











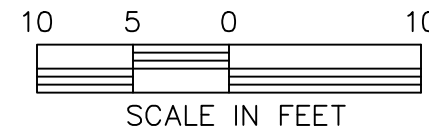


SQUARE 25
HURSTVILLE
NEW ORLEANS
ORLEANS PARISH, LA

ARABELLA STREET (SIDE)

CONSTANCE STREET (SIDE)

- LEGEND
- OVERHEAD UTILITY LINES
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - COMMUNICATION LINE
 - DRAIN MANHOLE
 - CATCH BASIN
 - GAS METER
 - SEWER MANHOLE
 - SEWER CLEANOUT
 - WATER METER
 - WATER SPIGOT
 - POWER POLE
 - ELECTRIC BOX
 - ROUND FENCE POST

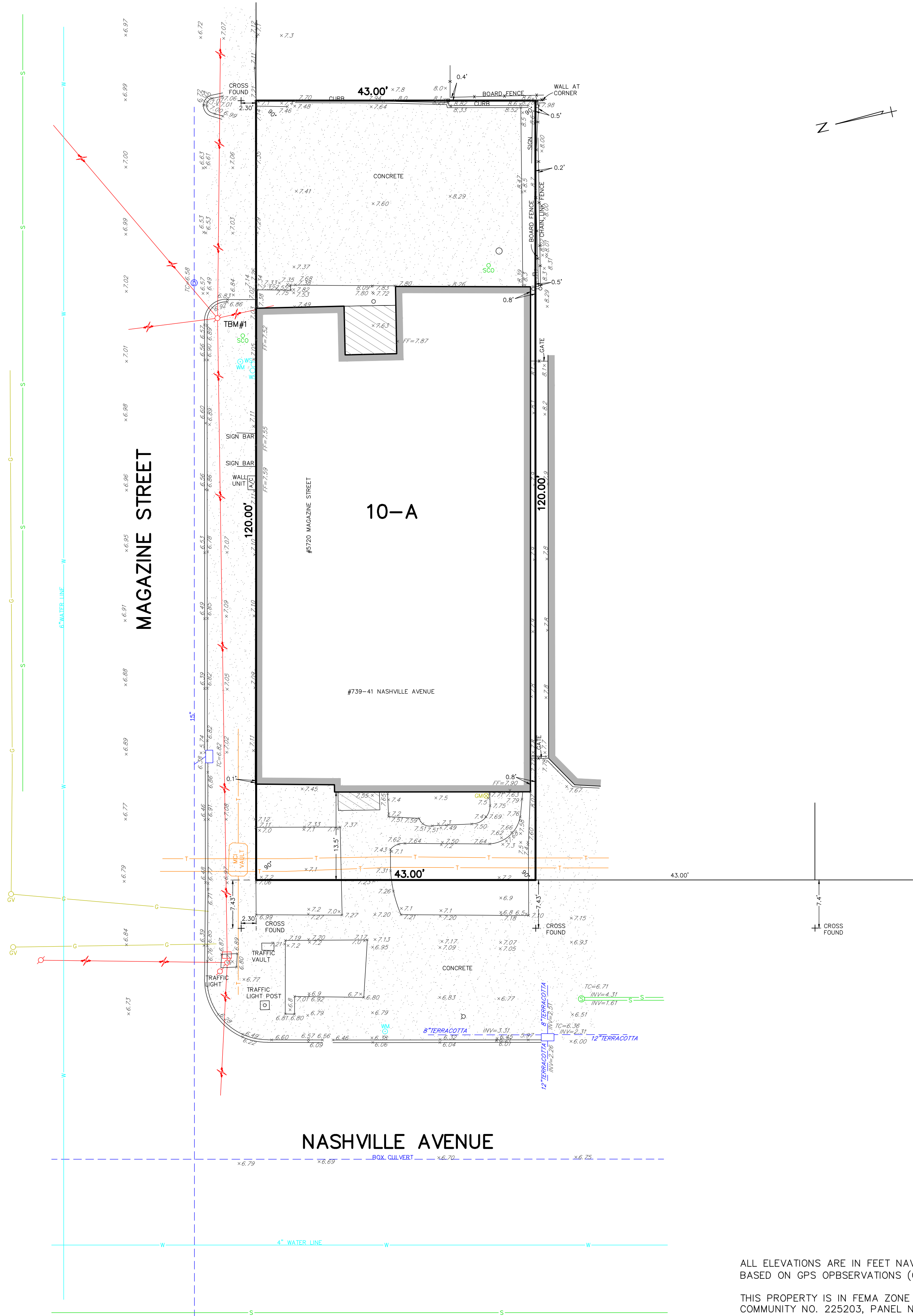


ANGLES ARE BASED ON RECORD ANGLES

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED TO US, AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLYING THE DATA FOR THIS SURVEY.

The locations of underground and other nonvisible utilities shown hereon have been determined from data either furnished by the agencies controlling such data and/or extracted from records made available to us by the agencies controlling such records. Where found, the surface features of locations are shown. The actual nonvisible locations may vary from those shown hereon. Each agency should be contacted relative to the precise location of its underground installation prior to any reliance upon the accuracy of such locations shown hereon, including prior to excavation and digging.

REFERENCE:
-SURVEY BY GILBERT, KELLY & COUTURE
DATED NOVEMBER 26, 2024



ALL ELEVATIONS ARE IN FEET NAVD88
BASED ON GPS OBSERVATIONS (GEOD18)

THIS PROPERTY IS IN FEMA ZONE X, BFE=N/A
COMMUNITY NO. 225203, PANEL NO. 0236F
FIRM DATE: SEPTEMBER 30, 2016

TBM#1: 60d NAIL SET IN POWER POLE ON MAGAZINE
STREET AT REAR LEFT SIDE OF LOT 10-A
ELEV: 9.90' NAVD

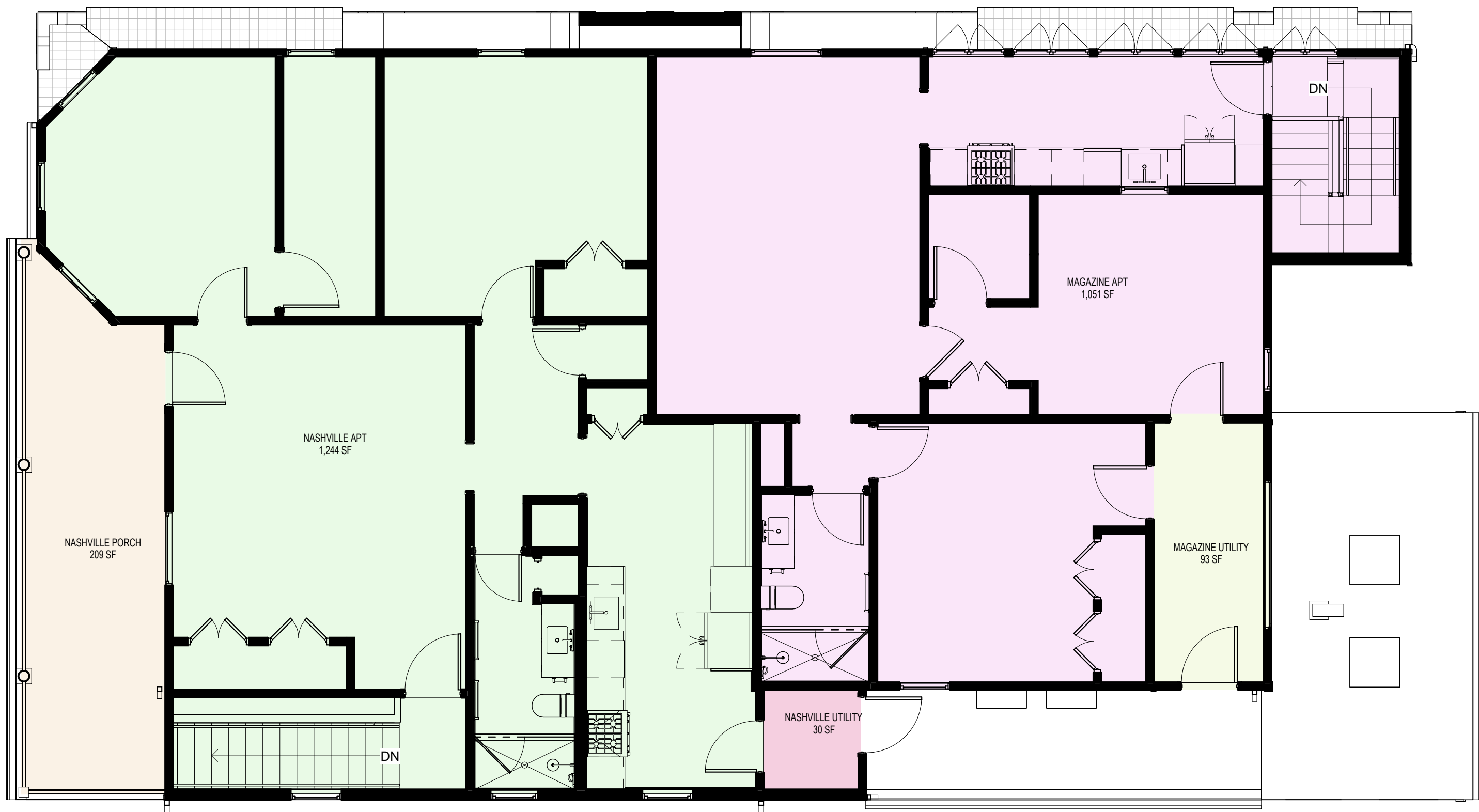
JANUARY 29, 2025

SURVEYED IN ACCORDANCE WITH THE LOUISIANA
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS
FOR A CLASS B SURVEY, MADE AT THE REQUEST OF
MAGAZINE & NASHVILLE, LLC.

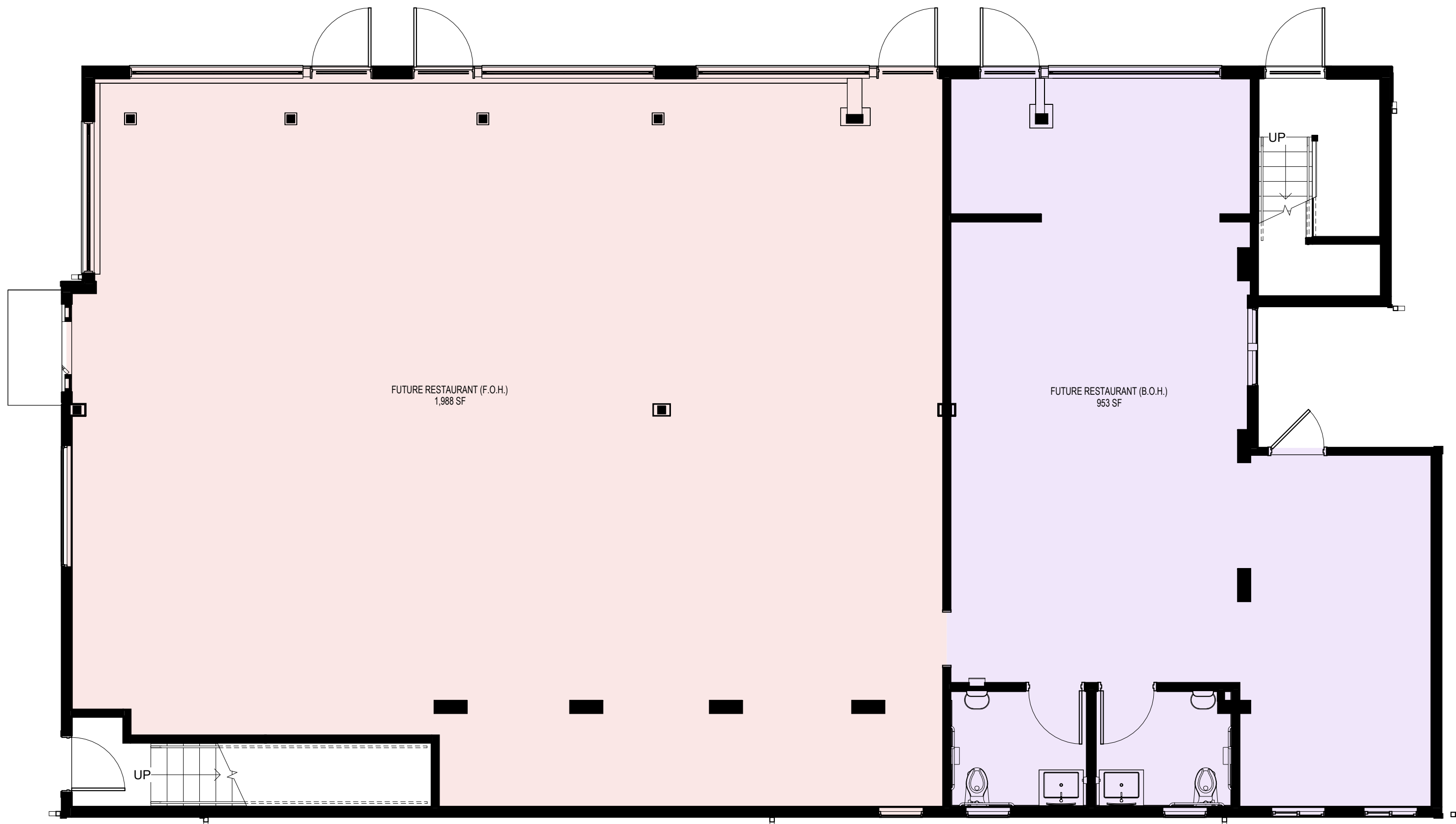
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STATE OF LOUISIANA
JONATHAN P. DUFRENE
License No. 5158
PROFESSIONAL
T-6737-L



2 LEVEL 2
3/16" = 1'-0"



1 LEVEL 1
3/16" = 1'-0"

AREA TABULATION	
NAME	AREA

LEVEL 1	
FUTURE RESTAURANT (F.O.H.)	1,988 SF
FUTURE RESTAURANT (B.O.H.)	953 SF
LEVEL 2	
NASHVILLE APT	1,244 SF
NASHVILLE PORCH	209 SF
NASHVILLE UTILITY	30 SF
MAGAZINE APT	1,051 SF
MAGAZINE UTILITY	93 SF



MAGAZINE AND NASHVILLE

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NO. DATE

REVISIONS

DESCRIPTION

5/23/25	CONSTRUCTION DOCUMENT SET
5/23/25	PERMIT SET
4/24/25	INTERIOR DEMO SET
3/31/25	DESIGN DEVELOPMENT SET
3/3/25	SCHEMATIC DESIGN SET

DATE

ISSUE

SEAL

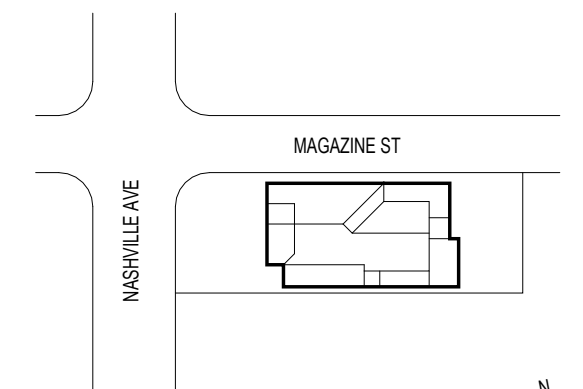


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CONSTRUCTION DOCUMENT SET

KEY PLAN

(NTS)



BAR SCALE

SHEET NAME

AREA TABULATION

SHEET NO.

PROJECT NO.

241219

SCALE

3/16" = 1'-0"

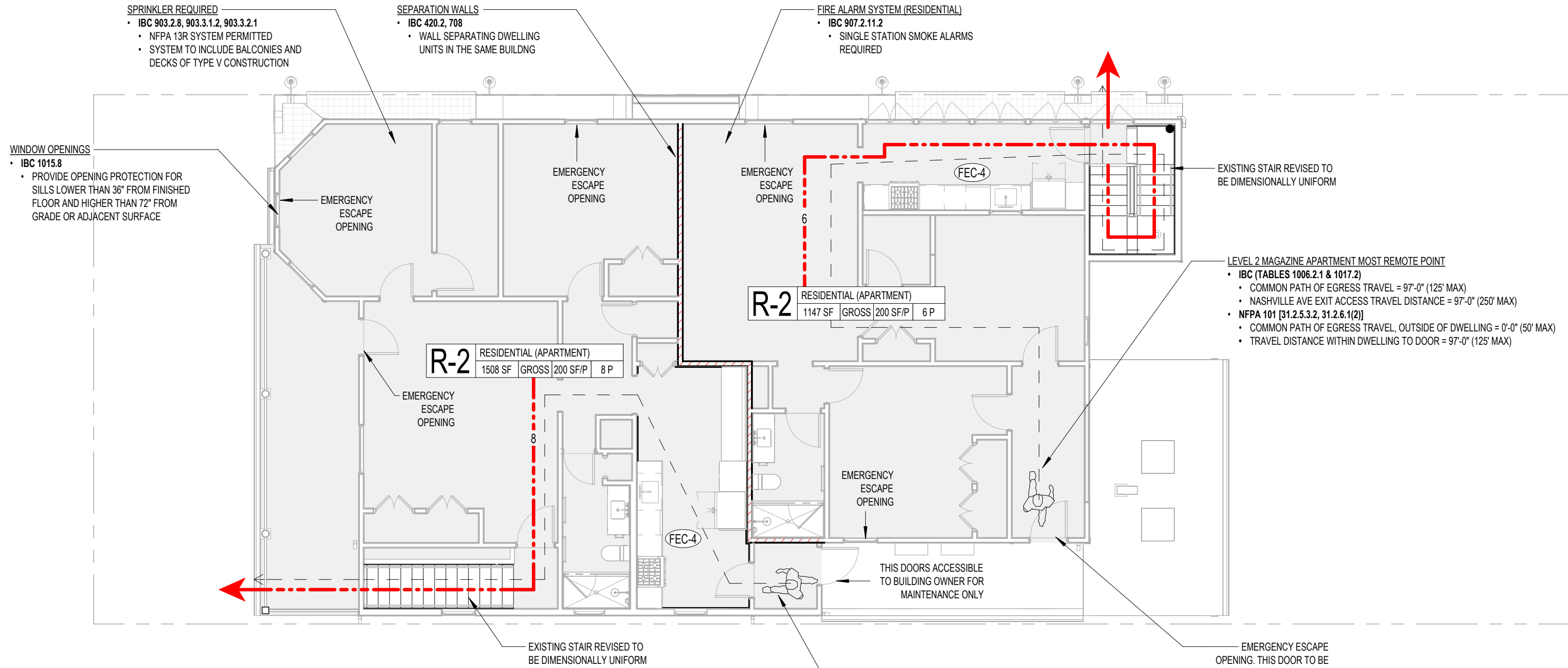
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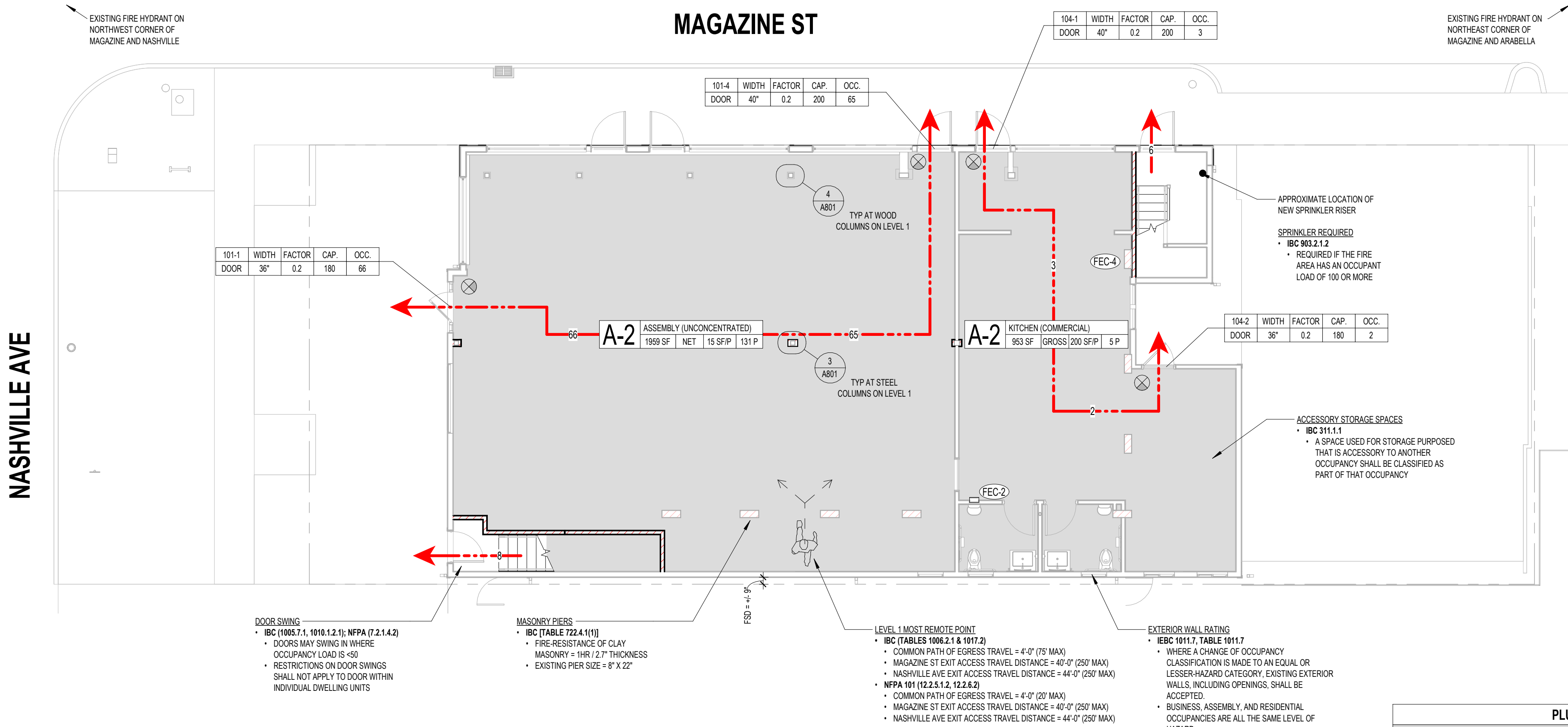
DATE

5/23/25

G004



2 LEVEL 2 LIFE SAFETY PLAN
1/8" = 1'-0"



1 LEVEL 1 LIFE SAFETY PLAN
1/8" = 1'-0"

PLUMBING FIXTURE REQUIREMENTS									
IPC 2021 - MIN. NUMBER OF REQUIRED PLUMBING FIXTURES (TABLE 403.1)									
CLASSIFICATION	DESCRIPTION	OCCUPANCY LOAD		WATER CLOSET		LAVATORY		DRINKING FOUNTAIN	OTHER
ASSEMBLY	FUTURE RESTAURANT (WHITE BOX)	136	MALE 68	MALE 68	1 PER 75	MALE 1 PER 200	1 PER 500		1 SERVICE SINK
			FEMALE 68	FEMALE 68	1 PER 75	FEMALE 1 PER 200			
		TOTAL			2		2		0 (SEE NOTES)
CLASSIFICATION	DESCRIPTION	# OF DWELLING UNITS		WATER CLOSET		LAVATORY		BATH/UB SHOWER	OTHER
RESIDENTIAL	APARTMENT HOUSE	2	1 PER DWELLING UNIT		1 PER DWELLING UNIT		1 PER DWELLING UNIT		1 KITCHEN SINK PER DWELLING UNIT, 1 AUTOMATIC CLOTHES WASHER CONNECTION PER 20 UNITS
	TOTAL			2		2		2	
NOTES:									
• TABLE 403.1, NOT D - THE OCCUPANT LOAD FOR SEASONAL OUTDOOR SEATING AND ENTERTAINMENT AREAS SHALL BE INCLUDED WHEN DETERMINING THE MIN. NUMBER OF FACILITIES REQUIRED. OUTDOOR SEATING TBD									
• 410.4 SUBSTITUTIONS - WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE, DRINKING FOUNTAIN SHALL NOT BE REQUIRED IN THOSE RESTAURANTS.									

LIFE SAFETY PLAN LEGEND

SYMBOLS

DISCHARGE WITH OCCUPANT COUNT

EXIT SIGN

REQUIRED OPENING RATING (N MINUTES)

FIRE EXTINGUISHER FULLY RECESSED CABINET

FIRE EXTINGUISHER SEMI-RECESSED CABINET

FIRE EXTINGUISHER SURFACE MOUNTED CABINET

FIRE EXTINGUISHER BRACKET MOUNTED

PARTITION TYPES

NON-RATED WALL

1-HR RATED WALL

2-HR RATED WALL

3-HR RATED WALL

4-HR RATED WALL

SMOKE PARTITION

AREA SUMMARY TAG (IBC)

X-0

FUNCTION OF SPACE
8000 SF | GROSS | 1000 SF/P | 8000 P

OCCUPANT LOAD

OCCUPANCY GROUP

TOTAL AREA OF SPACE

GROSS/NET

OCCUPANT LOAD FACTOR
(TABLE 1004.1.2)

EXIT SUMMARY TAGS

DOOR X	WIDTH	FACTOR	CAP.	OCC.
DOOR	00"	00	000	000

STAIR X	WIDTH	FACTOR	CAP.	OCC.
STAIR	00"	00	000	000

APPLICABLE CODES

BUILDING CODE

LIFE SAFETY CODE

ACCESSIBILITY CODES

OTHER CODES

- 2021 INTERNATIONAL BUILDING CODE

- 2016 NFPA 101

- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

- 2021 INTERNATIONAL EXISTING BUILDING CODE

- 2021 INTERNATIONAL ENERGY CONSERVATION CODE

- 2021 INTERNATIONAL PLUMBING CODE

- 2021 INTERNATIONAL MECHANICAL CODE

- 2021 INTERNATIONAL FUEL GAS CODE

- 2020 NFPA TO NATIONAL ELECTRICAL CODE

- NFPA 13 SPRINKLER CODE

- NFPA 13R SPRINKLER CODE

- NFPA 72 FIRE ALARM CODE

- CITY OF NEW ORLEANS CODE OF ORDINANCES

- CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE

- SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC REHABILITATION

IBC 2021

OCCUPANCY CLASSIFICATION (PER 302.1)			
OCCUPANCY GROUP	CLASS	DESCRIPTION	
ASSEMBLY	A-2	FUTURE RESTAURANT (WHITE BOX)	
RESIDENTIAL	R-2	APARTMENTS	
GENERAL BUILDING HEIGHT AND AREA LIMITATIONS (PER 504 & 506)			
PRIMARY OCCUPANCY GROUP = A-2			
TYPE OF CONSTRUCTION = V-B			
ALLOW. HT. (TABLE 504.3)	PROPOSED HEIGHT		
60 FT.	35 FT (EXISTING)		
ALLOW. STOR. (TABLE 504.4)	PROPOSED STORIES		
2	2 (EXISTING)		
EXISTING AREA = 5,804 GSF (LEVEL 1 = 3,150 GSF ; LEVEL 2 = 2,654 GSF)			
FIRE RESISTANCE RATING REQ. FOR BUILDING ELEMENTS (PER TABLE 601 & 602)			
BUILDING ELEMENT	RATING		
PRIMARY STRUCTURAL FRAME	0 HOURS		
BEARING WALLS - EXTERIOR	0 HOURS		
BEARING WALLS - INTERIOR	0 HOURS		
NONBEARING WALLS AND PARTITIONS - EXTERIOR	0 HOURS		
NONBEARING WALLS AND PARTITIONS - INTERIOR	0 HOURS		
FLOOR CONST. & ASSOCIATED SECONDARY MEMBER	0 HOURS		
ROOF CONST. & ASSOCIATED SECONDARY MEMBER	0 HOURS		
INTERIOR WALL AND CEILING FINISH REQ BY OCCUPANCY (PER TABLE 803.13)			
OCC.	INT. EXIT STAIRWAYS, INT. EXIT RAMPS & EXIT PASSAGEWAYS	CORRIDORS & ENCLOSURES FOR EXIT ACCESS STAIRWAYS & RAMPS	ROOMS AND ENCLOSED SPACES
A-2	CLASS B	CLASS B	CLASS C
R-2	CLASS C	CLASS C	CLASS C
MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER = 75 FT (PER TABLE 906.3(1))			
MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT (PER TABLE 1004.5)			
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR		
ACCESSORY STORAGE (MECH)	300 SF GROSS		
ASSEMBLY, UNCONCENTRATED	15 SF NET		
KITCHENS, COMMERCIAL	200 SF GROSS		
RESIDENTIAL	200 SF GROSS		
SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY (PER TABLE 1006.2.1)			
OCC.	MAX OCC. LOAD FROM SPACE	MAX COMMON PATH OF EGRESS T.D.	
A-2	49	75 FT	
R-2	20	125 FT	
STAIRWAY WIDTH AND CAPACITY (PER 1011.2)			
OCC. LOAD	MIN. WIDTH		
< 50	36 IN		
EXIT ACCESS TRAVEL DISTANCE (PER TABLE 1017.2)			
OCC.	TRAVEL DISTANCE		
A-2	250 FT		
R-2	250 FT		
CORRIDOR FIRE-RESISTANCE RATING (PER TABLE 1020.2)			
OCC.	OCC. LOAD SERVED BY CORR.	REQ. FIRE-RESISTANCE RATING	
A-2	> 50	0 HOURS	
MINIMUM CORRIDOR WIDTH (PER TABLE 1020.3)			
OCCUPANCY	MIN. WIDTH		
ANY FACILITY NOT LISTED	44 IN		
ACCESS TO MEP	24 IN		
OCC. LOAD < 50	36 IN		
WITHIN DWELLING UNIT	36 IN		
MAXIMUM LENGTH OF DEAD END CORRIDOR (1020.5) = 20 FT			

NFPA 101 2015

OCCUPANCY CLASSIFICATION (PER 6.1)

OCCUPANCY GROUP

DESCRIPTION

NEW ASSEMBLY (CH 12)

FUTURE RESTAURANT (WHITE BOX)

EXISTING APARTMENTS (CH 31)

APARTMENTS

EXIT SEPARATION (PER 7.1.3.2.1, (1)) = 1 HOUR

OCCUPANT LOAD FACTOR (PER TABLE 7.3.1.2)

USE

OCCUPANT LOAD FACTOR

ASSEMBLY, WITHOUT FIXED SEATING

15 SF NET

KITCHENS

100 SF GROSS

APARTMENT BUILDING

200 SF GROSS

STORAGE USE

500 SF GROSS

COMMON PATH OF EGRESS TRAVEL

NEW ASSEMBLY (12.2.5.1.2)

20 FT

EXISTING APARTMENT, OUTSIDE OF DWELLING UNIT (31.2.5.3.2)

50 FT

MAXIMUM DEAD END CORRIDOR LENGTH

NEW ASSEMBLY (12.2.5.1.2)

20 FT

EXISTING APARTMENT (31.2.5.4)

50 FT

TRAVEL DISTANCE TO EXIT

NEW ASSEMBLY (12.2.6.2 (1))

250 FT

WITHIN DWELLING TO CORRIDOR DOOR (31.2.6.1 (2))

125 FT

FROM DWELLING DOOR TO EXIT (31.2.4.5 (3))

55 FT

PROJECT NO
241219

SCALE
1/8" = 1'-0"

FORMAT
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DATE
5/23/25



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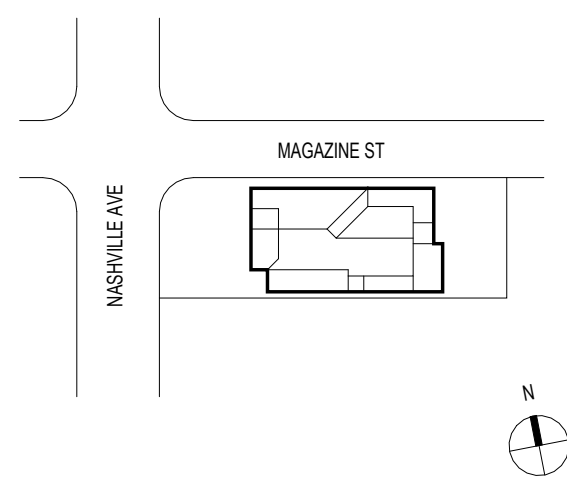


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KEY PLAN

(NTS)



BAR SCALE

SHEET NAME

LIFE SAFETY PLAN

SHEET NO

G101



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SITE PLAN LEGEND

- 00.00' PROPERTY LINE WITH DISTANCE
- CONCRETE, EXISTING (REPAIR)
- CONCRETE, NEW
- PERMEABLE BRICK PAVERS
- ADJACENT BUILDING, N.I.C.
- LANDSCAPED AREA, OUTSIDE OF PROPERTY
- PERMEABLE OPEN SPACE, WITHIN PROPERTY
- UTILITY COVERS, EXISTING (RE. SURVEY)
- TRAFFIC LIGHT, EXISTING (RE. SURVEY)
- UTILITY POLE, EXISTING (RE. SURVEY)
- TRAFFIC SIGN, EXISTING (RE. SURVEY)
- CATCH BASIN, EXISTING (RE. SURVEY)

ZONING INFO

ZONING DISTRICT
HU-B1 HISTORIC URBAN NEIGHBORHOOD BUSINESS DISTRICT

OVERLAY AND INTERIM ZONING DISTRICTS
CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT (CZO 18.14)
* REQUIRES DESIGN REVIEW FOR ANY NEW STRUCTURE, ADDITION, OR ENLARGEMENT
MAGAZINE STREET USE RESTRICTION OVERLAY DISTRICT (CZO 18.20)
* REQUIRES CONDITIONAL USE APPROVAL FOR A RESTAURANT, STANDARD TYPE UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT (CZO 18.30)
* NOT REQUIRED IN ZONE HU-B1
BED AND BREAKFAST INTERIM ZONING DISTRICT (CZO 19.4.A.18)
* NOT APPLICABLE
COMMERCIAL SHORT-TERM RENTAL INTERIM ZONING DISTRICT (CZO 19.4.A.20)
* NOT APPLICABLE
NON-COMMERCIAL SHORT-TERM RENTAL INTERIM ZONING DISTRICT
* NOT APPLICABLE

LOCAL HISTORIC DISTRICT
UPTOWN HISTORIC DISTRICT
HDLC PARTIAL CONTROL (DEMO ONLY)

NATIONAL REGISTER OF HISTORIC PLACES
UPTOWN NEW ORLEANS HISTORIC DISTRICT

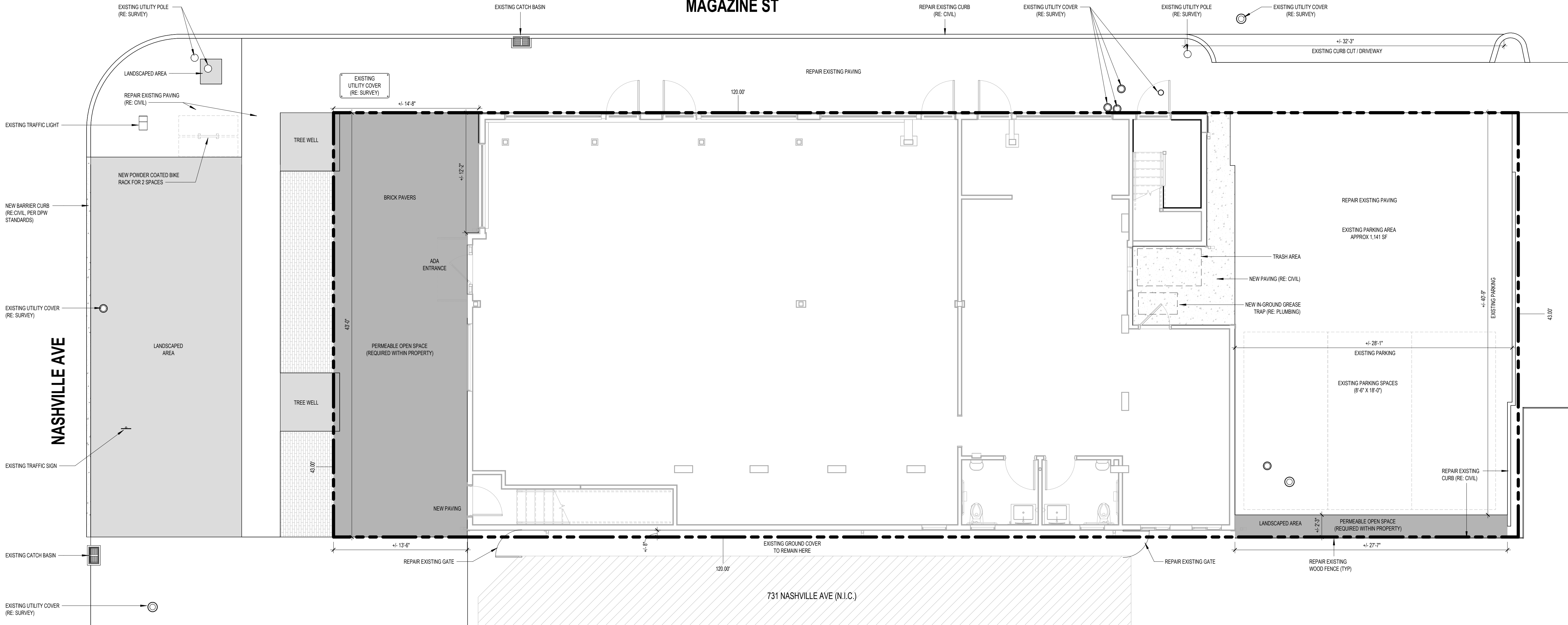
CZO 12.3A - BULK AND YARD REGULATIONS (TABLE 12-3)

MINIMUM PERMEABLE OPEN SPACE	LOT AREA	MIN. REQ'D	EXISTING	PROPOSED
	5,160 SF	10% LOT AREA	516 SF	+/- 544 SF
FRONT YARD		0' - 10' BUILD-TO LINE	+/- 16'	NO CHANGE
INTERIOR SIDE YARD		NONE	+/- 0'-8"	NO CHANGE
CORNER SIDE YARD		NONE, TO MAX OF 5'	+/- 0'	NO CHANGE
REAR YARD		NONE	+/- 28'-8"	NO CHANGE

PARKING REQUIREMENTS

CZO 22.4.A - GENERAL REQUIREMENTS FOR OFF-STREET VEHICLES AND BICYCLES (TABLE 22-1)					
USE	AREA	MIN REQ'D VEHICLE SPACES	MIN REQ'D BICYCLE SPACES		
DWELLING, TWO-FAMILY		1 PER DWELLING UNIT		NONE REQUIRED	0
RESTAURANT, STANDARD	2,946 GSF	1 PER 500 SF GFA	6*	1 PER 2,500 SF GFA	2
TOTAL PROVIDED			3	2 (SHORT TERM)	
*CZO 22.4.C - EXEMPTIONS (TABLE 22-2)					
SEC. 22.5.A.6 SQUARE FOOTAGE EXEMPTION - FIRST 5,000SF		THE FIRST FIVE-THOUSAND (5,000) SQUARE FEET IN GROSS FLOOR AREA FOR COMMERCIAL USES IN THE HU-B1, HU-MU AND MU-1 DISTRICTS ARE EXEMPT FROM THE VEHICLE PARKING REQUIREMENTS OF TABLE 22-1.			

MAGAZINE ST



1 SITE PLAN

3/16" = 1'-0"

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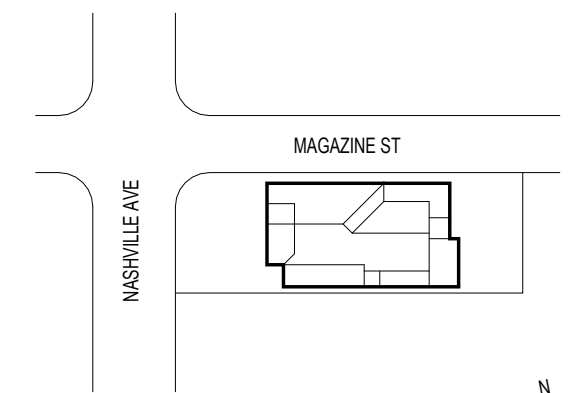


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(NTS)



BAR SCALE

SHEET NAME

SITE PLAN

SHEET NO

PROJECT NO

241219

SCALE

As indicated

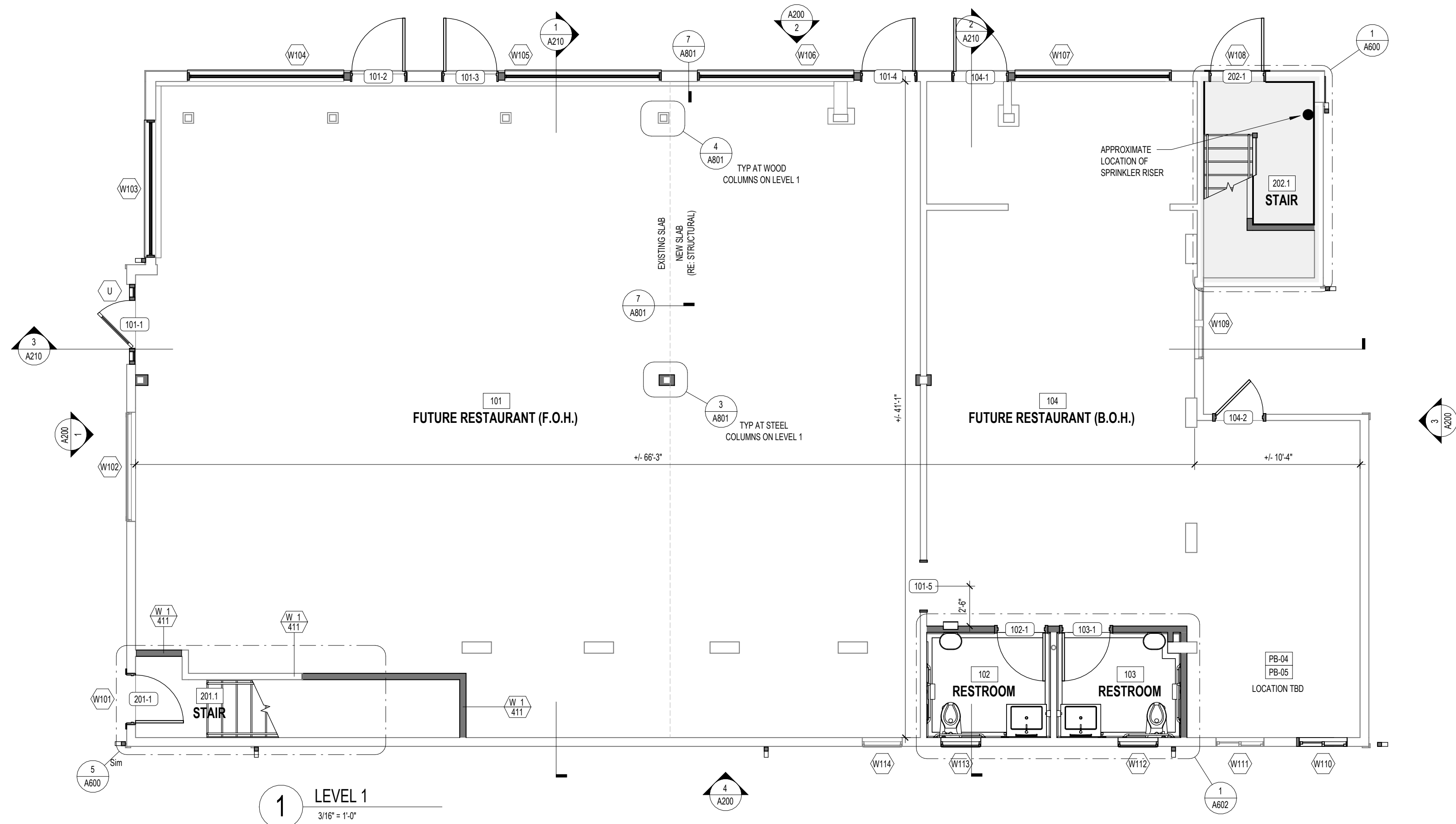
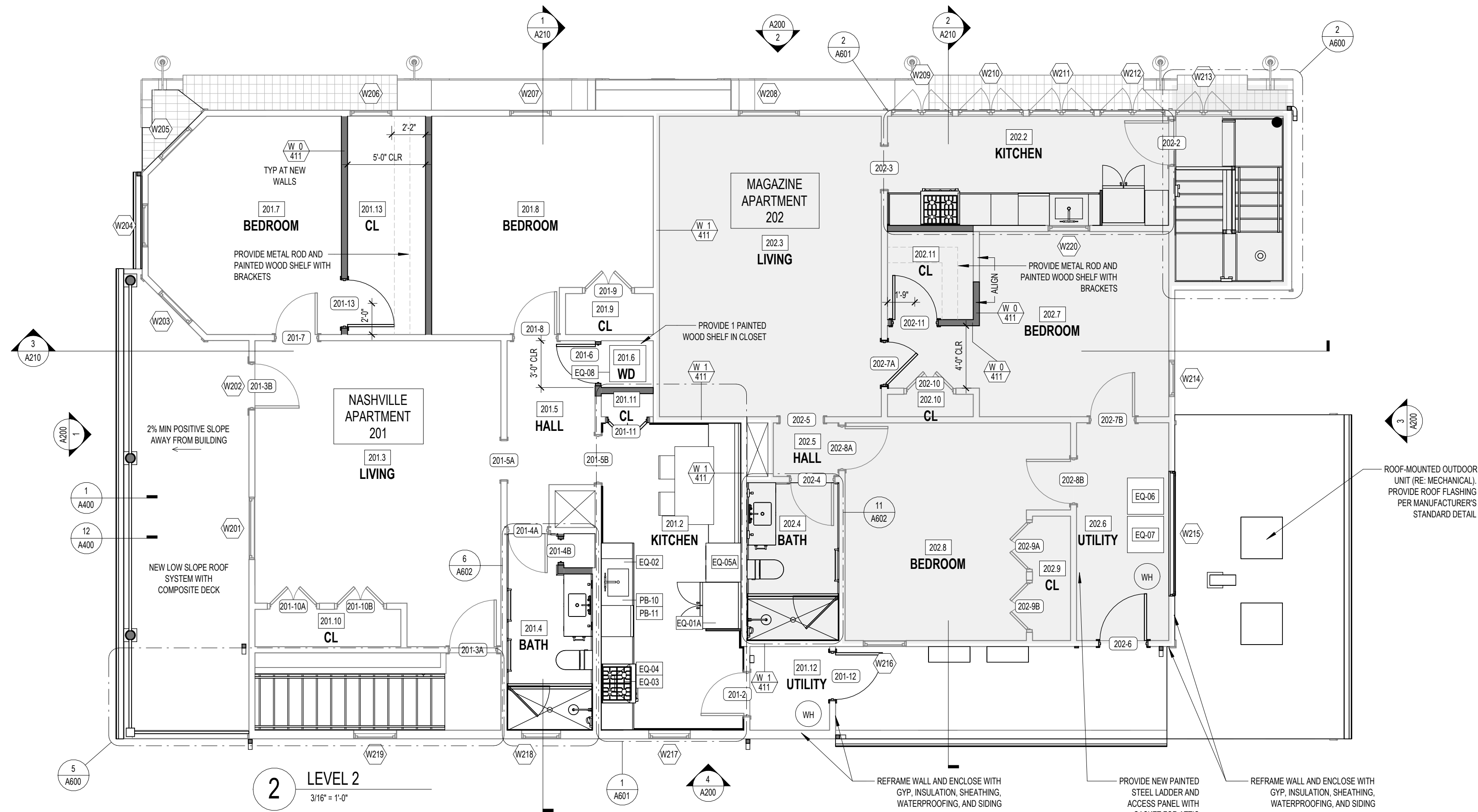
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DATE

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A001



FLOOR PLAN LEGEND

RM # ROOM NAME NET SF ROOM TAG

INDICATES EXISTING WALL TO REMAIN

INDICATES NEW WALL

WALL / PARTITION TYPE (RE. ASSEMBLY TYPES)

EQUIPMENT TAG (RE. SCHEDULE, SHEET A801)

PLUMBING FIXTURE TAG (RE. SCHEDULE, SHEET A801)

NOTES:

- DIMENSIONS MARKED WITH "CLR" INDICATE CLEAR DIMENSION BETWEEN FACE OF WALL AND SHALL RULE OVER DIMENSIONS MARKED WITH "+/-"
- ALL EXISTING DOORS AND WINDOWS SHALL BE REPAIRED IN KIND AND PAINTED
- NEW DOORS AND WINDOW SHALL MATCH EXISTING, U.O.N.
- ALL DOOR HARDWARE SHALL BE REPLACE, U.O.N.
- LOCATE ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO +3.8 NAVD.
- EXISTING SHELVEING SHALL REMAIN WHERE FOUND IN CLOSETS. REPAIR PAINT AS REQUIRED.



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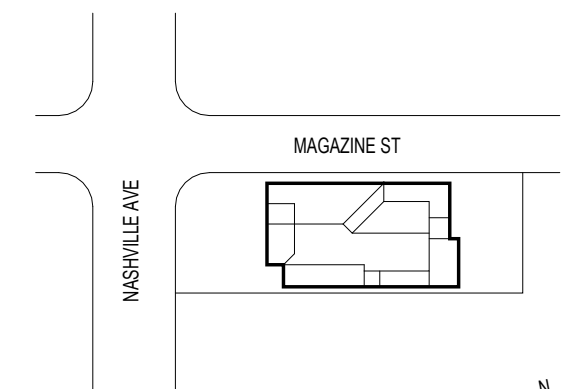


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FLOOR PLANS

SHEET NO.

PROJECT NO.

241219

SCALE

As indicated

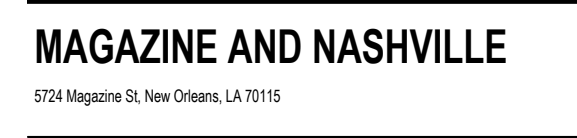
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ARCHITECT

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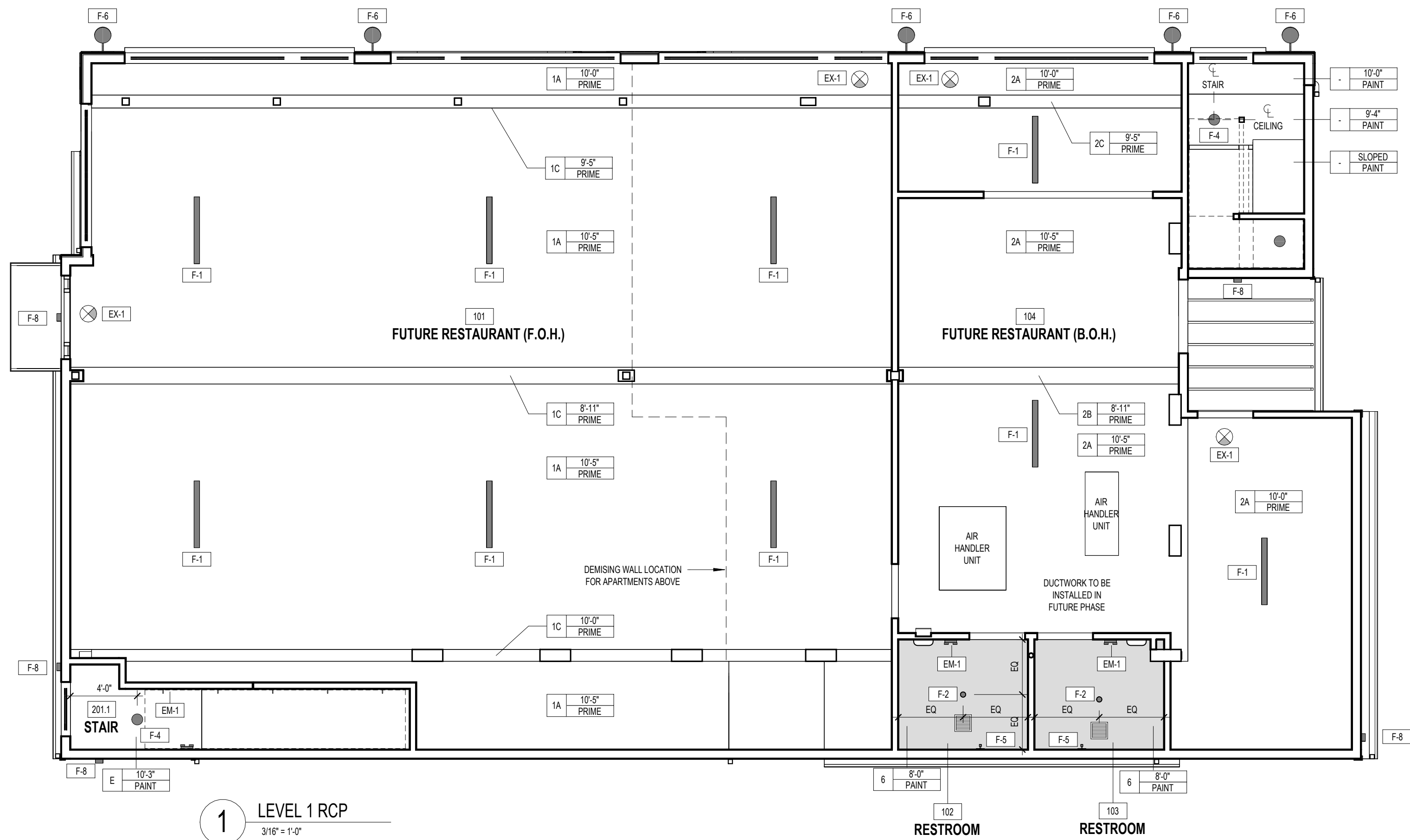
DATA SCALE

PROJECT NO.
241219

SCALE

A 200

DATE
5/23/25



REFLECTED CEILING PLAN LEGEND

1 10'-0" PAINT CEILING HEIGHT
CEILING FINISH
CEILING ASSEMBLY TYPE
RE: ASSEMBLY SHEET
(E = EXISTING TO REMAIN)
F-00 LIGHT FIXTURE TAG
(RE: LIGHT FIXTURE SCHEDULE)

INDICATES CEILING TIGHT TO STRUCTURE ABOVE
INDICATES SUSPENDED CEILING
BEADBOARD CEILING
TIGHT TO STRUCTURE

NOTES:
• EXISTING CEILING HEIGHTS ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD.
• DAMAGED OR MISSING AREAS OF EXISTING CEILINGS SHALL BE REPLACED TO MATCH ADJACENT
• LIGHT FIXTURE WITHOUT DIMENSIONS SHOWN SHALL BE LOCATED AT EXISTING FIXTURE LOCATIONS.



MAGAZINE AND NASHVILLE

5724 Magazine St. New Orleans, LA 70115

CLIENT

MAGAZINE & NASHVILLE LLC

102 ST. LOUIS ST, SUITE B

THIBODAUX, LA 70301

ARCHITECT

Rome Office

MEP ENGINEER

HG ENGINEERING

P.O. BOX 58801

NEW ORLEANS, LA 70156

1-1504.233.3795

MEP ENGINEER

M. JOHANNA LEIBE, LLC

P.O. BOX 55682

METairie, LA 70055

1-1504.231.0802

400 N. PETERS ST., SUITE 212

NEW ORLEANS, LA 70130, USA

T-1 504.827.1828

STRUCTURAL ENGINEER

EHC ENGINEERING

6050 PONTON-HARRIS BLVD., SUITE 200

NEW ORLEANS, LA 70124

T-1 504.372.1047

MEP ENGINEER

M. JOHANNA LEIBE, LLC

P.O. BOX 55682

METairie, LA 70055

1-1504.231.0802

NO DATE

REVISIONS

DESCRIPTION

5/23/25 CONSTRUCTION DOCUMENT SET

5/23/25 PERMIT SET

4/24/25 INTERIOR DEMO SET

3/31/25 DESIGN DEVELOPMENT SET

3/3/25 SCHEMATIC DESIGN SET

DATE ISSUE

SEAL

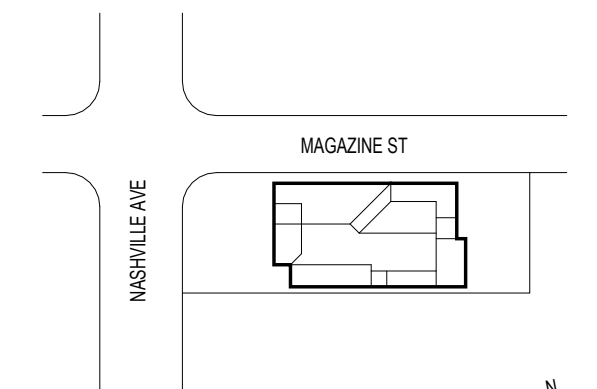


THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

CONSTRUCTION DOCUMENT SET

KEY PLAN

(NTS)



BAR SCALE

SHEET NAME

REFLECTED CEILING PLAN

SHEET NO

PROJECT NO

241219

SCALE

As indicated

FORMAT

ARCH D

DATE

5/23/25

A300

NASHVILLE AVE.

MAGAZINE STREET

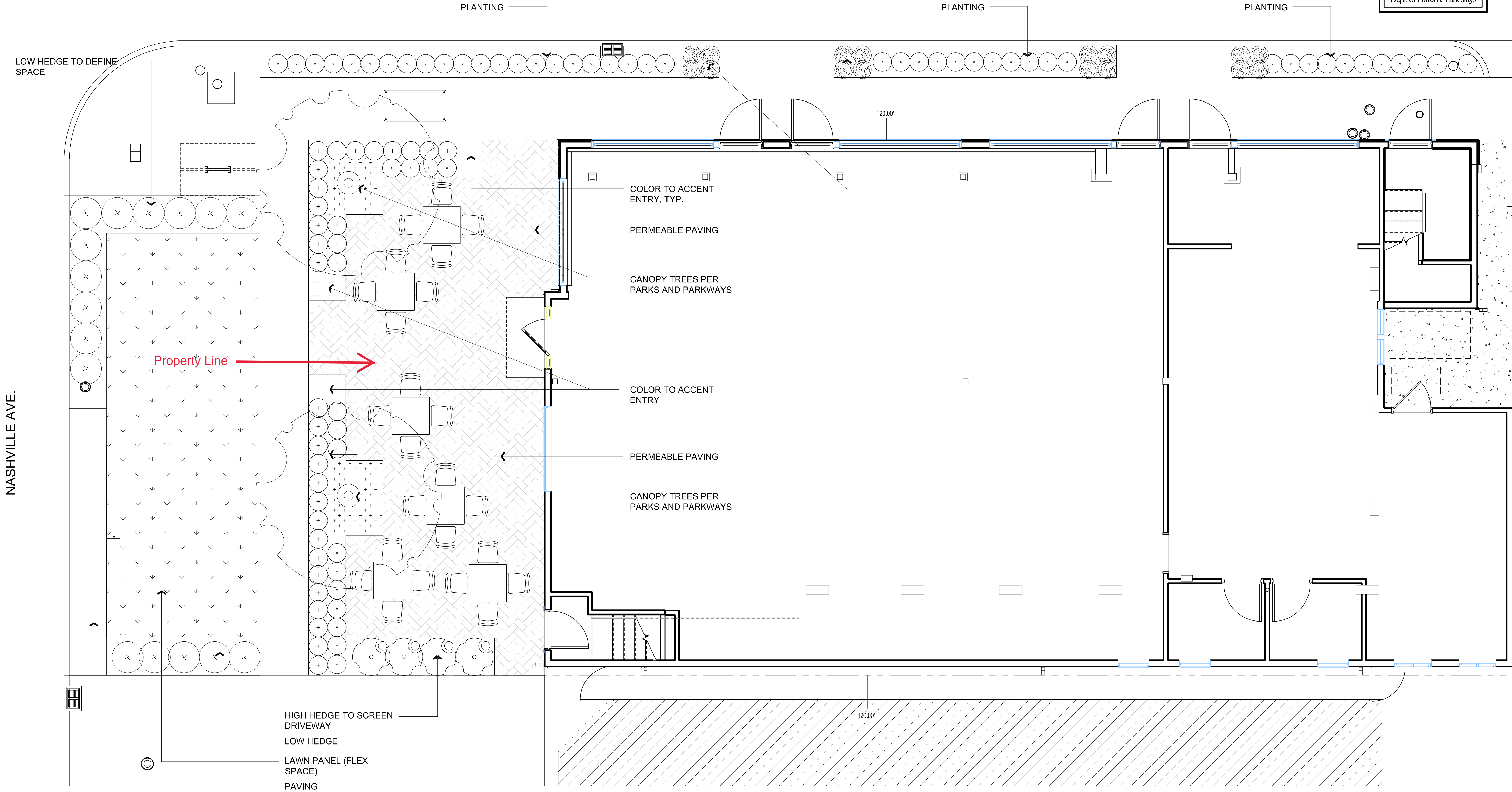
APPROVED

Public Landscape Plan

Date: 5/7/2025

By: *Lillian McVee*

Dept. of Parks & Parkways



MAGAZINE AND NASHVILLE

5724 Magazine St. New Orleans, LA 70115

LIBRITY
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EHC ENGINEERING
6050 PONTCHARTRAIN BLVD, SUITE 200
NEW ORLEANS, LA 70124
T +1 504.372.1047

NO.	DATE	DESCRIPTION
REVISIONS		

NO.	DATE	DESCRIPTION
3/31/25		CONSTRUCTION DOCUMENT SET
3/3/25		DESIGN DEVELOPMENT SET
DATE		SCHEMATIC DESIGN SET
ISSUE		

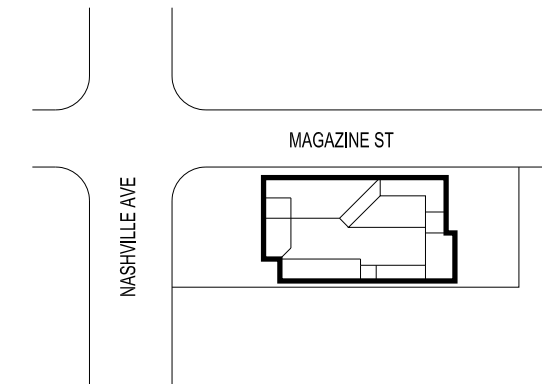
NOT FOR CONSTRUCTION

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

CONSTRUCTION DOCUMENT SET

KEY PLAN:

(N.T.S.)



BAR SCALE

SHEET NAME

CONCEPT SITE PLAN TWO

SHEET NO.

PROJECT NO.

241219

SCALE

FORWAT

ARCH D

DATE

4/18/2025

L2.0



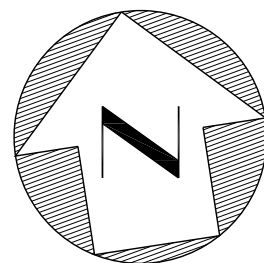
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M. Johanna Lebbe, LLC
Landscape Architecture
www.jlebbelandscapearchitecture.com

0 6 12
SCALE: 3/4" = 1'-0"



PITCH SINGLE WALL SCONCE



An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

High quality LM80-tested LEDs

for consistent long-life performance and color

Outstanding protection against the elements:

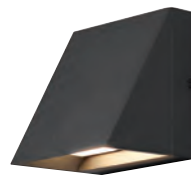
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

SPECIFICATIONS

DELIVERED LUMENS	823
WATTS	26.1
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight or Uplight
CCT	2700K, 3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	1.2 lbs.

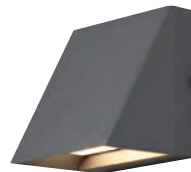
* Visit techlighting.com for specific warranty limitations and details.



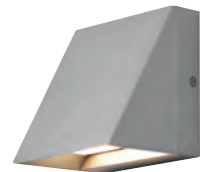
PITCH SINGLE
shown in black



PITCH SINGLE
shown in bronze



PITCH SINGLE
shown in charcoal

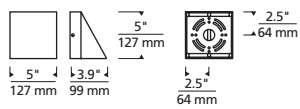


PITCH SINGLE
shown in silver

ORDERING INFORMATION

700WSPIT	SIZE	FINISH	LAMP
	S SINGLE	B BLACK	-LED827 LED 80 CRI, 2700K 120V
		Z BRONZE	-LED827277 LED 80 CRI, 2700K 277V
		H CHARCOAL	-LED830 LED 80 CRI, 3000K 120V
		I SILVER	-LED830277 LED 80 CRI, 3000K 277V

PITCH SINGLE WALL SCONCE



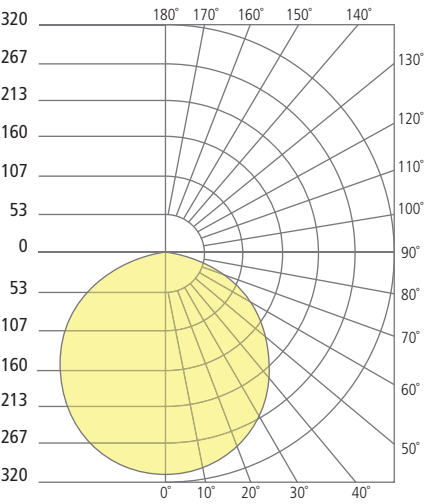
Pitch Single

PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

PITCH SINGLE

Total Lumen Output: 823
Total Power: 26.2
Luminaire Efficacy: 31.4
Color Temp: 3000K
CRI: 80+
BUG Rating: B1-U0-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



GENERATION BRANDS
7400 Linder Avenue, Skokie, Illinois 60077
T 847.410.4400 F 847.410.4500



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Rome Office

Rome Office LLC
400 N. Peters St., Suite 212
New Orleans, LA 70130, USA
504.827.1928

Project: 5724 Magazine St
Permit No: 25-13824-RNVS
Subject: Development Plan and Design Review Application - Narrative
Date: June 6, 2025

The former Uptown Pharmacy building at 5724 Magazine St is located on the corner of Magazine St and Nashville Ave, near Arabella St and Constance St. It lies in the HU-B1 zoning district intended for commercial areas that serve nearby residential neighborhoods. It is also located in a CPC Character Preservation Corridor Design Overlay District to ensure compatibility with established development patterns and urban character.

The proposed project is a renovation of the existing building, with no floor area added or removed. The scope of work on the ground floor includes a white box commercial space for a future tenant build out to be submitted under a separate permit review. This commercial space previously housed the pharmacy accessed from Nashville and a coffee shop in the rear. The second floor currently contains two apartment units, both with two bedrooms and one bathroom. The renovation of these apartments will include new finishes and fixtures. The exterior of the building will be renovated by the requirements of the Secretary of the Interior's Standard for Rehabilitation of Historic Buildings and includes a new roof, repairing siding, and introducing wood storefronts along Magazine St that had previously been filled in by the pharmacy. The site surrounding the building includes concrete sidewalks and driveways that will be repaired, permeable paving along the Nashville façade, and two new trees.

The project aims to comply with all applicable requirements from the Comprehensive Zoning Ordinance, including:

- A minimum permeable open space of 10% of the lot area.
- Exterior lighting complying with the standards of Article 21, Section 21.5.
- 3 parking spaces in the existing parking lot at the rear, meeting the minimum required by Article 22, Sections 22.4.A and 22.5.A.6.
- 2 short term bicycle parking spaces will be provided, meeting the minimum required by Article 22, Sections 22.4.A.
- A Landscape plan that complies with Article 23, Section 23.3.
 - Note that the proposed trees have been approved by Parks and Parkways, but the remaining landscape scope will be included in the future commercial tenant build out.
- Compliance with Stormwater Management requirements is not feasible, given the historic nature of the building and the small lot area. However, we are proposing a fee-in-lieu.
- Locating refuse receptacles at the rear covered porch, where they have been stored by previous tenants.
- Keeping the existing fencing and repairing to match, as required.
- Future signage to comply with Article 24.
 - Note that signage is not included in this scope of work and will be included in the future commercial tenant build out.



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 5724 Magazine St

APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Rome Office (Architect: Melissa Rome)

Applicant Address 400 N Peters St Suite 212

City New Orleans State LA Zip 70130

Applicant Contact Number 504-827-1928 Email melissa@romeoffice.us

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Magazine & Nashville LLC

Property Owner Address 102 St Louis St Apt 2nd Floor

City Thibodaux State LA Zip 70130

Property Owner Contact Number 985-278-0979 Email justincallais@gmail.com

PROJECT DESCRIPTION

A renovation of an existing building with a white box commercial space on the ground floor and 2 apartments on the second floor. The building will be renovated by the standards of the historic tax credits and does not include adding or removing square footage. Note that the commercial tenant has not been selected and a separate permit will be filed for that build-out scope of work.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- ☒ Character Preservation Corridor
☐ Riverfront Design Overlay
☐ Enhancement Corridor
☐ University Area Design Overlay
☐ Corridor Transformation
☐ Greenway Corridor
☐ Others as required

Non-Design Overlay District Review

- ☐ Development over 40,000 sf
☐ Public Market
☐ CBD FAR Bonus
☐ Wireless Antenna/Tower
☐ Educational Facility

- ☐ Changes to Approved Plans
☐ DAC Review of Public Projects
☐ Others as Required

ADDITIONAL INFORMATION

Current Use previous ground floor pharmacy (front) and coffee shop (rear); 2 apartments on second floor

Proposed Use ground floor white box restaurant space; 2 apartments on second floor

Square Number 25 Lot Number 10A Permeable Open Space (sf) 544 existing 658 proposed

New Development?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Addition?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Tenant Width	<u>n/a</u>
Existing Structure(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Renovations?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Building Width	<u>approx 78' x 42'</u>
Change in Use?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Existing Signs?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Width (sf)	<u>120' x 43'</u>
New Sign(s)? (Not in current scope. To be submitted in commercial tenant buildout)	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Area (sf)	<u>5,160</u>	Building Area (sf)	<u>5,804 (includes 3,150 1st floor and 2,654 2nd floor)</u>



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ☐ North arrow, scale, and date of plan
- ☐ Location, dimensions, and area of permeable open space
- ☐ Name, address of the professional who prepared the plan
- ☐ Legend of symbols, patterns, and abbreviations used
- ☐ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ☐ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ☐ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ☐ Location of adjacent buildings
- ☐ Location of refuse storage locations
- ☐ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ☐ Fence location, height, and materials

2. FLOOR PLAN

- ☐ Indicating the dimensions and square footage of proposed development
- ☐ Room use
- ☐ Location of all walls, doors, and windows
- ☐ Location of all plumbing fixtures
- ☐ Location of major appliances/mechanical equipment
- ☐ Stairway location
- ☐ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ☐ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ☐ Location of all exterior lighting, including those mounted on poles and walls
- ☐ Types, style, height, and the number of fixtures
- ☐ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ☐ Proposed Signage with overall height, width, and materials
- ☐ Building Elevation (including building width and height)
- ☐ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ☐ Name and address of professional who prepared the plan.
- ☐ Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ☐ All landscape plans shall meet the minimum requirements of site plans
- ☐ Legend defining all symbols, patterns, and abbreviations used
- ☐ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ☐ Description of all tree preservation measures on-site and in the public right-of-way
- ☐ Width, depth, and area of landscaped area(s)
- ☐ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ☐ Photographs of the subject site and/or building

8. NARRATIVE

- ☐ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ☐ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- ☐ Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000