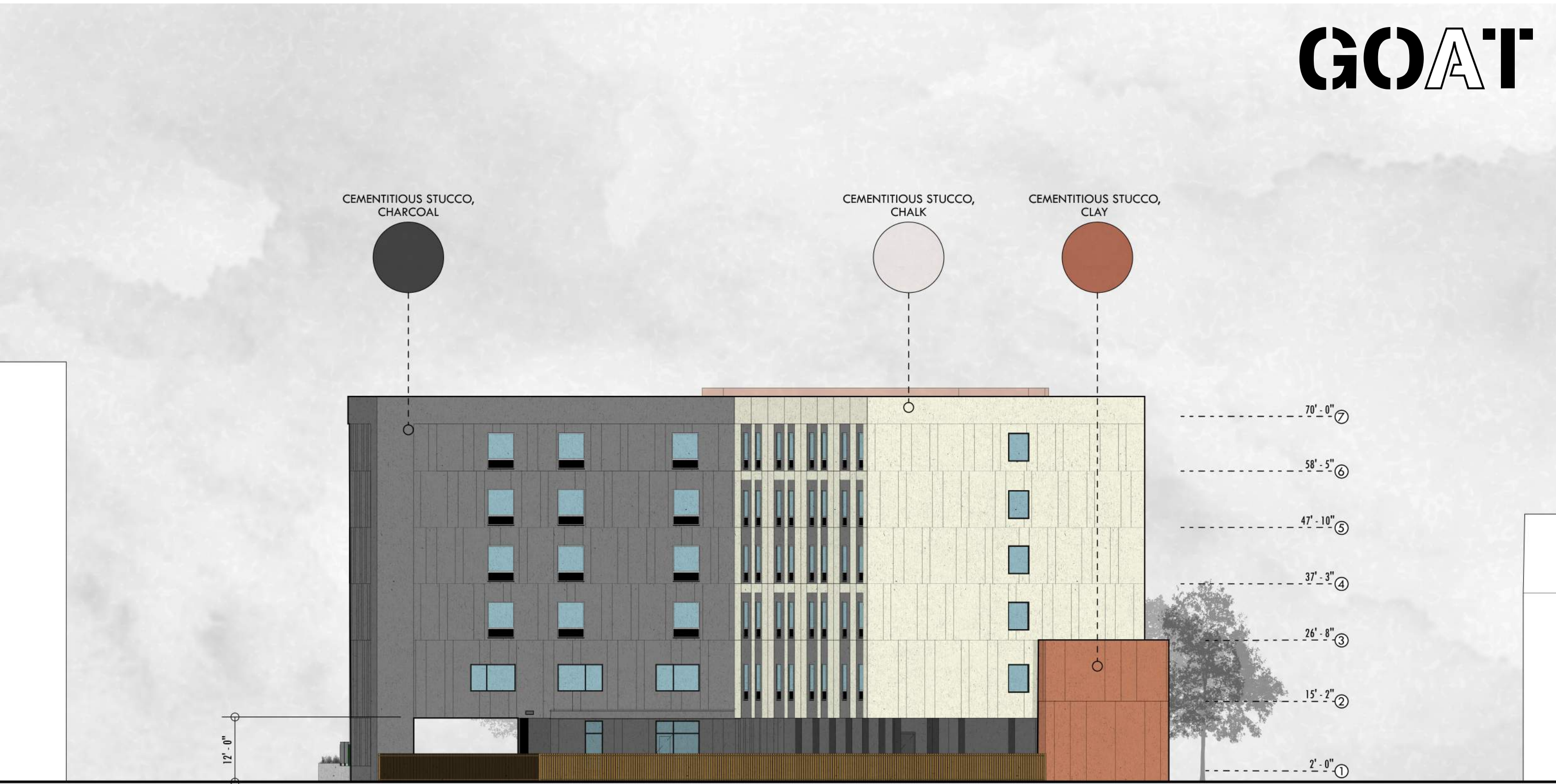


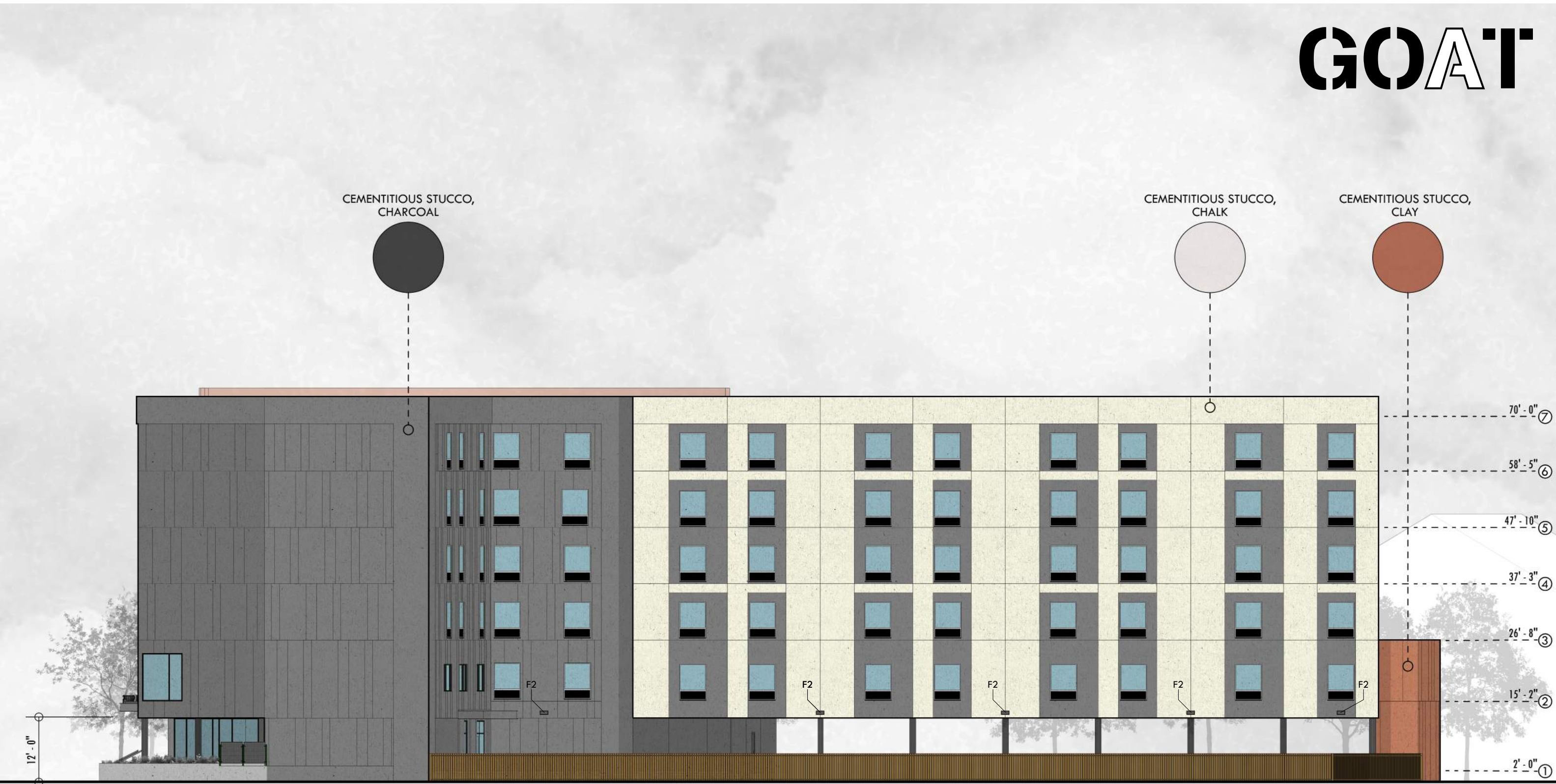
ATWELL SUITES | PERSPECTIVE FROM GALVEZ NEUTRAL GROUND



ATWELL SUITES | EXTERIOR ELEVATION A, SOUTH GALVEZ



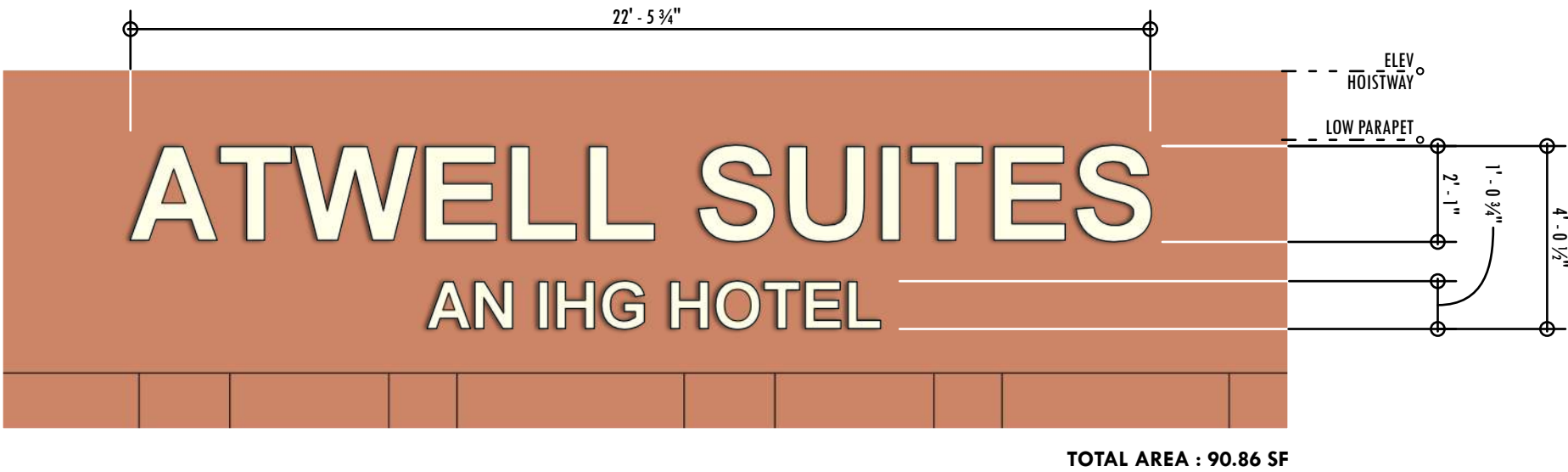




A | BUILDING MOUNTED SIGN

Internally Illuminated Metal Channel Letters with Translucent Acrylic Face

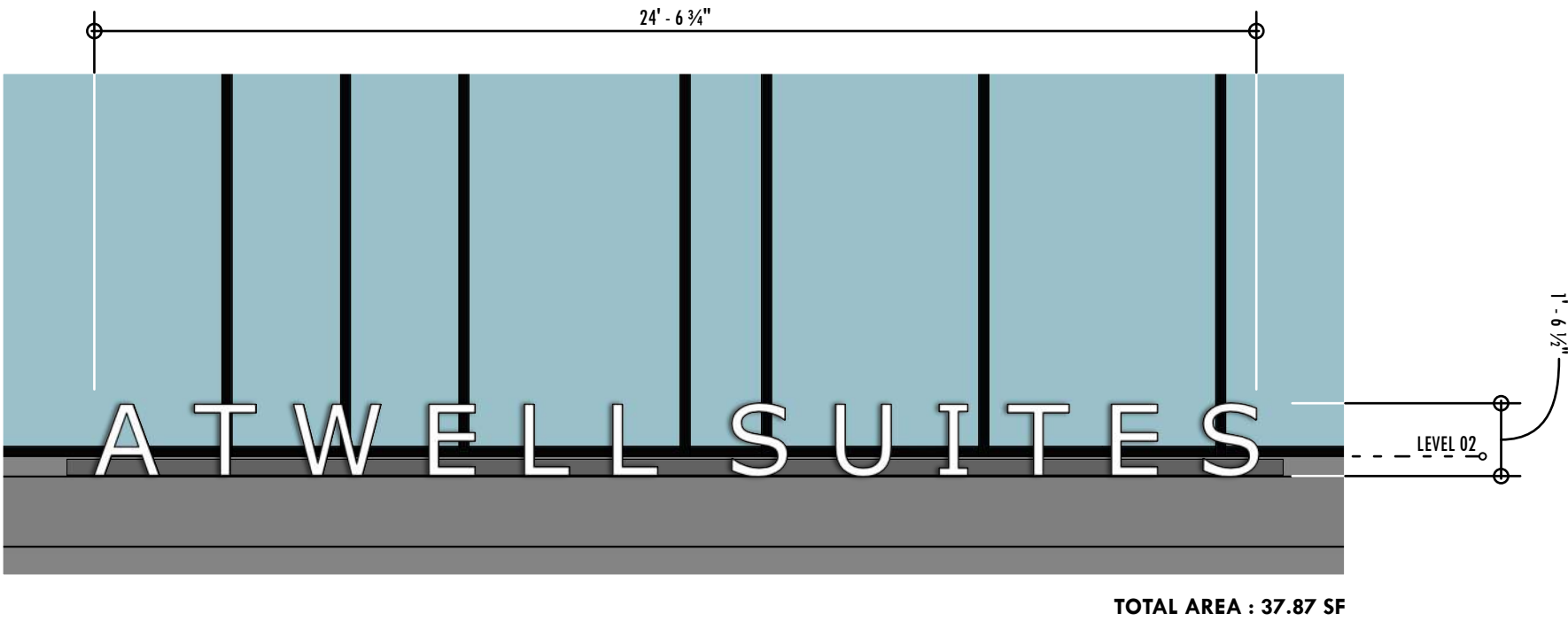
Scale : 1/4" = 1'-0"



B | CANOPY MOUNTED SIGN

Non-Illuminated Powder-Coated Cut Steel Lettering

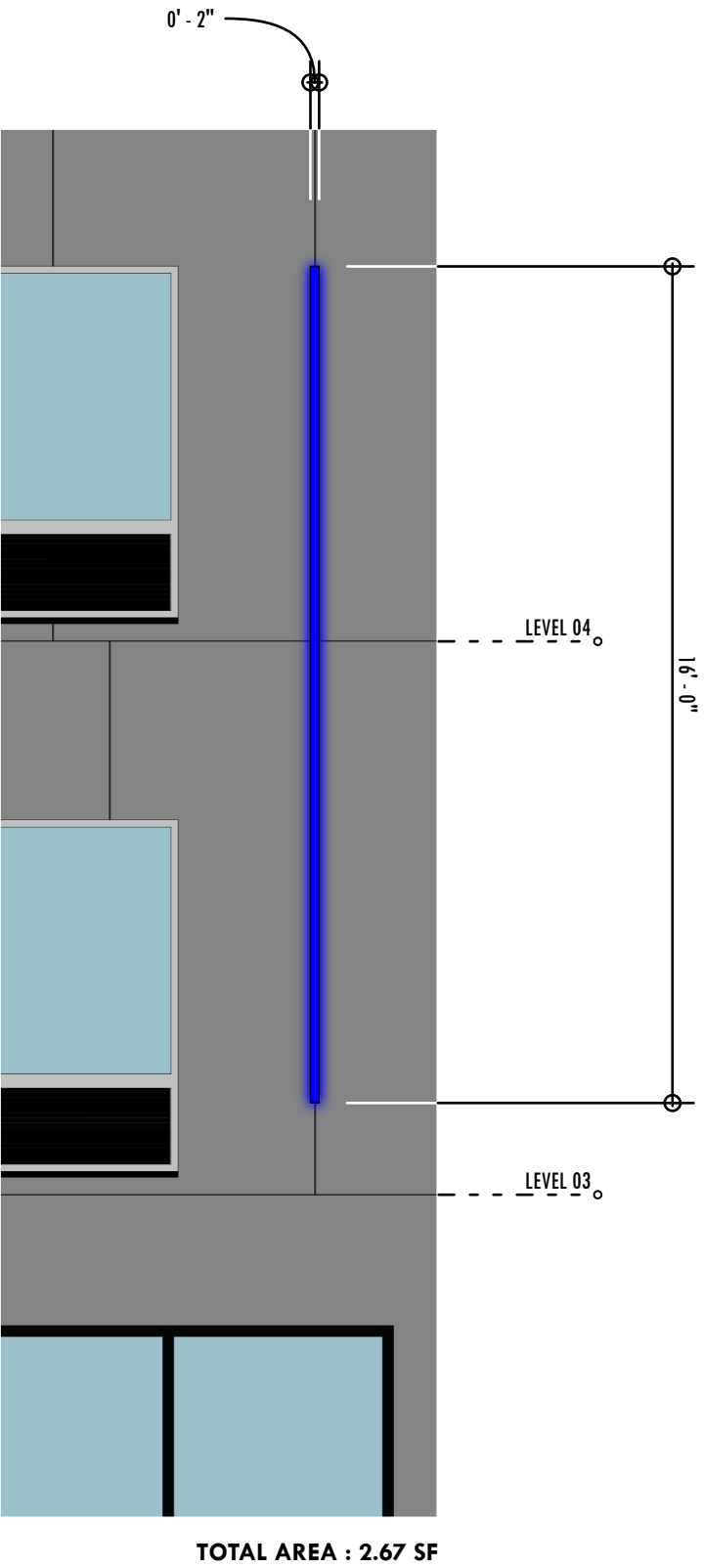
Scale : 1/4" = 1'-0"



C | DIRECTIVE LINE

Linear Recessed Light Fixture

Scale : 1/4" = 1'-0"







Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ✓ North arrow, scale, and date of plan
- ✓ Location, dimensions, and area of permeable open space
- ✓ Name, address of the professional who prepared the plan
- ✓ Legend of symbols, patterns, and abbreviations used
- ✓ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ✓ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ✓ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ✓ Location of adjacent buildings
- ✓ Location of refuse storage locations
- ✓ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ✓ Fence location, height, and materials

2. FLOOR PLAN

- ✓ Indicating the dimensions and square footage of proposed development
- ✓ Room use
- ✓ Location of all walls, doors, and windows
- ✓ Location of all plumbing fixtures
- ✓ Location of major appliances/mechanical equipment
- ✓ Stairway location
- ✓ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ✓ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ✓ Location of all exterior lighting, including those mounted on poles and walls
- ✓ Types, style, height, and the number of fixtures
- ✓ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ✓ Proposed Signage with overall height, width, and materials
- ✓ Building Elevation (including building width and height)
- ✓ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ✓ Name and address of professional who prepared the plan.
- ✓ Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ✓ All landscape plans shall meet the minimum requirements of site plans
- ✓ Legend defining all symbols, patterns, and abbreviations used
- ✓ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ✓ Description of all tree preservation measures on-site and in the public right-of-way
- ✓ Width, depth, and area of landscaped area(s)
- ✓ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ✓ Photographs of the subject site and/or building

8. NARRATIVE

- ✓ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ✓ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000