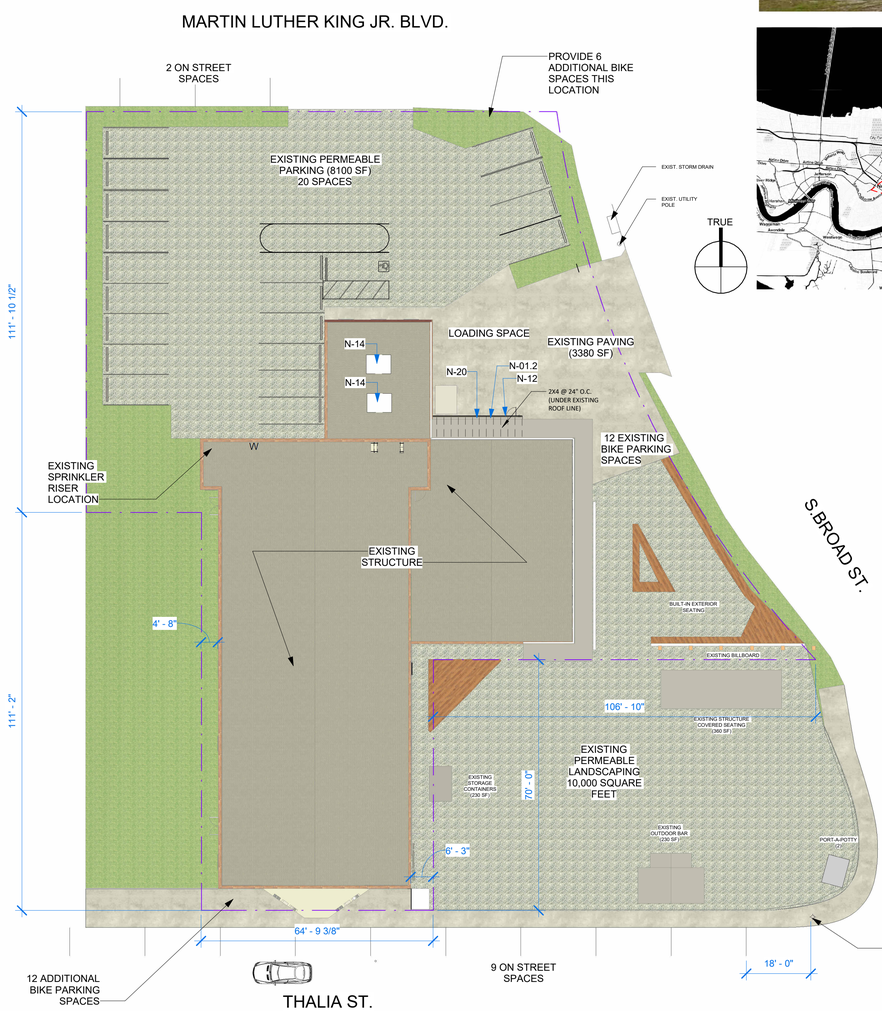
PERMIT DRAWINGS

GEM THEATER

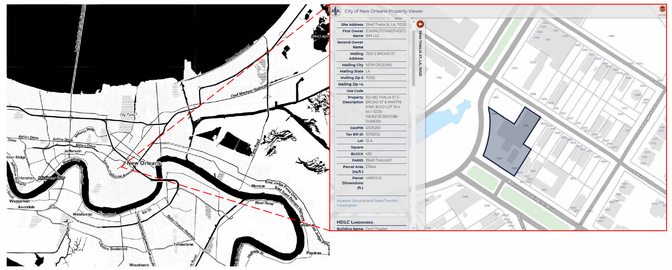
3940 THALIA ST
NEW ORLEANS LA, 70125

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
6. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
8. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
9. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
10. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT



1 SITE PLAN - TITLE SHEET
1" = 20'-0"



SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET / SITE PLAN	04/28/25			
A1.1	LIFE SAFETY	04/28/25			
A1.2	ADA/ADAAG GUIDELINES	04/28/25			
A1.3	NOTES	04/28/25			
A2.1	FLOOR PLAN - EXISTING / DEMO	04/28/25			
A2.2	FLOOR PLANS - PROPOSED	04/28/25			
A2.3	ENLARGED PLANS & SCHEDULES	04/28/25			
A3.1	EXTERIOR ELEVATIONS - EXISTING	04/28/25			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	04/28/25			
A4.1	BUILDING SECTIONS / DETAILS	04/28/25			
A4.2	3D PERSPECTIVES	04/28/25			
A5.1	REFLECTED CEILING PLAN	04/28/25			
A5.2	PLUMBING RISER DIAGRAM	04/28/25			

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE/DRAINAGE.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-14	NEW ROOF PACKAGED MECH. UNIT FOR PARTY ROOMS AREAS
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)

31 SPACES TOTAL PROVIDED + 1 LOADING
20 OFF STREET
11 ON STREET
+ 1 LOADING SPACE

11,797 SF GROSS
INDOOR ENTERTAINMENT: 9,946 SF (/300 = 33 SPOTS)
KITCHEN/BAR: 1851 SF (/500 = 4 SPOTS)

37 SPOTS TOTAL

- 2 SPOTS FOR EXTRA BIKE RACKS (18 TOTAL ON SITE)
6 REQ'D

35 SPOTS REQ'D
31 PROVIDED

SEEKING VARIANCE FOR 4 PARKING SPOTS

TOTAL LOT AREA: 27300 +/-
13476 PERMEABLE / OPEN = 49%

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING BREWERY BEING CONVERTED INTO INDOOR ENTERTAINMENT VENUE / BASEBALL TRAINING FACILITY. OCCUPANCY A-2. BUILDING IS A DESIGNATED LANDMARK. NEW MEP AS REQUIRED FOR NEW KITCHEN AND BOH AREAS.

PERMIT TYPE
RENOVATION (STRUCTURAL)

SFM, LEVEL OF ALTERATION
LEVEL 2

OWNER:
ADAM RITTER
3940 THALIA ST
NEW ORLEANS, LA 70125
ADAM@ZONYMASHBEER.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: C-1 GENERAL COMMERCIAL DISTRICT
OVERLAY DISTRICT: EC ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT
- B&B IZD
- COMMERCIAL STR IZD
- NON-COMMERCIAL STR IZD

HDLC DISTRICT: NONE

DESIGNATED HISTORICAL LANDMARK

PROPOSED DEVELOPMENT:
BUILDING SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.
PROJECT SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.
SCOPE OF WORK SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.

NO. OF STORIES: 2
PROJECT ON FLOOR: 1 & 2

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE III-B ORDINARY

OCCUPANCY TYPE:
IBC: ASSEMBLY (A-2)

NFPA:
ASSEMBLY: 7548 SF
BUSINESS: 2762 SF

SPRINKLERED / FIRE ALARM:
YES / YES (MONITORED)

APPLICABLE CODES:
- 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 LOUISIANA STATE PLUMBING CODE
- NFPA 70, 2020 NATIONAL ELECTRIC CODE
- 2021 INTERNATIONAL FUEL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 ADA ADDA GUIDELINES
- 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

MEP VALUE OF WORK

MECHANICAL ENGINEER:
THE MECHANICAL SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

PLUMBING ENGINEER:
THE PLUMBING SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

ELECTRICAL ENGINEER:
THE ELECTRICAL SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

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GEM THEATER
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No.	Description	Date

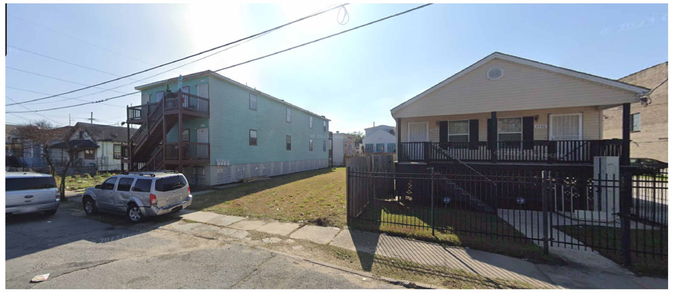
NOT FOR CONSTRUCTION

TITLE SHEET / SITE PLAN

PROJECT STATUS
Date 04/28/25

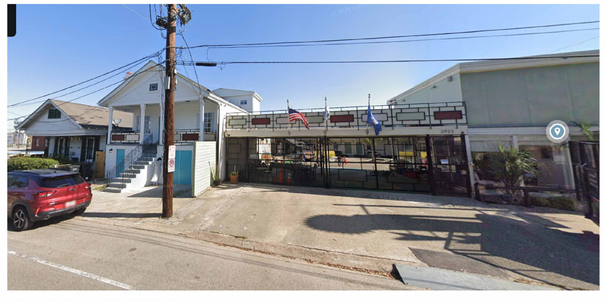
A1.0

NEIGHBORING PROPERTIES - 3945 THALIA



NEIGHBORING PROPERTIES - 3928 THALIA

NEIGHBORING PROPERTIES - 3944 MLK



NEIGHBORING PROPERTIES - 3923 MLK

STORM SEWER AND FENCE / UTILITY POLE

12 EXISTING BIKE RACKS THIS LOCATION

1 3D AXON - FIRST FLOOR

2 3D View 2

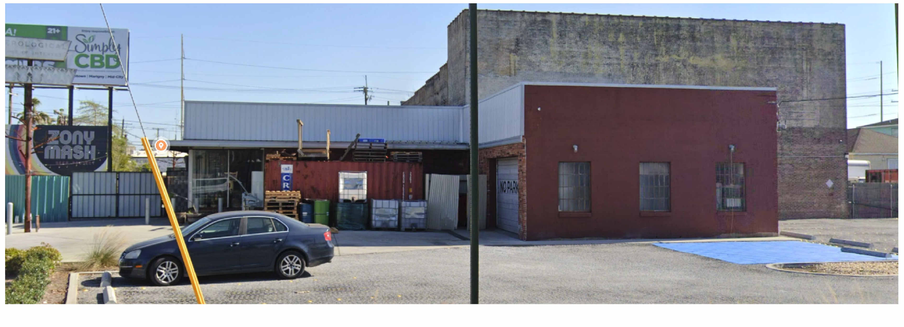
1. Development shall promote safe, convenient, and attractive pedestrian and bicycle access.
   THE PROJECT INCLUDES 24 BIKE RIKES FOR BICYCLE ACCESS - SEE SITE PLAN ABOVE

2. Compact neighborhood centers shall be created at major intersections to the extent possible in order to support transit.
   NOT APPLICABLE AT THIS PROJECT AS IT IS A HISTORIC LANDMARK WITH A SPECIFIC USE AND THE OPEN AREA ON THE SITE IS REQUIRED FOR PARKING

3. Development shall ensure compatibility between commercial uses and surrounding residential areas.
   THE DEVELOPMENT IS COMPATABILE BETWEEN COMMERCIAL USES AND SURROUNDING RESIDENTIAL. THE MATERIALITY OF THE BUILDING MATCHES THE ADJACENT BLOCK/BRICK STRUCTURES AS WELL AS THE RESIDENTIAL BUILDINGS WITH WOOD SIDING. (THE ADDITION WILL HAVE HARDIE SIDING)

4. The architectural design should be consistent with the context, character, scale and materials of structures in the adjacent areas.
   THE ADDITION WILL BE BUILT WITH HARDIE SIDING AND METAL ROOFING AND IS SIMILAR IN AESTHETIC TO THE SURROUNDING NEIGHBORHOOD

5. Neon signage is prohibited on the interior or exterior of windows, other than an “open” sign.
   NO NEON SIGNS WILL BE PROVIDED



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No.	Description	Date

NOT FOR CONSTRUCTION

3D PERSPECTIVES

PROJECT STATUS

Date 04/28/25

A4.2

SPRINKLER RISER LOCATION

FIRE ALARM ANNUNCIATOR AND STROBE. EXISTING.

1 .1ST FLOOR - LIFE SAFETY
1" = 10'-0"

OCCUPANCY TYPE

- ASSEMBLY
- CIRCULATION
- KITCHEN
- SPECIALTY (VR)
- STAGE
- STORAGE

ADA SEATING CALCULATION (ADA)

BAR : 25 SEATS
FLOOR: 16 SEATS

31 SEATS TOTAL x 5% ADA REQ. =
2 SEATS REQUIRED
4 SEATS PROVIDED

NOTE: FIXED TABLE(S) AND BAR SEATING ARE TO RECEIVE THE SAME CUSTOMER SERVICE AND A FIRST COME FIRST SERVICE BASIS

NFPA LEGEND

- 1 HOUR FIRE RATED PARTITION
- 4 HOUR RATED - UL U901 - **EXISTING**
- EMERGENCY DIRECTIONAL LIGHT. RE: ELECTRICAL DRAWINGS
- TRAVEL DISTANCE
- PROPERTY LINE
- 20 MIN — DOOR & FRAME FIRE RATING RE: DOOR SCHEDULE

FIRE EXTINGUISHERS

PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS EXTINGUISHERS: TYPE, SIZE, AND CAPACITY FOR EACH INDICATED:

- CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER
- F-B — CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE & OIL

OCCUPANCY ROOM TAG LEGEND

NAME OF ROOM OR SPACE	RM. NAME
ROOM NUMBER	RM. #
AREA CLASSIFICATION	OCCUPANCY
ALLOWED SF PER OCCUPANT	SF PER OCC
SF OF ROOM	RM SF.
TOTAL OCCUPANTS OF ROOM	# OF OCC.

1. PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS :
CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER
CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE AND OIL
CLASS C EXTINGUISHERS ARE SUITABLE FOR USE ONLY ON ELECTRICALLY ENERGIZED FIRES
CLASS D EXTINGUISHERS ARE DESIGNED FOR USE ON FLAMMABLE METALS

GENERAL NOTES - FIRE ESTINGUISHERS

OCCUPANCY NOTES

OCCUPANCY CLASSIFICATION: A-2, ASSEMBLY
TOTAL OCCUPANTS: 896

ACCESSIBLE SEATING

INTERIOR SEATING:
37 SEATS X 5% = 2 ADA REQUIRED

COOKING EQUIPMENT PROTECTION:
1. NFPA 96 10.1.1 FIRE-EXTINGUISHING EQUIPMENT FOR THE PROTECTION OF GREASE REMOVAL DEVICES, HOOD EXHAUST PLENUMS, AND EXHAUST DUCT SYSTEMS SHALL BE PROVIDED.
2. NFPA 96 10.1.2 COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND THAT MIGHT BE A SOURCE OF IGNITION OF GREASE IN THE HOOD, GREASE REMOVAL DEVICE, OR DUCT SHALL BE PROTECTED BY FIRE-EXTINGUISHING EQUIPMENT.
3. NFPA 9610.1.3 FUME INCINERATORS, THERMAL RECOVERY UNITS, AIR POLLUTION CONTROL DEVICES, OR OTHER DEVICES INSTALLED IN THE EXHAUST DUCT, SHALL BE PROTECTED BY AN AUTOMATIC FIRE-EXTINGUISHING SYSTEM.

GENERAL NOTES - LIFE SAFETY RESTAURANT/BAR

1. U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 17,4-4.5). (MIN. 2A-10B-C).
2. INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (O-450).
3. INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2.
4. EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9.
5. DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.
6. FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
7. FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
8. AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.

GENERAL NOTES - LIFE SAFETY

1. THE EXISTING FIRE SUPPRESSION SYSTEM SHALL BE EXTENDED PROVIDING COVERAGE TO THE RENOVATED SPACE. THE SYSTEM SHALL COMPLYING WITH NFPA 13-2019, THE 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS AND 2021 INTERNATIONAL EXISTING BUILDING CODE.
2. INSTALLATION SHALL BE ACC0MPLISHED BY A CONTRACTOR WHO IS DULY LICENSED AND ACCREDITED IN THE INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS AND FIRE PROTECTION EQUIPMENT FOR THE PAST THREE YEARS.
3. NEW SPRINKLER HEADS SHALL MATCH THE EXISTING SPRINKLERS.
4. PIPING SHALL BE FERROUS PIPING (WELDED AND SEAMLESS), ASTM A795, ASTM A53 OR ASTM A153 IN ACCORDANCE WITH NFPA 13.
5. CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL SPRINKLERS AND SPRINKLER PIPING WITH OTHER PIPES, DUCTS, LIGHTS, EQUIPMENT, CONDUIT, STRUCTURAL SYSTEMS, CEILING SUPPORTS, AND FRAMING BEFORE INSTALLATION. SPRINKLER PIPING SHALL NOT BE INSTALLED WHERE ITS LOCATION INHIBITS EQUIPMENT FILTER AND MAINTENANCE ACCESS OR INFRINGES UPON CLEARANCE DICTATED BY THE NATIONAL ELECTRIC CODE. ALL SPRINKLERS TO BE CENTERED IN CEILING TILES -
6. THE SPRINKLER SYSTEM SHALL BE LIGHT HAZARD DESIGNED TO PROVIDE 0.10 GPM/SQ. FT. OVER 1500 SQ. FT. THE SYSTEM SHALL BE WET USING 155 DEG. F. SPRINKLER HEADS AND COVER NO MORE THAN 225 SQ. FT. PER HEAD.
7. PROVIDE U.L. APPROVED FIRESTOPPING AT ALL LOCATIONS WHERE PIPES PENETRATE RATED WALL ASSEMBLIES.
8. CAREFULLY COORDINATE LOCATIONS OF SPRINKLERS WITH SURFACE MOUNTED LIGHT FIXTURES. MAINTAIN OBSTRUCTION DISTANCES AND SPACING IN ACCORDANCE WITH THE MANUFACTURERS LISTINGS AND NFPA REQUIREMENTS.
9. THE EXISTING SPRINKLER SYSTEM SERVING AREAS NOT BEING RENOVATED MUST BE MAINTAINED DURING CONSTRUCTION.

GENERAL NOTES - FIRE SPRINKLER (EXISTING)

1/8" = 1'-0"

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No.	Description	Date

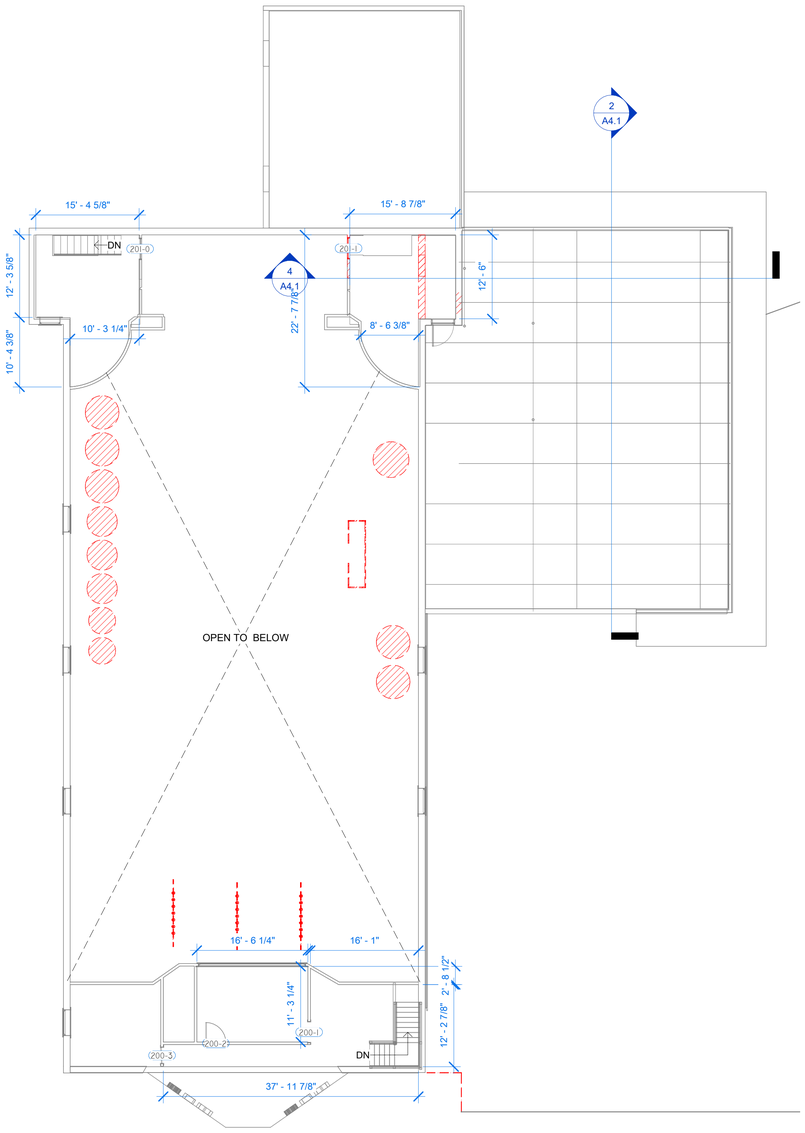
NOT FOR CONSTRUCTION

LIFE SAFETY

PROJECT STATUS

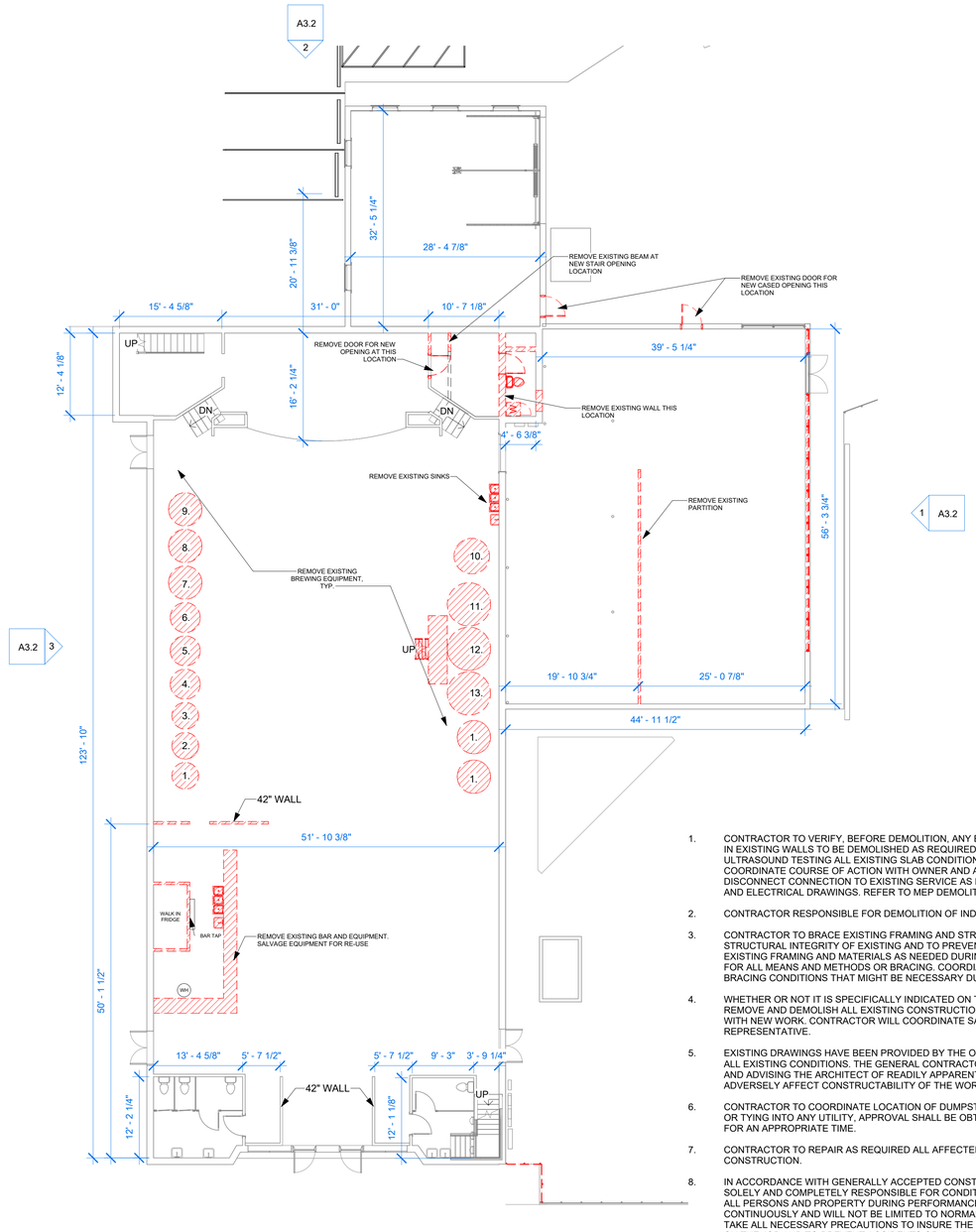
Date 04/28/25

A1.1



2ND FLOOR

3 | .2ND FLOOR - 1 EXISTING
3/32" = 1'-0"



1ST FLOOR

1 | .1ST FLOOR
3/32" = 1'-0"

4
A3.2

1. CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
3. CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
4. WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
5. EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
6. CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
7. CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

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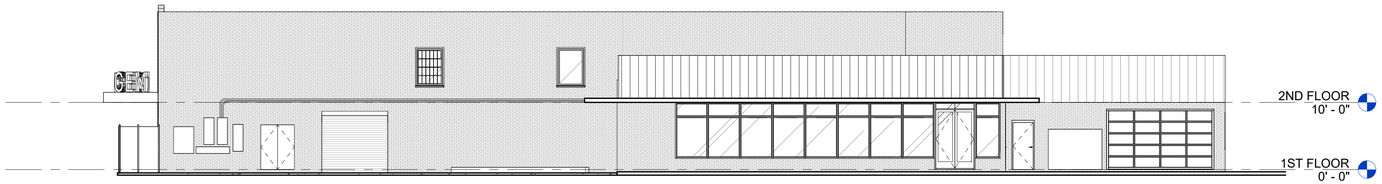
No.	Description	Date

NOT FOR CONSTRUCTION

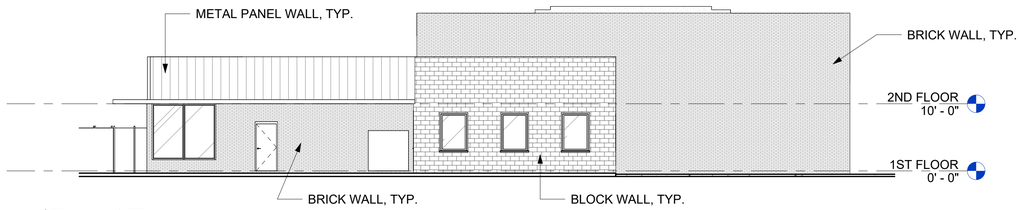
FLOOR PLAN - EXISTING / DEMO

PROJECT STATUS
Date 04/28/25

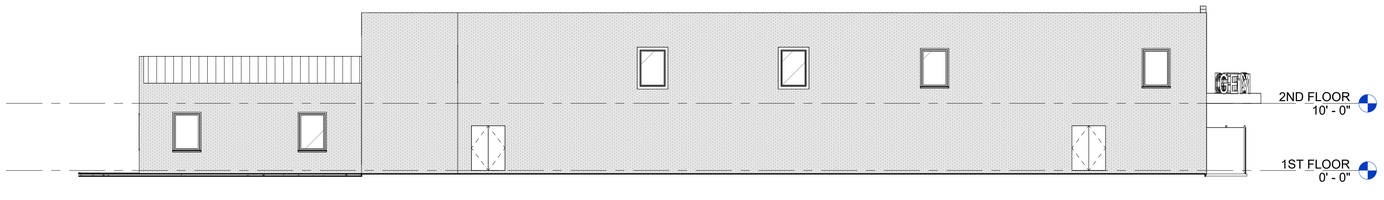
A2.1



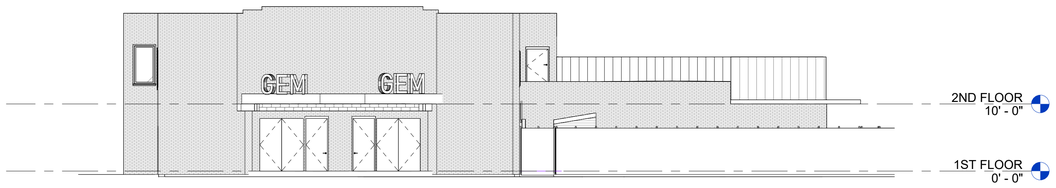
1 Elevation EAST
3/32" = 1'-0"



2 Elevation NORTH
3/32" = 1'-0"



3 Elevation WEST
3/32" = 1'-0"



4 Elevation SOUTH
3/32" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text

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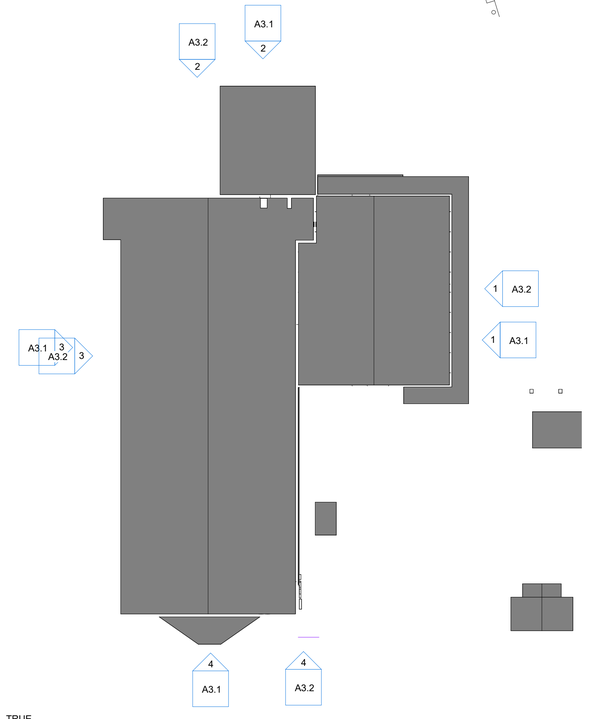
GEM THEATER
3940 THALIA ST
NEW ORLEANS LA, 70125



TRUE
KEY PLAN - ELEVATION

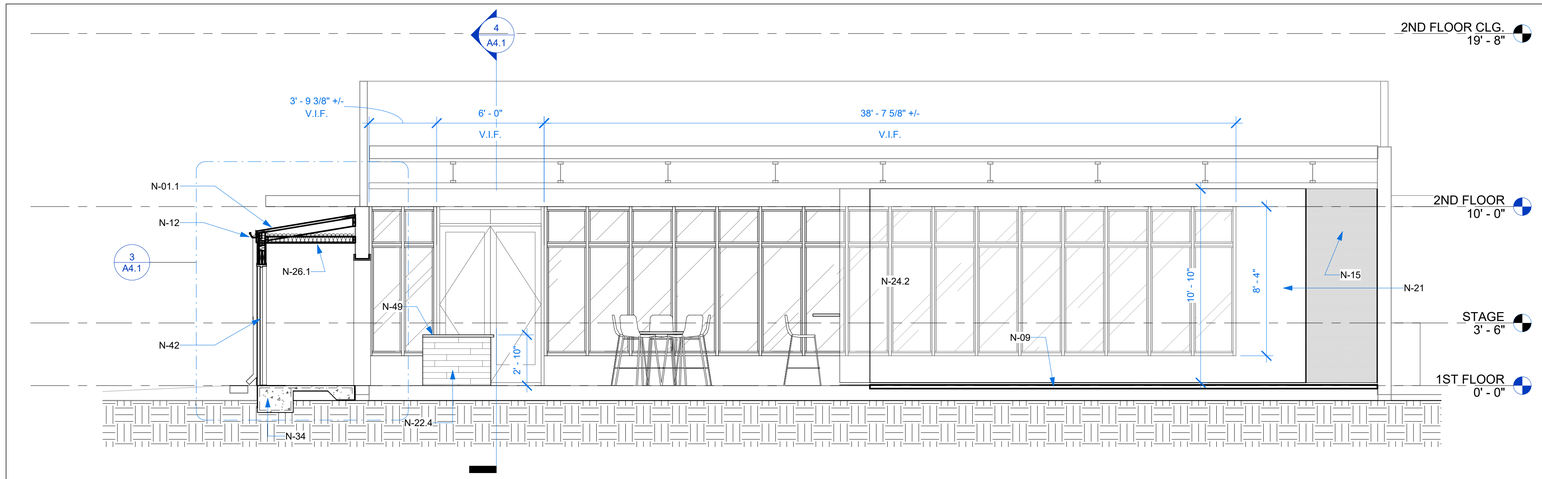
No.	Description	Date

NOT FOR CONSTRUCTION

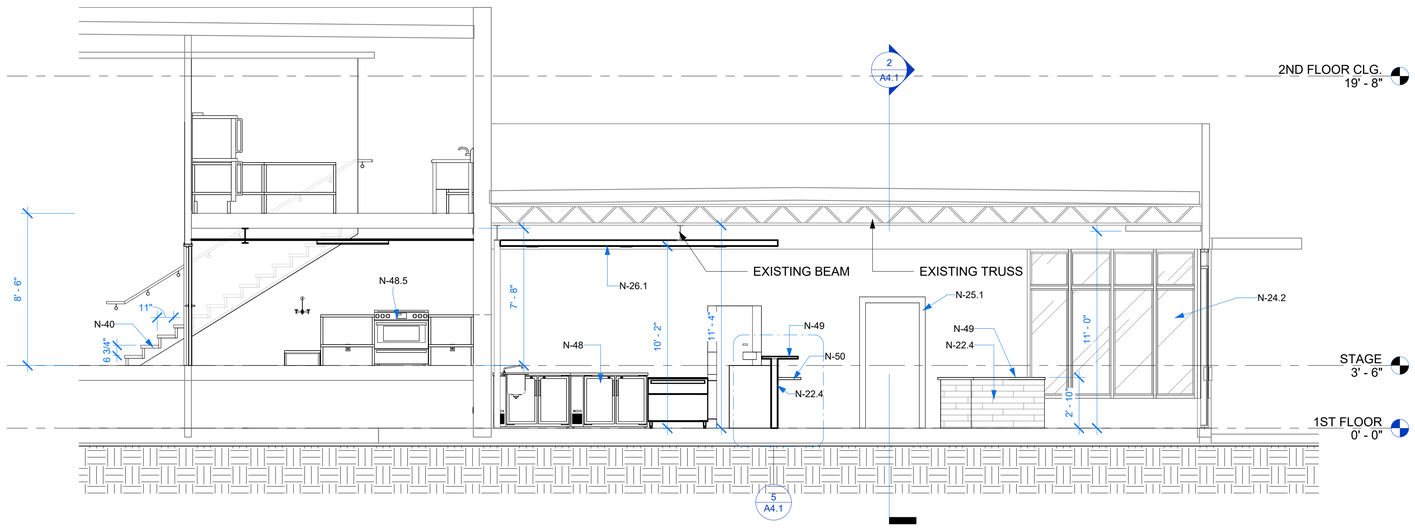
EXTERIOR ELEVATIONS - EXISTING

PROJECT STATUS
Date 04/28/25

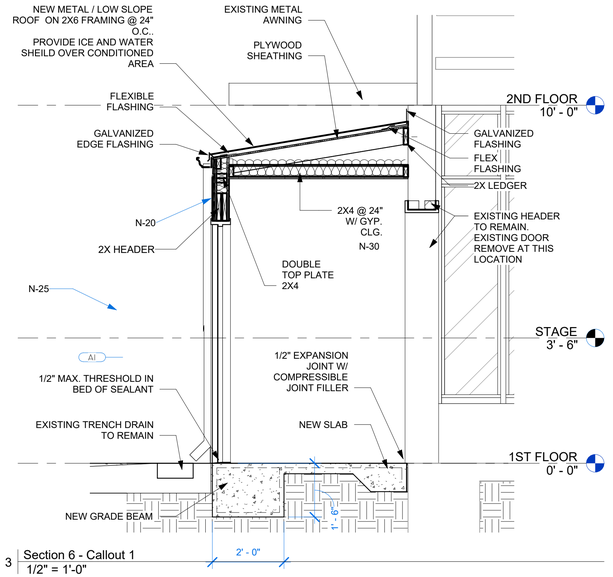
A3.1



2 | Section 6
1/4" = 1'-0"



4 | BUILDING SECTION 1
1/4" = 1'-0"



3 | Section 6 - Callout 1
1/2" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.1	STANDING SEAM METAL ROOF OVER SHEATHING AND WEATHER BARRIER W/ RIGID INSULATION. RE: DETAILS / ASSEMBLIES.
N-09	NEW INDOOR TURF AT CAGE AREAS, TYP.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-15	V.R. MACHINES BY OWNER. COORDINATE SPACE REQUIREMENTS AND MOUNTING REQUIREMENTS WITH SUPPLIER.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-21	SPORTS CAGE / NETTING BY SUPPLIER. COORDINATE WITH OWNER.
N-22.4	HALF WALL W/ COUNTER TOP. COORDINATE CLADDING SELECTION WITH OWNER. PROVIDE OUTLETS AND HOOKS UNDER BAR.
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-26.1	INTERIOR GYP. CLG., TYP. PROVIDE 2X FURRING ON THE FLAT AS REQ'D AT JOIST/FLOOR FRAMING. LEVE 4 FINISH, TYP. PROVIDE EASILY WASHABLE SURFACE AT KITCHEN / BAR AREAS.
N-30	R-38 BATT INSULATION AT CEILING REQUIRED PER CODE.
N-34	GRADE BEAM AND SLAB W/ #3 REBAR REINFORCEMENT. RE: DETAIL
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-42	REPAIR / REPLACE ANY MISSING OR DAMAGED WOOD TRIM IN KIND.
N-48	KITCHEN EQUIPMENT. APPLIANCES AT THIS LOCATION TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE. CONTRACTOR TO PROVIDE PROTECTION AT APPLIANCES AND FLOOR UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS. PROVIDE POWER / WATER / DRAINAGE AT NEW EQUIPMENT LOCATIONS, TYP.
N-48.5	CONVECTION OVEN. COORDINATE WITH OWNER & KITCHEN SUPPLIER
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-50	ADA FOLD OUT COUNTER @ 34" A.F.F. 36" WIDE

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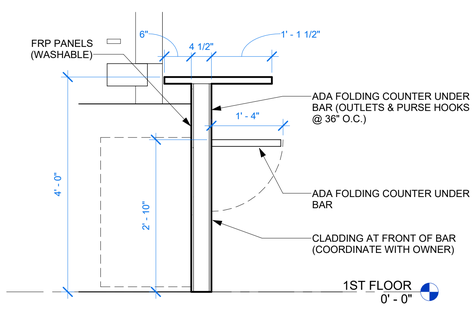
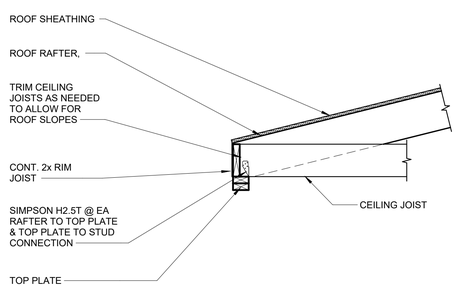
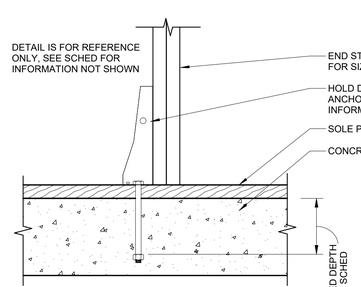


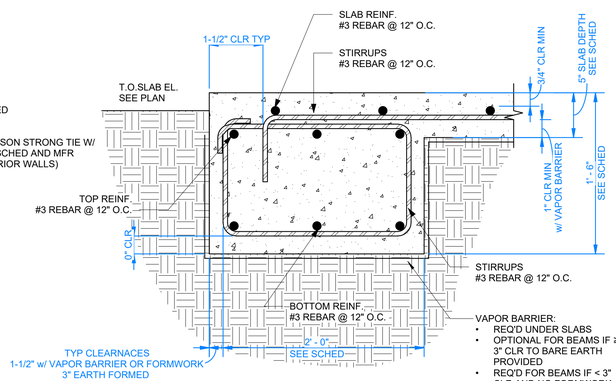
5 | COUNTER DETAIL
3/4" = 1'-0"



6 | TYP. ROOF FRAMING @ CEILING
3/4" = 1'-0"



7 | SHEAR WALL TIE DOWN DETAIL - CONCRETE
1 1/2" = 1'-0"



1 | TYPICAL EXTERIOR CONCRETE BEAM DETAIL
1 1/2" = 1'-0"

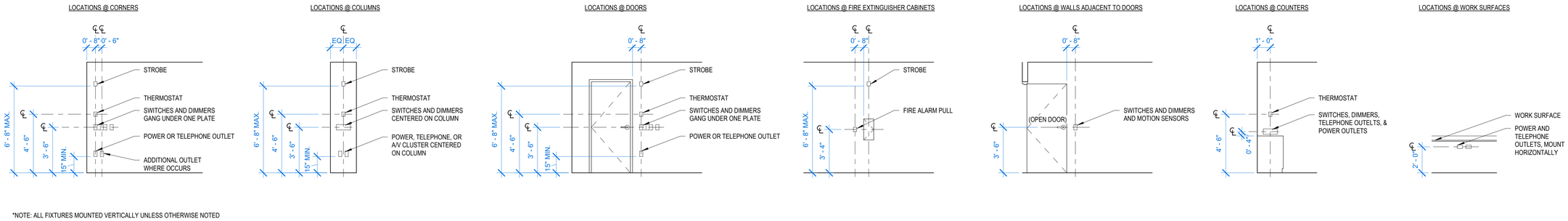
No.	Description	Date

NOT FOR CONSTRUCTION

BUILDING SECTIONS / DETAILS

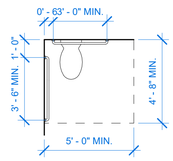
PROJECT STATUS
Date 04/28/25

A4.1

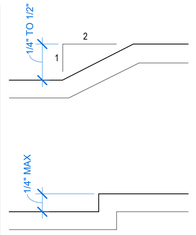


*NOTE: ALL FIXTURES MOUNTED VERTICALLY UNLESS OTHERWISE NOTED

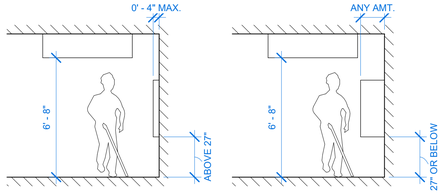
1 WALL FIXTURE MOUNTING LOCATIONS



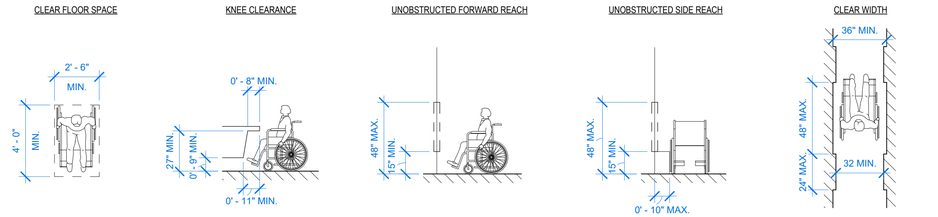
2 W.C. & GRAB BAR LAYOUT



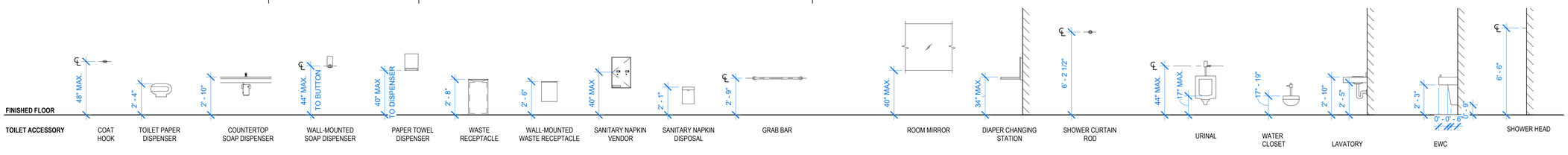
3 THRESHOLDS



4 PROTRUDING OBJECTS

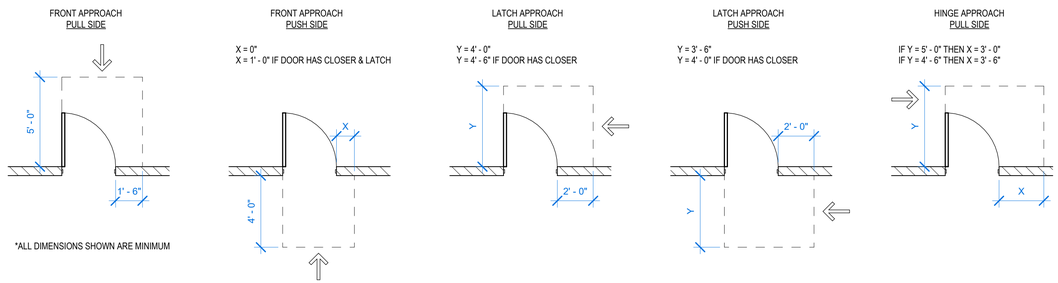


5 REACH RANGES



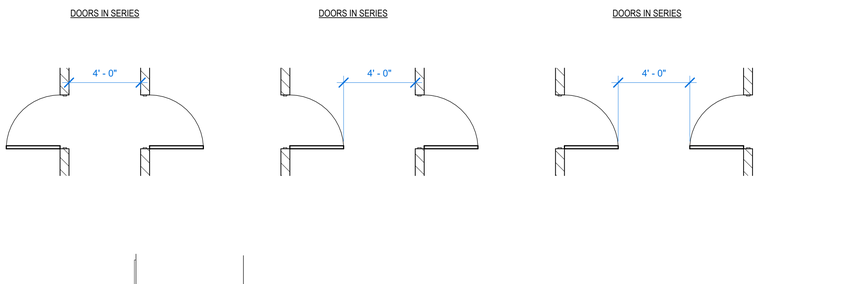
*NOTE: SOME TOILET ACCESSORIES ARE NOT APPLICABLE TO THE CONTRACTOR'S INSTALLATION AND ARE OWNER INSTALLED. ALL BLOCKING, WALL SUPPORTS, GROMMETS, CONSTRUCTION COORDINATION, APPLICABLE FIXTURES, AND TOILET ACCESSORIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW DRAWINGS FOR MORE INFORMATION.

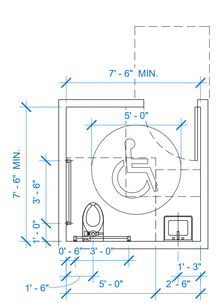
6 TYPICAL RESTROOM MOUNTING ELEVATIONS



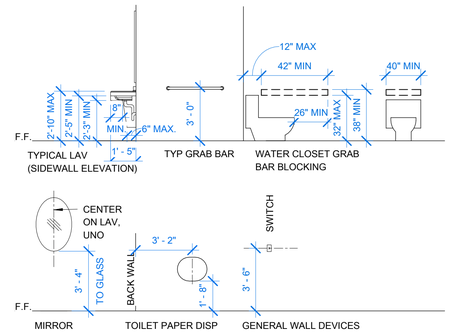
*ALL DIMENSIONS SHOWN ARE MINIMUM

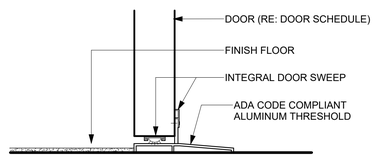
7 TYPICAL DOOR CLEARANCES





8 ADA RESTROOM DETAILS
1/4" = 1'-0"





9 DOOR DETAILS - EXTERIOR ADA SILL
3" = 1'-0"

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No.	Description	Date

NOT FOR CONSTRUCTION

ADA/ADAAG GUIDELINES

PROJECT STATUS
Date 04/28/25

A1.2

INSULATION

INSULATION R-VALUE REQUIREMENTS: 1) CEILING: R-38, 2) WALLS: R-13, 3) FLOORS: R-13

A. BATT INSTALLATION GUIDELINES: GRADE I – MINOR DEFECTS: OCCASIONAL VERY SMALL GAPS ARE ALLOWED. VOIDS CAN'T EXTEND FROM THE INTERIOR TO THE EXTERIOR (I.E. THE FULL WIDTH OF A WALL CAVITY). THE PRODUCT IS INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION AND CUT TO FIT AROUND ELECTRICAL JUNCTION BOXES AND IS SPLIT AROUND WIRES AND PIPES. COMPRESSION OR INCOMPLETE FILL AMOUNTING TO 2% OR LESS, IF THE EMPTY SPACES ARE LESS THAN 30% OF THE INTENDED FILL THICKNESS, ARE ACCEPTABLE FOR GRADE I.

B. CLOSED-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN FLOOR FRAMING JOISTS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE =13.
   A. TYPE II, MINIMUM DENSITY OF 1.5 IB/CU. FT. (24 KG/CU. M.)

C. OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN EXTERIOR STUDS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE = 13.
   A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU. M.)

D. OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY, BETWEEN ROOF FRAMING MEMBERS AND AS DETAILED IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS TO A THICKNESS PRODUCING AN R-VALUE = 30.
   A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU.M.)

1. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE AIR SEALED
2. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED WITH INSULATION
3. EAVE BAFFLE: FOR AIR-PERMEABLE INSULATION IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL TO OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.
4. ALL ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE INSULATED TO THE SAME R-VALUE REQUIRED FOR THE WALL OR CEILING IN WHICH THEY ARE INSTALLED.
5. THE 'LOUISIANA INSULATION CERTIFICATE' SHALL BE PERMANENTLY POSTED IN A UTILITY AREA:

State of Louisiana Insulation Certificate
(Permanently attach this certificate in a utility area near the Energy Efficiency Certificate)

Date Installed _______________
Permit Number _______________

Area Insulated	Total R-value		Installed Thickness (3.5, 5.5, etc.)	Spray Foam Density (lbs./ft.³)	Ignition Barrier Provided (Y/N)	Thermal Barrier (Y/N)
Attic roofline (under sheathing)		at	inches			
Attic floor (above ceilings)		at	inches			
Cathedral ceiling		at	inches			
Exterior Walls		at	inches			
Knee walls		at	inches			
Band joist (between levels)		at	inches			
Under first floor (in crawl space)		at	inches			
Basement/crawl space walls		at	inches			

Jobsite Address	
General Contractor License No.	
Insulation Contractor (firm)	
Installer/Applicator Name	
Product Manufacturer(s)	
Product Name(s) & batch no.	

Supplemental Packet Contents:	Uploaded to permitting office (X)	Copy to General Contractor (X)	Copy to Homeowner (X or No Owner)
Insulation Certificate (copy)			
Insulation MSDS or Finished Foam Safety Data Sheets (SDS)			
Product Technical Data Sheets			
Spray Foam Applicator's Training Certificate (from manufacturer or SPFA)			
Performance Testing Report (blower door) with name of 3rd party provider			

GENERAL NOTES - INSULATION

1. CONSTRUCT ALL FRAMING TRUE AND SQUARE USING #2 SYP OR SPRUCE MATERIALS. PROVIDE PRESSURE TREATED FRAMING AT INTERIOR WET AREAS AND EXTERIOR DECK & PORCH LUMBER EXPOSED TO THE ELEMENTS.
2. TREATED MATERIALS SHALL BE OF GRADE AS REQUIRED BY CONDITION AND KILN DRIED AFTER TREATMENT.
3. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL).
4. SEAL ALL ROUGH OPENINGS INTERIOR CAVITY VOIDS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO ENCLOSING WITH FINISH TRIM.

GENERAL NOTES - FRAMING

STRUCTURAL

1. USE ONLY STAINLESS STEEL, COATED, OR HOT DIPPED GALVANIZED FASTENERS FOR EXTERIOR CONNECTIONS OR TREATED WOOD CONNECTIONS.
2. SECURE WIND ANCHORS IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS FOR LOADS GENERATED BY 144 MPH WIND SPEED.
3. SOLID SHEATH ALL EXTERIOR WALLS WITH 1/2" WINDSTORM FULL HEIGHT SHEATHING PANELS TO SPAN FRAMING CONNECTIONS SECURING CAP AND BOTTOM PLATES.
4. INSTALL BLOCKING AT ALL PANEL EDGES.
5. SECURE PLYWOOD WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS (OR EQUAL) @ 6" @ EACH SIDE, 3" STAGGERED @ ENDS & 12" @ INTERMEDIATE FRAMING.
6. JOIST TO BAND JOIST - FACE NAIL 3-16P COMMON
7. JOIST TO SILL - TOE NAIL 3-8P RING SHANK COMMON
8. BRIDGING TO JOIST - TOE NAIL 3-8P COMMON
9. BOTTOM PLATE TO JOIST OR BLOCKING - FACE NAIL 16P RING SHANK COMMON @ 8" STAGGERED.
10. TOP OR BOTTOM PLATE TO STUD - END NAIL 2-16P COMMON
11. STUD TO BOTTOM PLATE - TOE NAIL 4-8P COMMON
12. DOUBLE STUDS - FACE NAIL 10P COMMON @ 16"
13. CAP PLATE - FACE NAIL 2-10P COMMON @ 16"
14. TOP PLATE LAPS AND INTERSECTIONS - FACE NAIL 3-10P COMMON
15. CEILING JOIST/RAFTERS TO CAP PLATE - TOE NAIL 3-8P COMMON
16. CEILING JOIST LAPS OVER PARTITIONS - FACE NAIL 4-12P COMMON
17. RAFTER LAPS OVER BEARING - FACE NAIL 4-12P COMMON EACH END
18. BUILT-UP CORNERS & T'S - FACE NAIL 16P COMMON @ 16"
19. BUILT-UP HEADERS OF 3 MEMBERS - FACE NAIL 20P @ 16" EACH FACE STAGGERED & 2 EACH SPLICE
20. 3/4" PLYWOOD FLOOR DECK - FACE NAIL 8P COMMON RING SHANK - 6" @ SIDES, ENDS AND INTERMEDIATE FRAMING.
21. 5/8" PLYWOOD ROOF SHEATHING - INCORPORATE SPACING CLIPS @ 24", FACE NAIL WITH BOSTITCH HURRIQUAKE 2,5" HQ SHANK LARGE HEAD COMMON NAILS@ 6" @ PERIMETER SIDES, & 12" @ INTERMEDIATE FRAMING.
22. ROOFING SHINGLES - 6 GALV. 1.25" ROOFING NAILS PER SHINGLE (DADE PATTERN).

GENERAL NOTES - FRAMING CONNECTORS

CONCRETE AND REINFORCEMENT NOTES:
1. CONCRETE: ACI 301-89 SPECIFICATIONS, NORMAL WEIGHT (LATEST REVISION).
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 3000 PSI UNLESS OTHERWISE NOTED.
3. REINFORCING STEEL BARS: ASTM A615
4. WELDED WIRE MESH: ASTM A185
5. GRADE OF REINFORCING STEEL: GRADE 60.
6. REINFORCING DETAILS: ACI 315 STANDARDS.
7. ALL WORK WITHIN THE PROPERTY LINE SHALL CONFIRM TO REQUIREMENTS OF THE SEWERAGE AND WATER BOARD OF NEW ORLEANS

GENERAL NOTES - CONCRETE WORK

ROOF

1. CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
   FIELD VERIFY SIZE AND LOCATION OF ALL MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
2. LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
3. COORDINATE LOCATION AND QUANTITY OF DOWNSPOUTS, ROOF DRAINS AND OVERFLOW SCUPPERS.

BASIS OF DESIGN FOR ROOFING SYSTEMS:
ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED
ARCHITECTURAL SHINGLE

GENERAL NOTES - ROOF

FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
1. INTERIOR WALLS:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
2. CEILINGS:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
3. CEILING ABOVE SHOWER ENCLOSURE:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
4. TRIM AND DOORS:
   PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
   TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

ENVELOPE

ROOFING:
1. GLASS-FIBER-REINFORCED ASPHALT SHINGLES BEARING A LIMITED LIFETIME WARRANTY SHALL BE INSTALLED OVER A WARRANTABLE ROOF UNDERLAYMENT COVERING FOR THE ENTIRETY OF THE ROOF SLOPE(S) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS RECOMMENDED BY THE ARMA'S "RESIDENTIAL ASPHALT ROOFING MANUAL" AND THE NRCA'S "THE NRCA ROOFING AND WATERPROOFING MANUAL." PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE. MUST CONFORM TO ASTM D 7158G (130 MPH) RATING.
2. UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS OF THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET (FROM ICC 2018)

EXTERIOR SHEATHING:
1. WALL SHEATHING WITH INTEGRAL WATER-RESISTIVE BARRIER AND AIR BARRIER.
   A. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
   B. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 7/16" THICK SHEATHING (GREEN IN COLOR)
   C. EDGE PROFILE: [SQUARE EDGE] [SELF-SPACING].
   D. FACER: MEDIUM-DENSITY, PHENOLIC-IMPREGNATED SHEET MATERIAL QUALIFYING AS A GRADE D WEATHER-RESISTIVE BARRIER IN ACCORDANCE WITH ICC AC38.
1. ROOF SHEATHING WITH INTEGRAL ROOF UNDERLAYMENT
   a. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
   b. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 1/2" THICK SHEATHING (RED IN COLOR).
   c. EDGE PROFILE: [SQUARE EDGE]

WINDOWS:
1. ALL BEDROOM WINDOWS TO BE EGRESS SIZED APPROVED BY MANUFACTURER
2. WINDOWS TO HAVE A U-FACTOR OF EQUAL OR LESS THAN .40 & A SHGC EQUAL OR LESS THAN .25

EXTERIOR FINISHES:
1. SOFFITS - FIBER-CEMENT SIDING PANELS BEARING A 10-YEAR MATERIAL AND WORKMANSHIP WARRANTY WITH PROFILES AS INDICATED BELOW SHALL BE INSTALLED OVER WEATHER BARRIER AT UNDER SIDE OF EXTERIOR SOFFITS. PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE.
   A. PANEL: 48-INCH WIDE SHEETS WITH SMOOTH TEXTURE.
2. WALLS & TRIM - CEMENTITIOUS FIBER BOARD TRIM & SIDING. SIDING TO BE 6" WIDE WITH SMOOTH PATTERN.
3. PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS BEARING A 10-YEAR FINISH WARRANTY SHALL BE INSTALLED AT HORIZONTAL ROOF EDGES AS INDICATED ON THE DRAWINGS. LOCATE DOWNSPOUTS TO ALIGN WITH EXPOSED PILES OR SCREENING SUPPORT FOR ADEQUATE BRACING. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT DISCHARGE LOCATIONS.
4. SHEET METAL FLASHING AND TRIM: FABRICATE FLASHING AND TRIM TO COMPLY WITH MANUFACTURER 'S STANDARD PROCEDURES AND PROCESSES, AS NECESSARY TO FULFILL INDICATED PERFORMANCE REQUIREMENTS DEMONSTRATED BY LABORATORY TESTING. COMPLY WITH INDICATED PROFILES AND WITH DIMENSIONAL REQUIREMENTS.
   A. STAINLESS STEEL: 26 GA.
5. PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
   A. INTERIOR WALLS:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL),
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
   B. CEILINGS:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
   C. CEILING ABOVE SHOWER ENCLOSURE:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
   D. TRIM AND DOORS:
      A. PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
   E. FIBER/ENGINEERED WOOD SIDING (PRE-PRIMED FROM FACTORY):
      A. 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
      B. PREP-CAULK SHALL BE A MINIMUM OF 60 YEAR PAINTABLE SILICONIZED ACRYLIC, NAIL HOLES AND BLEMISHES TO BE FILLED WITH APPROPRIATE WOOD FILLER. APPLY PAINT BY BRUSH, ROLLER, OR SPRAY. SAND BETWEEN COATS AS NECESSARY
6. CAULKING, SEALING AND INSULATION
   A. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL
   B. TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL). SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO APPLYING INTERIOR TRIM.
7. EXTERIOR PORCH DECKING AND RELATED STAIRS TO BE SEALED WITH A THOMPSONS WATER SEAL OR EQUIVALENT.

GENERAL NOTES - THERMAL ENVELOPE

FLOOD PROOFING

A COMBINATION OF MEASURES THAT MAKE A BUILDING AND ATTENDANT UTILITIES AND EQUIPMENT WATERTIGHT AND SUBSTANTIALLY IMPERMEABLE TO FLOODWATER, WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY TO RESIST FLOOD LOADS.

GENERAL NOTES - DRY FLOODPROOFING

THE USE OF FLOOD DAMAGE-RESISTANT MATERIALS AND CONSTRUCTION TECHNIQUES THAT INTENTIONALLY ALLOW FLOODWATER TO ENTER AND FLOW THROUGH A STRUCTURE WITHOUT CAUSING DAMAGE THAT REQUIRES MORE THAN COSMETIC REPAIRS.

1. FLOOD VENTS TO BE INSTALLED AT A MINIMUM OF 2 EXTERIOR WALLS.
2. THE TOTAL SQUARE INCHES OF THE OPENINGS MUST BE EQUAL TO OR GREATER THAN THE TOTAL SQUARE FOOTAGE OF THE ENCLOSED SPACE.
3. THE BOTTOM OF EACH OPENING CAN BE NO MORE THAN 12 " ABOVE THE GRADE.
4. NO SHEETROCK IS ALLOWED FOR WET-FLOODPROOFING. MUST USE CEMENT FIBER BOARD (HARDIBOARD) OR SIMILAR ON ALL WALL +1' ABOVE BASE FLOOD ELEVATION REQUIREMENT.
5. ALL ELECTRICAL MUST BE INSTALLED ABOVE BFE.

GENERAL NOTES - WET FLOODPROOFING

MEP

1. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL PULL ALL PERMITS RELATED TO WORK AND AS REQUIRED BY THE CITY OF NEW ORLEANS.
2. CONTRACTOR TO VISIT SITE/STRUCTURE WITH OWNER PRIOR TO ACCEPTANCE OF BID TO VERIFY ALL FIELD CONDITIONS AS DEPICTED IN DRAWINGS.
3. WATER SUPPLY LINE TO EXTERIOR WATER HEATER MUST BE COPPER (AND ANY DISTRIBUTION LINES EXPOSED TO EXTERIOR MUST BE COPPER). WATER LINES WITHIN/ATTACHED TO UNDERSIDE OF STRUCTURE SHALL BE COPPER. EXTEND 3/4" WATER LINE FROM EACH PLUMBING FIXTURE GROUP TO EXISTING MAIN WATER DISTRIBUTION LINE. HOT WATER SUPPLY LINES TO BE 3/4" COPPER.
4. PRESSURE TEST SYSTEM TO 150 PSI PRIOR TO CLOSE-UP. SECURE ALL WATER LINES & PROTECT FROM INCOMPATIBLE MATERIALS.
5. SOIL LINES SHALL BE SCHEDULE 40 PVC. SOLVENT WELD ALL JOINTS USING PROPER CLEANER AND GLUE. PROVIDE HANGERS AS REQUIRED TO PROPERLY SUPPORT LINE RUNS BELOW STRUCTURE. THE MINIMUM SLOPE OF ANY SOIL LINE SHALL BE 1/4" PER FOOT. TEST ALL SOIL LINES WITH 10' HEAD PRESSURE PRIOR TO COVER-UP. PROVIDE CLEAN-OUT (SYMBOL 'CO') AS INDICATED ON PLAN.
6. FURNISH ALL FITTINGS & ALL ACCESSORIES AS REQUIRED FOR COMPLETE PLUMBING INSTALLATION (SANS FIXTURES). PROVIDE SUPPLY STOPS FOR ALL FIXTURES, DISHWASHERS, AND ICE MAKERS. PROVIDE HEAVY DUTY PVC P-TRAPS AT ALL LAVATORIES AND SINKS. OWNER TO PROVIDE ALL PLUMBING FIXTURES.
7. PROVIDE NATURAL GAS SERVICE TO WATER HEATER (WHEN UNIT IS GAS FIRED), WASHER/DRYER, AND REAR OF STRUCTURE AS SHOWN ON PLANS (SYMBOL 'GAS'). REFER TO MANUFACTURER'S PRODUCT INFO FOR SIZE OF SERVICE.
8. PROVIDE BRASS HOSE BIBS AS SHOWN ON PLANS (SYMBOL 'HB').

GENERAL NOTES - PLUMBING SYSTEM

1. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (LATEST EDITION), STATE AND PARISH REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE LATEST EDITION AS AMENDED BY THE NATIONAL ELECTRICAL CODE (NFPA-70) AND OTHER APPLICABLE SAFETY CODES AS ENFORCED BY THE SAFETY AND PERMITS OF NEW ORLEANS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 200 EDITION, 2735 BASIC STANDARDS PAGE 47 AND CHAPTER 35 REFERENCE STANDARDS PAGE 48.
2. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED, UNLESS NOTED OTHERWISE.
3. ALL WIRING DEVICES SHALL BE OF THE SPECIFICATION GRADE AND BE AS MANUFACTURED BY SIERRA, HUBBELL, LEVITON, SLATER, GENERAL ELECTRIC OR P&S. DEVICE PLATES SHALL BE SIERRA P LINE SMOOTH PLASTIC OR EQUAL. COLOR OF PLATES AND DEVICES SHALL BE OFF-WHITE.
4. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND OUTLETS ARE SHOWN APPROXIMATELY ONLY.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL NECESSARY DIMENSIONS OR MAKE ACTUAL MEASUREMENTS AT THE JOB SITE.
6. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM.
7. PROVIDE SMOKE DETECTOR INSIDE ALL BEDROOMS (IF APPLICABLE) AND OUTSIDE DOOR IN HALLWAY. PROVIDE SMOKE/CARBON MONOXIDE DETECTOR IN KITCHEN. IF GARAGE IS PRESENT, PROVIDE CARBON MONOXIDE DETECTOR.
8. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

GENERAL NOTES - ELECTRICAL SYSTEM

1. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR THE ASHRAE HANDBOOK OF FUNDAMENTALS.
2. INTERIOR DESIGN CONDITIONS FOR HVAC SYSTEM: THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 DEGREES F FOR HEADING AND MINIMUM OF 75 DEGREES F FOR COOL.
3. HEATING AND COOLING EQUIPMENT SHALL MEET ONE OF THE FOLLOWING EFFICIENCIES:
   1. GREATER THAN OR EQUAL TO 95 AFUE NATURAL GAS FURNACE AND 16 SEER AIR CONDITIONER. 15 SEER WHEN COMMERCIAL.
   2. GREATER THAN OR EQUAL TO 10 HSPF/16 SEER AIR SOURCE HEAT PUMP.
   3. GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP. FOR MULTIPLE COOLING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE COOLING DESIGN LOAD. FOR MULTIPLE HEATING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE HEATING DESIGN LOAD.
4. DUCT SIZING. DUCTS INSTALLED IN A SINGLE DWELLING UNIT SHALL BE IN ACCORDANCE WITH ACCA MANUAL D OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. MECHANICAL COOL SYSTEM DUCTING TO HAVE A MINIMUM R-VALUE OF R8 WHEN LOCATED OUTSIDE OF THE CONDITIONED SPACE. IF LOCATED INSIDE THE CONDITIONED SPACE, DUCT INSULATION TO HAVE A MINIMUM R-VALUE OF R6.
6. MECHANICAL DUCTING MAXIMUM HORIZONTAL SAG TO BE MAXIMUM 1/2" PER FOOT
7. HVAC SUPPLY AND RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT.
8. MECHANICAL EXHAUST RATES FOR BATHROOMS SHALL BE 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.
9. PROVIDE TRUE 7-DAY PROGRAMMABLE THERMOSTATS THAT ARE CAPABLE OF AUTOMATIC ON/OFF CONTROL.
10. WHEN COMMERCIAL, THE SUPPLY OF HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE. WHERE HUMIDIFICATION OR DEHUMIDIFICATION OR BOTH IS PROVIDED, NOT FEWER THAN ONE HUMIDITY CONTROL DEVICE SHALL BE PROVIDED FOR EACH HUMIDITY CONTROL SYSTEM. WHERE COOLING IS PROVIDED, THE SYSTEM SHALL BE CAPABLE OF LIMITING RELATIVE HUMIDITY LEVELS TO 60% RELATIVE HUMIDITY. SUPPLEMENTAL DEHUMIDIFICATION EQUIPMENT MAY BE USED TO MEET THIS REQUIREMENT.

MECHANICAL EQUIPMENT EXTERIOR LOCATION GUIDELINES:
1. GROUND-BASED OR WALL-MOUNTED MECHANICAL EQUIPMENT (WITH LESS THAN 7 FEET OF VERTICAL CLEARANCE) INCLUDING, BUT NOT LIMITED TO, HEATING, VENTILATING, GEOTHERMAL ENERGY, AND AIR-CONDITIONING (HVAC) UNITS, SWIMMING POOL EQUIPMENT, AND BACK-UP ELECTRICAL GENERATORS, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE LOCATED AT LEAST TWO (2) FEET FROM THE INTERIOR SIDE OR REAR PROPERTY LINE. THIS TWO (2) FOOT DISTANCE SHALL REMAIN OPEN TO THE SKY.
2. WALL-MOUNTED MECHANICAL EQUIPMENT, WITH 7 FEET OR GREATER OF VERTICAL CLEARANCE, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE AT LEAST 18 INCHES FROM THE PROPERTY LINE.
3. GROUND-BASED MECHANICAL EQUIPMENT IS PROHIBITED IN A FRONT OR CORNER SIDE YARD. MECHANICAL EQUIPMENT SETBACKS IN THIS SECTION ONLY APPLY TO MECHANICAL EQUIPMENT IN REQUIRED INTERIOR AND REAR YARDS AND DO NOT APPLY IF THERE ARE NO YARD REQUIREMENTS.
4. HOWEVER, ANY EXISTING GROUND-BASED MECHANICAL EQUIPMENT THAT DOES NOT COMPLY WITH THE LOCATION REQUIREMENTS AS OF THE DATE OF ADOPTION OF THIS ORDINANCE IS CONSIDERED LEGALLY CONFORMING AND MAY BE REPLACED AND REPAIRED.
5. ALL APPROVED GROUND-BASED MECHANICAL EQUIPMENT, INCLUDING, BUT NOT LIMITED TO HVAC UNITS, SHALL BE SCREENED WHEN READILY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY, EXCLUDING ALLEYS. SCREENING MATERIALS MAY BE MASONRY, WOOD, OR LANDSCAPE, AND SHALL EFFECTIVELY SCREEN MECHANICAL EQUIPMENT SO NO PORTION IS READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY. COLOR AND TEXTURE OF A MASONRY WALL SHALL BE COMPATIBLE WITH THE COLOR AND TEXTURE OF THE PRINCIPAL BUILDING ON THE SITE. IF GROUND-BASED MECHANICAL EQUIPMENT IS SCREENED BY AN EXISTING STRUCTURE, FENCE OR LANDSCAPE, SUCH THAT IT IS NOT READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY, IT WILL BE CONSIDERED TO HAVE MET THESE REQUIREMENTS.
6. GROUND-BASED MECHANICAL EQUIPMENT SHALL BE CONSTRUCTED ABOVE BASE FLOOR ELEVATION (BFE), WHEN APPLICABLE. IF THE EQUIPMENT WOULD BE CONSTRUCTED SO THAT IT WILL BE HIGHER THAN A FENCE IN THE INTERIOR SIDE YARD, IT MAY NOT BE LOCATED WITHIN THE INTERIOR SIDE YARD.
7. ANY ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SET BACK AT LEAST SIX (6) FEET FROM ANY WALL OF THE BUILDING TO PERMIT SAFE ACCESS TO THE ROOF AND SHALL NOT BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.

GENERAL NOTES - MECHANICAL SYSTEMS

1. CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL.
2. ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING INSTALLATION.
3. TYPICAL: WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
4. REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISIBLE TO PRIMARY SCALED PLANS.
6. REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

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GEM THEATER
3940 THALIA ST
NEW ORLEANS LA, 70125

No.	Description	Date

NOT FOR CONSTRUCTION

NOTES

PROJECT STATUS

Date 04/28/25

A1.3

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KEYNOTES - SHEET	
Key Value	Keynote Text
N-15	V.R. MACHINES BY OWNER. COORDINATE SPACE REQUIREMENTS AND MOUNTING REQUIREMENTS WITH SUPPLIER.
N-18	METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL, RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-21	SPORTS CAGE / NETTING BY SUPPLIER. COORDINATE WITH OWNER.
N-22	NEW INTERIOR GYP. PARTITION, TYP. RE: WALL SCHEDULES
N-22.4	HALF WALL W/ COUNTER TOP. COORDINATE CLADDING SELECTION WITH OWNER. PROVIDE OUTLETS AND HOOKS UNDER BAR.
N-23	NEW STEEL POST AND FOOTING TO SUPPORT EXISTING STEEL BEAM AT THIS LOCATION.
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-46.2	NEW ADA COMPLIANT TOILET WITH GRAB BARS. RE: ADA GUIDELINES FOR MOUNTING LOCATIONS AND HEIGHTS.
N-48	KITCHEN EQUIPMENT. APPLIANCES AT THIS LOCATION TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE. CONTRACTOR TO PROVIDE PROTECTION AT APPLIANCES AND FLOOR UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS. PROVIDE POWER / WATER / DRAINAGE AT NEW EQUIPMENT LOCATIONS, TYP.
N-48.5	CONVECTION OVEN. COORDINATE WITH OWNER & KITCHEN SUPPLIER
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-50	ADA FOLD OUT COUNTER @ 34" A.F.F. 36" WIDE

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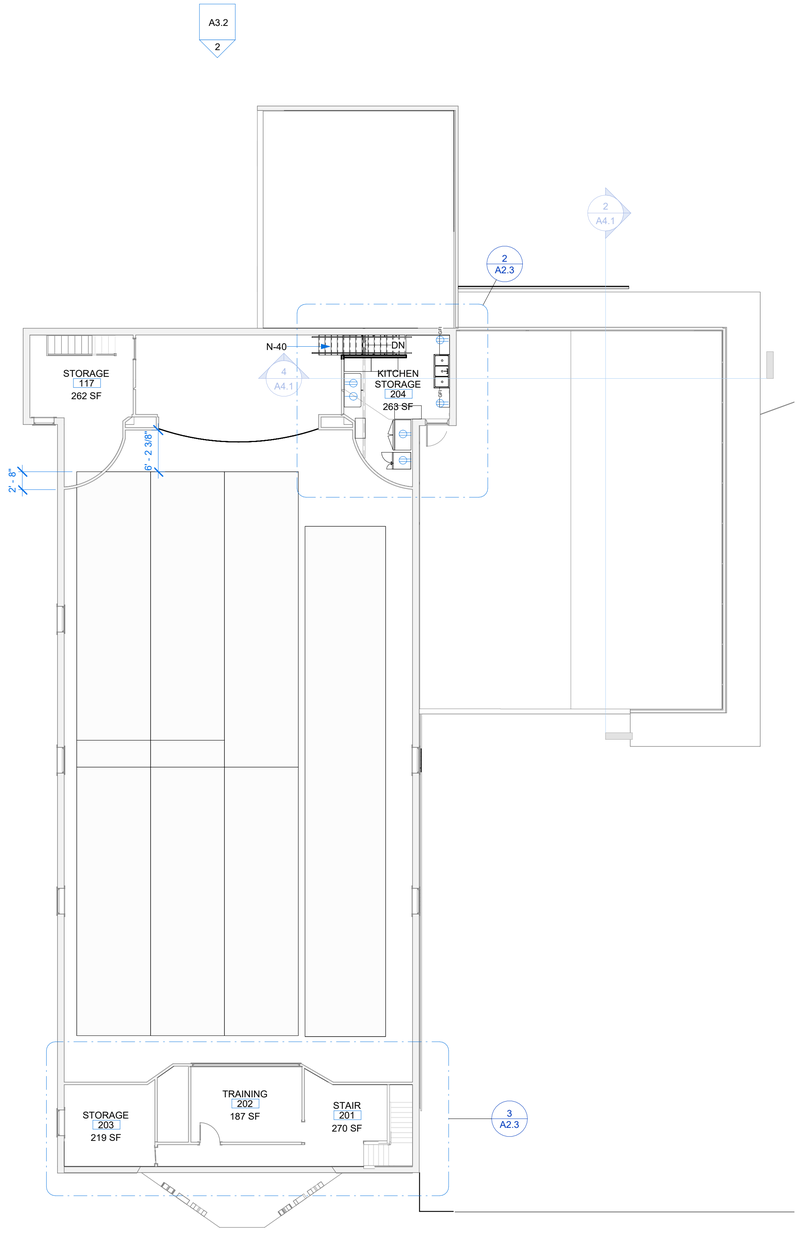
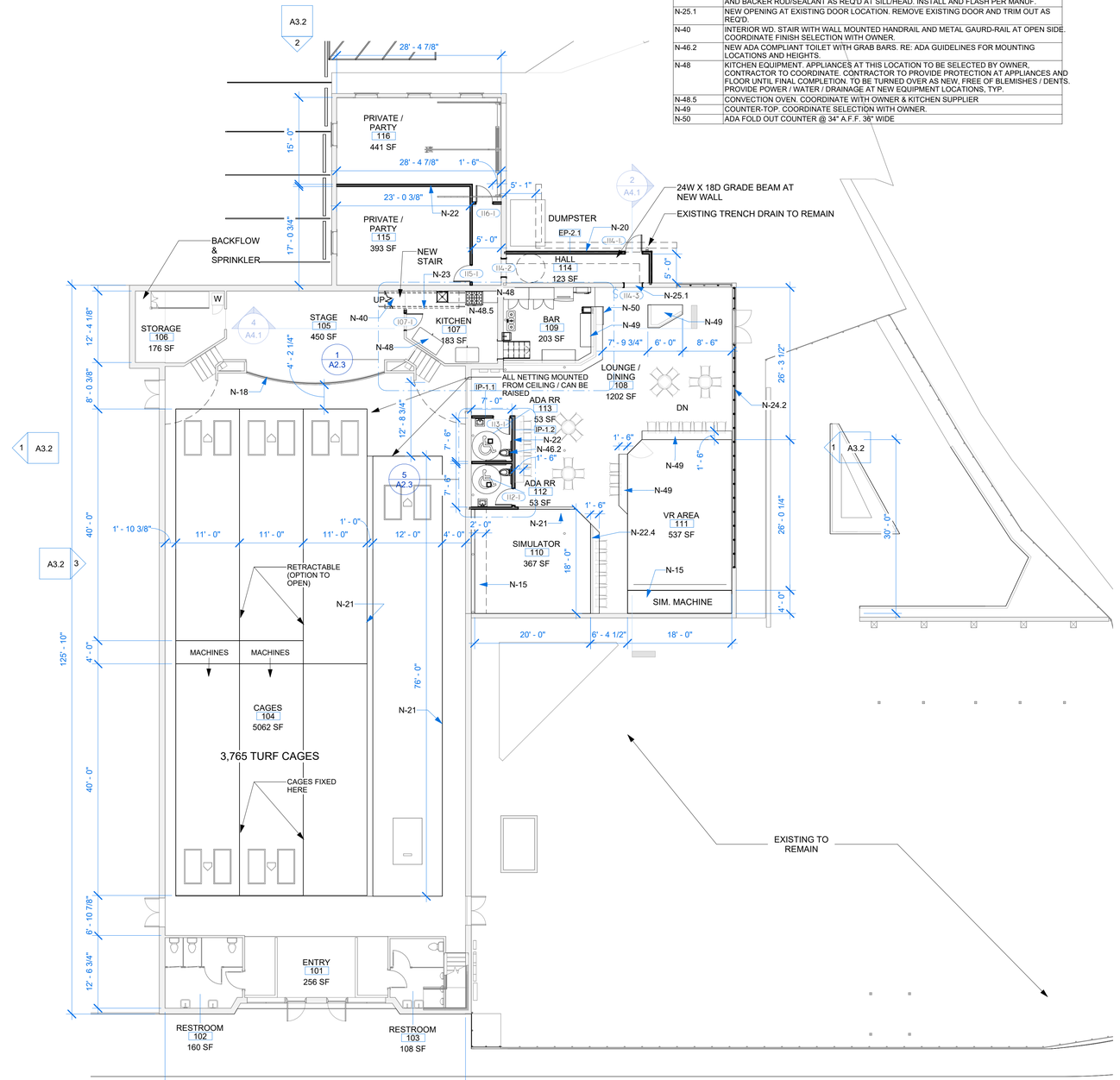


TRUE

2ND FLOOR 1216 SF

2 | 2ND FLOOR PLAN
3/32" = 1'-0"



TRUE

1ST FLOOR 10581 SF

1 | 1ST FLOOR_PLAN
3/32" = 1'-0"

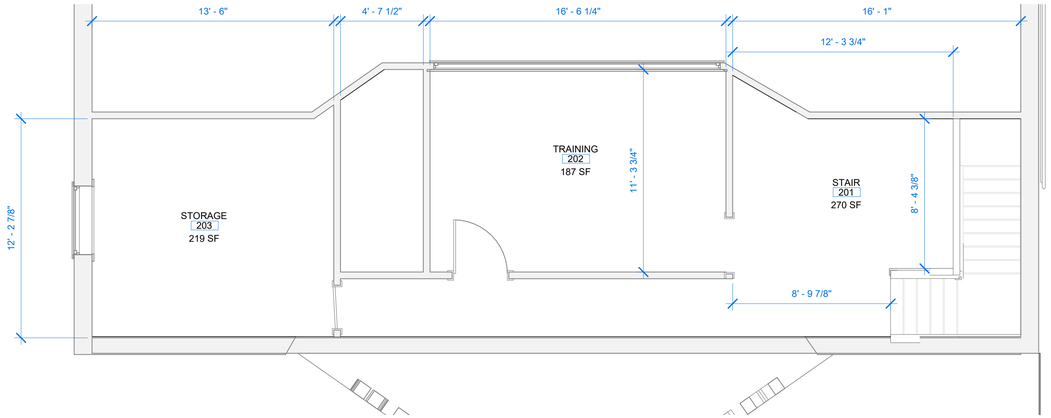
No.	Description	Date

NOT FOR CONSTRUCTION

FLOOR PLANS - PROPOSED

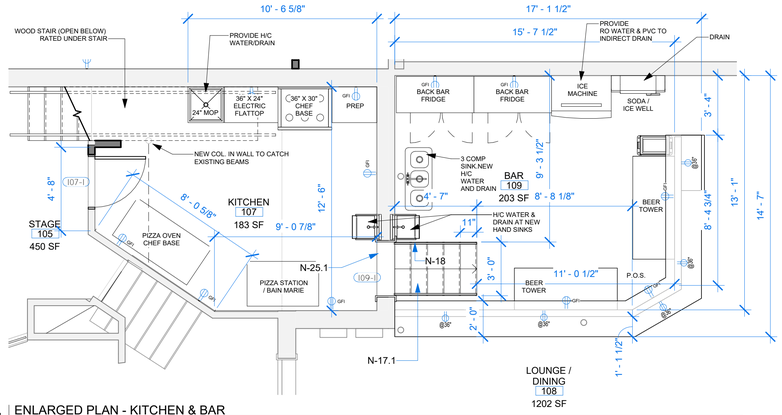
PROJECT STATUS
Date 04/28/25

A2.2

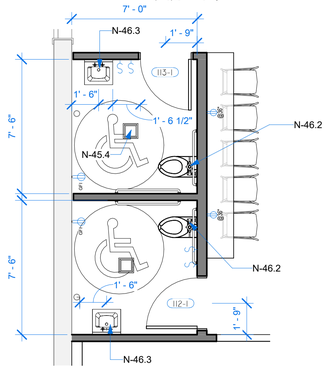


3 ENLARGED PLAN - TRAINING
1/4" = 1'-0"

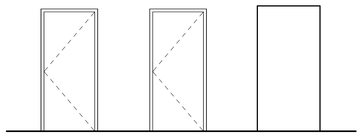
KEYNOTES - SHEET	
Key Value	Keynote Text
N-17.1	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. RE: DETAILS / STRUCT.
N-18	METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-45.4	FLOOR DRAIN AT ADA BATHROOMS, TYP. SLOPE TO DRAIN. FLASH PER MANUF. REQUIREMENTS.
N-46.2	NEW ADA COMPLIANT TOILET WITH GRAB BARS. RE: ADA GUIDELINES FOR MOUNTING LOCATIONS AND HEIGHTS.
N-46.3	ADA COMPLIANT SINK AND FAUCET. P-TRAP COVER AND AUTO-DISPENSING SOAP DISPENSER, TOWEL DISPENSER/HAND DRYER PER ADA GUIDELINES.

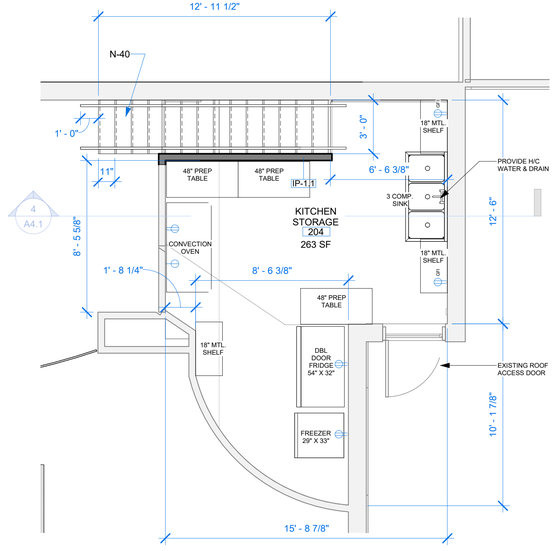


1 ENLARGED PLAN - KITCHEN & BAR
1/4" = 1'-0"



5 ENLARGED PLAN - ADA BATHROOMS
1/4" = 1'-0"



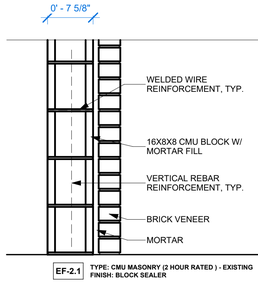


2 ENLARGED PLAN - UPSTAIRS STORAGE
1/4" = 1'-0"

NOTE: NEW 3 COMP SINKS TO USE EXISTING ON SITE GREASE TRAP.

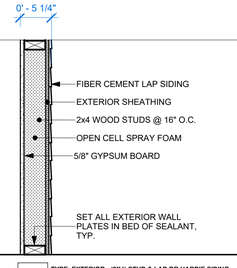
Room Finish Schedule									
			Finish						
Level	Room Number	Room Name	Floor	Base	Wall	Ceiling	Ceiling Height	Area	Comments
1ST FLOOR	101	ENTRY	CONC.	-	BLOCK	E.T.R.		256 SF	
1ST FLOOR	102	RESTROOM	CONC.	-	BLOCK/GYP	EX. GYP.		160 SF	
1ST FLOOR	103	RESTROOM	CONC.	-	BLOCK/GYP	EX. GYP.		108 SF	
1ST FLOOR	104	CAGES	CONC. / TURF	-	BLOCK	EX. GYP.		5062 SF	
1ST FLOOR	105	STAGE	CONC.	-	BLOCK/GYP	EX. GYP.		450 SF	
1ST FLOOR	106	STORAGE	CONC.	-	BLOCK/GYP	CONC.		176 SF	
1ST FLOOR	107	KITCHEN	CONC.	-	BLOCK / GYP	GYP-2		183 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
1ST FLOOR	108	LOUNGE / DINING	CONC.	-	BLOCK / GYP	EXPOSED		1202 SF	
1ST FLOOR	109	BAR	CONC.	-	BLOCK / GYP	GYP-2		203 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
1ST FLOOR	110	SIMULATOR	CONC.	-	BLOCK / BRICK	EXPOSED		367 SF	
1ST FLOOR	111	VR AREA	CONC. / TURF	-	BLOCK / BRICK	EXPOSED		537 SF	
1ST FLOOR	112	ADA RR	CONC.	-	BLOCK/GYP	GYP-1		53 SF	
1ST FLOOR	113	ADA RR	CONC.	-	BLOCK/GYP	GYP-1		53 SF	
1ST FLOOR	114	HALL	CONC.	-	BRICK/GYP	GYP-1		123 SF	
1ST FLOOR	115	PRIVATE / PARTY	CONC.	-	BLOCK/GYP	EXPOSED		393 SF	
1ST FLOOR	116	PRIVATE / PARTY	CONC.	-	BLOCK/GYP	EXPOSED		441 SF	
								9766 SF	
2ND FLOOR	117	STORAGE						262 SF	
2ND FLOOR	201	STAIR	CONC.	-	BLOCK/GYP	E.T.R.		270 SF	
2ND FLOOR	202	TRAINING	CONC.	-	BLOCK/GYP	E.T.R.		187 SF	
2ND FLOOR	203	STORAGE	CONC.	-	BLOCK/GYP	E.T.R.		219 SF	
2ND FLOOR	204	KITCHEN STORAGE	CONC.	-	BLOCK/GYP	E.T.R.		263 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
								1201 SF	
								10967 SF	

EXTERIOR FIRE RATED WALLS



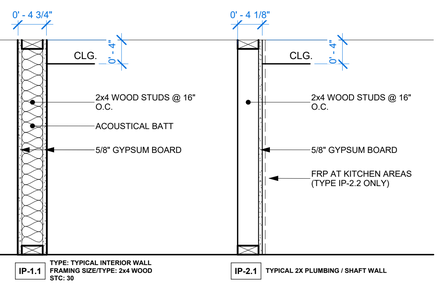
EF-2.1 TYPE: CMU MASONRY (2 HOUR RATED) - EXISTING FINISH: BLOCK SEALER
UL U905

EXTERIOR WALLS (NON RATED)



EP-2.1 TYPE: EXTERIOR - (2X4) STUD & LAP OR HARDIE SIDING R VALUE: R18 MIN.

NON-RATED WALLS - INTERIOR



IP-1.1 TYPE: TYPICAL INTERIOR WALL FRAMING SIZE/TYPE: 2x4 WOOD STC: 30

IP-1.2 TYPE: TYPICAL INTERIOR WALL FRAMING SIZE/TYPE: 2x6 WOOD STC: 30

IP-2.1 TYPICAL 2X PLUMBING / SHAFT WALL

IP-2.2 TYPICAL 2X PLUMBING / SHAFT WALL W/ FRP

LEGEND - WALL SCHEDULE
1" = 1'-0"

SYMBOL	TYPE	SIZE	SPACING (IN)	SHEATHING / CLADDING	SHEAR WALL	ANCHOR	ANCHOR SPACING (IN)	EMBED DEPTH (IN)	HORZ. REINF. [H]	[H] REINF. SPACING (IN)	VERT REINF. [V]	[V] REINF. SPACING (IN)	GROUTED SPACING (IN)	COMMENTS
IP-1.2	WOOD	2X6	16	MIN 1/2" GYP EA SIDE	SEE PLAN	1/2" ø	48	8	2x6	48	-	-	-	SEE DETAIL FOR TIE DOWNS AND CONN.
EP-2.1, IP-1.1, IP-2.1, IP 2.2	WOOD	2X4	16	MIN 1/2" GYP EA SIDE	SEE PLAN	1/2" ø	48	8	2x4	48				SEE DETAIL FOR TIE DOWNS AND CONN.

NOTE: UNLESS NOTED OTHERWISE
1. HORZ REINF BASIS OF DESIGN IS HOHMANN & BARNARD INC
   A. LM = LADDER MESH
   B. LTM = LADDER TRU-MESH
   C. TM = TRUSS MESH
   D. TTM = TRUSS TRI- MESH
2. ANCHORS TO BE A307 GRADE, THREADED RODS, CAST IN PLACE. POST INSTALLED TO BE EPOXY ANCHORED 10" EMBED
3. HORZ. REINF. SPACING FOR WD WALLS DENOTES VERTICAL SPACING OF IN WALL BLOCKING, ENSURE BLOCKING PROVIDED FOR SHEATHING PER
4. ALL EXTERIOR WALLS TO BE FULLY BLOCKED AND SHEATHED PRIOR TO REMOVING ANY LATERAL BRACING.
5. ALL INTERIOR WALLS TO BE FULLY BLOCKED AND AT A MINIMUM BE SHEATHED ON ONE SIDE PRIOR TO REMOVING ANY LATERAL BRACING.
6. ALL EXTERIOR SIDING TO BE FULLY REPAIRED AND REPLACED PRIOR TO REMOVING ANY LATERAL BRACING.

4 WALL SCHEDULE
1/2" = 1'-0"

DOOR TYPES

DOOR SCHEDULE - LONG								
			SIZE					
Tag	Elevation Type Mark	DOOR TYPE	WIDTH	HEIGHT	Door Material	FRAME TYPE	HDWR TYPE	COMMENTS
114-1	A1	A	2' - 10"	6' - 8"	Metal		1	EXTERIOR INSULATED SINGLE SWING DOOR. PROVIDE PANIC HARDWARE AND CLOSER
107-1	B1	A	2' - 10"	6' - 8"	WD		4	INTERIOR SINGLE SWING DOOR - KICKPLATE
112-1	B1	A	2' - 10"	6' - 8"	WD		3	INTERIOR SINGLE SWING DOOR - SELF CLOSING
113-1	B1	A	2' - 10"	6' - 8"	WD		3	INTERIOR SINGLE SWING DOOR - SELF CLOSING
116-1	B1	A	2' - 10"	6' - 8"	WD		2	INTERIOR SINGLE SWING DOOR
115-1	B1	A	2' - 10"	6' - 8"	WD		2	INTERIOR SINGLE SWING DOOR
114-3	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING DOOR LOCATION
114-2	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING BLOCK WALL. NEW BOND BEAM HEADER AS REQ'D
109-1	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING BLOCK WALL. NEW BOND BEAM HEADER AS REQ'D

GENERAL NOTES: DOOR SCHEDULE

1. CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
2. ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE.
3. ALL DOOR CASINGS SHALL BE PRIMED & PAINTED 1X WOOD. MATCH EXISTING DOOR CASINGS, TYP.
4. ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
5. FOR POCKET DOORS, ENSURE THAT FINISH NAILS DO NOT SCRAPE DOOR WHEN FINISHED.
6. PROVIDE WIND-BORNE DEBRIS PROTECTION FOR EXTERIOR GLAZING IN ACCORDANCE WITH 2015 IRC, SEC. R301.2.1.2. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
7. PROVIDE LOW VOLTAGE POWER AT EXTERIOR ENTRANCE DOORS FOR DOORBELL / DOOR CHIME.
8. PROVIDE PANIC BARS WHERE OCCUPANT LOAD EXCEEDS 50 PERSON. RE: LIFE SAFETY PLANS (FOR COMMERCIAL PROJECTS ONLY). PROVIDE AUTOMATIC CLOSERS AT NON-SPRINKLERED CORRIDORS, TYP.

GENERAL NOTES - DOOR SCHEDULE
1/4" = 1'-0"

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GEM THEATER
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NEW ORLEANS LA, 70125

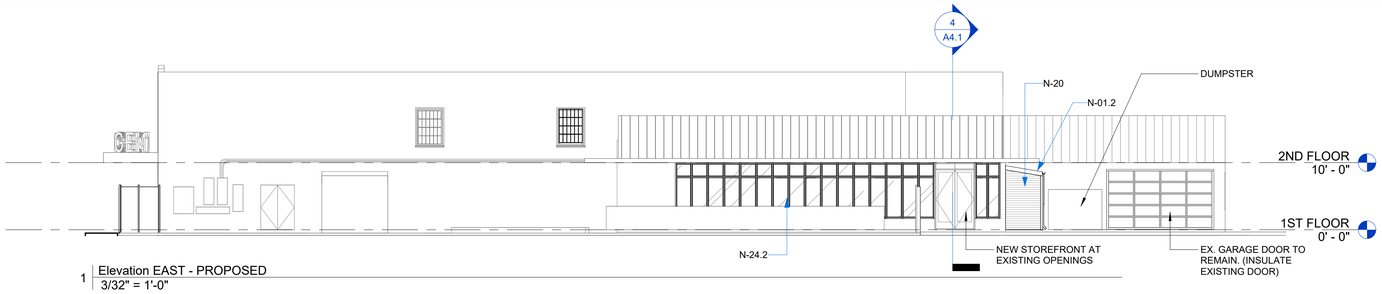
No.	Description	Date

NOT FOR CONSTRUCTION

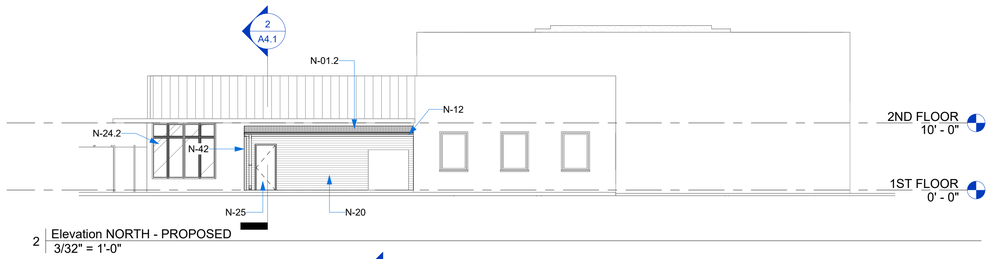
ENLARGED PLANS & SCHEDULES

PROJECT STATUS
Date 04/28/25

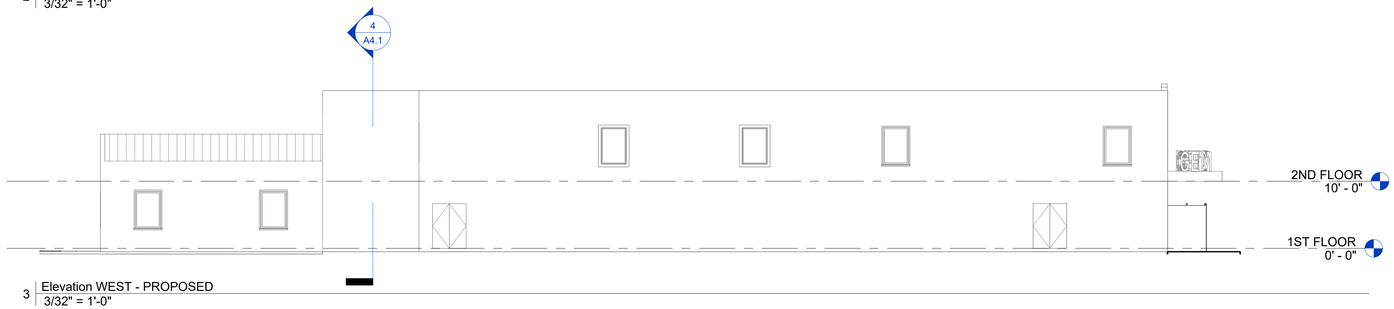
A2.3



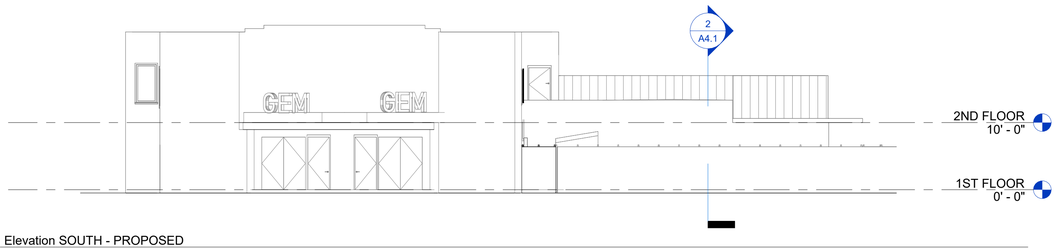
1 Elevation EAST - PROPOSED
3/32" = 1'-0"



2 Elevation NORTH - PROPOSED
3/32" = 1'-0"

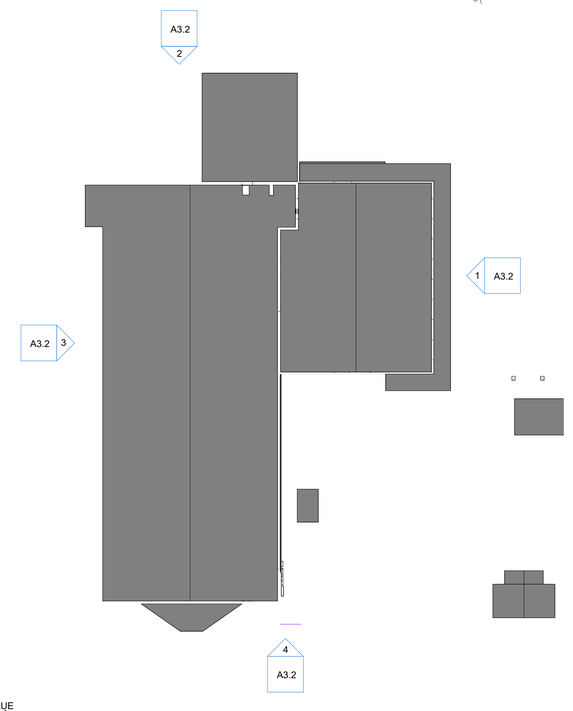


3 Elevation WEST - PROPOSED
3/32" = 1'-0"



4 Elevation SOUTH - PROPOSED
3/32" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE/DRAINAGE.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-42	REPAIR / REPLACE ANY MISSING OR DAMAGED WOOD TRIM IN KIND.



TRUE

KEY PLAN - ELEVATION Copy 1

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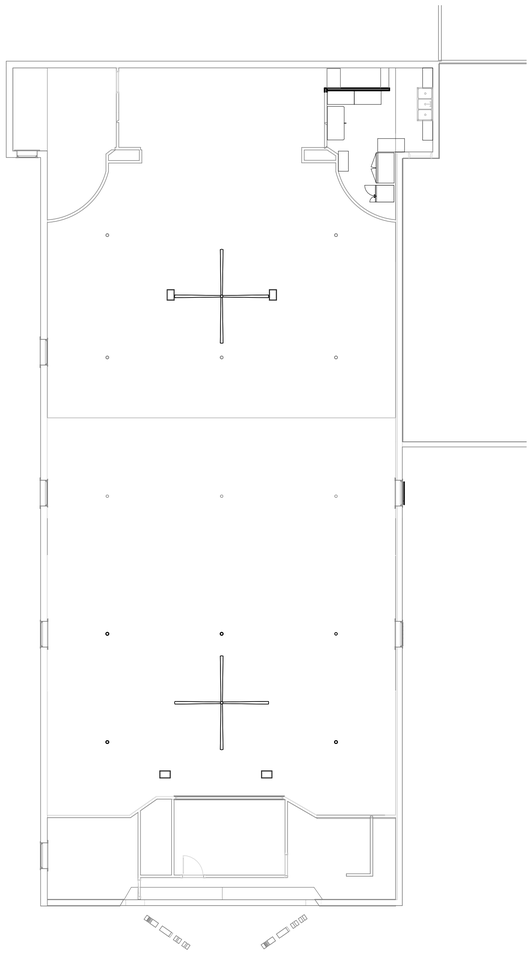
EXTERIOR ELEVATIONS - PROPOSED

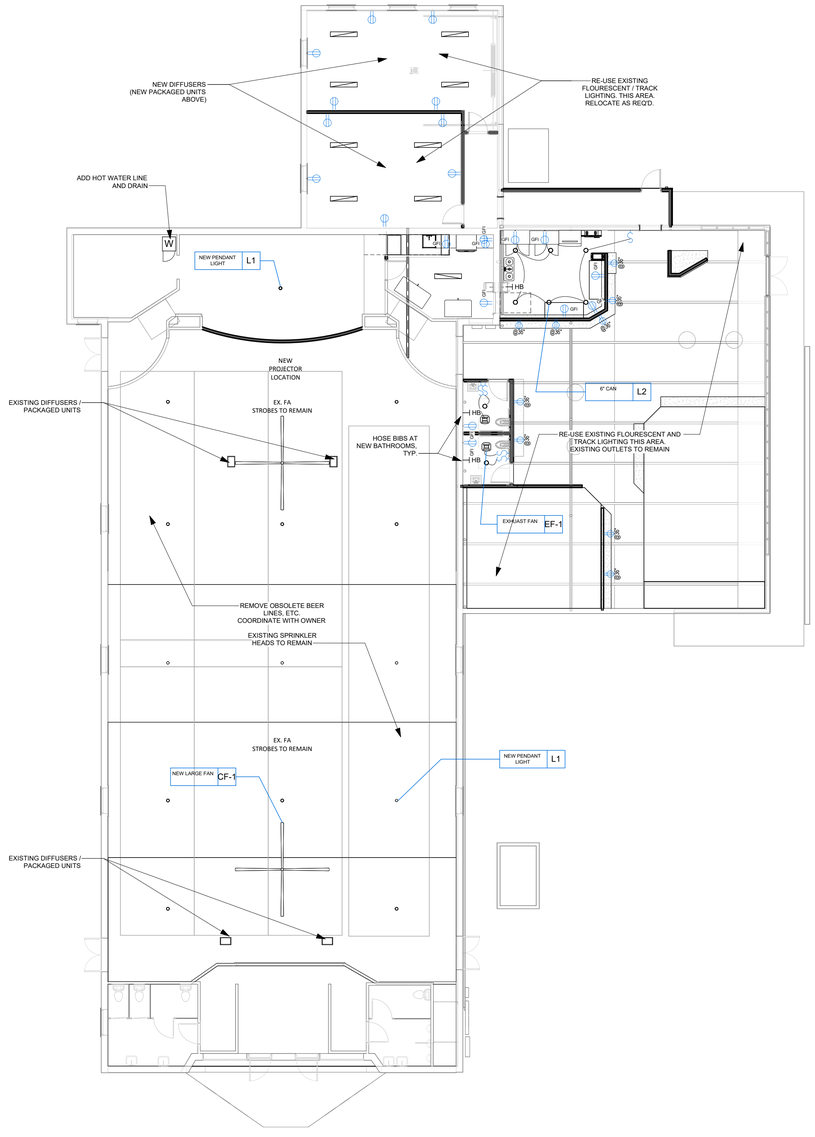
PROJECT STATUS

Date 04/28/25

A3.2

LIGHTING FIXTURE SCHEDULE		
Type Mark	Count	Comments
	10	
CF-1	2	14' CEILING FAN
EF-1	2	EXHUAST FAN
L1	7	PENDANT LIGHTING - TO MATCH EXISTING
L2	8	6" FLUSH OR CAN LIGHTING





ELECTRICAL FIXTURES	
R	RECESSED CAN FIXTURE
W	RECESSED WATER - RATED CAN FIXTURE
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	CHANDELIER/PENDANT
	UNDER CABINET FIXTURE
	CEILING FAN
	CEILING FAN WITH LIGHTS
	HARDWIRED FLOOD LIGHTS
ELECTRICAL SWITCHES	
S	SWITCH
S_3	THREE-WAY SWITCH
S_D	DIMMABLE SWITCH
AUDIO & VISUAL SYSTEMS	
C	CABLE TELEVISION OUTLET/SOURCE
GENERAL ELECTRICAL	
EM	ELECTRICAL METER
EP	ELECTRICAL PANEL
GM	GAS METER
ELECTRICAL RECEPTACLES	
	DUPLEX RECEPTACLE
GFI	GFI DUPLEX RECEPTACLE
WP	WET LOCATION RECEPTACLE
	DEDICATED APPLIANCE RECEPTACLE
A/C	A/C DEDICATED APPLIANCE RECEPTACLE
FLR	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
MECHANICAL SYSTEMS	
EF	EXHAUST FAN
EF_L	EXHAUST FAN W/ LIGHT (+ HEATER)
T	THERMOSTAT
R/A	RETURN AIR GRILLE OR REGISTER AT WALL
S/A	SUPPLY AIR GRILLE OR REGISTER AT WALL
R/A	RETURN AIR CHASE
S/A	SUPPLY AIR CHASE
	RETURN AIR GRILLE OR REGISTER AT CEILING
	SUPPLY AIR GRILLE OR REGISTER AT CEILING
	A/C CONDENSER
MISCELLANEOUS SYSTEMS	
DB	DOOR BELL BUTTON
DC	DOOR BELL CHIME
	GARAGE DOOR OPENER
GD	GARAGE DOOR REMOTE OPENER
PLUMBING SYSTEMS	
G	GAS LINE
W/H	TANKLESS WATER HEATER
W	DEDICATED WATER LINE
HB	HOSE BIB
GD	GARBAGE DISPOSAL
FIRE & LIFE SAFETY SYSTEM	
	SMOKE & CO2 DETECTOR UNIT

SD	SMOKE/CO2 DETECTOR
	2X4 CEILING TILE, KITCHEN RATED
	2X4 CEILING TILE
	2X2 CEILING TILE
EJ	EXPANSION JOINT
	BEADBOARD SOFFIT
	GYPSUM BOARD CEILING
0	SPECIFIC NOTE
1'-0" AFF	CEILING HEIGHT ELEVATION

LEGEND - RCP CEILING TYPE

ELECTRICAL LEGEND

2ND FLOOR

2 | 2ND FLOOR PLAN_RCP
3/32" = 1'-0"

1ST FLOOR

1 | 1ST FLOOR PLAN_RCP
3/32" = 1'-0"

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No.	Description	Date

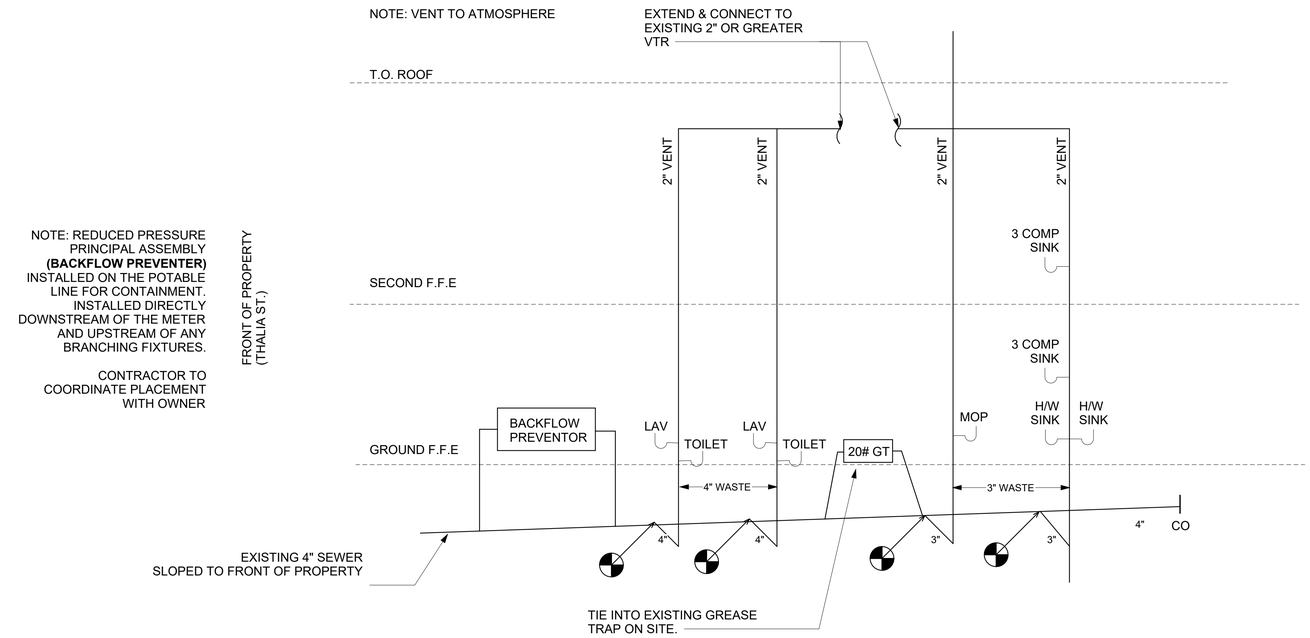
NOT FOR CONSTRUCTION

REFLECTED CEILING PLAN

PROJECT STATUS
Date 04/28/25

A5.1

PLUMBING RISER DIAGRAM
3940 THALIA STREET



PLUMBING RISER DIAGRAM
1/2" = 1'-0"

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GEM THEATER
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NOT FOR CONSTRUCTION

PLUMBING RISER DIAGRAM

PROJECT STATUS
Date 04/28/25

A5.2

Narrative for 3940 Thalia St Design Review

In the design for 3940 Thalia, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City.

The design for 3940 Thalia Street, also known as The Gem Theater, honors the building's architectural legacy and cultural significance. The proposed intervention seeks to respectfully enhance the building by removing a non-original interior brick wall that currently obstructs the original storefront windows along the Broad Street elevation. This restoration allows the building's authentic architectural intent—obscured by later, inferior alterations—to once again come to light.

Importantly, the proposed exterior modifications have been conceived with utmost sensitivity to the historic façade. The original front elevation will remain entirely untouched, preserving its distinctive character and street presence. The sole exterior addition—a new egress route—is a code-required life safety measure. This element has been meticulously designed to defer to the historic fabric: its roofline is purposefully set well below the original, ensuring it remains subordinate in scale and presence.

The new construction will be clad in horizontally oriented fiber cement siding, carefully selected to visually differentiate it from the original building while maintaining a respectful dialogue between old and new. This contrast ensures the addition is clearly recognizable as a contemporary intervention.

No changes are proposed to the surrounding site. In sum, this is a minimal yet meaningful adjustment to the exterior—one that prioritizes preservation, functionality, and architectural integrity. It is worth noting that the design has already received the approval of the Historic District Landmarks Commission, affirming its alignment with established preservation guidelines.

Per the approval standards, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

    a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

        -**This project maintains heights and setbacks that are consistent with the historical compatibility of the area.**

    b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

        -**We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.**

4. Landscape and the arrangement of open space or natural features on the site shall:

    a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

        -**This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the small addition is on the back of the structure and does not encroach into any of these areas.**

    b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

        -**No trees are being removed.**

    c. Protect natural resources and landscape on adjacent sites.

        -**The changes do not disturb open space.**

    d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

        -**The changes do not disturb open space.**

    e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

        -**The changes do not disturb open space.**

    f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

        -**Appropriate fencing is already existing.**

5. Circulation systems and off-street parking shall be designed to:

    a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.

b. Minimize potentially dangerous traffic movements.

c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

d. Minimize curb cuts by using cross-access servitudes and shared parking.

e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

-**For a-f, we are not altering the existing traffic flow and believe this project will have no deleterious effect on the adjacent location.**

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.

- The changes allows the property to maintain the characteristics of the neighborhood.

b. Providing a visible transition in height and bulk between higher and lower density development.

-No effect on the prevailing orientation of the street

d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.

-Changes do not affect the prevailing character since it does not alter the use, height, or bulk of the property.

e. Respecting historic design context.

-The changes do not affect the historic design context of the current property.

CITY OF NEW ORLEANS
ONE STOP
PERMITS & LICENSES

Building/Construction Related Permit

Date _____ Received by_____
Tracking Number _____

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ◉ Design Review ○ Interim Zoning Districts Appeal ○ Moratorium Appeal

Property Location 3940 Thalia

APPLICANT INFORMATION

Applicant Identity: ○ Property Owner ◉ Agent

Applicant Name Zach Smith Consulting & Design

Applicant Address 1000 Norman C Francis Pkwy Floor 2

City New Orleans State LA Zip

Applicant Contact Number 504-383-3748 Email info@zachsmithconsulting.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Adam Ritter

Property Owner Address 3940 Thalia St

City New Orleans State LA Zip 70125

Property Owner Contact Number Email adam@zonymashbeer.com

PROJECT DESCRIPTION

Property located in the EC Enhancement Corridor Design Overlay District. Small changes to exterior as per plans.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review
- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ✓ Enhancement Corridor
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

Non-Design Overlay District Review
- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ Parking Lots with over 10 spaces or loading zones
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility
- ☐ Mural Reviews
- ☐ Electric Utility Substations and Transmission Lines
- ☐ CBD FAR Bonus
- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as required

ADDITIONAL INFORMATION

Current Use Brewery Proposed Use Indoor Entertainment

Square Number 482 Lot Number 13-A Permeable Open Space (sf)

New Development?	Yes ○	No ◉	Addition?	Yes ○	No ◉	Tenant Width	
Existing Structure(s)?	Yes ◉	No ○	Renovations?	Yes ◉	No ○	Building Width	
Change in Use?	Yes ◉	No ○	Existing Signs?	Yes ◉	No ○	Lot Width (sf)	Various
New Sign(s)?	Yes ○	No ◉	Lot Area (sf)	27845		BuildingArea (sf)	9945

CITY OF NEW ORLEANS
ONE STOP
PERMITS & LICENSES

Building/Construction
Related Permit

Date _____ **Received by**_____
Tracking Number _____

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ☑ North arrow, scale, and date of plan
- ☐ Location, dimensions, and area of permeable open space
- ☐ Name, address of the professional who prepared the plan
- ☐ Legend of symbols, patterns, and abbreviations used
- ☐ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ☐ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ☐ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ☐ Location of refuse storage locations
- ☐ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ☐ Fence location, height, and materials

2. FLOOR PLAN

- ☑ Indicating the dimensions and square footage of proposed development
- ☑ Room use
- ☑ Location of all walls, doors, and windows
- ☑ Location of all plumbing fixtures
- ☑ Location of major appliances/mechanical equipment
- ☑ Stairway location
- ☐ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ☑ Architectural elevations of easch side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ☐ Location of all exterior lighting, including those mounted on poles and walls
- ☐ Types, style, height, and the number of fixtures
- ☐ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ☐ Proposed Signage with overall height, width, and materials
- ☐ Building Elevation (including building width and height)
- ☐ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ☐ Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ☐ All landscape plans shall meet the minimum requirements of site plans
- ☐ Legend defining all symbols, patterns, and abbreviations used
- ☐ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ☐ Description of all tree preservation measures on-site and in the public right-of-way
- ☐ Width, depth, and area of landscaped area(s)
- ☐ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ☑ Photographs of the subject site and/or building

8. NARRATIVE

- ☑ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ☐ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	$225
CBD Demolitions	$500
Moratorium Appeals	$1,000

Narrative for 3940 Thalia St Design Review

In the design for 3940 Thalia, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City.

The design for 3940 Thalia Street, also known as The Gem Theater, honors the building's architectural legacy and cultural significance. The proposed intervention seeks to respectfully enhance the building by removing a non-original interior brick wall that currently obstructs the original storefront windows along the Broad Street elevation. This restoration allows the building's authentic architectural intent—obscured by later, inferior alterations—to once again come to light.

Importantly, the proposed exterior modifications have been conceived with utmost sensitivity to the historic façade. The original front elevation will remain entirely untouched, preserving its distinctive character and street presence. The sole exterior addition—a new egress route—is a code-required life safety measure. This element has been meticulously designed to defer to the historic fabric: its roofline is purposefully set well below the original, ensuring it remains subordinate in scale and presence.

The new construction will be clad in horizontally oriented fiber cement siding, carefully selected to visually differentiate it from the original building while maintaining a respectful dialogue between old and new. This contrast ensures the addition is clearly recognizable as a contemporary intervention.

No changes are proposed to the surrounding site. In sum, this is a minimal yet meaningful adjustment to the exterior—one that prioritizes preservation, functionality, and architectural integrity. It is worth noting that the design has already received the approval of the Historic District Landmarks Commission, affirming its alignment with established preservation guidelines.

Per the approval standards, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

    a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

        -**This project maintains heights and setbacks that are consistent with the historical compatibility of the area.**

    b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

        -**We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.**

4. Landscape and the arrangement of open space or natural features on the site shall:

    a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

        -**This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the small addition is on the back of the structure and does not encroach into any of these areas.**

    b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

        -**No trees are being removed.**

    c. Protect natural resources and landscape on adjacent sites.

        -**The changes do not disturb open space.**

    d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

        -**The changes do not disturb open space.**

    e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

        -**The changes do not disturb open space.**

    f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

        -**Appropriate fencing is already existing.**

5. Circulation systems and off-street parking shall be designed to:

    a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.

b. Minimize potentially dangerous traffic movements.

c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

d. Minimize curb cuts by using cross-access servitudes and shared parking.

e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

-**For a-f, we are not altering the existing traffic flow and believe this project will have no deleterious effect on the adjacent location.**

6. Building design that enhances the design quality and character of the surrounding community through strategies such as:

a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.

- The changes allows the property to maintain the characteristics of the neighborhood.

b. Providing a visible transition in height and bulk between higher and lower density development.

-No effect on the prevailing orientation of the street

d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.

-Changes do not affect the prevailing character since it does not alter the use, height, or bulk of the property.

e. Respecting historic design context.

-The changes do not affect the historic design context of the current property.

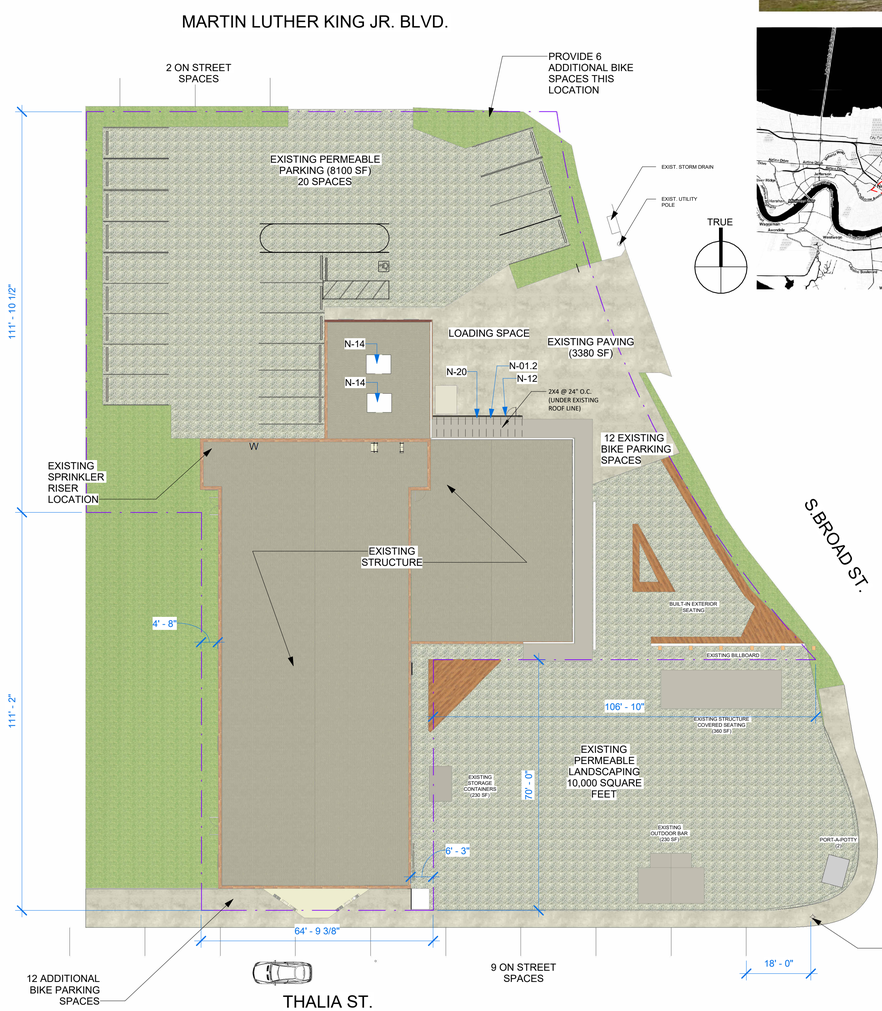
PERMIT DRAWINGS

GEM THEATER

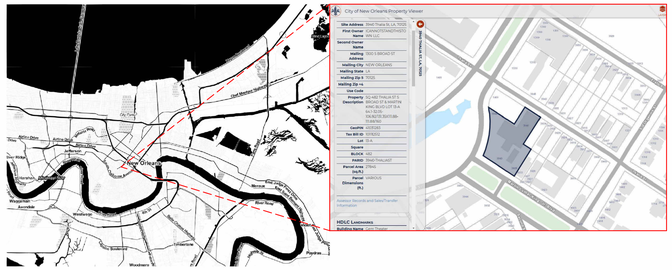
3940 THALIA ST
NEW ORLEANS LA, 70125

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
2. TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
3. ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
6. PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
7. COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
8. THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
9. CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
10. ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

GENERAL NOTES - PROJECT



1 SITE PLAN - TITLE SHEET
1" = 20'-0"



SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET / SITE PLAN	04/28/25			
A1.1	LIFE SAFETY	04/28/25			
A1.2	ADA/ADAAG GUIDELINES	04/28/25			
A1.3	NOTES	04/28/25			
A2.1	FLOOR PLAN - EXISTING / DEMO	04/28/25			
A2.2	FLOOR PLANS - PROPOSED	04/28/25			
A2.3	ENLARGED PLANS & SCHEDULES	04/28/25			
A3.1	EXTERIOR ELEVATIONS - EXISTING	04/28/25			
A3.2	EXTERIOR ELEVATIONS - PROPOSED	04/28/25			
A4.1	BUILDING SECTIONS / DETAILS	04/28/25			
A4.2	3D PERSPECTIVES	04/28/25			
A5.1	REFLECTED CEILING PLAN	04/28/25			
A5.2	PLUMBING RISER DIAGRAM	04/28/25			

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE/DRAINAGE.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-14	NEW ROOF PACKAGED MECH. UNIT FOR PARTY ROOMS AREAS
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)

31 SPACES TOTAL PROVIDED + 1 LOADING
20 OFF STREET
11 ON STREET
+ 1 LOADING SPACE

11,797 SF GROSS
INDOOR ENTERTAINMENT: 9,946 SF (/300 = 33 SPOTS)
KITCHEN/BAR: 1851 SF (/500 = 4 SPOTS)

37 SPOTS TOTAL

- 2 SPOTS FOR EXTRA BIKE RACKS (18 TOTAL ON SITE)
6 REQ'D

35 SPOTS REQ'D
31 PROVIDED

SEEKING VARIANCE FOR 4 PARKING SPOTS

TOTAL LOT AREA: 27300 +/-
13476 PERMEABLE / OPEN = 49%

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
EXISTING BREWERY BEING CONVERTED INTO INDOOR ENTERTAINMENT VENUE / BASEBALL TRAINING FACILITY. OCCUPANCY A-2. BUILDING IS A DESIGNATED LANDMARK. NEW MEP AS REQUIRED FOR NEW KITCHEN AND BOH AREAS.

PERMIT TYPE
RENOVATION (STRUCTURAL)

SFM, LEVEL OF ALTERATION
LEVEL 2

OWNER:
ADAM RITTER
3940 THALIA ST
NEW ORLEANS, LA 70125
ADAM@ZONYMASHBEER.COM

ARCHITECT
ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

ZONING/CODE INFORMATION

ZONING DISTRICT: C-1 GENERAL COMMERCIAL DISTRICT
OVERLAY DISTRICT: EC ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT
- B&B IZD
- COMMERCIAL STR IZD
- NON-COMMERCIAL STR IZD

HDLC DISTRICT: NONE

DESIGNATED HISTORICAL LANDMARK

PROPOSED DEVELOPMENT:
BUILDING SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.
PROJECT SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.
SCOPE OF WORK SQUARE FOOTAGE (TOTAL): 11,797 SQ. FT.

NO. OF STORIES: 2
PROJECT ON FLOOR: 1 & 2

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE III-B ORDINARY

OCCUPANCY TYPE:
IBC: ASSEMBLY (A-2)

NFPA:
ASSEMBLY: 7548 SF
BUSINESS: 2762 SF

SPRINKLERED / FIRE ALARM:
YES / YES (MONITORED)

APPLICABLE CODES:
- 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
(BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 LOUISIANA STATE PLUMBING CODE
- NFPA 70, 2020 NATIONAL ELECTRIC CODE
- 2021 INTERNATIONAL FUEL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 ADA ADDA GUIDELINES
- 2021 INTERNATIONAL EXISTING BUILDING CODE

PROJECT INFORMATION

MEP VALUE OF WORK

MECHANICAL ENGINEER:
THE MECHANICAL SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

PLUMBING ENGINEER:
THE PLUMBING SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

ELECTRICAL ENGINEER:
THE ELECTRICAL SCOPE OF WORK IS LESS THAN $20,000 AND THEREFORE DOES NOT REQUIRE A MECHANICAL ENGINEER PER ORLEANS PARISH REQUIREMENTS. THIS WORK SHALL BE PERFORMED AS A PERFORMANCE SPECIFICATION AND THE GENERAL CONTRACTOR'S SUBCONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTS TO PROPERLY MEET CODE AND INDICATED SCOPE REQUIREMENTS.

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GEM THEATER
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NEW ORLEANS LA, 70125

No.	Description	Date

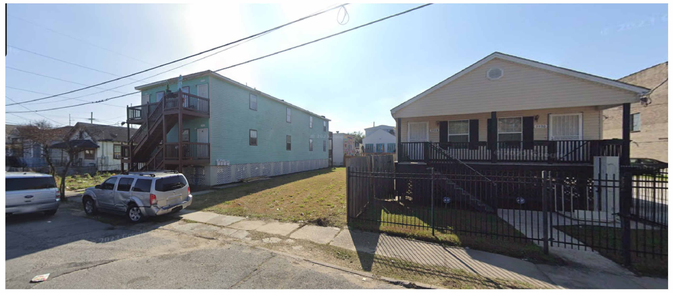
NOT FOR CONSTRUCTION

TITLE SHEET / SITE PLAN

PROJECT STATUS
Date 04/28/25

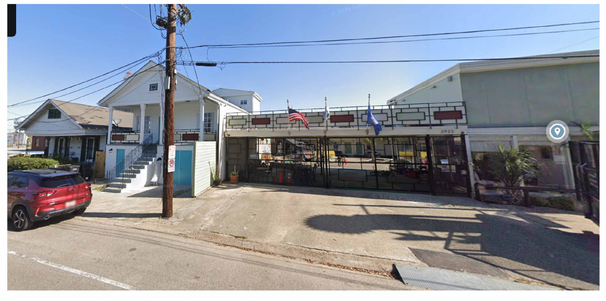
A1.0

NEIGHBORING PROPERTIES - 3945 THALIA



NEIGHBORING PROPERTIES - 3928 THALIA

NEIGHBORING PROPERTIES - 3944 MLK



NEIGHBORING PROPERTIES - 3923 MLK

STORM SEWER AND FENCE / UTILITY POLE

12 EXISTING BIKE RACKS THIS LOCATION

1 3D AXON - FIRST FLOOR

2 3D View 2

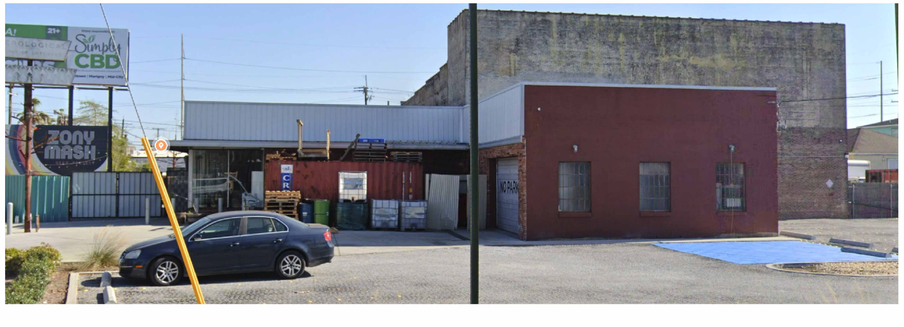
1. Development shall promote safe, convenient, and attractive pedestrian and bicycle access.
   THE PROJECT INCLUDES 24 BIKE RIKES FOR BICYCLE ACCESS - SEE SITE PLAN ABOVE

2. Compact neighborhood centers shall be created at major intersections to the extent possible in order to support transit.
   NOT APPLICABLE AT THIS PROJECT AS IT IS A HISTORIC LANDMARK WITH A SPECIFIC USE AND THE OPEN AREA ON THE SITE IS REQUIRED FOR PARKING

3. Development shall ensure compatibility between commercial uses and surrounding residential areas.
   THE DEVELOPMENT IS COMPATABILE BETWEEN COMMERCIAL USES AND SURROUNDING RESIDENTIAL. THE MATERIALITY OF THE BUILDING MATCHES THE ADJACENT BLOCK/BRICK STRUCTURES AS WELL AS THE RESIDENTIAL BUILDINGS WITH WOOD SIDING. (THE ADDITION WILL HAVE HARDIE SIDING)

4. The architectural design should be consistent with the context, character, scale and materials of structures in the adjacent areas.
   THE ADDITION WILL BE BUILT WITH HARDIE SIDING AND METAL ROOFING AND IS SIMILAR IN AESTHETIC TO THE SURROUNDING NEIGHBORHOOD

5. Neon signage is prohibited on the interior or exterior of windows, other than an “open” sign.
   NO NEON SIGNS WILL BE PROVIDED



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GEM THEATER
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No.	Description	Date

NOT FOR CONSTRUCTION

3D PERSPECTIVES

PROJECT STATUS

Date 04/28/25

A4.2

SPRINKLER RISER LOCATION

FIRE ALARM ANNUNCIATOR AND STROBE. EXISTING.

1 .1ST FLOOR - LIFE SAFETY
1" = 10'-0"

OCCUPANCY TYPE

- ASSEMBLY
- CIRCULATION
- KITCHEN
- SPECIALTY (VR)
- STAGE
- STORAGE

ADA SEATING CALCULATION (ADA)

BAR : 25 SEATS
FLOOR: 16 SEATS

31 SEATS TOTAL x 5% ADA REQ. =
2 SEATS REQUIRED
4 SEATS PROVIDED

NOTE: FIXED TABLE(S) AND BAR SEATING ARE TO RECEIVE THE SAME CUSTOMER SERVICE AND A FIRST COME FIRST SERVICE BASIS

NFPA LEGEND

- 1 HOUR FIRE RATED PARTITION
- 4 HOUR RATED - UL U901 - **EXISTING**
- EMERGENCY DIRECTIONAL LIGHT. RE: ELECTRICAL DRAWINGS
- TRAVEL DISTANCE
- PROPERTY LINE
- 20 MIN — DOOR & FRAME FIRE RATING RE: DOOR SCHEDULE

FIRE EXTINGUISHERS

PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS EXTINGUISHERS: TYPE, SIZE, AND CAPACITY FOR EACH INDICATED:

- CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER
- F-B — CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE & OIL

OCCUPANCY ROOM TAG LEGEND

NAME OF ROOM OR SPACE	RM. NAME
ROOM NUMBER	RM. #
AREA CLASSIFICATION	OCCUPANCY
ALLOWED SF PER OCCUPANT	SF PER OCC
SF OF ROOM	RM SF.
TOTAL OCCUPANTS OF ROOM	# OF OCC.

1. PROVIDE WALL MOUNTED, PORTABLE, 'GREEN TAGGED' NON-EXPIRED HAND-CARRIED FIRE EXTINGUISHERS :
CLASS A EXTINGUISHERS WILL PUT OUT FIRES IN ORDINARY COMBUSTIBLES SUCH AS WOOD AND PAPER
CLASS B EXTINGUISHERS ARE FOR USE ON FLAMMABLE LIQUIDS LIKE GREASE, GASOLINE AND OIL
CLASS C EXTINGUISHERS ARE SUITABLE FOR USE ONLY ON ELECTRICALLY ENERGIZED FIRES
CLASS D EXTINGUISHERS ARE DESIGNED FOR USE ON FLAMMABLE METALS

GENERAL NOTES - FIRE ESTINGUISHERS

OCCUPANCY NOTES

OCCUPANCY CLASSIFICATION: A-2, ASSEMBLY
TOTAL OCCUPANTS: 896

ACCESSIBLE SEATING

INTERIOR SEATING:
37 SEATS X 5% = 2 ADA REQUIRED

COOKING EQUIPMENT PROTECTION:
1. NFPA 96 10.1.1 FIRE-EXTINGUISHING EQUIPMENT FOR THE PROTECTION OF GREASE REMOVAL DEVICES, HOOD EXHAUST PLENUMS, AND EXHAUST DUCT SYSTEMS SHALL BE PROVIDED.
2. NFPA 96 10.1.2 COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND THAT MIGHT BE A SOURCE OF IGNITION OF GREASE IN THE HOOD, GREASE REMOVAL DEVICE, OR DUCT SHALL BE PROTECTED BY FIRE-EXTINGUISHING EQUIPMENT.
3. NFPA 9610.1.3 FUME INCINERATORS, THERMAL RECOVERY UNITS, AIR POLLUTION CONTROL DEVICES, OR OTHER DEVICES INSTALLED IN THE EXHAUST DUCT, SHALL BE PROTECTED BY AN AUTOMATIC FIRE-EXTINGUISHING SYSTEM.

GENERAL NOTES - LIFE SAFETY RESTAURANT/BAR

1. U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 17,4-4.5). (MIN. 2A-10B-C).
2. INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (O-450).
3. INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2.
4. EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9.
5. DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.
6. FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
7. FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
8. AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.

GENERAL NOTES - LIFE SAFETY

1. THE EXISTING FIRE SUPPRESSION SYSTEM SHALL BE EXTENDED PROVIDING COVERAGE TO THE RENOVATED SPACE. THE SYSTEM SHALL COMPLYING WITH NFPA 13-2019, THE 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS AND 2021 INTERNATIONAL EXISTING BUILDING CODE.
2. INSTALLATION SHALL BE ACC0MPLISHED BY A CONTRACTOR WHO IS DULY LICENSED AND ACCREDITED IN THE INSTALLATION OF AUTOMATIC SPRINKLER SYSTEMS AND FIRE PROTECTION EQUIPMENT FOR THE PAST THREE YEARS.
3. NEW SPRINKLER HEADS SHALL MATCH THE EXISTING SPRINKLERS.
4. PIPING SHALL BE FERROUS PIPING (WELDED AND SEAMLESS), ASTM A795, ASTM A53 OR ASTM A153 IN ACCORDANCE WITH NFPA 13.
5. CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL SPRINKLERS AND SPRINKLER PIPING WITH OTHER PIPES, DUCTS, LIGHTS, EQUIPMENT, CONDUIT, STRUCTURAL SYSTEMS, CEILING SUPPORTS, AND FRAMING BEFORE INSTALLATION. SPRINKLER PIPING SHALL NOT BE INSTALLED WHERE ITS LOCATION INHIBITS EQUIPMENT FILTER AND MAINTENANCE ACCESS OR INFRINGES UPON CLEARANCE DICTATED BY THE NATIONAL ELECTRIC CODE. ALL SPRINKLERS TO BE CENTERED IN CEILING TILES -
6. THE SPRINKLER SYSTEM SHALL BE LIGHT HAZARD DESIGNED TO PROVIDE 0.10 GPM/SQ. FT. OVER 1500 SQ. FT. THE SYSTEM SHALL BE WET USING 155 DEG. F. SPRINKLER HEADS AND COVER NO MORE THAN 225 SQ. FT. PER HEAD.
7. PROVIDE U.L. APPROVED FIRESTOPPING AT ALL LOCATIONS WHERE PIPES PENETRATE RATED WALL ASSEMBLIES.
8. CAREFULLY COORDINATE LOCATIONS OF SPRINKLERS WITH SURFACE MOUNTED LIGHT FIXTURES. MAINTAIN OBSTRUCTION DISTANCES AND SPACING IN ACCORDANCE WITH THE MANUFACTURERS LISTINGS AND NFPA REQUIREMENTS.
9. THE EXISTING SPRINKLER SYSTEM SERVING AREAS NOT BEING RENOVATED MUST BE MAINTAINED DURING CONSTRUCTION.

GENERAL NOTES - FIRE SPRINKLER (EXISTING)

1/8" = 1'-0"

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No.	Description	Date

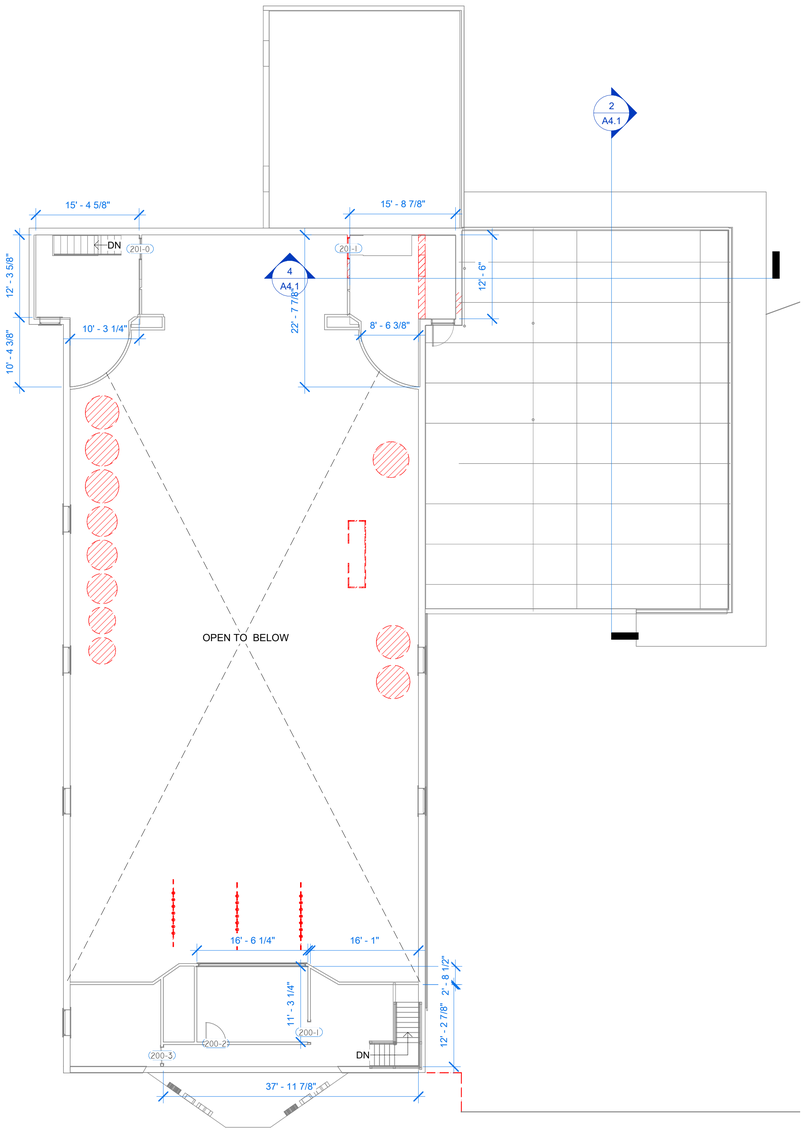
NOT FOR CONSTRUCTION

LIFE SAFETY

PROJECT STATUS

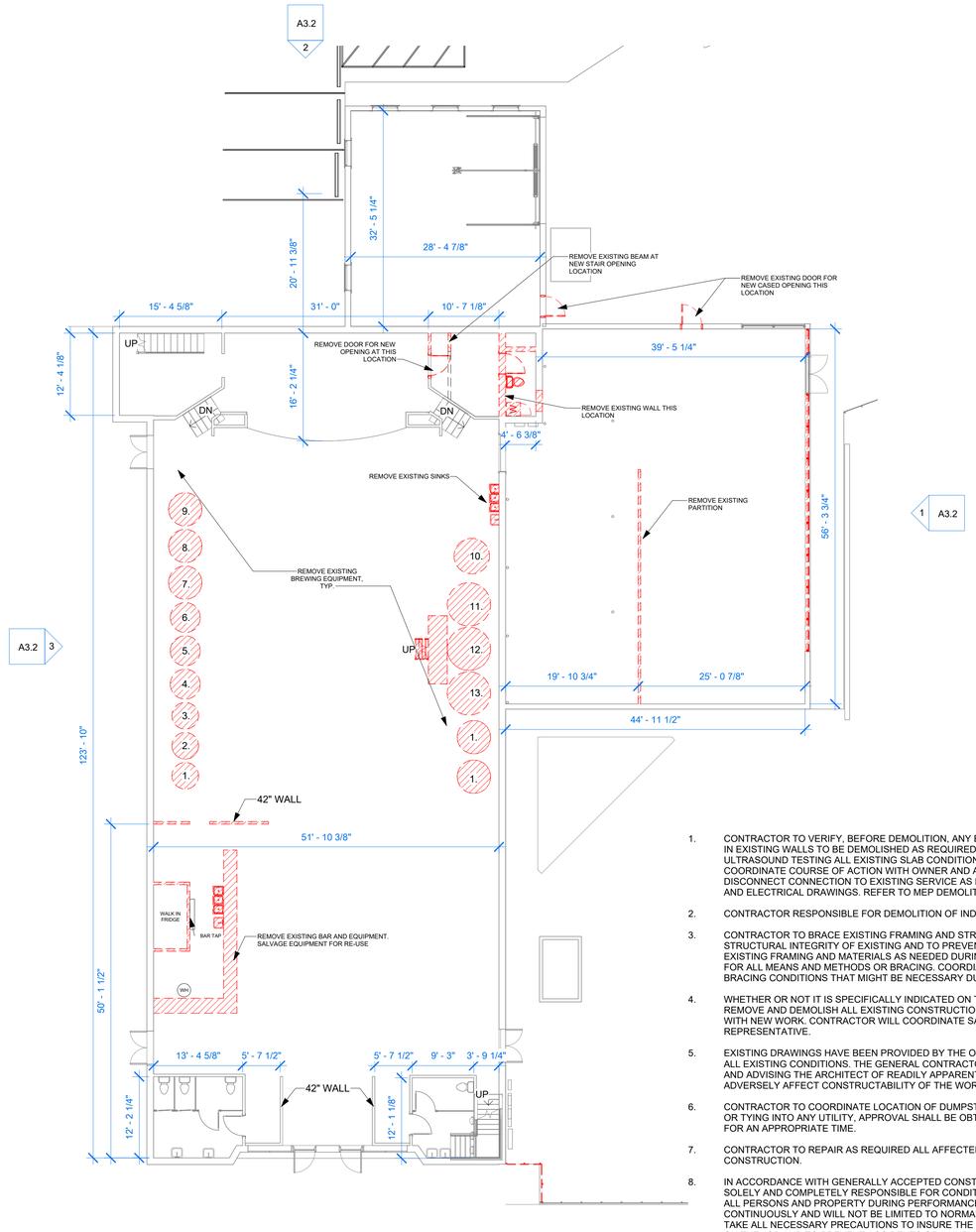
Date 04/28/25

A1.1



2ND FLOOR

3 | .2ND FLOOR - 1 EXISTING
3/32" = 1'-0"



1ST FLOOR

1 | .1ST FLOOR
3/32" = 1'-0"

4
A3.2

1. CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR RESPONSIBLE FOR DEMOLITION OF INDICATED WALLS & ASSOCIATED MATERIALS.
3. CONTRACTOR TO BRACE EXISTING FRAMING AND STRUCTURE AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING AND TO PREVENT COLLAPSE DURING CONSTRUCTION. PROTECT EXISTING FRAMING AND MATERIALS AS NEEDED DURING CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS OR BRACING. COORDIANTE WITH ENGINEER AS NEEDED FOR SPECIAL BRACING CONDITIONS THAT MIGHT BE NECESSARY DURING DEMO/CONSTRUCTION.
4. WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
5. EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
6. CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
7. CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO
1/8" = 1'-0"

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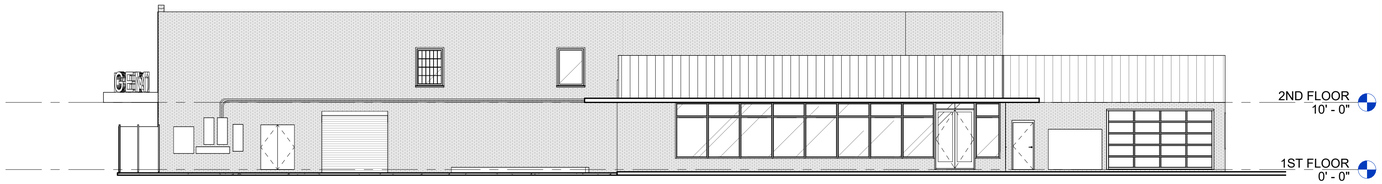
No.	Description	Date

NOT FOR CONSTRUCTION

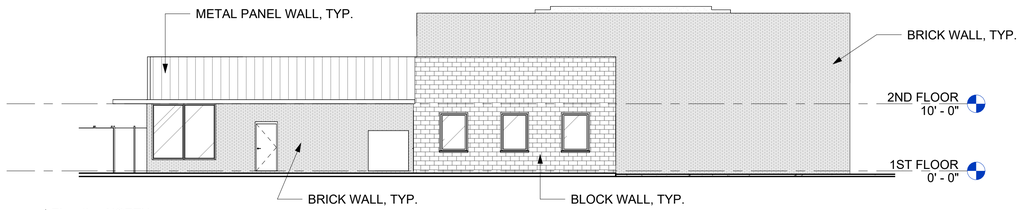
FLOOR PLAN - EXISTING / DEMO

PROJECT STATUS
Date 04/28/25

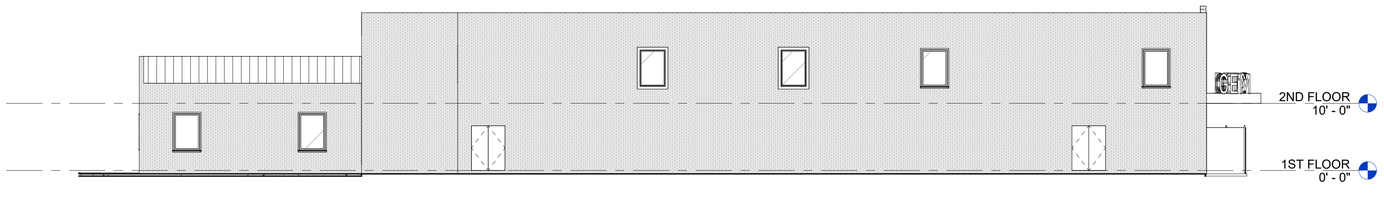
A2.1



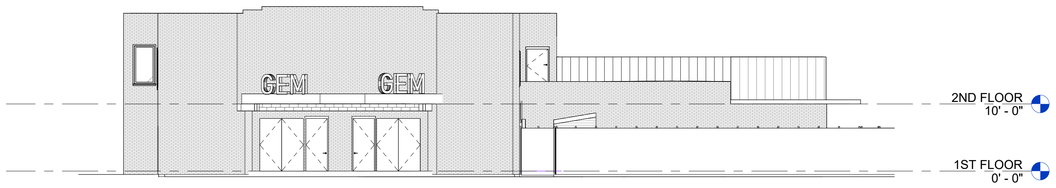
1 Elevation EAST
3/32" = 1'-0"



2 Elevation NORTH
3/32" = 1'-0"



3 Elevation WEST
3/32" = 1'-0"



4 Elevation SOUTH
3/32" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text

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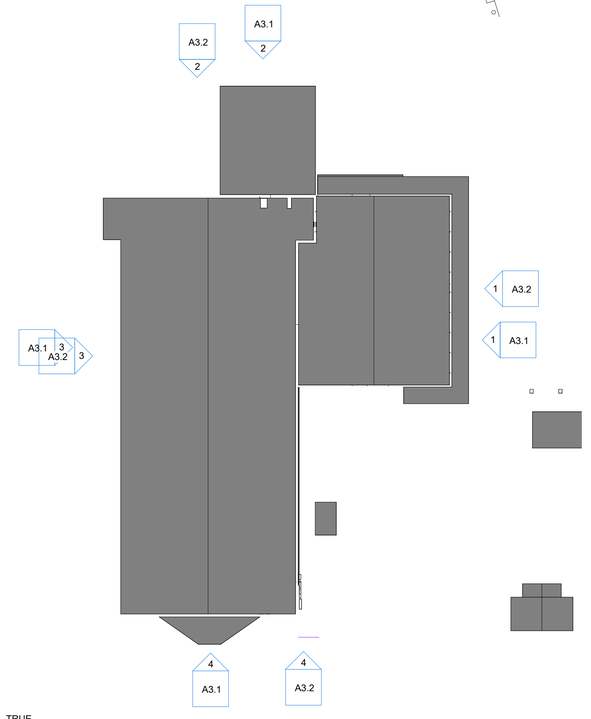


TRUE
KEY PLAN - ELEVATION

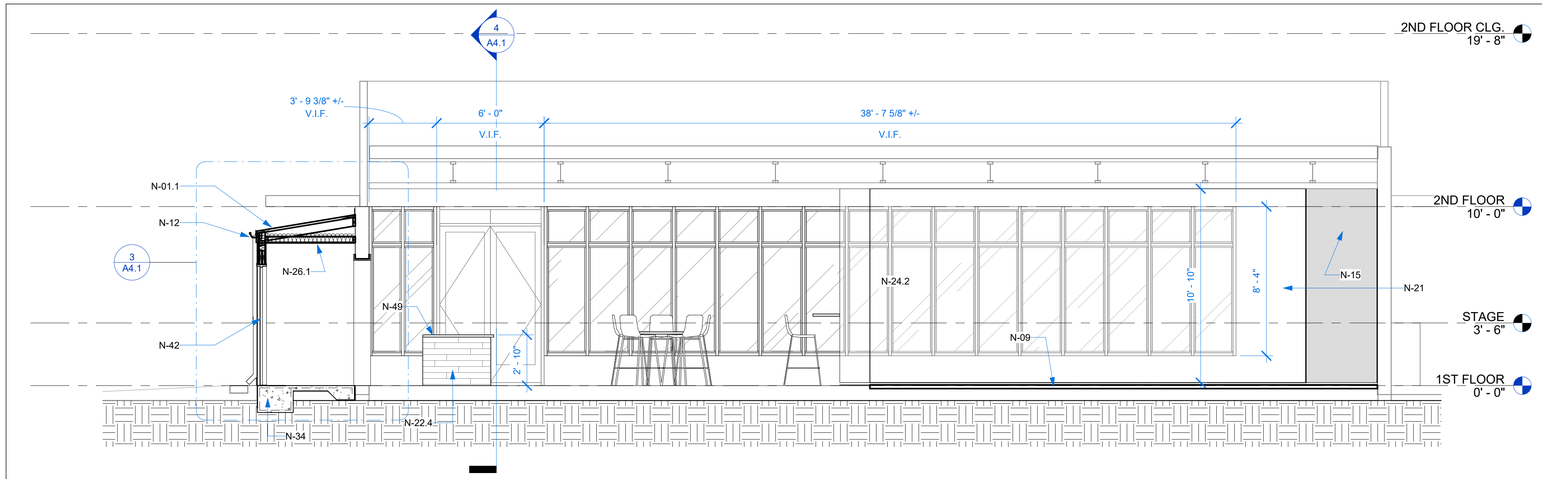
No.	Description	Date

NOT FOR CONSTRUCTION

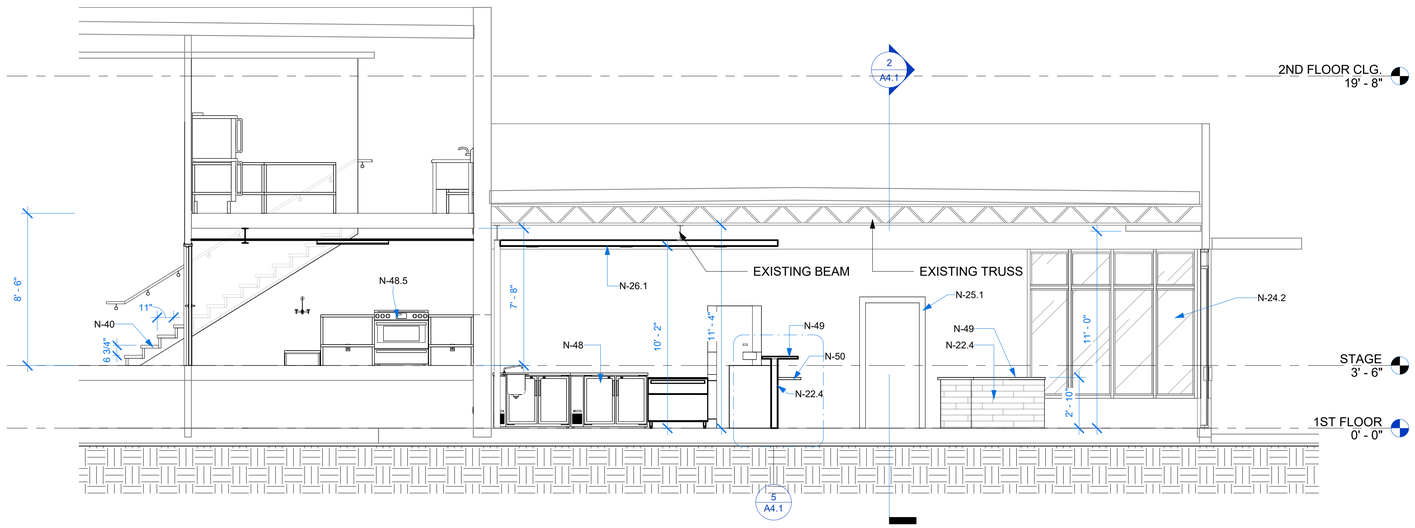
EXTERIOR ELEVATIONS - EXISTING

PROJECT STATUS
Date 04/28/25

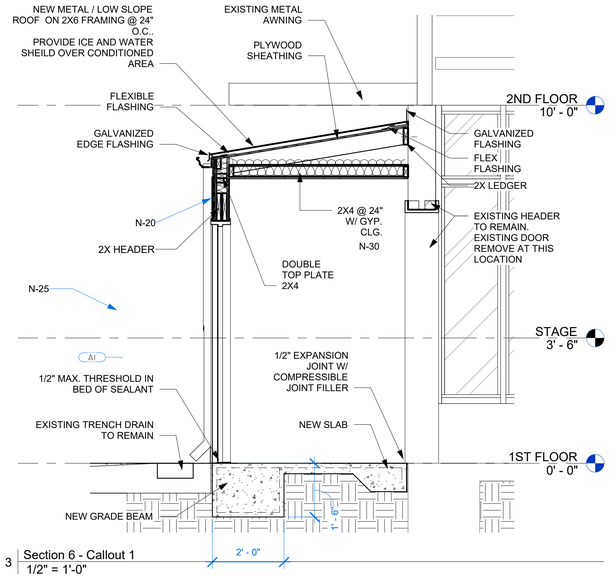
A3.1



2 | Section 6
1/4" = 1'-0"



4 | BUILDING SECTION 1
1/4" = 1'-0"



3 | Section 6 - Callout 1
1/2" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.1	STANDING SEAM METAL ROOF OVER SHEATHING AND WEATHER BARRIER W/ RIGID INSULATION. RE: DETAILS / ASSEMBLIES.
N-09	NEW INDOOR TURF AT CAGE AREAS, TYP.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-15	V.R. MACHINES BY OWNER. COORDINATE SPACE REQUIREMENTS AND MOUNTING REQUIREMENTS WITH SUPPLIER.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-21	SPORTS CAGE / NETTING BY SUPPLIER. COORDINATE WITH OWNER.
N-22.4	HALF WALL W/ COUNTER TOP. COORDINATE CLADDING SELECTION WITH OWNER. PROVIDE OUTLETS AND HOOKS UNDER BAR.
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-26.1	INTERIOR GYP. CLG., TYP. PROVIDE 2X FURRING ON THE FLAT AS REQ'D AT JOIST/FLOOR FRAMING. LEVE 4 FINISH, TYP. PROVIDE EASILY WASHABLE SURFACE AT KITCHEN / BAR AREAS.
N-30	R-38 BATT INSULATION AT CEILING REQUIRED PER CODE.
N-34	GRADE BEAM AND SLAB W/ #3 REBAR REINFORCEMENT. RE: DETAIL
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-42	REPAIR / REPLACE ANY MISSING OR DAMAGED WOOD TRIM IN KIND.
N-48	KITCHEN EQUIPMENT. APPLIANCES AT THIS LOCATION TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE. CONTRACTOR TO PROVIDE PROTECTION AT APPLIANCES AND FLOOR UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS. PROVIDE POWER / WATER / DRAINAGE AT NEW EQUIPMENT LOCATIONS, TYP.
N-48.5	CONVECTION OVEN. COORDINATE WITH OWNER & KITCHEN SUPPLIER
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-50	ADA FOLD OUT COUNTER @ 34" A.F.F. 36" WIDE

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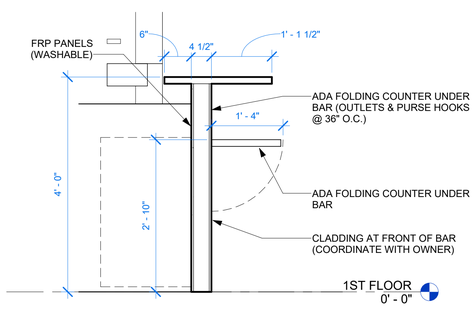
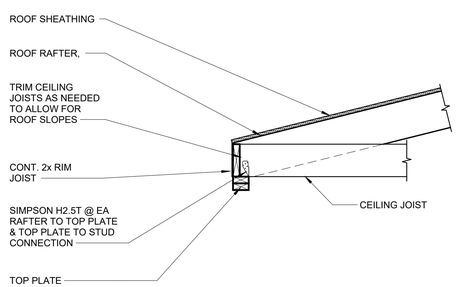
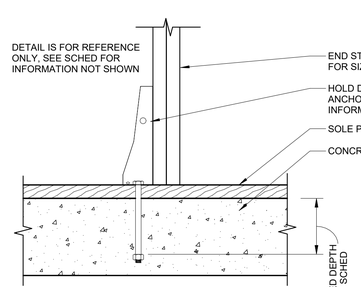


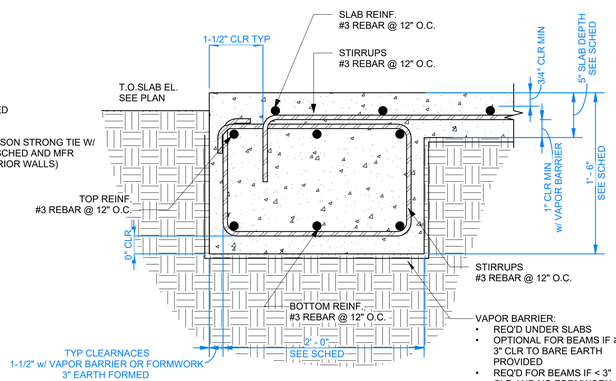
5 | COUNTER DETAIL
3/4" = 1'-0"



6 | TYP. ROOF FRAMING @ CEILING
3/4" = 1'-0"



7 | SHEAR WALL TIE DOWN DETAIL - CONCRETE
1 1/2" = 1'-0"



1 | TYPICAL EXTERIOR CONCRETE BEAM DETAIL
1 1/2" = 1'-0"

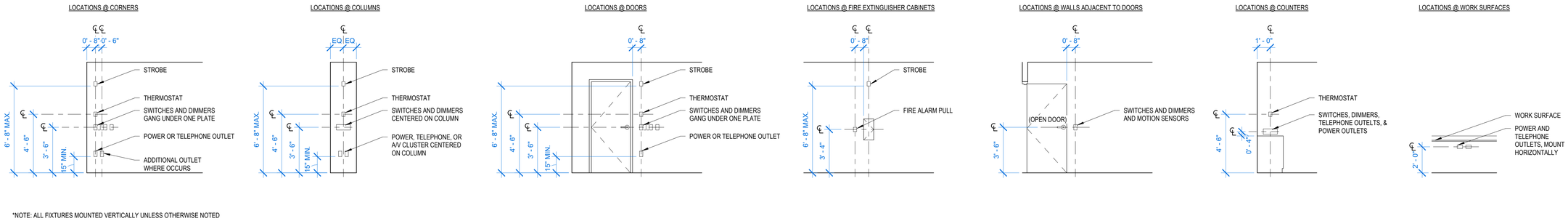
No.	Description	Date

NOT FOR CONSTRUCTION

BUILDING SECTIONS / DETAILS

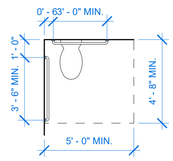
PROJECT STATUS
Date 04/28/25

A4.1

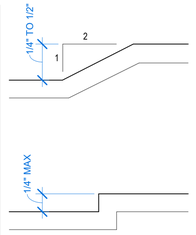


*NOTE: ALL FIXTURES MOUNTED VERTICALLY UNLESS OTHERWISE NOTED

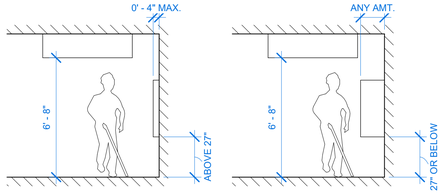
1 WALL FIXTURE MOUNTING LOCATIONS



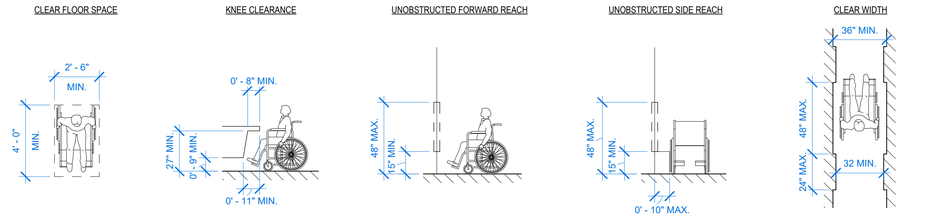
2 W.C. & GRAB BAR LAYOUT



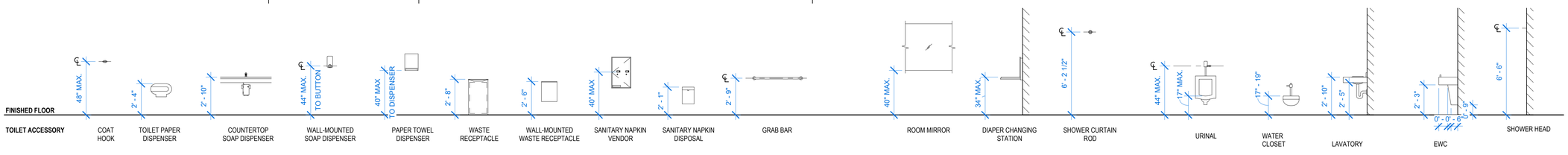
3 THRESHOLDS



4 PROTRUDING OBJECTS

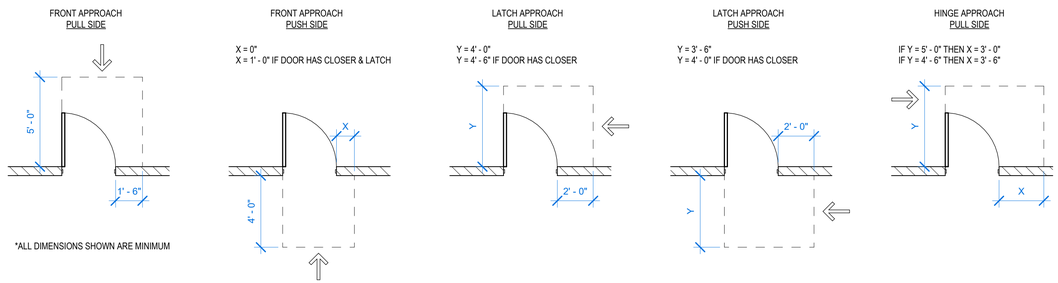


5 REACH RANGES



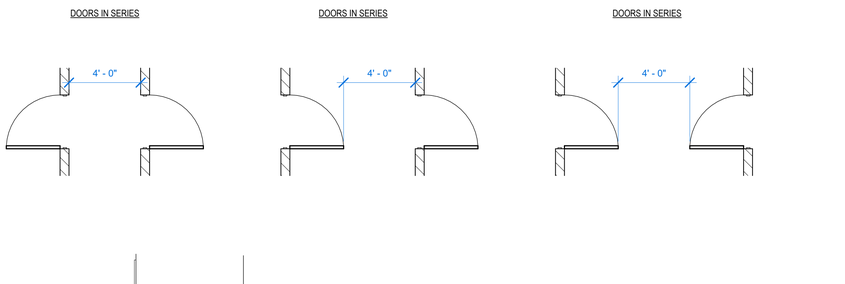
*NOTE: SOME TOILET ACCESSORIES ARE NOT APPLICABLE TO THE CONTRACTOR'S INSTALLATION AND ARE OWNER INSTALLED. ALL BLOCKING, WALL SUPPORTS, GROMMETS, CONSTRUCTION COORDINATION, APPLICABLE FIXTURES, AND TOILET ACCESSORIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. REVIEW DRAWINGS FOR MORE INFORMATION.

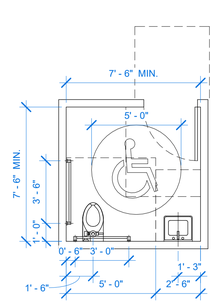
6 TYPICAL RESTROOM MOUNTING ELEVATIONS



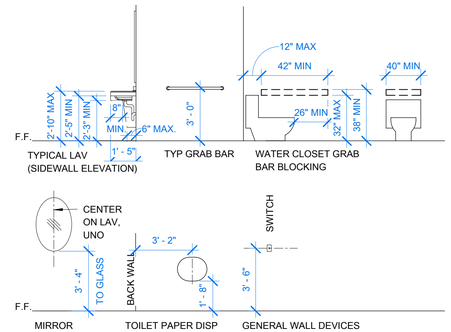
*ALL DIMENSIONS SHOWN ARE MINIMUM

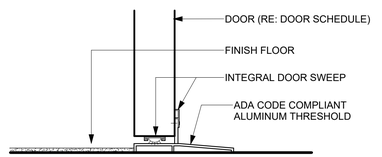
7 TYPICAL DOOR CLEARANCES





8 ADA RESTROOM DETAILS
1/4" = 1'-0"





9 DOOR DETAILS - EXTERIOR ADA SILL
3" = 1'-0"

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No.	Description	Date

NOT FOR CONSTRUCTION

ADA/ADAAG GUIDELINES

PROJECT STATUS
Date 04/28/25

A1.2

INSULATION

INSULATION R-VALUE REQUIREMENTS: 1) CEILING: R-38, 2) WALLS: R-13, 3) FLOORS: R-13

A. BATT INSTALLATION GUIDELINES: GRADE I – MINOR DEFECTS: OCCASIONAL VERY SMALL GAPS ARE ALLOWED. VOIDS CAN'T EXTEND FROM THE INTERIOR TO THE EXTERIOR (I.E. THE FULL WIDTH OF A WALL CAVITY). THE PRODUCT IS INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION AND CUT TO FIT AROUND ELECTRICAL JUNCTION BOXES AND IS SPLIT AROUND WIRES AND PIPES. COMPRESSION OR INCOMPLETE FILL AMOUNTING TO 2% OR LESS, IF THE EMPTY SPACES ARE LESS THAN 30% OF THE INTENDED FILL THICKNESS, ARE ACCEPTABLE FOR GRADE I.

B. CLOSED-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN FLOOR FRAMING JOISTS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE =13.
   A. TYPE II, MINIMUM DENSITY OF 1.5 IB/CU. FT. (24 KG/CU. M.)

C. OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN EXTERIOR STUDS AND AS DETAILED, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE = 13.
   A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU. M.)

D. OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY, BETWEEN ROOF FRAMING MEMBERS AND AS DETAILED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO A THICKNESS PRODUCING AN R-VALUE = 30.
   A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU.M.)

1. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE AIR SEALED
2. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED WITH INSULATION
3. EAVE BAFFLE: FOR AIR-PERMEABLE INSULATION IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL TO OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.
4. ALL ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE INSULATED TO THE SAME R-VALUE REQUIRED FOR THE WALL OR CEILING IN WHICH THEY ARE INSTALLED.
5. THE 'LOUISIANA INSULATION CERTIFICATE' SHALL BE PERMANENTLY POSTED IN A UTILITY AREA:

State of Louisiana Insulation Certificate
(Permanently attach this certificate in a utility area near the Energy Efficiency Certificate)

Date Installed _______________
Permit Number _______________

Area Insulated	Total R-value		Installed Thickness (3.5, 5.5, etc.)	Spray Foam Density (lbs./ft.^{3})	Ignition Barrier Provided (Y/N)	Thermal Barrier (Y/N)
Attic roofline (under sheathing)		at	inches			
Attic floor (above ceilings)		at	inches			
Cathedral ceiling		at	inches			
Exterior Walls		at	inches			
Knee walls		at	inches			
Band joist (between levels)		at	inches			
Under first floor (in crawl space)		at	inches			
Basement/crawl space walls		at	inches			

Jobsite Address	
General Contractor License No.	
Insulation Contractor (firm)	
Installer/Applicator Name	
Product Manufacturer(s)	
Product Name(s) & batch no.	

Supplemental Packet Contents:	Uploaded to permitting office (X)	Copy to General Contractor (X)	Copy to Homeowner (X or No Owner)
Insulation Certificate (copy)			
Insulation MSDS or Finished Foam Safety Data Sheets (SDS)			
Product Technical Data Sheets			
Spray Foam Applicator's Training Certificate (from manufacturer or SPFA)			
Performance Testing Report (blower door) with name of 3rd party provider			

GENERAL NOTES - INSULATION

STRUCTURAL

1. CONSTRUCT ALL FRAMING TRUE AND SQUARE USING #2 SYP OR SPRUCE MATERIALS. PROVIDE PRESSURE TREATED FRAMING AT INTERIOR WET AREAS AND EXTERIOR DECK & PORCH LUMBER EXPOSED TO THE ELEMENTS.
2. TREATED MATERIALS SHALL BE OF GRADE AS REQUIRED BY CONDITION AND KILN DRIED AFTER TREATMENT.
3. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL).
4. SEAL ALL ROUGH OPENINGS INTERIOR CAVITY VOIDS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO ENCLOSING WITH FINISH TRIM.

GENERAL NOTES - FRAMING

1. USE ONLY STAINLESS STEEL, COATED, OR HOT DIPPED GALVANIZED FASTENERS FOR EXTERIOR CONNECTIONS OR TREATED WOOD CONNECTIONS.
2. SECURE WIND ANCHORS IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS FOR LOADS GENERATED BY 144 MPH WIND SPEED.
3. SOLID SHEATH ALL EXTERIOR WALLS WITH 1/2" WINDSTORM FULL HEIGHT SHEATHING PANELS TO SPAN FRAMING CONNECTIONS SECURING CAP AND BOTTOM PLATES.
4. INSTALL BLOCKING AT ALL PANEL EDGES.
5. SECURE PLYWOOD WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS (OR EQUAL) @ 6" @ EACH SIDE, 3" STAGGERED @ ENDS & 12" @ INTERMEDIATE FRAMING.
6. JOIST TO BAND JOIST - FACE NAIL 3-16P COMMON
7. JOIST TO SILL - TOE NAIL 3-8P RING SHANK COMMON
8. BRIDGING TO JOIST - TOE NAIL 3-8P COMMON
9. BOTTOM PLATE TO JOIST OR BLOCKING - FACE NAIL 16P RING SHANK COMMON @ 8" STAGGERED.
10. TOP OR BOTTOM PLATE TO STUD - END NAIL 2-16P COMMON
11. STUD TO BOTTOM PLATE - TOE NAIL 4-8P COMMON
12. DOUBLE STUDS - FACE NAIL 10P COMMON @ 16"
13. CAP PLATE - FACE NAIL 2-10P COMMON @ 16"
14. TOP PLATE LAPS AND INTERSECTIONS - FACE NAIL 3-10P COMMON
15. CEILING JOIST/RAFTERS TO CAP PLATE - TOE NAIL 3-8P COMMON
16. CEILING JOIST LAPS OVER PARTITIONS - FACE NAIL 4-12P COMMON
17. RAFTER LAPS OVER BEARING - FACE NAIL 4-12P COMMON EACH END
18. BUILT-UP CORNERS & T'S - FACE NAIL 16P COMMON @ 16"
19. BUILT-UP HEADERS OF 3 MEMBERS - FACE NAIL 20P @ 16" EACH FACE STAGGERED & 2 EACH SPLICE
20. 3/4" PLYWOOD FLOOR DECK - FACE NAIL 8P COMMON RING SHANK - 6" @ SIDES, ENDS AND INTERMEDIATE FRAMING.
21. 5/8" PLYWOOD ROOF SHEATHING - INCORPORATE SPACING CLIPS @ 24", FACE NAIL WITH BOSTITCH HURRIQUAKE 2,5" HQ SHANK LARGE HEAD COMMON NAILS@ 6" @ PERIMETER SIDES, & 12" @ INTERMEDIATE FRAMING.
22. ROOFING SHINGLES - 6 GALV. 1.25" ROOFING NAILS PER SHINGLE (DADE PATTERN).

GENERAL NOTES - FRAMING CONNECTORS

CONCRETE AND REINFORCEMENT NOTES:
1. CONCRETE: ACI 301-89 SPECIFICATIONS, NORMAL WEIGHT (LATEST REVISION).
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 3000 PSI UNLESS OTHERWISE NOTED.
3. REINFORCING STEEL BARS: ASTM A615
4. WELDED WIRE MESH: ASTM A185
5. GRADE OF REINFORCING STEEL: GRADE 60.
6. REINFORCING DETAILS: ACI 315 STANDARDS.
7. ALL WORK WITHIN THE PROPERTY LINE SHALL CONFIRM TO REQUIREMENTS OF THE SEWERAGE AND WATER BOARD OF NEW ORLEANS

GENERAL NOTES - CONCRETE WORK

ROOF

1. CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
   FIELD VERIFY SIZE AND LOCATION OF ALL MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
2. LOCATIONS OF NEW ROOFING AND CRICKETING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
3. COORDINATE LOCATION AND QUANTITY OF DOWNSPOUTS, ROOF DRAINS AND OVERFLOW SCUPPERS.

BASIS OF DESIGN FOR ROOFING SYSTEMS:
ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED
ARCHITECTURAL SHINGLE

GENERAL NOTES - ROOF

FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
1. INTERIOR WALLS:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
2. CEILINGS:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
3. CEILING ABOVE SHOWER ENCLOSURE:
   PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
   TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
4. TRIM AND DOORS:
   PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
   TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

ENVELOPE

ROOFING:
1. GLASS-FIBER-REINFORCED ASPHALT SHINGLES BEARING A LIMITED LIFETIME WARRANTY SHALL BE INSTALLED OVER A WARRANTABLE ROOF UNDERLAYMENT COVERING FOR THE ENTIRETY OF THE ROOF SLOPE(S) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS RECOMMENDED BY THE ARMA'S "RESIDENTIAL ASPHALT ROOFING MANUAL" AND THE NRCA'S "THE NRCA ROOFING AND WATERPROOFING MANUAL." PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE. MUST CONFORM TO ASTM D 7158G (130 MPH) RATING.
2. UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. DISTORTIONS OF THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET (FROM ICC 2018)

EXTERIOR SHEATHING:
1. WALL SHEATHING WITH INTEGRAL WATER-RESISTIVE BARRIER AND AIR BARRIER.
   A. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
   B. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 7/16" THICK SHEATHING (GREEN IN COLOR)
   C. EDGE PROFILE: [SQUARE EDGE] [SELF-SPACING].
   D. FACER: MEDIUM-DENSITY, PHENOLIC-IMPREGNATED SHEET MATERIAL QUALIFYING AS A GRADE D WEATHER-RESISTIVE BARRIER IN ACCORDANCE WITH ICC AC38.
1. ROOF SHEATHING WITH INTEGRAL ROOF UNDERLAYMENT
   a. HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
   b. SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 1/2" THICK SHEATHING (RED IN COLOR).
   c. EDGE PROFILE: [SQUARE EDGE]

WINDOWS:
1. ALL BEDROOM WINDOWS TO BE EGRESS SIZED APPROVED BY MANUFACTURER
2. WINDOWS TO HAVE A U-FACTOR OF EQUAL OR LESS THAN .40 & A SHGC EQUAL OR LESS THAN .25

EXTERIOR FINISHES:
1. SOFFITS - FIBER-CEMENT SIDING PANELS BEARING A 10-YEAR MATERIAL AND WORKMANSHIP WARRANTY WITH PROFILES AS INDICATED BELOW SHALL BE INSTALLED OVER WEATHER BARRIER AT UNDER SIDE OF EXTERIOR SOFFITS. PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE.
   A. PANEL: 48-INCH WIDE SHEETS WITH SMOOTH TEXTURE.
2. WALLS & TRIM - CEMENTITIOUS FIBER BOARD TRIM & SIDING. SIDING TO BE 6" WIDE WITH SMOOTH PATTERN.
3. PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS BEARING A 10-YEAR FINISH WARRANTY SHALL BE INSTALLED AT HORIZONTAL ROOF EDGES AS INDICATED ON THE DRAWINGS. LOCATE DOWNSPOUTS TO ALIGN WITH EXPOSED PILES OR SCREENING SUPPORT FOR ADEQUATE BRACING. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT DISCHARGE LOCATIONS.
4. SHEET METAL FLASHING AND TRIM: FABRICATE FLASHING AND TRIM TO COMPLY WITH MANUFACTURER'S STANDARD PROCEDURES AND PROCESSES, AS NECESSARY TO FULFILL INDICATED PERFORMANCE REQUIREMENTS DEMONSTRATED BY LABORATORY TESTING. COMPLY WITH INDICATED PROFILES AND WITH DIMENSIONAL REQUIREMENTS.
   A. STAINLESS STEEL: 26 GA.
5. PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
   A. INTERIOR WALLS:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL),
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
   B. CEILINGS:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
   C. CEILING ABOVE SHOWER ENCLOSURE:
      A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
   D. TRIM AND DOORS:
      A. PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
      B. TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
   E. FIBER/ENGINEERED WOOD SIDING (PRE-PRIMED FROM FACTORY):
      A. 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
      B. PREP-CAULK SHALL BE A MINIMUM OF 60 YEAR PAINTABLE SILICONIZED ACRYLIC, NAIL HOLES AND BLEMISHES TO BE FILLED WITH APPROPRIATE WOOD FILLER. APPLY PAINT BY BRUSH, ROLLER, OR SPRAY. SAND BETWEEN COATS AS NECESSARY
6. CAULKING, SEALING AND INSULATION
   A. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL
   B. TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL). SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO APPLYING INTERIOR TRIM.
7. EXTERIOR PORCH DECKING AND RELATED STAIRS TO BE SEALED WITH A THOMPSONS WATER SEAL OR EQUIVALENT.

GENERAL NOTES - THERMAL ENVELOPE

FLOOD PROOFING

A COMBINATION OF MEASURES THAT MAKE A BUILDING AND ATTENDANT UTILITIES AND EQUIPMENT WATERTIGHT AND SUBSTANTIALLY IMPERMEABLE TO FLOODWATER, WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY TO RESIST FLOOD LOADS.

GENERAL NOTES - DRY FLOODPROOFING

THE USE OF FLOOD DAMAGE-RESISTANT MATERIALS AND CONSTRUCTION TECHNIQUES THAT INTENTIONALLY ALLOW FLOODWATER TO ENTER AND FLOW THROUGH A STRUCTURE WITHOUT CAUSING DAMAGE THAT REQUIRES MORE THAN COSMETIC REPAIRS.

1. FLOOD VENTS TO BE INSTALLED AT A MINIMUM OF 2 EXTERIOR WALLS.
2. THE TOTAL SQUARE INCHES OF THE OPENINGS MUST BE EQUAL TO OR GREATER THAN THE TOTAL SQUARE FOOTAGE OF THE ENCLOSED SPACE.
3. THE BOTTOM OF EACH OPENING CAN BE NO MORE THAN 12" ABOVE THE GRADE.
4. NO SHEETROCK IS ALLOWED FOR WET-FLOODPROOFING. MUST USE CEMENT FIBER BOARD (HARDIBOARD) OR SIMILAR ON ALL WALL +1' ABOVE BASE FLOOD ELEVATION REQUIREMENT.
5. ALL ELECTRICAL MUST BE INSTALLED ABOVE BFE.

GENERAL NOTES - WET FLOODPROOFING

MEP

1. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR AND SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL PULL ALL PERMITS RELATED TO WORK AND AS REQUIRED BY THE CITY OF NEW ORLEANS.
2. CONTRACTOR TO VISIT SITE/STRUCTURE WITH OWNER PRIOR TO ACCEPTANCE OF BID TO VERIFY ALL FIELD CONDITIONS AS DEPICTED IN DRAWINGS.
3. WATER SUPPLY LINE TO EXTERIOR WATER HEATER MUST BE COPPER (AND ANY DISTRIBUTION LINES EXPOSED TO EXTERIOR MUST BE COPPER). WATER LINES WITHIN/ATTACHED TO UNDERSIDE OF STRUCTURE SHALL BE COPPER. EXTEND 3/4" WATER LINE FROM EACH PLUMBING FIXTURE GROUP TO EXISTING MAIN WATER DISTRIBUTION LINE. HOT WATER SUPPLY LINES TO BE 3/4" COPPER.
4. PRESSURE TEST SYSTEM TO 150 PSI PRIOR TO CLOSE-UP. SECURE ALL WATER LINES & PROTECT FROM INCOMPATIBLE MATERIALS.
5. SOIL LINES SHALL BE SCHEDULE 40 PVC. SOLVENT WELD ALL JOINTS USING PROPER CLEANER AND GLUE. PROVIDE HANGERS AS REQUIRED TO PROPERLY SUPPORT LINE RUNS BELOW STRUCTURE. THE MINIMUM SLOPE OF ANY SOIL LINE SHALL BE 1/4" PER FOOT. TEST ALL SOIL LINES WITH 10' HEAD PRESSURE PRIOR TO COVER-UP. PROVIDE CLEAN-OUT (SYMBOL 'CO') AS INDICATED ON PLAN.
6. FURNISH ALL FITTINGS & ALL ACCESSORIES AS REQUIRED FOR COMPLETE PLUMBING INSTALLATION (SANS FIXTURES). PROVIDE SUPPLY STOPS FOR ALL FIXTURES, DISHWASHERS, AND ICE MAKERS. PROVIDE HEAVY DUTY PVC P-TRAPS AT ALL LAVATORIES AND SINKS. OWNER TO PROVIDE ALL PLUMBING FIXTURES.
7. PROVIDE NATURAL GAS SERVICE TO WATER HEATER (WHEN UNIT IS GAS FIRED), WASHER/DRYER, AND REAR OF STRUCTURE AS SHOWN ON PLANS (SYMBOL 'GAS'). REFER TO MANUFACTURER'S PRODUCT INFO FOR SIZE OF SERVICE.
8. PROVIDE BRASS HOSE BIBS AS SHOWN ON PLANS (SYMBOL 'HB').

GENERAL NOTES - PLUMBING SYSTEM

1. ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (LATEST EDITION), STATE AND PARISH REGULATIONS AND ORDINANCES. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE LATEST EDITION AS AMENDED BY THE NATIONAL ELECTRICAL CODE (NFPA-70) AND OTHER APPLICABLE SAFETY CODES AS ENFORCED BY THE SAFETY AND PERMITS OF NEW ORLEANS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 200 EDITION, 2735 BASIC STANDARDS PAGE 47 AND CHAPTER 35 REFERENCE STANDARDS PAGE 48.
2. ALL MATERIALS SHALL BE NEW AND U.L. APPROVED, UNLESS NOTED OTHERWISE.
3. ALL WIRING DEVICES SHALL BE OF THE SPECIFICATION GRADE AND BE AS MANUFACTURED BY SIERRA, HUBBELL, LEVITON, SLATER, GENERAL ELECTRIC OR P&S. DEVICE PLATES SHALL BE SIERRA P LINE SMOOTH PLASTIC OR EQUAL. COLOR OF PLATES AND DEVICES SHALL BE OFF-WHITE.
4. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND OUTLETS ARE SHOWN APPROXIMATELY ONLY.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR ALL NECESSARY DIMENSIONS OR MAKE ACTUAL MEASUREMENTS AT THE JOB SITE.
6. IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE COMPLETE AND OPERATING ELECTRICAL SYSTEM.
7. PROVIDE SMOKE DETECTOR INSIDE ALL BEDROOMS (IF APPLICABLE) AND OUTSIDE DOOR IN HALLWAY. PROVIDE SMOKE/CARBON MONOXIDE DETECTOR IN KITCHEN. IF GARAGE IS PRESENT, PROVIDE CARBON MONOXIDE DETECTOR.
8. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.

GENERAL NOTES - ELECTRICAL SYSTEM

1. HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR THE ASHRAE HANDBOOK OF FUNDAMENTALS.
2. INTERIOR DESIGN CONDITIONS FOR HVAC SYSTEM: THE INTERIOR DESIGN TEMPERATURES USED FOR HEATING AND COOLING LOAD CALCULATIONS SHALL BE A MAXIMUM OF 72 DEGREES F FOR HEADING AND MINIMUM OF 75 DEGREES F FOR COOL.
3. HEATING AND COOLING EQUIPMENT SHALL MEET ONE OF THE FOLLOWING EFFICIENCIES:
   1. GREATER THAN OR EQUAL TO 95 AFUE NATURAL GAS FURNACE AND 16 SEER AIR CONDITIONER. 15 SEER WHEN COMMERCIAL.
   2. GREATER THAN OR EQUAL TO 10 HSPF/16 SEER AIR SOURCE HEAT PUMP.
   3. GREATER THAN OR EQUAL TO 3.5 COP GROUND SOURCE HEAT PUMP. FOR MULTIPLE COOLING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE COOLING DESIGN LOAD. FOR MULTIPLE HEATING SYSTEMS, ALL SYSTEMS SHALL MEET OR EXCEED THE MINIMUM EFFICIENCY REQUIREMENTS IN THIS SECTION AND SHALL BE SIZED TO SERVE 100 PERCENT OF THE HEATING DESIGN LOAD.
4. DUCT SIZING. DUCTS INSTALLED IN A SINGLE DWELLING UNIT SHALL BE IN ACCORDANCE WITH ACCA MANUAL D OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. MECHANICAL COOL SYSTEM DUCTING TO HAVE A MINIMUM R-VALUE OF R8 WHEN LOCATED OUTSIDE OF THE CONDITIONED SPACE. IF LOCATED INSIDE THE CONDITIONED SPACE, DUCT INSULATION TO HAVE A MINIMUM R-VALUE OF R6.
6. MECHANICAL DUCTING MAXIMUM HORIZONTAL SAG TO BE MAXIMUM 1/2" PER FOOT
7. HVAC SUPPLY AND RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT.
8. MECHANICAL EXHAUST RATES FOR BATHROOMS SHALL BE 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.
9. PROVIDE TRUE 7-DAY PROGRAMMABLE THERMOSTATS THAT ARE CAPABLE OF AUTOMATIC ON/OFF CONTROL.
10. WHEN COMMERCIAL, THE SUPPLY OF HEATING AND COOLING ENERGY TO EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS CAPABLE OF RESPONDING TO TEMPERATURE WITHIN THE ZONE. WHERE HUMIDIFICATION OR DEHUMIDIFICATION OR BOTH IS PROVIDED, NOT FEWER THAN ONE HUMIDITY CONTROL DEVICE SHALL BE PROVIDED FOR EACH HUMIDITY CONTROL SYSTEM. WHERE COOLING IS PROVIDED, THE SYSTEM SHALL BE CAPABLE OF LIMITING RELATIVE HUMIDITY LEVELS TO 60% RELATIVE HUMIDITY. SUPPLEMENTAL DEHUMIDIFICATION EQUIPMENT MAY BE USED TO MEET THIS REQUIREMENT.

MECHANICAL EQUIPMENT EXTERIOR LOCATION GUIDELINES:
1. GROUND-BASED OR WALL-MOUNTED MECHANICAL EQUIPMENT (WITH LESS THAN 7 FEET OF VERTICAL CLEARANCE) INCLUDING, BUT NOT LIMITED TO, HEATING, VENTILATING, GEOTHERMAL ENERGY, AND AIR-CONDITIONING (HVAC) UNITS, SWIMMING POOL EQUIPMENT, AND BACK-UP ELECTRICAL GENERATORS, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE LOCATED AT LEAST TWO (2) FEET FROM THE INTERIOR SIDE OR REAR PROPERTY LINE. THIS TWO (2) FOOT DISTANCE SHALL REMAIN OPEN TO THE SKY.
2. WALL-MOUNTED MECHANICAL EQUIPMENT, WITH 7 FEET OR GREATER OF VERTICAL CLEARANCE, MAY BE LOCATED IN AN INTERIOR SIDE OR REAR YARD AND SHALL BE AT LEAST 18 INCHES FROM THE PROPERTY LINE.
3. GROUND-BASED MECHANICAL EQUIPMENT IS PROHIBITED IN A FRONT OR CORNER SIDE YARD. MECHANICAL EQUIPMENT SETBACKS IN THIS SECTION ONLY APPLY TO MECHANICAL EQUIPMENT IN REQUIRED INTERIOR AND REAR YARDS AND DO NOT APPLY IF THERE ARE NO YARD REQUIREMENTS.
4. HOWEVER, ANY EXISTING GROUND-BASED MECHANICAL EQUIPMENT THAT DOES NOT COMPLY WITH THE LOCATION REQUIREMENTS AS OF THE DATE OF ADOPTION OF THIS ORDINANCE IS CONSIDERED LEGALLY CONFORMING AND MAY BE REPLACED AND REPAIRED.
5. ALL APPROVED GROUND-BASED MECHANICAL EQUIPMENT, INCLUDING, BUT NOT LIMITED TO HVAC UNITS, SHALL BE SCREENED WHEN READILY VISIBLE FROM THE PUBLIC RIGHT-OF-WAY, EXCLUDING ALLEYS. SCREENING MATERIALS MAY BE MASONRY, WOOD, OR LANDSCAPE, AND SHALL EFFECTIVELY SCREEN MECHANICAL EQUIPMENT SO NO PORTION IS READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY. COLOR AND TEXTURE OF A MASONRY WALL SHALL BE COMPATIBLE WITH THE COLOR AND TEXTURE OF THE PRINCIPAL BUILDING ON THE SITE. IF GROUND-BASED MECHANICAL EQUIPMENT IS SCREENED BY AN EXISTING STRUCTURE, FENCE OR LANDSCAPE, SUCH THAT IT IS NOT READILY VISIBLE FROM THAT PUBLIC RIGHT-OF-WAY, IT WILL BE CONSIDERED TO HAVE MET THESE REQUIREMENTS.
6. GROUND-BASED MECHANICAL EQUIPMENT SHALL BE CONSTRUCTED ABOVE BASE FLOOR ELEVATION (BFE), WHEN APPLICABLE. IF THE EQUIPMENT WOULD BE CONSTRUCTED SO THAT IT WILL BE HIGHER THAN A FENCE IN THE INTERIOR SIDE YARD, IT MAY NOT BE LOCATED WITHIN THE INTERIOR SIDE YARD.
7. ANY ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SET BACK AT LEAST SIX (6) FEET FROM ANY WALL OF THE BUILDING TO PERMIT SAFE ACCESS TO THE ROOF AND SHALL NOT BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.

GENERAL NOTES - MECHANICAL SYSTEMS

1. CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL.
2. ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING INSTALLATION.
3. TYPICAL: WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
4. REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
5. REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISIBLE TO PRIMARY SCALED PLANS.
6. REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

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No.	Description	Date

NOT FOR CONSTRUCTION

NOTES

PROJECT STATUS

Date 04/28/25

A1.3

KEYNOTES - SHEET	
Key Value	Keynote Text
N-15	V.R. MACHINES BY OWNER. COORDINATE SPACE REQUIREMENTS AND MOUNTING REQUIREMENTS WITH SUPPLIER.
N-18	METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL, RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-21	SPORTS CAGE / NETTING BY SUPPLIER. COORDINATE WITH OWNER.
N-22	NEW INTERIOR GYP. PARTITION, TYP. RE: WALL SCHEDULES
N-22.4	HALF WALL W/ COUNTER TOP. COORDINATE CLADDING SELECTION WITH OWNER. PROVIDE OUTLETS AND HOOKS UNDER BAR.
N-23	NEW STEEL POST AND FOOTING TO SUPPORT EXISTING STEEL BEAM AT THIS LOCATION.
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-46.2	NEW ADA COMPLIANT TOILET WITH GRAB BARS. RE: ADA GUIDELINES FOR MOUNTING LOCATIONS AND HEIGHTS.
N-48	KITCHEN EQUIPMENT. APPLIANCES AT THIS LOCATION TO BE SELECTED BY OWNER, CONTRACTOR TO COORDINATE. CONTRACTOR TO PROVIDE PROTECTION AT APPLIANCES AND FLOOR UNTIL FINAL COMPLETION. TO BE TURNED OVER AS NEW, FREE OF BLEMISHES / DENTS. PROVIDE POWER / WATER / DRAINAGE AT NEW EQUIPMENT LOCATIONS, TYP.
N-48.5	CONVECTION OVEN. COORDINATE WITH OWNER & KITCHEN SUPPLIER
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.
N-50	ADA FOLD OUT COUNTER @ 34" A.F.F. 36" WIDE

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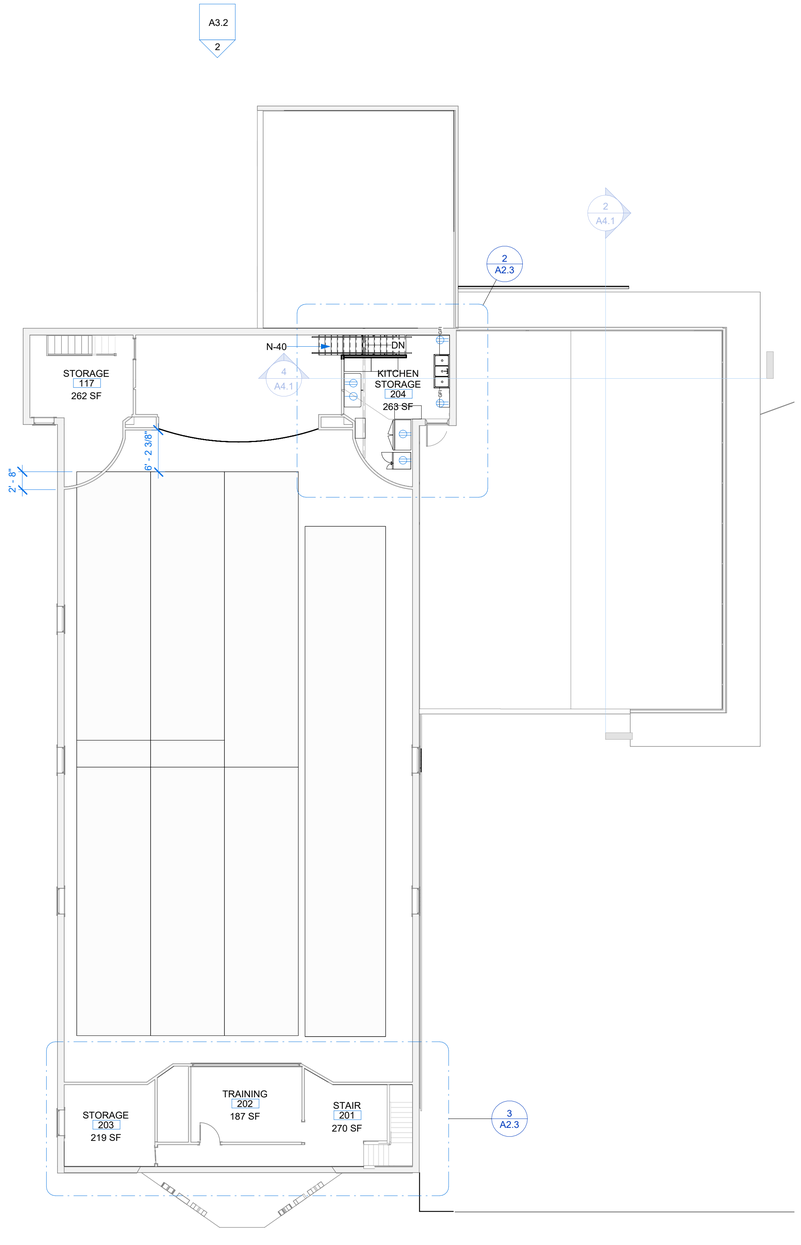
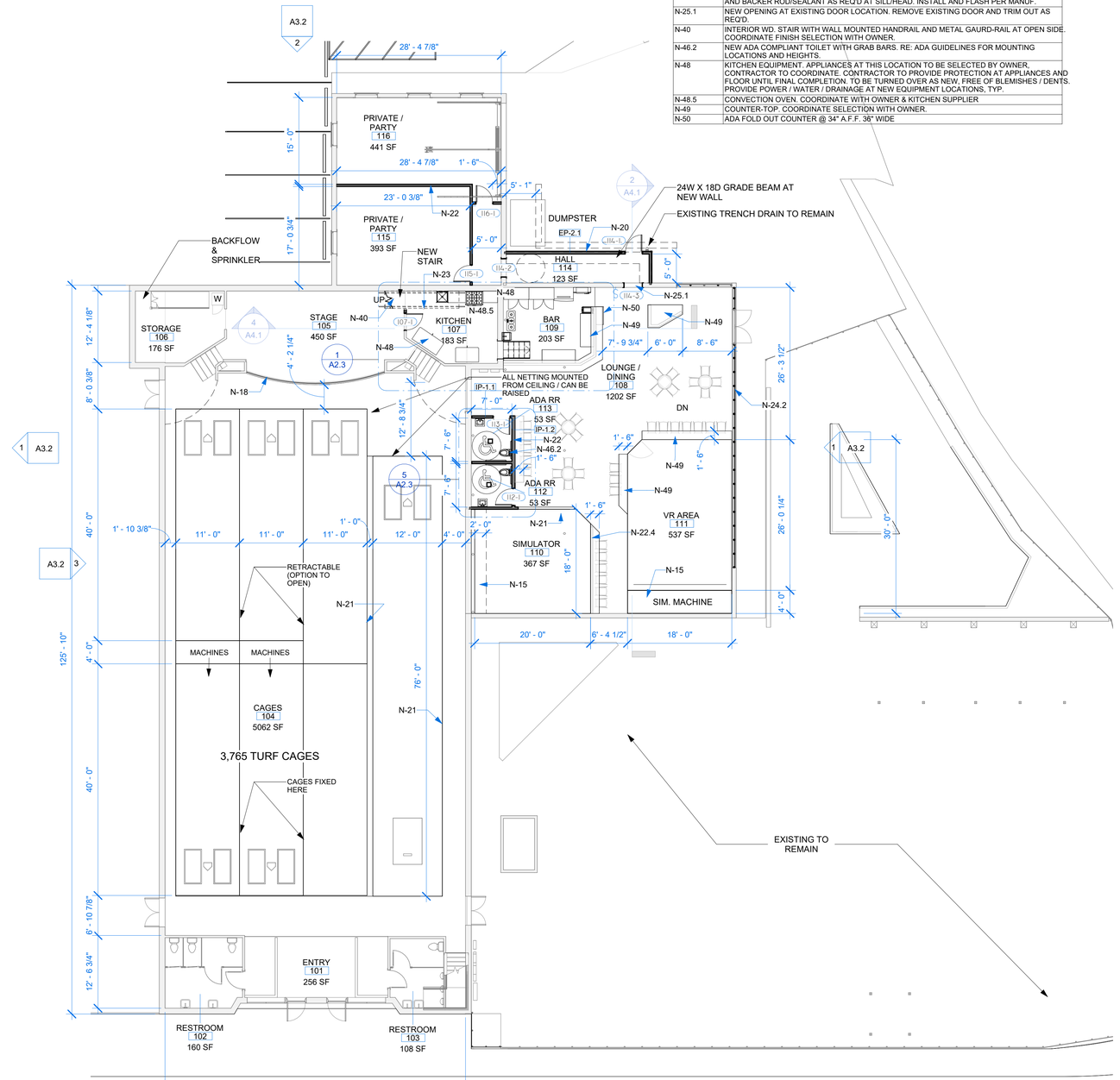


TRUE

2ND FLOOR 1216 SF

2 | 2ND FLOOR PLAN
3/32" = 1'-0"



TRUE

1ST FLOOR 10581 SF

1 | 1ST FLOOR_PLAN
3/32" = 1'-0"

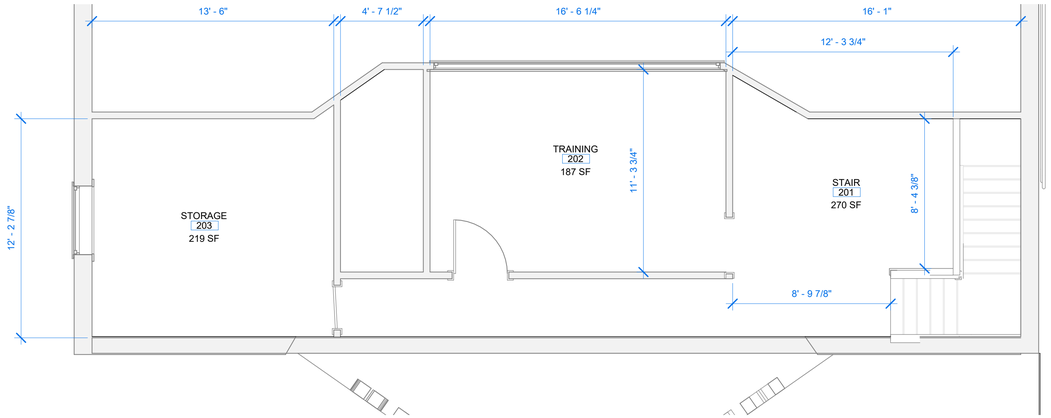
No.	Description	Date

NOT FOR CONSTRUCTION

FLOOR PLANS - PROPOSED

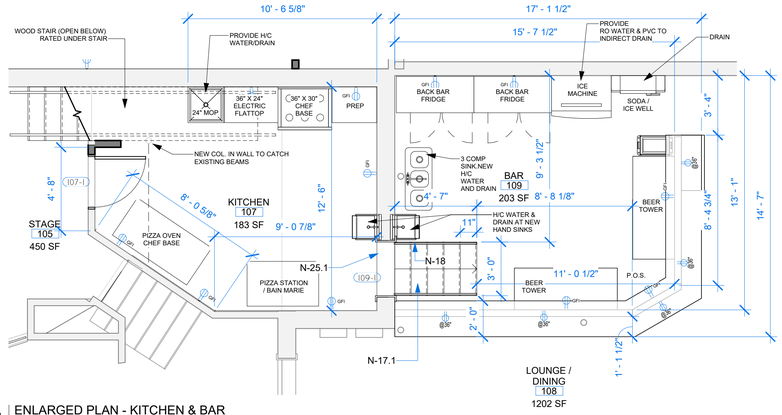
PROJECT STATUS
Date 04/28/25

A2.2

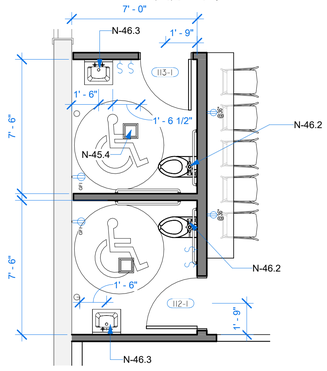


3 ENLARGED PLAN - TRAINING
1/4" = 1'-0"

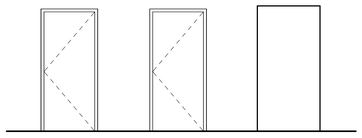
KEYNOTES - SHEET	
Key Value	Keynote Text
N-17.1	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. RE: DETAILS / STRUCT.
N-18	METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.
N-25.1	NEW OPENING AT EXISTING DOOR LOCATION. REMOVE EXISTING DOOR AND TRIM OUT AS REQ'D.
N-40	INTERIOR WD. STAIR WITH WALL MOUNTED HANDRAIL AND METAL GAURD-RAIL AT OPEN SIDE. COORDINATE FINISH SELECTION WITH OWNER.
N-45.4	FLOOR DRAIN AT ADA BATHROOMS, TYP. SLOPE TO DRAIN. FLASH PER MANUF. REQUIREMENTS.
N-46.2	NEW ADA COMPLIANT TOILET WITH GRAB BARS. RE: ADA GUIDELINES FOR MOUNTING LOCATIONS AND HEIGHTS.
N-46.3	ADA COMPLIANT SINK AND FAUCET. P-TRAP COVER AND AUTO-DISPENSING SOAP DISPENSER, TOWEL DISPENSER/HAND DRYER PER ADA GUIDELINES.

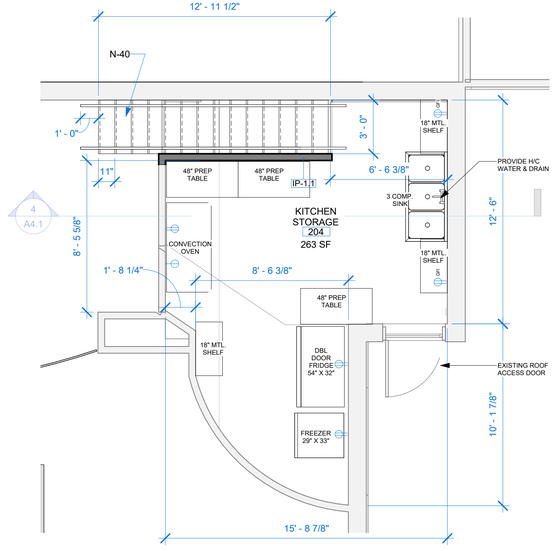


1 ENLARGED PLAN - KITCHEN & BAR
1/4" = 1'-0"



5 ENLARGED PLAN - ADA BATHROOMS
1/4" = 1'-0"



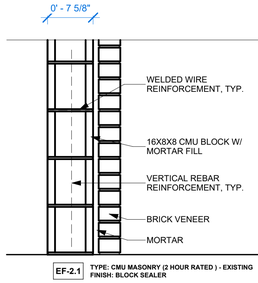


2 ENLARGED PLAN - UPSTAIRS STORAGE
1/4" = 1'-0"

NOTE: NEW 3 COMP SINKS TO USE EXISTING ON SITE GREASE TRAP.

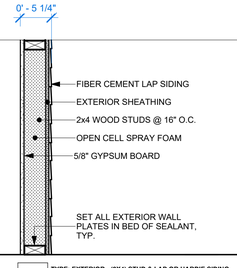
Room Finish Schedule									
			Finish						
Level	Room Number	Room Name	Floor	Base	Wall	Ceiling	Ceiling Height	Area	Comments
1ST FLOOR	101	ENTRY	CONC.	-	BLOCK	E.T.R.		256 SF	
1ST FLOOR	102	RESTROOM	CONC.	-	BLOCK/GYP	EX. GYP.		160 SF	
1ST FLOOR	103	RESTROOM	CONC.	-	BLOCK/GYP	EX. GYP.		108 SF	
1ST FLOOR	104	CAGES	CONC. / TURF	-	BLOCK	EX. GYP.		5062 SF	
1ST FLOOR	105	STAGE	CONC.	-	BLOCK/GYP	EX. GYP.		450 SF	
1ST FLOOR	106	STORAGE	CONC.	-	BLOCK/GYP	CONC.		176 SF	
1ST FLOOR	107	KITCHEN	CONC.	-	BLOCK / GYP	GYP-2		183 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
1ST FLOOR	108	LOUNGE / DINING	CONC.	-	BLOCK / GYP	EXPOSED		1202 SF	
1ST FLOOR	109	BAR	CONC.	-	BLOCK / GYP	GYP-2		203 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
1ST FLOOR	110	SIMULATOR	CONC.	-	BLOCK / BRICK	EXPOSED		367 SF	
1ST FLOOR	111	VR AREA	CONC. / TURF	-	BLOCK / BRICK	EXPOSED		537 SF	
1ST FLOOR	112	ADA RR	CONC.	-	BLOCK/GYP	GYP-1		53 SF	
1ST FLOOR	113	ADA RR	CONC.	-	BLOCK/GYP	GYP-1		53 SF	
1ST FLOOR	114	HALL	CONC.	-	BRICK/GYP	GYP-1		123 SF	
1ST FLOOR	115	PRIVATE / PARTY	CONC.	-	BLOCK/GYP	EXPOSED		393 SF	
1ST FLOOR	116	PRIVATE / PARTY	CONC.	-	BLOCK/GYP	EXPOSED		441 SF	
								9766 SF	
2ND FLOOR	117	STORAGE						262 SF	
2ND FLOOR	201	STAIR	CONC.	-	BLOCK/GYP	E.T.R.		270 SF	
2ND FLOOR	202	TRAINING	CONC.	-	BLOCK/GYP	E.T.R.		187 SF	
2ND FLOOR	203	STORAGE	CONC.	-	BLOCK/GYP	E.T.R.		219 SF	
2ND FLOOR	204	KITCHEN STORAGE	CONC.	-	BLOCK/GYP	E.T.R.		263 SF	WASHABLE SURFACES: WASHABLE GYP AND SEALED BLOCK / CONCRETE AT KITCHEN / PREP AREAS. WASHABLE GYP. CLG.
								1201 SF	
								10967 SF	

EXTERIOR FIRE RATED WALLS



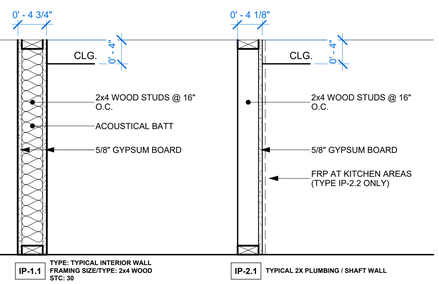
EF-2.1 TYPE: CMU MASONRY (2 HOUR RATED) - EXISTING FINISH: BLOCK SEALER
UL U905

EXTERIOR WALLS (NON RATED)



EP-2.1 TYPE: EXTERIOR - (2X4) STUD & LAP OR HARDIE SIDING R VALUE: R18 MIN.

NON-RATED WALLS - INTERIOR



IP-1.1 TYPE: TYPICAL INTERIOR WALL FRAMING SIZE/TYPE: 2x4 WOOD STC: 30

IP-1.2 TYPE: TYPICAL INTERIOR WALL FRAMING SIZE/TYPE: 2x6 WOOD STC: 30

IP-2.1 TYPICAL 2X PLUMBING / SHAFT WALL

IP-2.2 TYPICAL 2X PLUMBING / SHAFT WALL W/ FRP

LEGEND - WALL SCHEDULE
1" = 1'-0"

SYMBOL	TYPE	SIZE	SPACING (IN)	SHEATHING / CLADDING	SHEAR WALL	ANCHOR	ANCHOR SPACING (IN)	EMBED DEPTH (IN)	HORZ. REINF. [H]	[H] REINF. SPACING (IN)	VERT REINF. [V]	[V] REINF. SPACING (IN)	GROUTED SPACING (IN)	COMMENTS
IP-1.2	WOOD	2X6	16	MIN 1/2" GYP EA SIDE	SEE PLAN	1/2" ø	48	8	2x6	48	-	-	-	SEE DETAIL FOR TIE DOWNS AND CONN.
EP-2.1, IP-1.1, IP-2.1, IP 2.2	WOOD	2X4	16	MIN 1/2" GYP EA SIDE	SEE PLAN	1/2" ø	48	8	2x4	48				SEE DETAIL FOR TIE DOWNS AND CONN.

NOTE: UNLESS NOTED OTHERWISE
1. HORZ REINF BASIS OF DESIGN IS HOHMANN & BARNARD INC
   A. LM = LADDER MESH
   B. LTM = LADDER TRU-MESH
   C. TM = TRUSS MESH
   D. TTM = TRUSS TRI- MESH
2. ANCHORS TO BE A307 GRADE, THREADED RODS, CAST IN PLACE. POST INSTALLED TO BE EPOXY ANCHORED 10" EMBED
3. HORZ. REINF. SPACING FOR WD WALLS DENOTES VERTICAL SPACING OF IN WALL BLOCKING, ENSURE BLOCKING PROVIDED FOR SHEATHING PER
4. ALL EXTERIOR WALLS TO BE FULLY BLOCKED AND SHEATHED PRIOR TO REMOVING ANY LATERAL BRACING.
5. ALL INTERIOR WALLS TO BE FULLY BLOCKED AND AT A MINIMUM BE SHEATHED ON ONE SIDE PRIOR TO REMOVING ANY LATERAL BRACING.
6. ALL EXTERIOR SIDING TO BE FULLY REPAIRED AND REPLACED PRIOR TO REMOVING ANY LATERAL BRACING.

4 WALL SCHEDULE
1/2" = 1'-0"

DOOR TYPES

DOOR SCHEDULE - LONG								
			SIZE					
Tag	Elevation Type Mark	DOOR TYPE	WIDTH	HEIGHT	Door Material	FRAME TYPE	HDWR TYPE	COMMENTS
114-1	A1	A	2' - 10"	6' - 8"	Metal		1	EXTERIOR INSULATED SINGLE SWING DOOR. PROVIDE PANIC HARDWARE AND CLOSER
107-1	B1	A	2' - 10"	6' - 8"	WD		4	INTERIOR SINGLE SWING DOOR - KICKPLATE
112-1	B1	A	2' - 10"	6' - 8"	WD		3	INTERIOR SINGLE SWING DOOR - SELF CLOSING
113-1	B1	A	2' - 10"	6' - 8"	WD		3	INTERIOR SINGLE SWING DOOR - SELF CLOSING
116-1	B1	A	2' - 10"	6' - 8"	WD		2	INTERIOR SINGLE SWING DOOR
115-1	B1	A	2' - 10"	6' - 8"	WD		2	INTERIOR SINGLE SWING DOOR
114-3	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING DOOR LOCATION
114-2	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING BLOCK WALL. NEW BOND BEAM HEADER AS REQ'D
109-1	C1	B	3' - 0"	7' - 0"	-			CASED OPENING AT EXISTING BLOCK WALL. NEW BOND BEAM HEADER AS REQ'D

GENERAL NOTES: DOOR SCHEDULE

1. CONTRACTOR SHALL PROVIDE OWNER WITH ALL DOOR, CASING, & TRIM SPECIFICATIONS FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
2. ALL NEW EXTERIOR LITES SHALL BE TEMPERED, CLEAR GLAZING WITHOUT TINT OR TEXTURE.
3. ALL DOOR CASINGS SHALL BE PRIMED & PAINTED 1X WOOD. MATCH EXISTING DOOR CASINGS, TYP.
4. ALL HARDWARE TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
5. FOR POCKET DOORS, ENSURE THAT FINISH NAILS DO NOT SCRAPE DOOR WHEN FINISHED.
6. PROVIDE WIND-BORNE DEBRIS PROTECTION FOR EXTERIOR GLAZING IN ACCORDANCE WITH 2015 IRC, SEC. R301.2.1.2. GLAZED OPENING PROTECTION SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886.
7. PROVIDE LOW VOLTAGE POWER AT EXTERIOR ENTRANCE DOORS FOR DOORBELL / DOOR CHIME.
8. PROVIDE PANIC BARS WHERE OCCUPANT LOAD EXCEEDS 50 PERSON. RE: LIFE SAFETY PLANS (FOR COMMERCIAL PROJECTS ONLY). PROVIDE AUTOMATIC CLOSERS AT NON-SPRINKLERED CORRIDORS, TYP.

GENERAL NOTES - DOOR SCHEDULE
1/4" = 1'-0"

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NEW ORLEANS LA, 70125

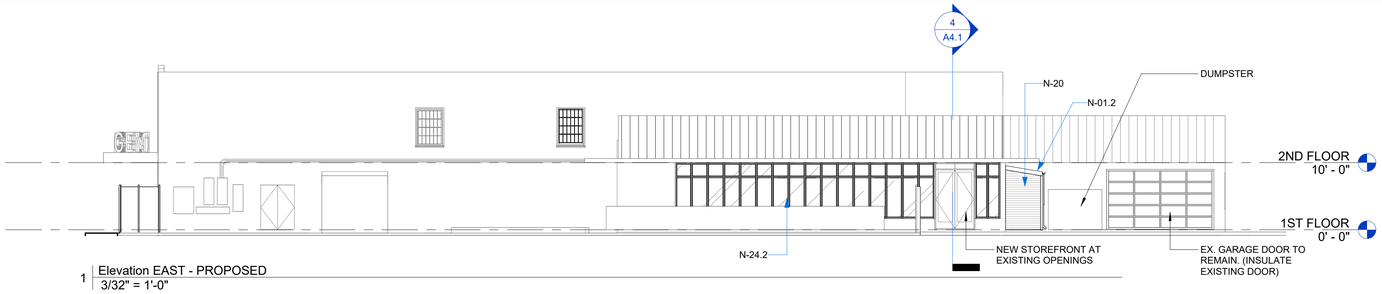
No.	Description	Date

NOT FOR CONSTRUCTION

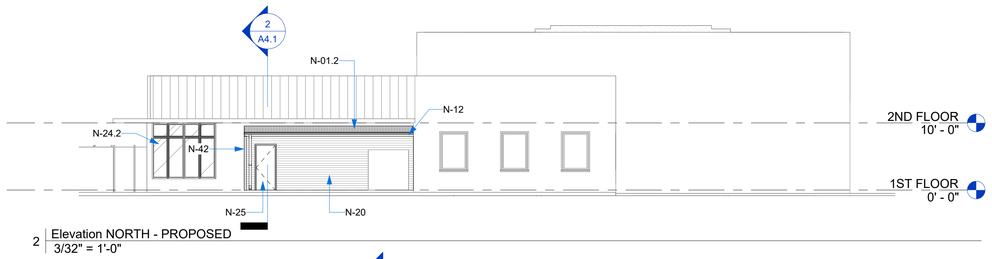
ENLARGED PLANS & SCHEDULES

PROJECT STATUS
Date 04/28/25

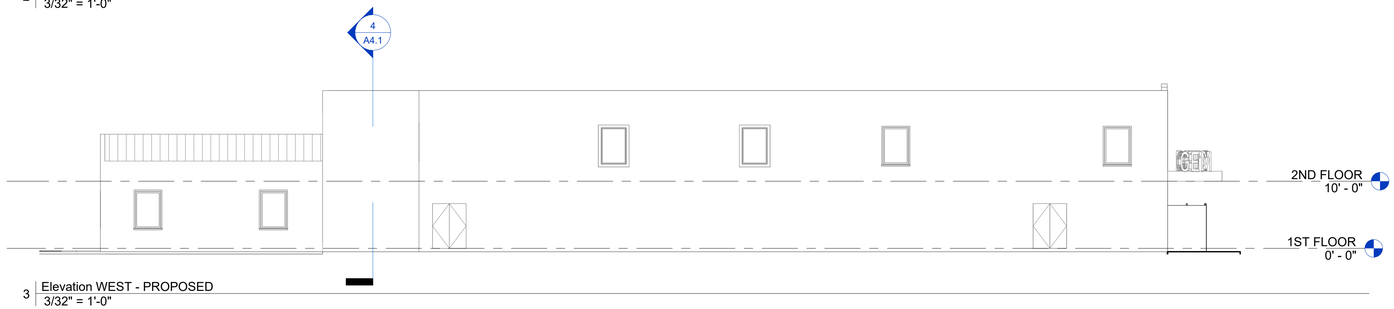
A2.3



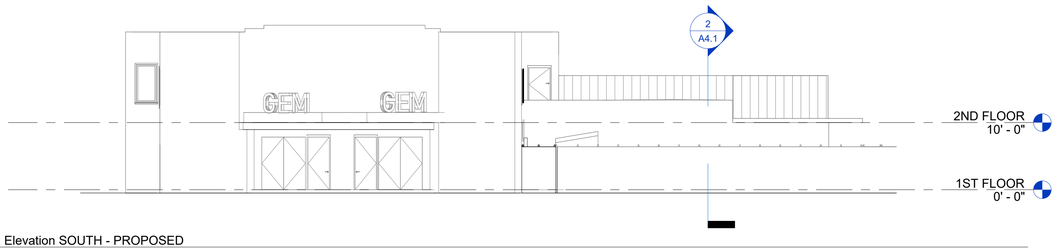
1 Elevation EAST - PROPOSED
3/32" = 1'-0"



2 Elevation NORTH - PROPOSED
3/32" = 1'-0"

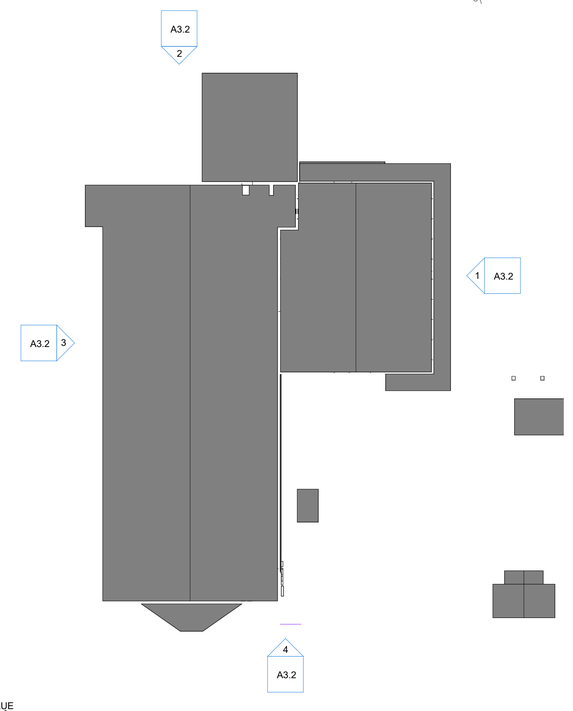


3 Elevation WEST - PROPOSED
3/32" = 1'-0"



4 Elevation SOUTH - PROPOSED
3/32" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-01.2	NEW LOW SLOPE ROOF. COVER ENTIRE ROOF AREA WITH ICE AND WATER SHIELD AND FLASH ANY PENETRATIONS PER MANUF. PROVIDE TAPERED INSULATION OR RIGID INSULATION AS REQ'D. FOR MIN. R-VALUES AND SLOPE/DRAINAGE.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-24.2	NEW EXTERIOR STOREFRONT SYSTEM. RE: ELEVATIONS / SCHEDULES. PROVIDE PAN FLASHING AND BACKER ROD/SEALANT AS REQ'D AT SILL/HEAD. INSTALL AND FLASH PER MANUF.
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-42	REPAIR / REPLACE ANY MISSING OR DAMAGED WOOD TRIM IN KIND.



TRUE

KEY PLAN - ELEVATION Copy 1

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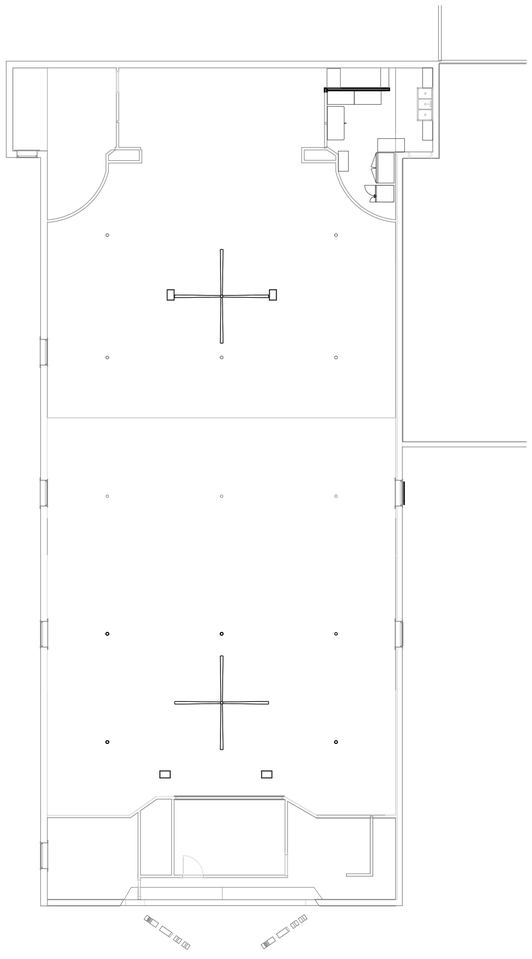
EXTERIOR ELEVATIONS - PROPOSED

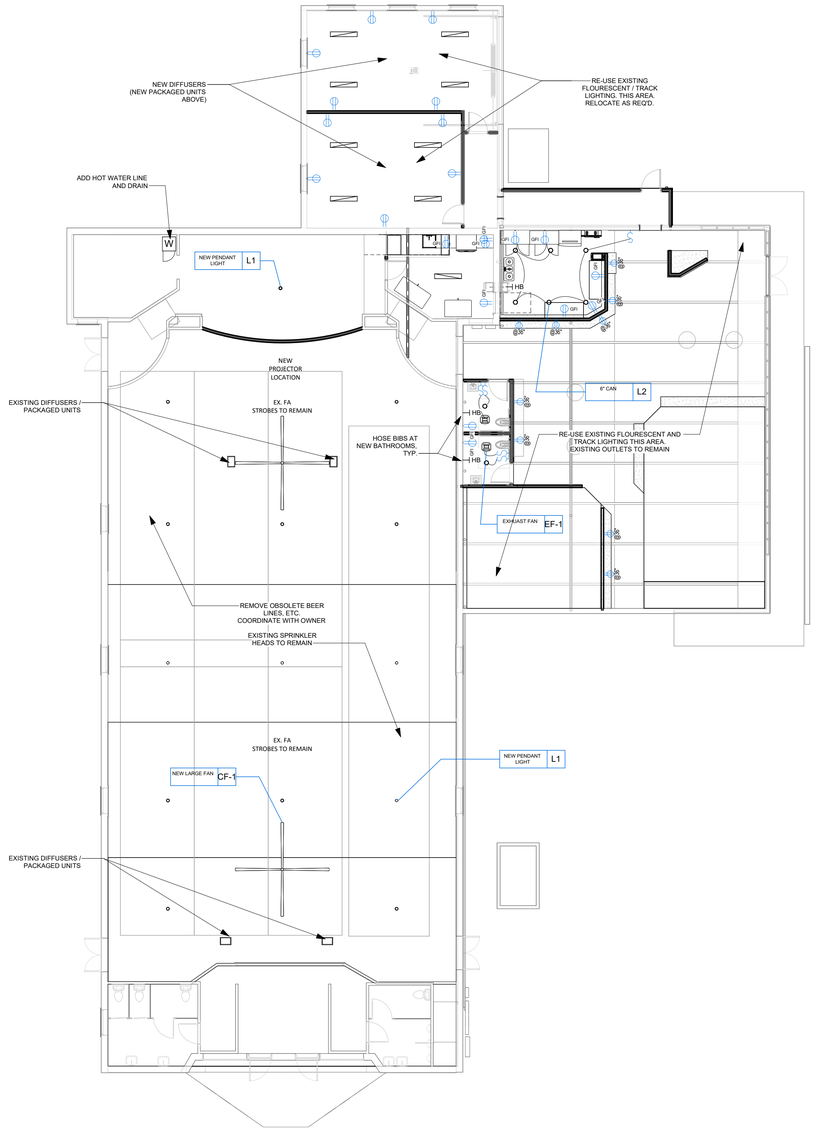
PROJECT STATUS

Date 04/28/25

A3.2

LIGHTING FIXTURE SCHEDULE		
Type Mark	Count	Comments
	10	
CF-1	2	14' CEILING FAN
EF-1	2	EXHUAST FAN
L1	7	PENDANT LIGHTING - TO MATCH EXISTING
L2	8	6" FLUSH OR CAN LIGHTING





ELECTRICAL FIXTURES	
R	RECESSED CAN FIXTURE
W	RECESSED WATER - RATED CAN FIXTURE
	CEILING MOUNTED FIXTURE
	WALL MOUNTED FIXTURE
	CHANDELIER/PENDANT
	UNDER CABINET FIXTURE
	CEILING FAN
	CEILING FAN WITH LIGHTS
	HARDWIRED FLOOD LIGHTS
ELECTRICAL SWITCHES	
S	SWITCH
S_3	THREE-WAY SWITCH
S_D	DIMMABLE SWITCH
AUDIO & VISUAL SYSTEMS	
C	CABLE TELEVISION OUTLET/SOURCE
GENERAL ELECTRICAL	
EM	ELECTRICAL METER
EP	ELECTRICAL PANEL
GM	GAS METER
ELECTRICAL RECEPTACLES	
	DUPLEX RECEPTACLE
GFI	GFI DUPLEX RECEPTACLE
WP	WET LOCATION RECEPTACLE
	DEDICATED APPLIANCE RECEPTACLE
A/C	A/C DEDICATED APPLIANCE RECEPTACLE
FLR	FLUSH MOUNTED FLOOR QUAD RECEPTACLE
MECHANICAL SYSTEMS	
EF	EXHAUST FAN
EF_L	EXHAUST FAN W/ LIGHT (+ HEATER)
T	THERMOSTAT
R/A	RETURN AIR GRILLE OR REGISTER AT WALL
S/A	SUPPLY AIR GRILLE OR REGISTER AT WALL
R/A	RETURN AIR CHASE
S/A	SUPPLY AIR CHASE
	RETURN AIR GRILLE OR REGISTER AT CEILING
	SUPPLY AIR GRILLE OR REGISTER AT CEILING
	A/C CONDENSER
MISCELLANEOUS SYSTEMS	
DB	DOOR BELL BUTTON
DC	DOOR BELL CHIME
	GARAGE DOOR OPENER
GD	GARAGE DOOR REMOTE OPENER
PLUMBING SYSTEMS	
G	GAS LINE
W/H	TANKLESS WATER HEATER
W	DEDICATED WATER LINE
HB	HOSE BIB
GD	GARBAGE DISPOSAL
FIRE & LIFE SAFETY SYSTEM	
	SMOKE & CO2 DETECTOR UNIT

SD	SMOKE/CO2 DETECTOR
	2X4 CEILING TILE, KITCHEN RATED
	2X4 CEILING TILE
	2X2 CEILING TILE
EJ	EXPANSION JOINT
	BEADBOARD SOFFIT
	GYPSUM BOARD CEILING
0	SPECIFIC NOTE
1'-0" AFF	CEILING HEIGHT ELEVATION

LEGEND - RCP CEILING TYPE

ELECTRICAL LEGEND

2ND FLOOR

2 | 2ND FLOOR PLAN_RCP
3/32" = 1'-0"

1ST FLOOR

1 | 1ST FLOOR PLAN_RCP
3/32" = 1'-0"

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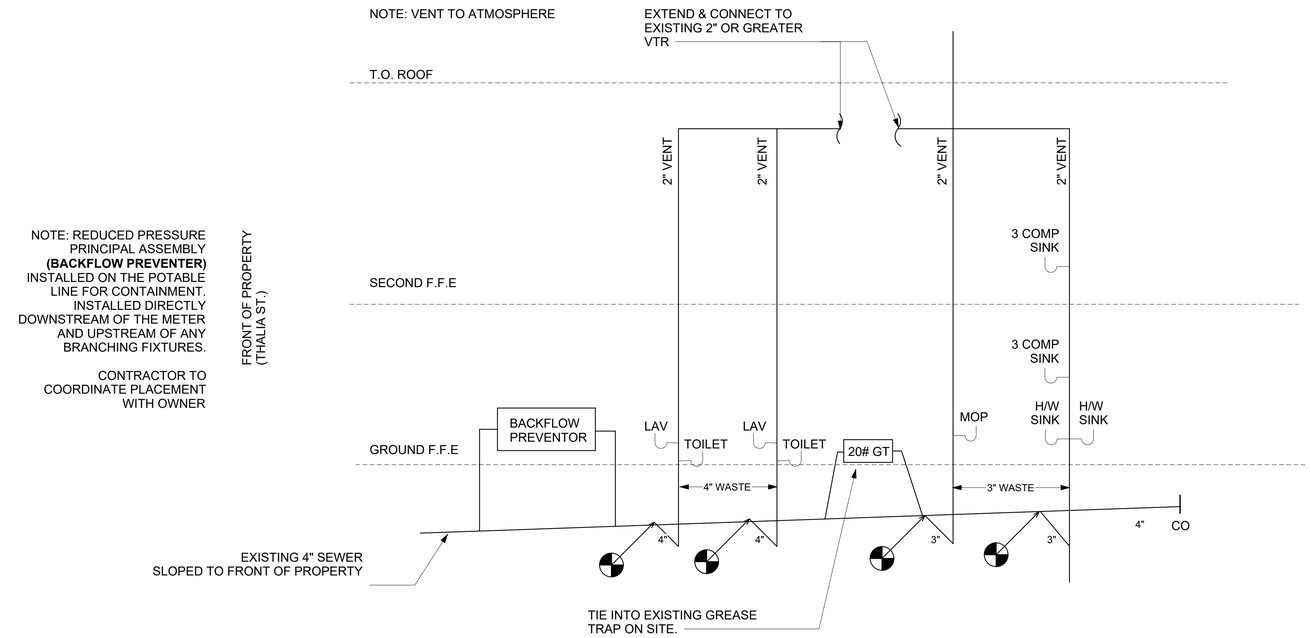
REFLECTED CEILING PLAN

PROJECT STATUS
Date 04/28/25

A5.1

PLUMBING RISER DIAGRAM
3940 THALIA STREET



PLUMBING RISER DIAGRAM
1/2" = 1'-0"

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PLUMBING RISER DIAGRAM

PROJECT STATUS
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A5.2

Narrative for 3940 Thalia St Design Review

In the design for 3940 Thalia, full attention was taken to ensure compliance with the Comprehensive Zoning Requirements. In addition, consideration was made to ensure the property is harmonious with surrounding properties and neighborhoods, is consistent with the Master Plan, and promotes the general welfare of the City.

The design for 3940 Thalia Street, also known as The Gem Theater, honors the building's architectural legacy and cultural significance. The proposed intervention seeks to respectfully enhance the building by removing a non-original interior brick wall that currently obstructs the original storefront windows along the Broad Street elevation. This restoration allows the building's authentic architectural intent—obscured by later, inferior alterations—to once again come to light.

Importantly, the proposed exterior modifications have been conceived with utmost sensitivity to the historic façade. The original front elevation will remain entirely untouched, preserving its distinctive character and street presence. The sole exterior addition—a new egress route—is a code-required life safety measure. This element has been meticulously designed to defer to the historic fabric: its roofline is purposefully set well below the original, ensuring it remains subordinate in scale and presence.

The new construction will be clad in horizontally oriented fiber cement siding, carefully selected to visually differentiate it from the original building while maintaining a respectful dialogue between old and new. This contrast ensures the addition is clearly recognizable as a contemporary intervention.

No changes are proposed to the surrounding site. In sum, this is a minimal yet meaningful adjustment to the exterior—one that prioritizes preservation, functionality, and architectural integrity. It is worth noting that the design has already received the approval of the Historic District Landmarks Commission, affirming its alignment with established preservation guidelines.

Per the approval standards, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

   -**The small changes are contained within the rules/regs of the CZO for setback, height, area, etc. We believe the project is completely permitted by the CZO.**

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:

    a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

        -**This project maintains heights and setbacks that are consistent with the historical compatibility of the area.**

    b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

        -**We have not proposed any site illumination that is directed towards adjacent properties or the ROWs surrounding.**

4. Landscape and the arrangement of open space or natural features on the site shall:

    a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

        -**This project does not affect negatively impact open space design features such as bike/running paths or outdoor relaxation spaces, as the small addition is on the back of the structure and does not encroach into any of these areas.**

    b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

        -**No trees are being removed.**

    c. Protect natural resources and landscape on adjacent sites.

        -**The changes do not disturb open space.**

    d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

        -**The changes do not disturb open space.**

    e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

        -**The changes do not disturb open space.**

    f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

        -**Appropriate fencing is already existing.**

5. Circulation systems and off-street parking shall be designed to:

    a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.