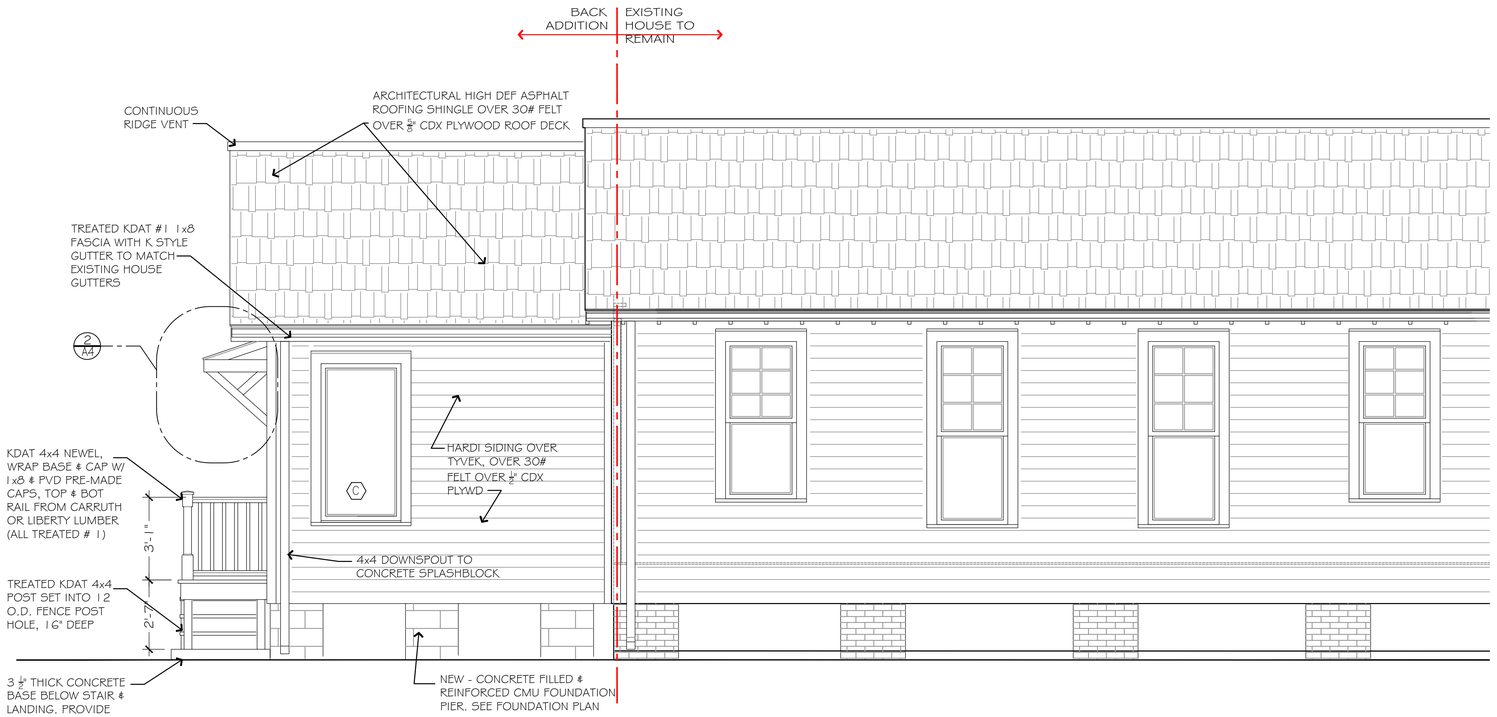
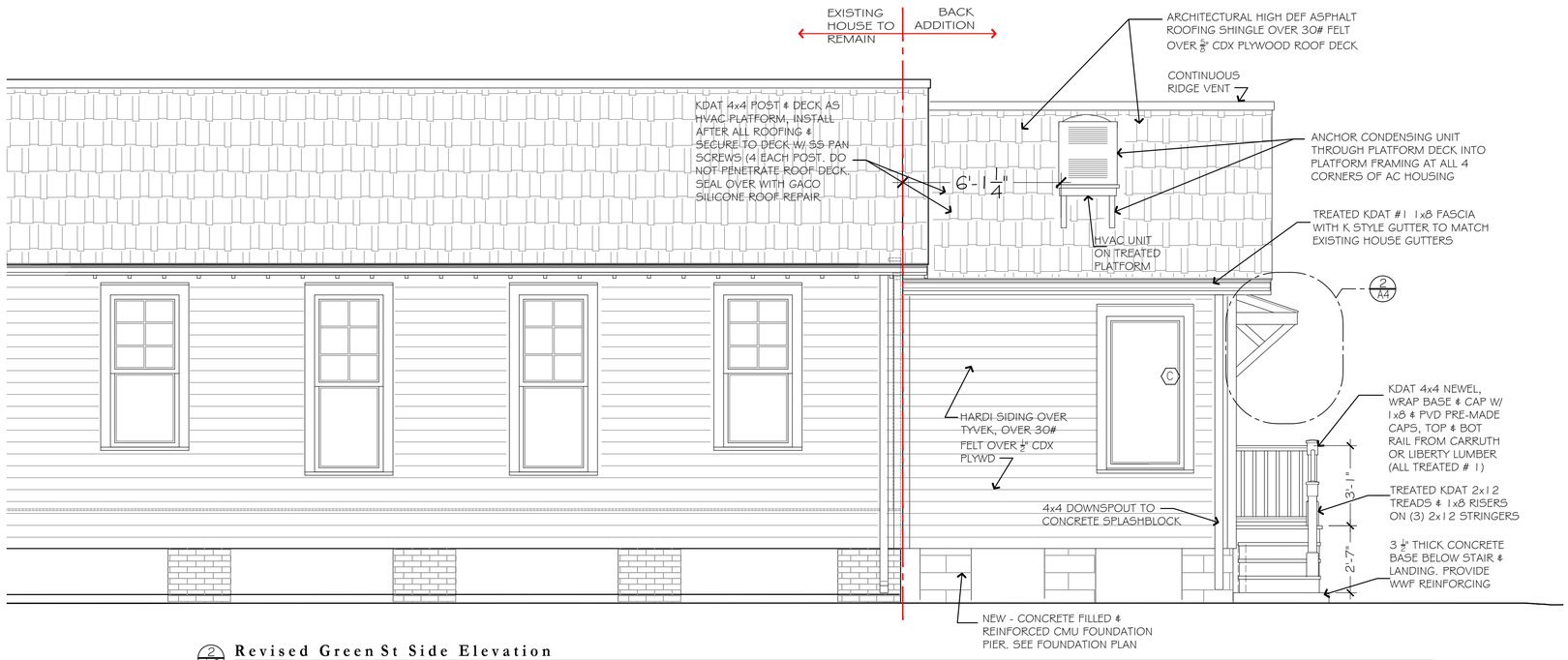


1/A-3 **Revised Hickory St Side Elevation**

Scale: 3/8" =1'-0"



2/A-3 **Revised Green St Side Elevation**

Scale: 3/8" =1'-0"

List Of Openings

1. New 2'-8" x 6'-8" x 1 3/4" Metal Exterior door. 4 or 5" Stiles & Top, 7" bottom 22" Wide x 67" Tall Light. Provide 11" transom W/ 2" transom bar at door head. Insulated - impact resistant (Rough Opening 3'-0" x 8'-0")

   Or

   New 2'-8" x 7'-8" x 1 3/4" Thk Spanish Cedar Custom Exterior door. 5" Stiles, 6" Top Rail 9" bottom & 10" Mid) Panel at bottom. Single 22" Wide light with panel below. ((Rough Opening 3'-0" x 8'-0")

2. New 2'-8" x 7'-8" x 1 3/4" Thk Wood Panel Door to match existing adjacent doors

3. Pair of 2'-6" x 6'-8" x 1 3/4" Thk Wood Panel Doors. Four total leafs, (2 pairs of 1'-5" bifold, hinged at center of each pair). Hang on metal bifold tracks.

A. Three of +/- 3'-2 1/2" W x 5'-4" T. - Fixed Vinyl Windows, mulled together to fit into 9'-9" W x 5'-5 1/2" T , Rough Opening

B. Pair of +/- 3'-2 1/2" W x 5'-4" T. - Fixed Vinyl Windows, mulled together to fit into 6'-8" W x 5'-5 1/2" T , Rough Opening

C. 3'-0" W x 5'-4" T. - Fixed Vinyl Window, 3'-4" W x 5'-5 1/2" T , Rough Opening

D. 2'-6"Outside Diameter, Round Fixed Vinyl Window

Opening Notes

1) Owner will provide & install interior doors, frames & hardware. Owner will provide Exterior Door/Frame & Windows. Contractor to install. Owner will provide & install exterior door hardware. All leafs on 3 hinges. Others interior doors will receive levors, Exterior doors to receive locking levors and dead bolts.

2) All Doors with glass lights & transoms to receive safety glazing

3) Contractor trim all exterior openings with Hardi 1x6 ripped to 4 1/2". But Joints Prime & Paint all 2 coats with Benjamin Moore Aura Exterior Super Premium paint.

A Rear Addition To

The Stoecker Family Residence
1729 Short St.
New Orleans Louisiana 70118

BAVIDO ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117

October 5, 2024
DATE

VARIES
SCALE

SAMUEL A. BAVIDO JR. No. 5650 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

REVIEWED BY:

SHEET NUMBER

A—3

Index of Drawings

Table of Square Footages

Existing Area	Exist Main House To Remain	Existing Lean To To Be Removed	New Rear Addition	Final Area
1,698 sf	1,530 sf	168 sf	290 sf	1,820 sf

Calculation: 1,698 sf - 168 sf + 290 sf = 1,820 sf

Project Information

Square 223 lot 15, 30' x 107.6' **HDLC Partial Control : Carrollton**
Primary Zoning: HU-RD2 Lot **Square Footage:** 3,228 sf.

Description of work. Existing 1 Story, Single Family Home. Demo existing Rear Yard Lean-To rear portion of home (on a slab 4" above grade). Add new 1 story addition at the current Lean-To location - with floor level to match existing main house floor level (with crawl space - pier foundations) - attached to back of home. Minor electrical & hvac work - no plumbing work.

General Notes for Construction

1. The Contractor shall be responsible for the selection of materials and methods used to carry out the work of this project.

2. The Architect will not be responsible for or have control or charge of construction means, methods, and techniques, sequences, or procedures, or for the safety precautions and programs in connection with the work of this project.

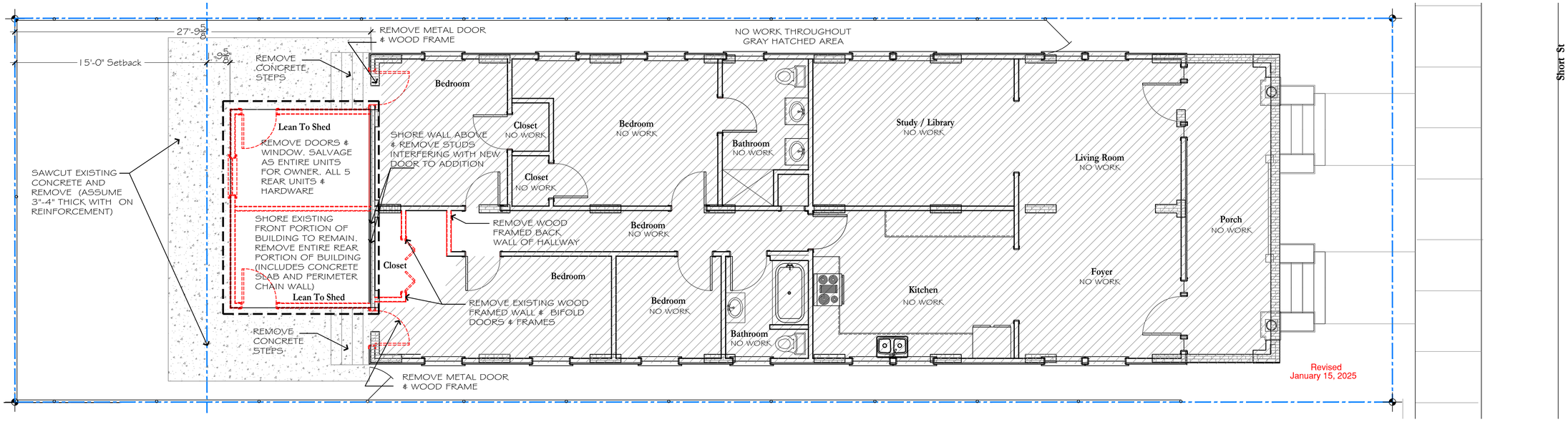
3. The undertaking of periodic visits to the project site and observations of the work by the Architect shall not be construed as supervision of the actual construction.

4. The Contractor shall verify at the building and project site all measurements relating to the work of this project. If any discrepancy is found to exist between measurements given in the drawings and actual job or field dimensions, the Contractor shall notify the Owner prior to proceeding with any part of the work affected by such discrepancy. The Contractor shall be responsible for using only contract documents of the most current date of record.

5. The work of this project, except as otherwise specified shall include all labor, materials, facilities, and equipment necessary to produce the required result, all transportation and services, and all materials incorporated, or intended to be incorporated in such results. The work shall include all fees, taxes, permit costs, insurance premiums, and costs for overhead, superintendence, temporary facilities, and other direct and indirect costs and expenses incidental to the performance of the work.

Legend

- Elevation Marker (A1)
- Section Marker (A2 / A1)
- Detail Marker (A1 / A2)
- 110v. UL Listed Smoke Detector w/ Battery Back-up
- Ceiling Fan
- Recessed Ceiling Light
- Window Marker (A) / Door Marker (1)
- 2x Wall Framing @ 16" o.c.
- hvac supply air register
- CM 110v. UL Listed Carbon Monoxide Detector w/ Battery Back-up
- Duplex Outlet
- coaxial outlet
- $ Wall Switch
- $3WAY Three Way Switch
- GFI Grounded Fault Interrupted Duplex Outlet



Revised
January 15, 2025

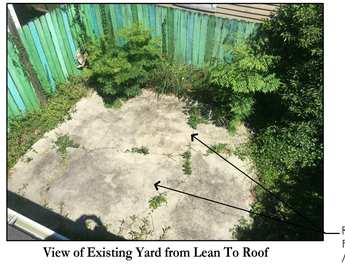
Existing Floor Plan

Scale: 1/4" = 1'-0"

View of Existing Lean To

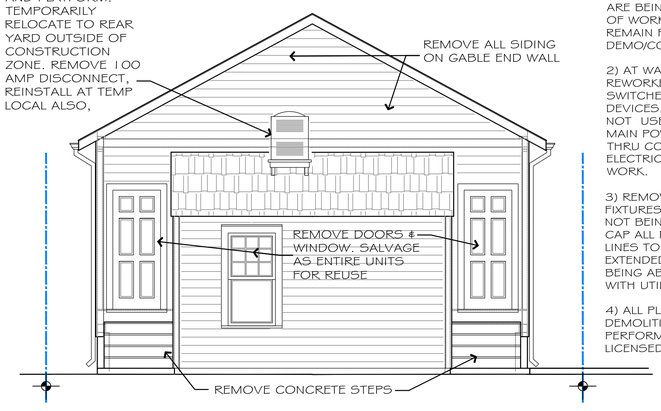
DISCONNECT CONDENSING UNIT REFRIGERANT LINES AND ELECTRICAL WHIP. REMOVE UNIT AND PLATFORM. TEMPORARILY RELOCATE TO REAR YARD OUTSIDE OF CONSTRUCTION ZONE. REMOVE 100 AMP DISCONNECT, REINSTALL AT TEMP LOCAL ALSO,

REMOVE CONCRETE STEPS



View of Existing Yard from Lean To Roof

REMOVE CONCRETE PAVING, SEE EXISTING / DEMO PLAN FOR PORTION



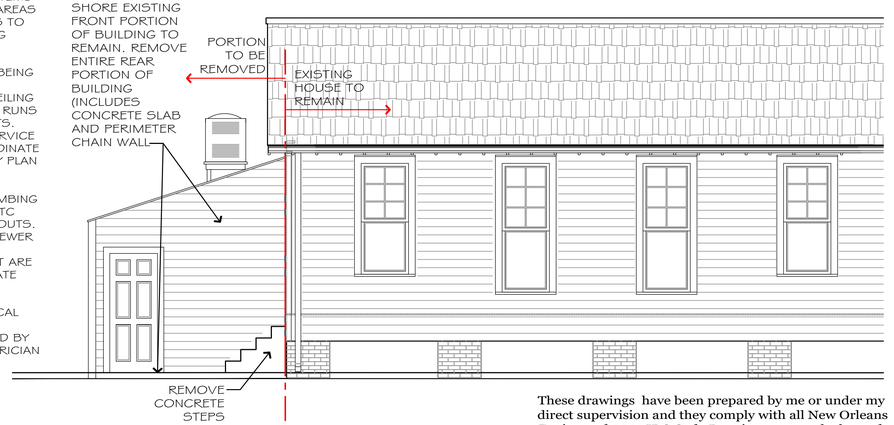
DEMOLITION NOTES:

1) WHEN REMOVING OR REPLACING ANY STRUCTURAL ELEMENTS, SHORE ADJACENT BUILDING ELEMENTS TO ENSURE STRUCTURAL STABILITY WHILE NEW OR REPLACEMENT ITEMS ARE BEING INSTALLED. AT ALL AREAS OF WORK, PROTECT SURFACES TO REMAIN FROM DAMAGE DURING DEMO/CONSTRUCTION.

2) AT WALLS & CEILING AREAS BEING REWORKED, REMOVE LIGHT SWITCHES, WALL OUTLETS & CEILING DEVICES, REMOVE ANY HOME RUNS NOT USED IN REVISED LAYOUTS. MAIN POWER TO REMAIN IN SERVICE THRU CONSTRUCTION . COORDINATE ELECTRICAL DEMO WITH UTILITY PLAN WORK.

3) REMOVE REAR LEAN TO PLUMBING FIXTURES, DEVICES, VALVES, ETC NOT BEING USED PER NEW LAYOUTS. CAP ALL PLUMBING SUPPLY & SEWER LINES TO REMAIN OR BEING EXTENDED. REMOVE LINES THAT ARE BEING ABANDONED. COORDINATE WITH UTILITIES PLANS

4) ALL PLUMBING AND ELECTRICAL DEMOLITION WORK TO BE PERFORMED BY OR SUPERVISED BY LICENSED PLUMBER AND ELECTRICIAN



Existing Elevations

Scale: 1/4" =1'-0"

These drawings have been prepared by me or under my direct supervision and they comply with all New Orleans Zoning and 2021 IRC Code Requirements to the best of my knowledge and belief. I am administering the work.

Architect Samuel A. Bavido License no. 5980

A Rear Addition To

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1729 Short St.
New Orleans Louisiana 70118

BAVIDO ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117

October 5, 2024

DATE VARIES

SCALE

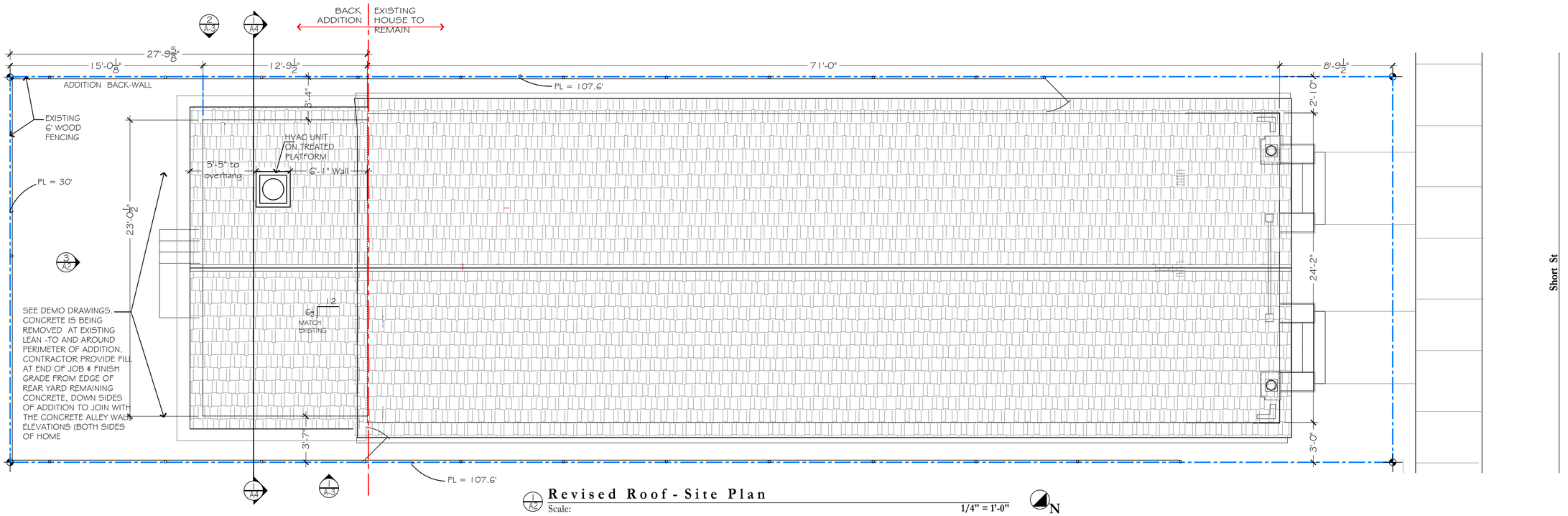
DRAWN BY: SAB

SAMUEL A. BAVIDO JR. Reg. No. 5980 STATE OF LOUISIANA REGISTERED ARCHITECT

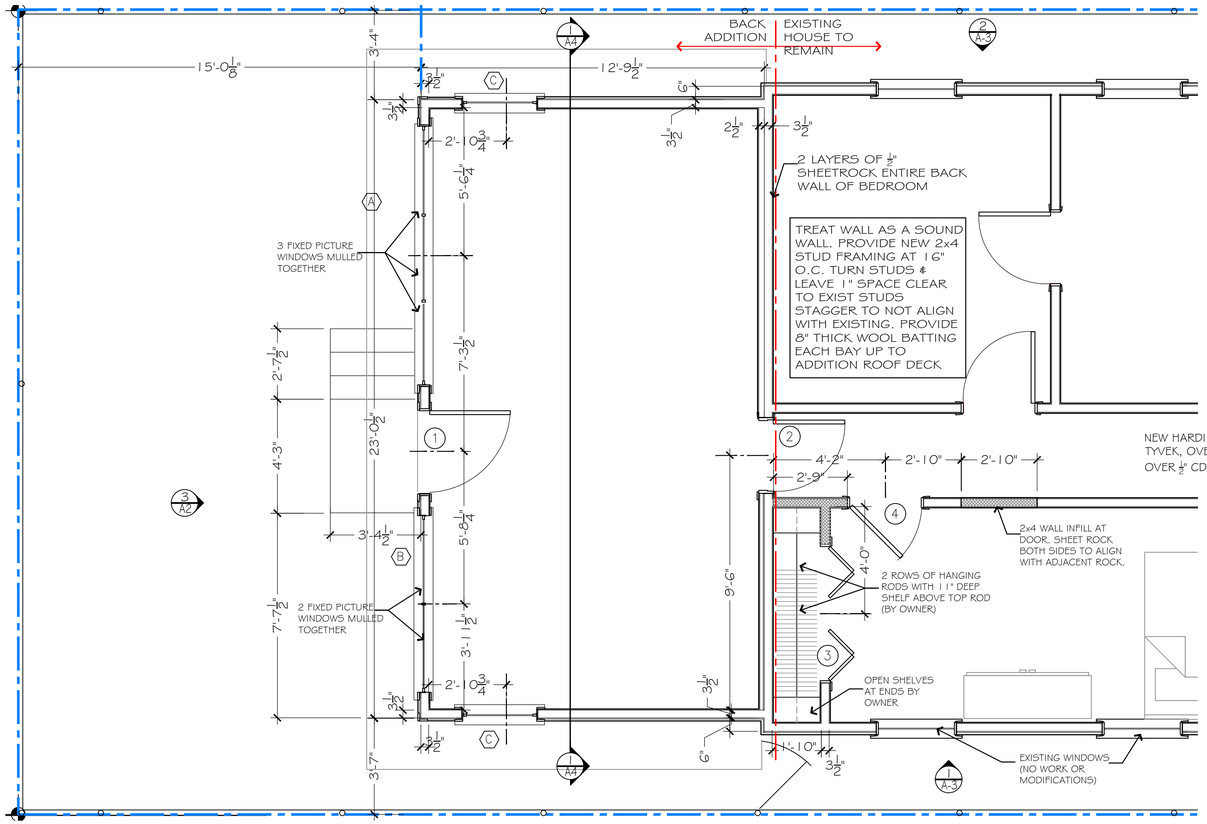
Revised
January 15, 2025

SHEET NUMBER

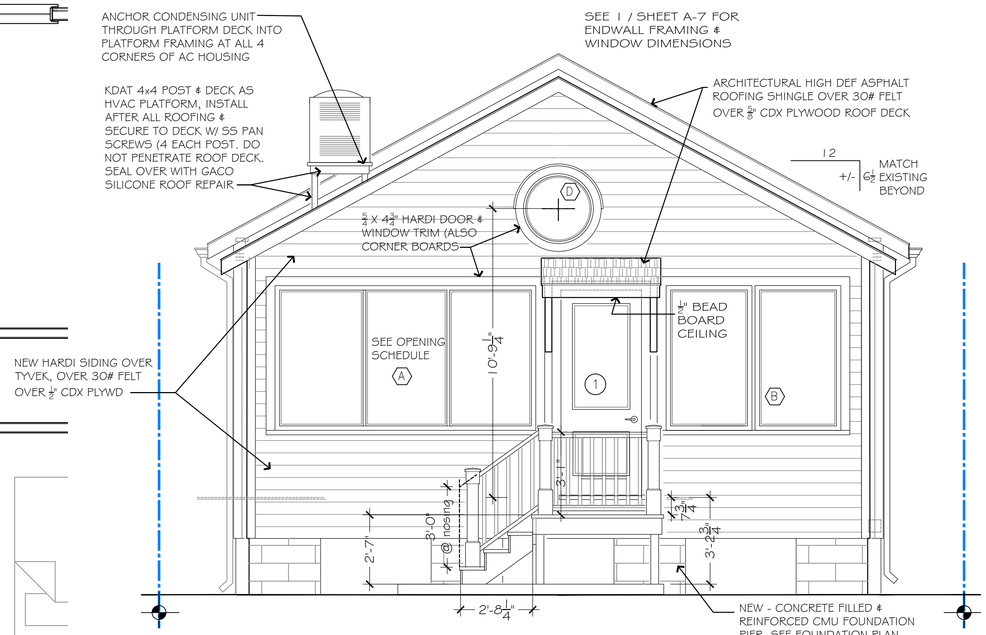
A—1



Revised Roof - Site Plan
Scale: 1/4" = 1'-0"



Floor Plan
Scale: 3/8" = 1'-0"



Revised Rear Elevation
Scale: 3/8" =1'-0"

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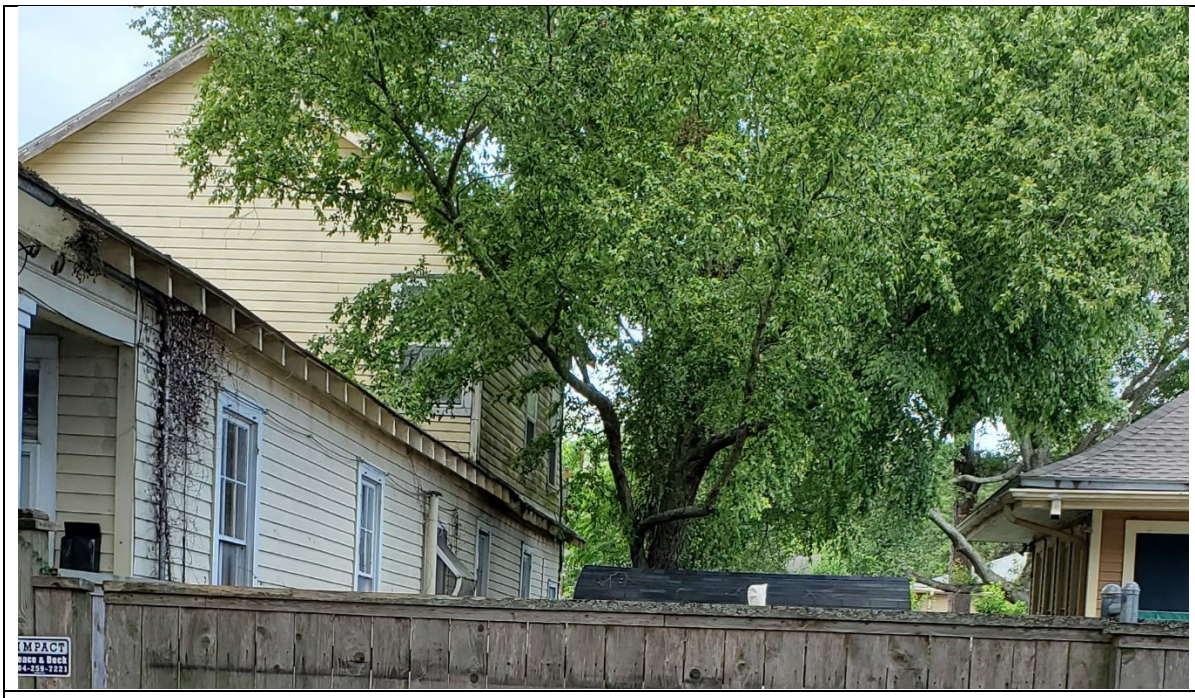
SAMUEL A. BAVIDO JR
Reg. No. 34610
STATE OF LOUISIANA
REGISTERED ARCHITECT

DRAWN BY:
REVIEWED BY:

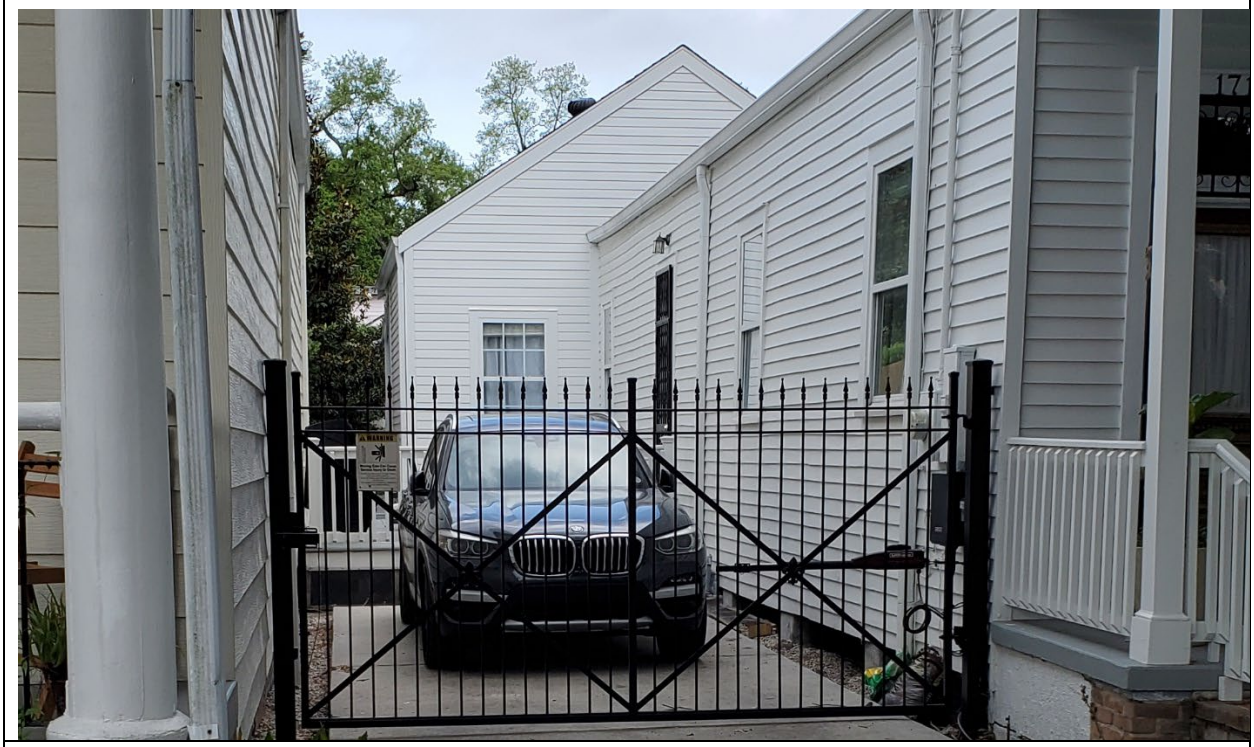
SHEET NUMBER
A-2

Picture 1. Photograph lean-to to be replaced on the left, with neighbor's addition in the background. Neighbors are adjacent on Short St (address 1733-1735 Short St). Neighbor's addition extends past proposed 1729 renovation (which replaces existing lean-to footprint).

Picture 2. Photograph of lean-to to be replaced on the right, with rear neighbor's addition in the background. Neighbors are behind the property (address 7918-7916 Hickory Street). Neighbor's addition is taller than the proposed 1729 rennovation.

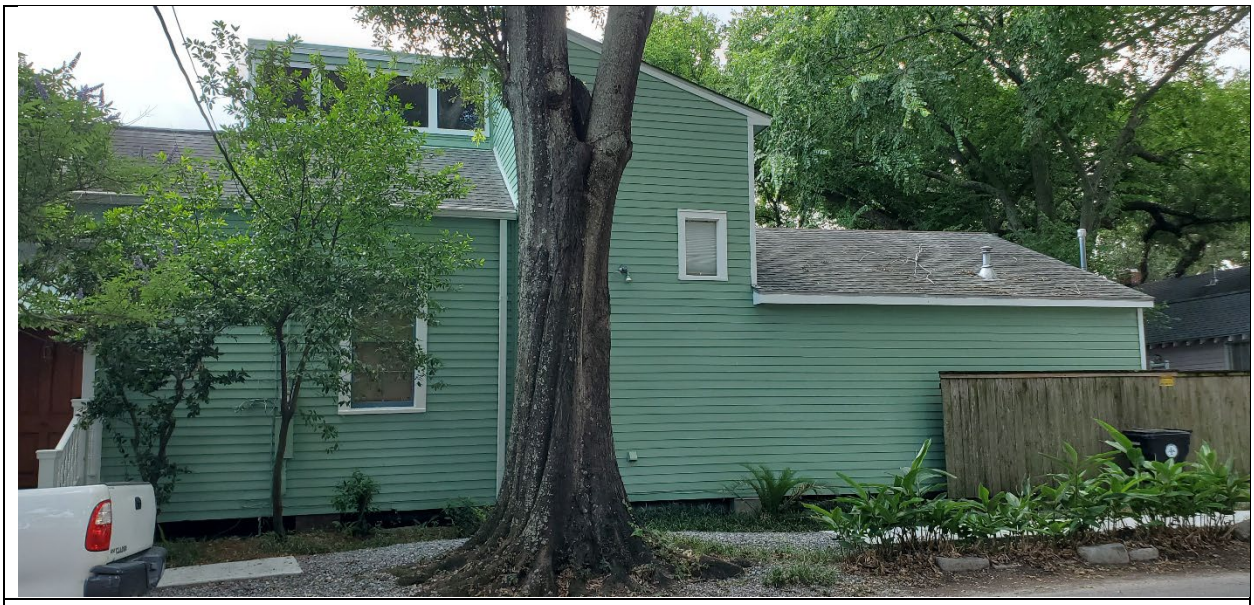


Picture 3. Photograph of camelback addition across the street (1722-1724 Short St). Camelback addition is much taller than the proposed renovation and visible from the street (unlike the proposed renovation at 1729).



Picture 4. Another rear addition on the same block of Short St (address 1718 Short St) showing a large addition to an existing structure.

Picture 5. Another rear addition (address 8009-8011 Green St) as viewed from the Short St block where the proposed renovation is. This is a large camelback addition. This is visible from the street, and much larger in mass than the proposed replacement of lean-tos with a rear office.



Picture 6. Picture of large addition with multiple roof lines that faces Short St (address 7938 Green St). Addition features windows in various places.

Finish Pricing Notes

1. Existing Home has 1x4 or 5 oak hardwood flooring throughout. At rear Addition, contractor provide new wood flooring (T & G, ¾ thick x width boards - to match existing) in tooth pattern atop layers 30# felt underlay in 12' lengths - stagger joints 5'- 6'. Tooth new to existing at new corridor transition. Once installed and sanded, stain 2 coats & seal -4 coats - steal wool brwn each coat. Blend into existing at hallway

2. Owner will provide, install & finish all interior trim & buildout of closet.

3. Provide ½" gypsum board throughout all Addition rooms. Tape /float & sand. Texture all orange peel (light on ceiling, heavy on walls). Provide 2 coats of paint over 1 coat of primer on all walls throughout Addition (and at worked on areas of hallway, new closet & reworking of existing side of existing rear wall of home). Provide Sherwin Williams paint & primer - Latex base interior paint.

Framing Notes

1. All wood sheathing & decking shall comply with the plywood design specification by the apa and meet the requirements below. Unless noted otherwise, all wood connections shall be in accordance with the fastening schedule of the standard building code.

2. All lumber in contact with concrete or masonry shall be treated.

3. All framing lumber shall be southern yellow pine, s4s, no.2 maximum moisture content 15%. stud walls and partitions shall be sized as follows:

   exterior wall - 2x4 studs at 16" o.c.

   floor and roof framing shall be of sizes as indicated on framing plans. provide wood cross bridging where indicated on drawings or when joist span exceeds eight (4) feet. Locate beams below bearing walls of floor above and/or as indicated on framing plans. Beam shall bear on entire width of bearing wall top plates. locate studs at beam bearing points below double top plate or as shown on plan.

4. Plywood sub flooring shall be apa rated 48/24, 3/4" thick tongue and groove, glued and screwed to floor joists with #10 or #12 screws min. 2½" in length, spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports. Glue shall be liquid nails or equal.

5. Plywood roofing shall be apa 40/20, 5/8" thick, nail with 8d nails spaced at 6" o. c. at panel edges and 12" o.c. at intermediate supports. Provide ply clips at unsupported edges between roof joists.

6. All plywood wall sheathing shall have solid blocking at all horizontal joints. vertical joints of plywood roof sheathing shall be staggered every four feet or less.

7. Wind bracing - provide apa rated 32/16, 4' x 8' x 1/2" thick plywood sheathing (on all exterior walls from foundation to underside of roof rafters. sheathing shall be glued & nailed to studs and stud plates. Nail sheathing edges with 8d nails at 3" o.c. at panel edges and 6" o.c. at intermediate supports. Provide solid blocking at all panel edges.

8. Coordinate framing with hvac, electrical, and plumbing requirements.

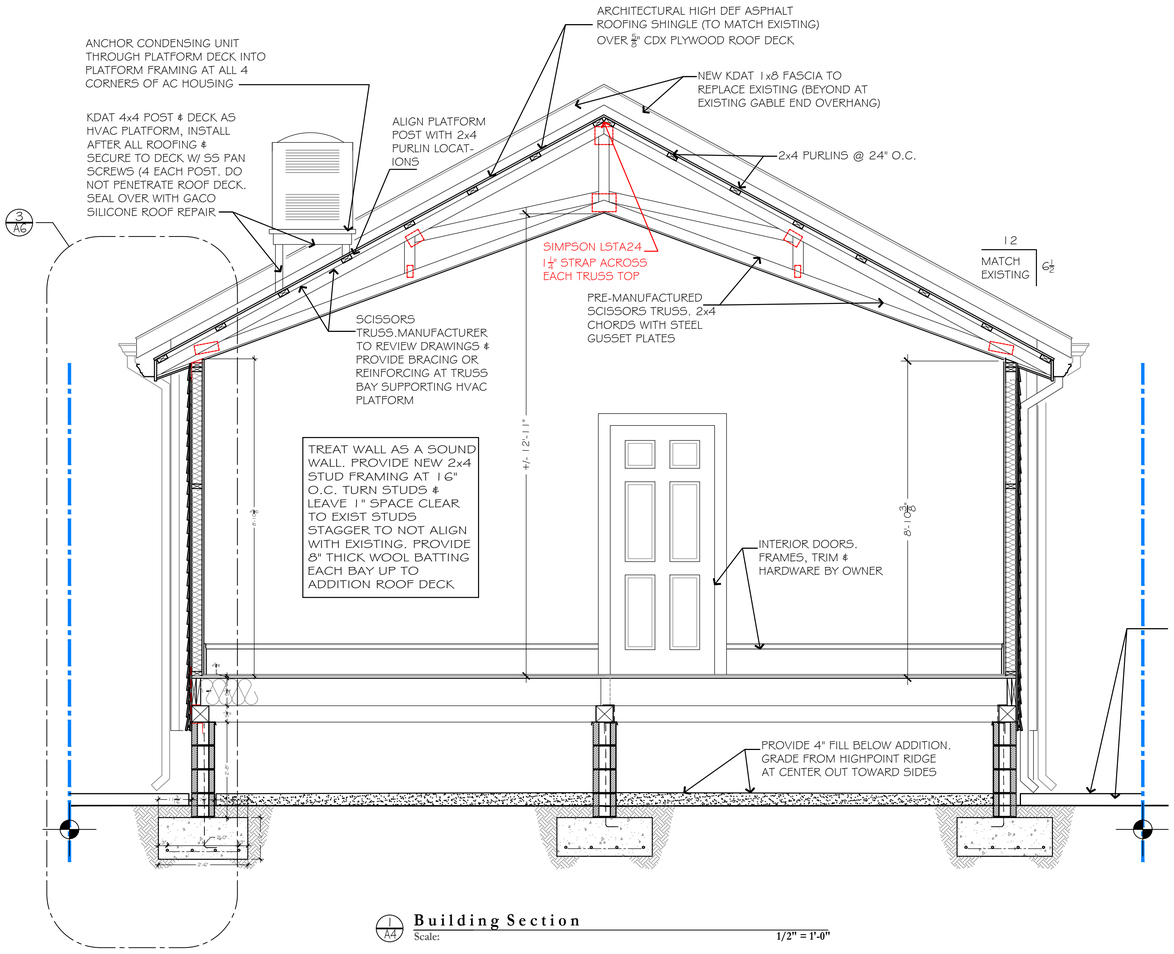
9. Joist hangers shall be 16 gauge type "u" as manufactured by Simpson Strong Tie Company, Inc. Install joist hangers in strict accordance with the manufacturer's specifications. Use joist hangers for beams and joists which frame to beams at the same elevation. Joist hangers shall be of a size appropriate for the member supported.

10. Bored holes shall be 2" clear from top or bottom edge of joist and shall not be larger than 1 1/4" in diameter and shall not be located in the middle of a span..

11. Provide stud posts made up of multiple studs beneath end bearing of beam as shown on framing plan. Nail each stud to adjacent stud in the post with 16d nails at 12" o.c. (on stud centerline) and within 3" of each end. Cut studs carefully to insure full and complete bearing top and bottom. At Stud Gangs of 5 or more, provide truss lock screws 7" long alternating sides 16" o.c. up studs after erection.

12. Unless noted otherwise multiple pieces of lumber or manufactured wood products used to form beam or header members shall be attached together with (2 rows of truss lock screws made for lvl's), spaced at 12" for pieces up to 12" deep. provide (3 rows of truss lock screws for lvl's), for beams 14" and 16" deep. provide (4 rows of truss lock screws for lvl's), spaced at 16" for pieces 18" deep.

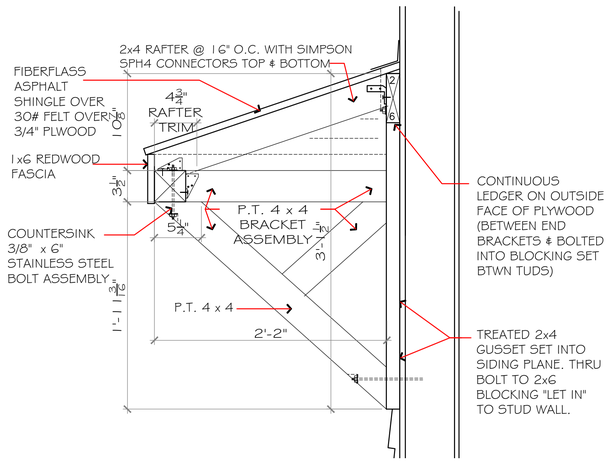
13. All plywood sheathing shall be fastened with 8d ring shank nails. (.131" min. diameter) or #10 screws (.19" nominal diameter) spaced at 6" o.c. maximum along supporting members on the interior of each sheet and spaced at 4" o.c. maximum along supporting members at the edges of each sheet. The use of staples is not allowed



1/A4 **Building Section**
Scale: 1/2" = 1'-0"

DISCONNECT POWER & REFRIGERANT LINES, REHOOK UP LINES & RECHARGE IN REAR YARD FOR OWNER TO USE DURING THE RENOVATION. THEN RECONNECT AT NEW ROOF PLATFORM LOCATION (SEE EXTERIOR ELEVATIONS)

View of Rooftop Equipment



2/A4 **Bracket Awning Section**
Scale: 1-1/2"=1'-0"

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SAMUEL A. BAVIDO JR. No. 5985 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

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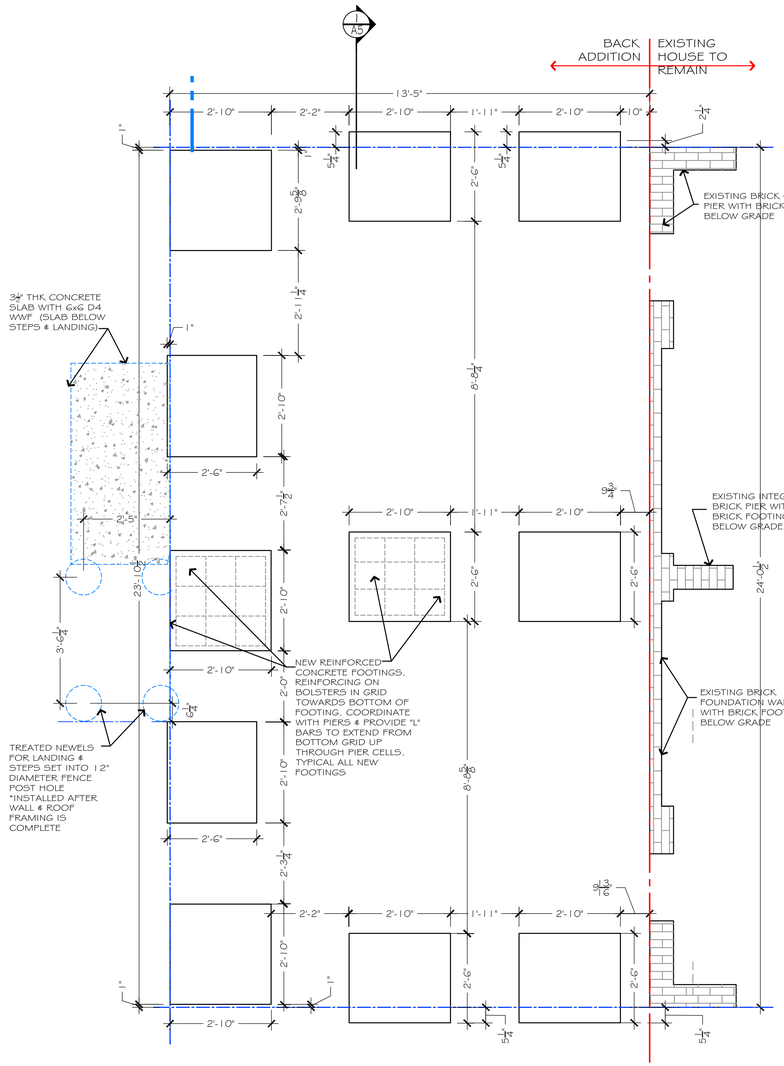
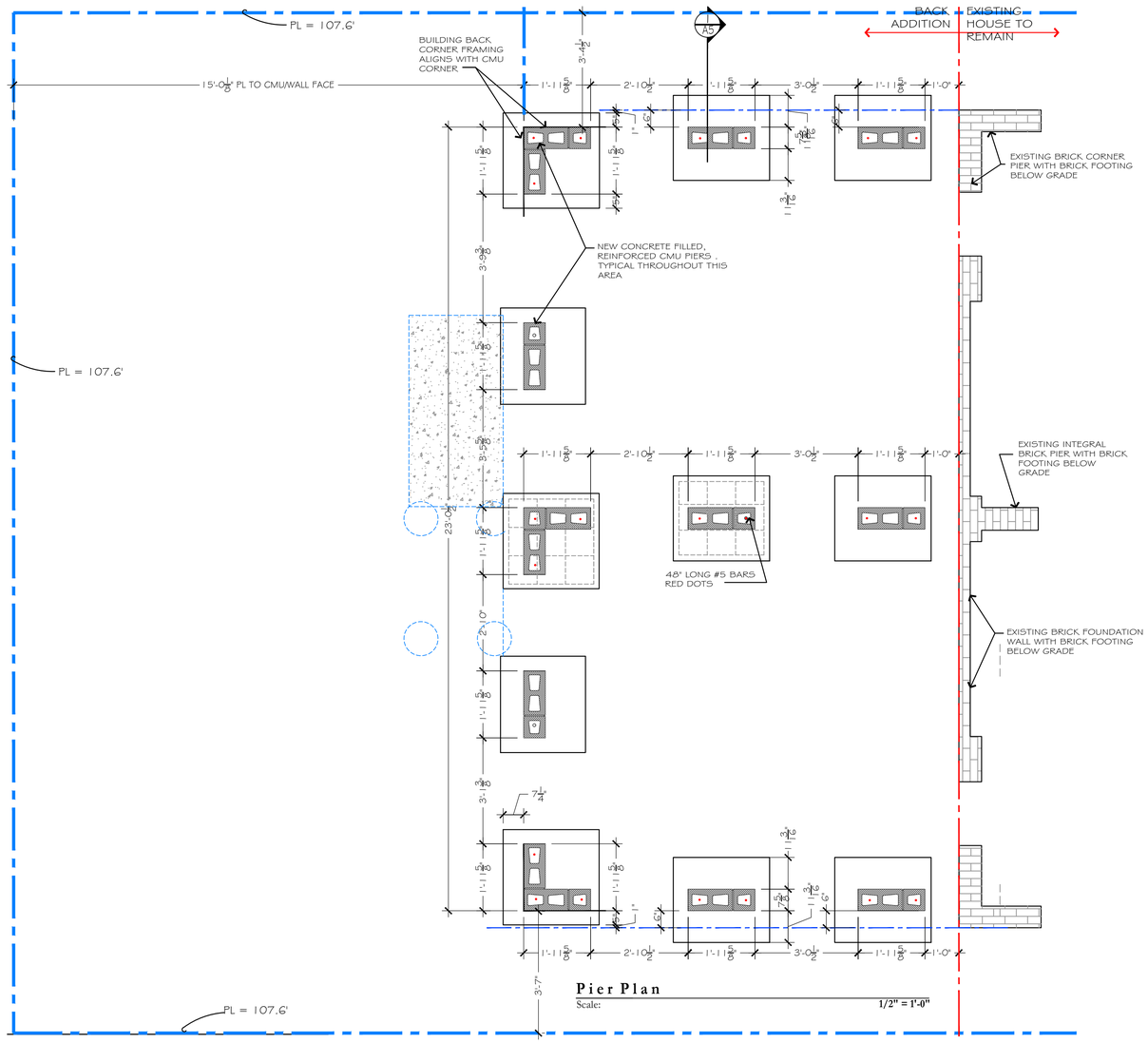
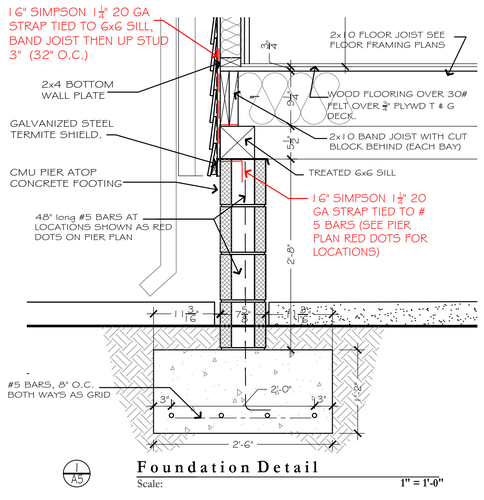
A-4



Foundation Plan
Scale: 1/2" = 1'-0"



Pier Plan
Scale: 1/2" = 1'-0"



Foundation Detail
Scale: 1" = 1'-0"

Foundation Repair Notes

After demolition of rear portion of building & its foundation, and prior to new rear addition concrete placement. Level home crossways along the rear wall by shimming the piers and adding termite shields along the rear piers. Once complete, Meet with Architect to determine the top of footing elevation. To assure floors that match up between Front area to remain & New Rear addition.

General Foundation Notes

I. New Orleans pile capacity maps indicate this property (1729 Short St) sits in pile zone 3 (30' long class 9 piles support 5,000 lbs., class 5 piles support 6,000 lbs). The existing 1 story home is not pile supported. This soil has an assumed bearing capacity of 900 lbs per sq. ft.(600 lbs per sf < than 2021 IRC Table R02.2). By interpolation, a 3' spacing on a class 5 pile supported foundation would support 3 tons. Actual worst case loading on a new concrete spot footing (supports 5LF of sill supports a Dead load of 2775 lbs and Live load of 2,775 lbs. (Total Pier load = 5,553lbs). Total bearing Capacity= 6,375 lbs. This foundation reinforcement is designed to meet all, Live, Dead & Wind requirements of New Orleans and the 2021 IRC Table R403.1 and IBC 2021 1818.6 for expansive soils.

II. The foundations shown on these drawing have been designed using acceptable engineering practices and in accordance with the criteria for the selection and design of Concrete spot footings and the American Concrete Institute's Building Code requirements for reinforced concrete

III. Due to the lack of specific Geotechnical information (no Geotechnical report has been provided), this foundation has been designed using acceptable Geotechnical values for the existing soil on the property. The Architect is not responsible for differential settlement or other future defects resulting from unreported conditions mitigating the above assumptions. Be advised that these plans have been designed by a registered Architect in the state of Louisiana and the design specifications comply with all local requirements to the best of my knowledge and belief, and that I am administering the work.

IV. All concrete shall conform to the requirements of ACI 318-11 and subsequent suppliment. Concrete shall have a minimum compressive strength of 3500 psi at 28 days.

V. Reinforcing bars shall conform to ASTM A-615 deformed Grade 60. All lap splices shall conform to ACI-318. and have minimum cover as specified in ACI- 318- 11

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SAMUEL A. BAVIDO JR. Reg. No. 5850 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

REVIEWED BY:

SHEET NUMBER

A-5

General Building Notes

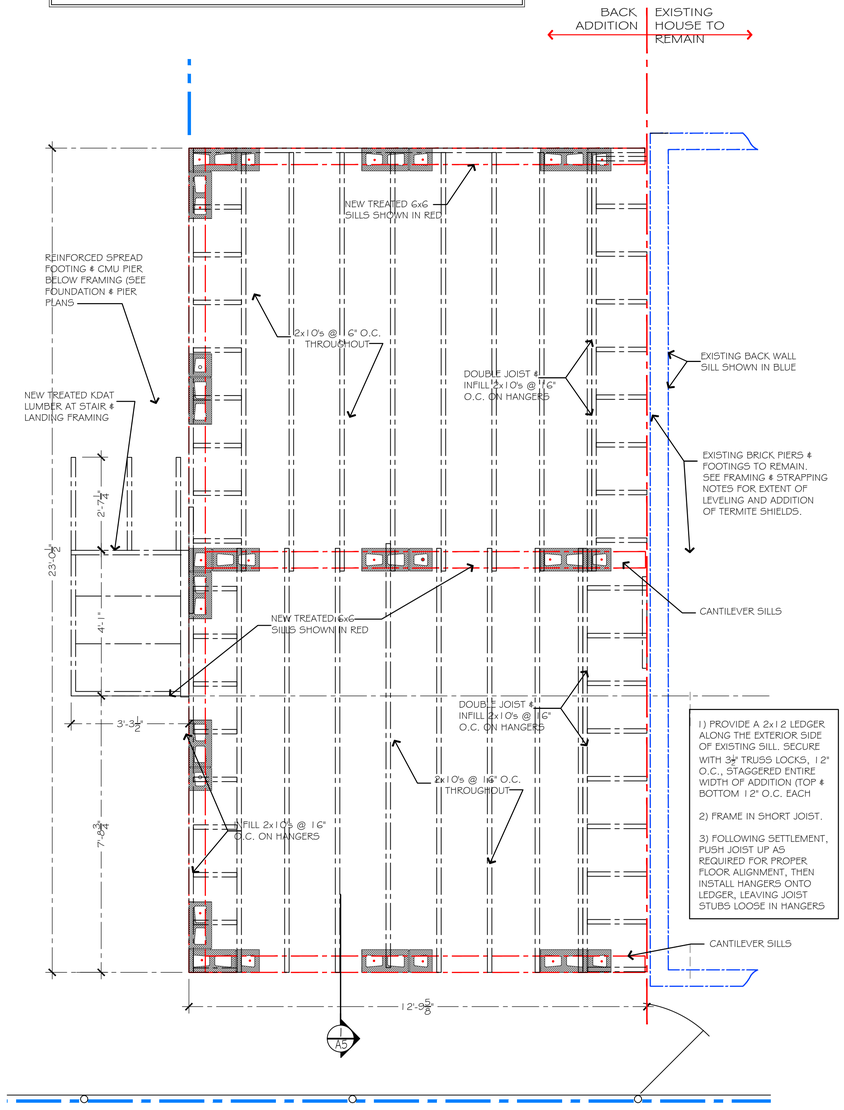
1. Remove all Hardi in back wall of home (& gable end wall). All exterior Addition walls to receive $\frac{7}{16}$" thick Hardi lap siding (4" exposure) over 1 layer of Tyvek, over 1 layer of 30# felt over 1/2" CDX plywood sheathing . Wrap all window & door openings with ice/water strips 4" wide or Peal & stick window/door flashing. All corner boards & trim for siding to be 5/4" thick x $4\frac{1}{2}$" wide HARDI (prime all sides before installing) . Paint all hardi & wood trim, closure pcs, end caps, etc.. two coats with Benjamin Moore Aura Exterior Super Premium paint.

2. All roofing to be new architectural asphalt shingle over 30# felt (Over $\frac{5}{8}$" cdx plywood) Provide Owens Corning Duration- color to match existing shingles. Fasten all to meet 142 mph uplift. Ridge to be covered with Ridge/Hip courses over 12" wide strips of ice/water. sheath strip of existing gable end wall that remains with $\frac{1}{2}$" cdx plywood , cover all joints (including soffit connections) with ice & water shield.

3. New fascia to be hardi 1x8 or kdat 5/4 x 8, prime both sides & all cuts, then paint two coats with Benjamin Moore Aura Exterior Super Premium paint. Provide "K" style gutters to match existing with 1 downspout each side of addition.

4. Exterior wood handrails to be assembled from treated # 1 pine premanufactured $1\frac{5}{8}$" sq pickets and top/bottom rails. Prime all components before assembly, then paint 2 coats with Benjamin Moore Aura Exterior Super Premium paint.

5. Provide spray foam insulation at 2x4 exterior walls. At underside of roof deck, provide accuvent stand offs for cathedral ceilings & R-19 bat insulation with kraft faces. Provide 9" thick R-30 Kraft faced, fiberglass batt insulation below addition floors.

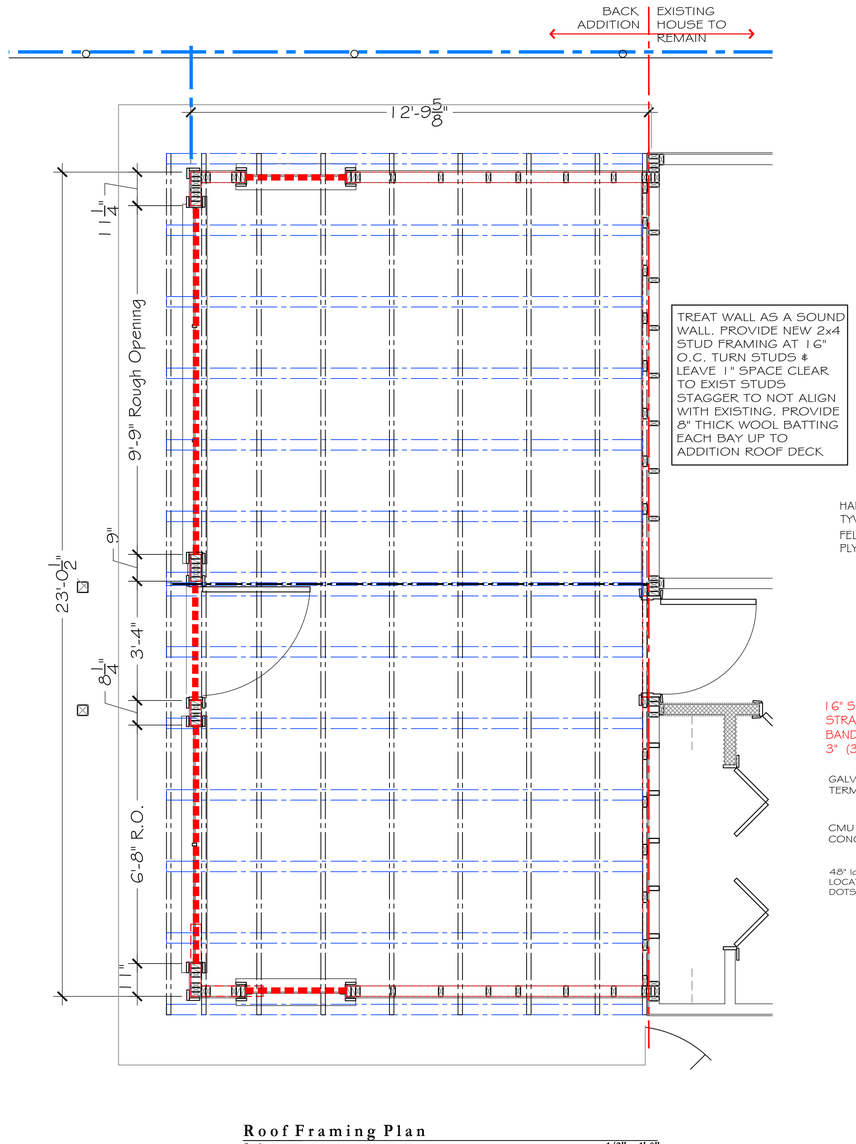


Floor Framing Plan
Scale: 1/2" = 1'-0"

TOP OF SUBFLOOR TO ALIGN W/ BOTTOM OF EXISTING FLOORING AT CORRIDOR CONNECTION.

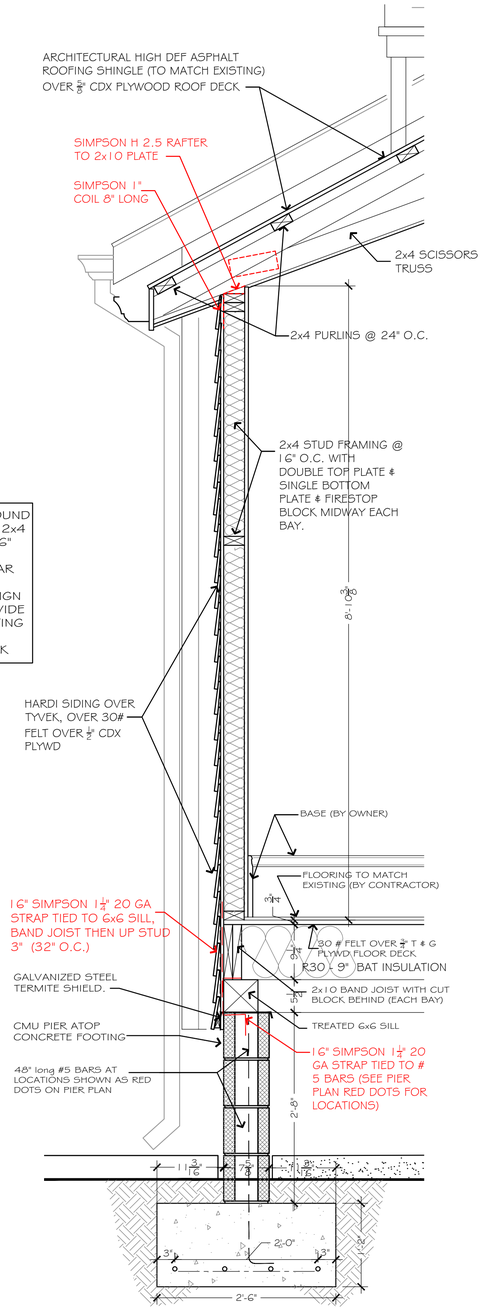
SET SILL LOOSE ATOP TERMITE SHIELD (CANTILEVER OVER TO HOUSE AS SHOWN). FRAME FLOOR , THEN DECK W/ $\frac{3}{4}$" T&G PLYWOOD SUBFLOOR PER FRAMING NOTES.

FOLLOWING ANY SETTLEMENT AFTER SHEETROCK INSTALL (PRIOR TO TEXTURE & FINISHING), JACK/SHIM CANTILEVERED SIDEWALL SILLS TO ASSURE NEW & EXISTING FINISH FLOORS WILL ALIGN



TREAT WALL AS A SOUND WALL. PROVIDE NEW 2x4 STUD FRAMING AT 16" O.C. TURN STUDS & LEAVE 1" SPACE CLEAR TO EXIST STUDS STAGGER TO NOT ALIGN WITH EXISTING. PROVIDE 8" THICK WOOL BATTING EACH BAY UP TO ADDITION ROOF DECK

Roof Framing Plan
Scale: 1/2" = 1'-0"



3/A6 Wall Section
Scale: 1" = 1'-0"

A Rear Addition To

The Stoecker Family Residence
1729 Short St.
New Orleans Louisiana 70118

BAVIDO ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117

October 5, 2024
DATE

VARIES
SCALE

SAMUEL A. BAVIDO JR. Reg. No. 5880 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

REVIEWED BY:

SHEET NUMBER

A–6

Framing Strapping Design Notes

1) All concrete foundations to be air entrained 3500 psi @ 28 days per IRC table R 402.2.. Width and depth as noted on drawings and meet IRC table R403.1 for 1story 1500 psf conventional light framing. See notes on plan for reinforcement.

2) All new piers to be 8" x 8" x 16" concrete filled concrete blocks in configurations shown. See notes

3) Set 16" Simpson $1\frac{1}{4}$" 20 ga straps 6" into concrete filled pier cells. Tie to vertical 5 bars within cells set down into footings (bend in L within footings). Extend strap up and over band joist top. (see foundation details.

4) All framing and cladding has been designed to meet or exceed requirements of R301.2.1.1, Exposure B. Notes below exceed AF & PA, WFCM and ASCE-7 130 mph uplift and wind

4) Continued :pressure requirement for single family dwelling. See Continuous load Path notes.

5) Rear steps & landing lumber to be pressure treated. Deck, treads, newels & rails to be #1 Clear KDAT. Deliver to site 3 days prior to carpentry kickoff/ (spread out and allow to dry prior to cutting and assembling). Uplift load path for the porch meets 130 mph guideline of WFCM table 3.23A.

6) New addition floor framing will be similar to existing sidewalls (6x6 sills with rim joist above). They will exceed requirements of IRC table R502.5 for Girders and 502.3 for joist.

7) New Floor Joist are 2x10's at 16" O.C. Loads calculated for these joist and sills are based on tributary areas supported with 40 psf live loads and 10 psf dead load tables IRC 502.3.1(2). Comply wih Figure 502.8 for cutting, notching & drilling Floor .

7) Continued: Joist, 502.6 for bearing and 502.7 for lateral & bridging

8) Provide primed/painted galv. metal termite shield below treated 6 x 8 sill

9) New exterior walls to be 2 x 4 framing at 16" O.C. full cut assembly double top plate, single bottom plate (+/- 12') and exceed requirements of IRC 602.3.5. Fireblocking per IRC R602.8.
10) Roof framing loads include 130 mph uplift with vertical loads calculated from table R802.5.1(2) @ 30 psf LL /20 psf dead load & 240 Deflection

10) Provide 2 x 10 blocking set behind perimeter rim joist at all perimeter walls. Provide 2 x 10 bridging at between each floor joist at locations shown with staggered floor deck pattern

11) Provide 1/2" plywood sheathing at all exterior walls (see Framing notes)

12. Strap opening header- beams to stud gangs with Simpson $1\frac{1}{4}$" 20 Ga strap, see details & lenghts noted.

13) Strap Treated 6x6 sills to cmu piers with Simpson $1\frac{1}{4}$" 20 Ga strap,, see details. Embed coil strap into center of cmu cells & tie to vertical bars

14) All windows shall have wood structural panels constructed to meet IRC R301.2.1.2 Exception in IRC. Panels shall be 5/8" thick CDX plywood with a max. span of 8'-0". Wood Structural Panels shall be precut to cover glazed openings with attachment hardware provided and readily available at time of emergency preparation Attachments per table 301.2.1.2 shall be 2-1/2? # 8 wood screws spaced 12" O.C. all edges.

Additional Continuous load path notes.

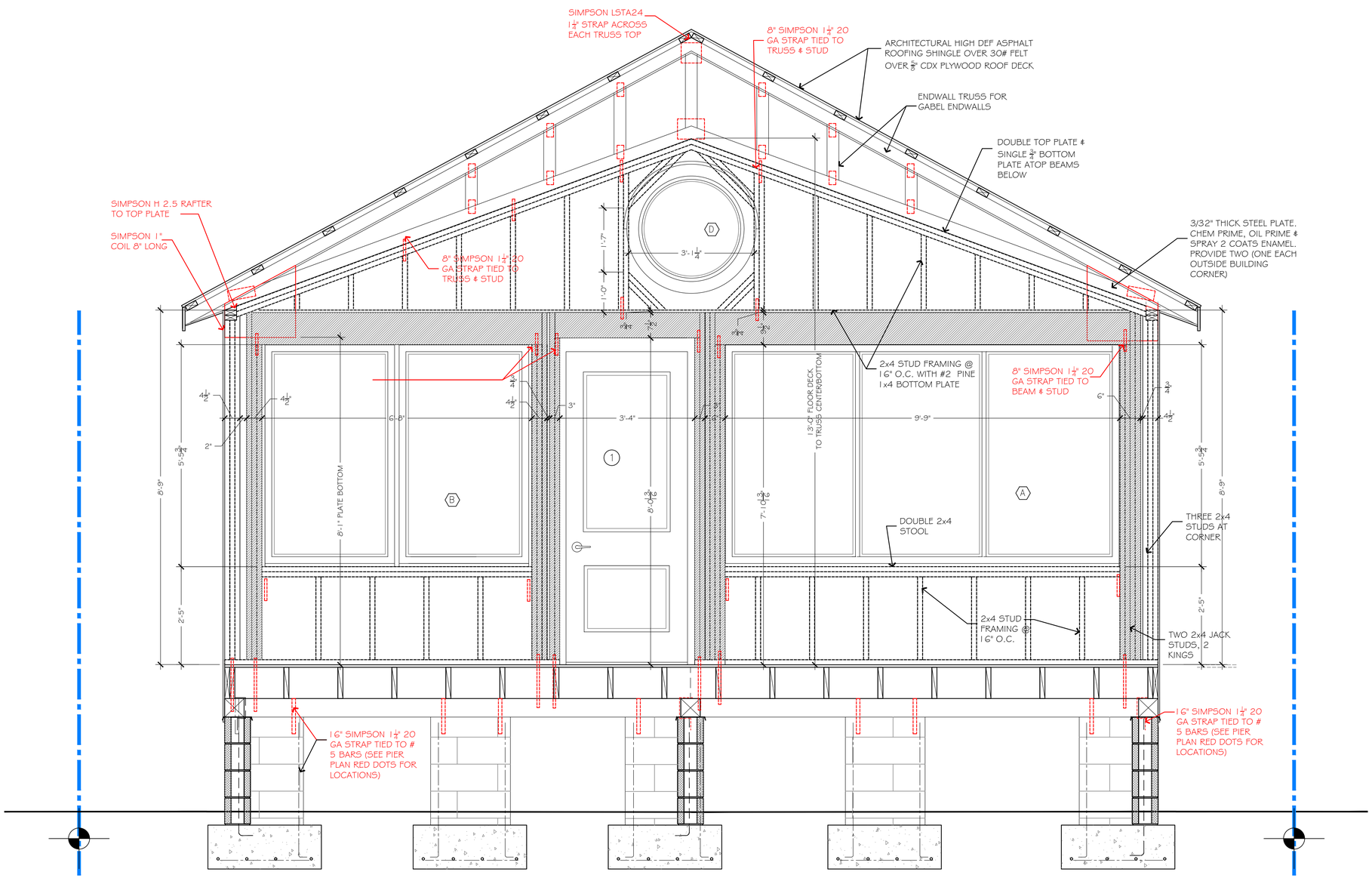
15) Provide Simpson LSTA21 Rafter/Ridge strap connectors @ 16" O.C..

16) Provide two Simpson H2.5A rafter to plate connectors at each new truss (one each side)

17) Provide Simpson SPH4 plate to stud connectors @ Top of studs & coil strap 12" up studs and 8" down band joist @ 32" O.C. covering side of 6x6 treated timber sills.

18) Strap stud bottoms to Foundation sills. Extend 16" long Simpson $1\frac{1}{4}$" 20 Ga strap from lower 3: of sud, down past band joist and sill face.

19) Secure all strap holes with galv, ring shank #10 nails or equivalent Simpson gun nails



A Rear Addition To

The Stoecker Family Residence
1729 Short St.
New Orleans Louisiana 70118

BAVIDO ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117

October 5, 2024
DATE

VARIES
SCALE

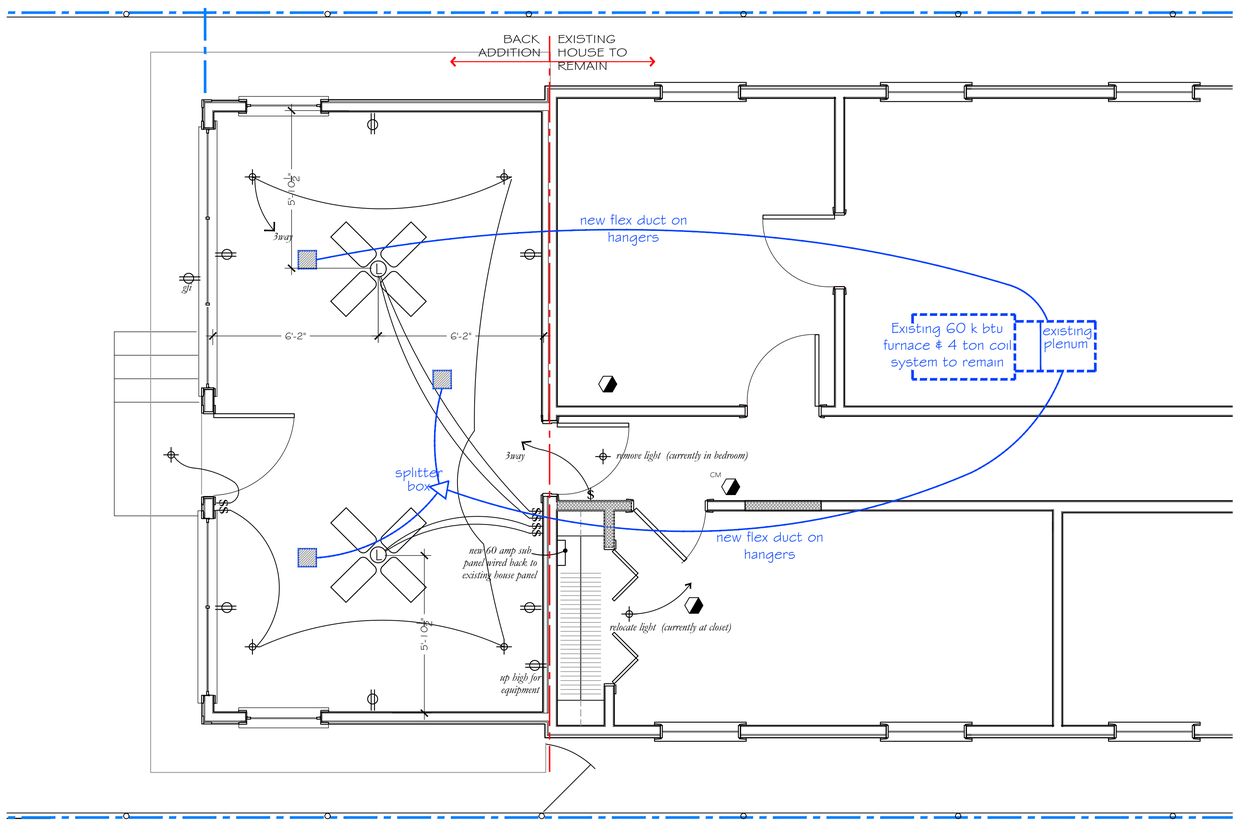
SAMUEL A. BAVIDO JR. Reg. No. 5808 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

REVIEWED BY:

SHEET NUMBER

A–7



Power, Lighting & Hvac Plan

Scale: 3/8" = 1'-0"

Legend

Wall Switch	Grounded Fault Interrupted Duplex Outlet
Three Way Switch	Recessed Ceiling Light
Dimmer Switch	110v. UL Listed Smoke Detector w/ Battery
110 V. Junction Box	110v. UL Carbon Monoxide Detector w/ Battery
Duplex Outlet	Ceiling Fan
Wall Sconce	

General Electrical & Mechanical Notes

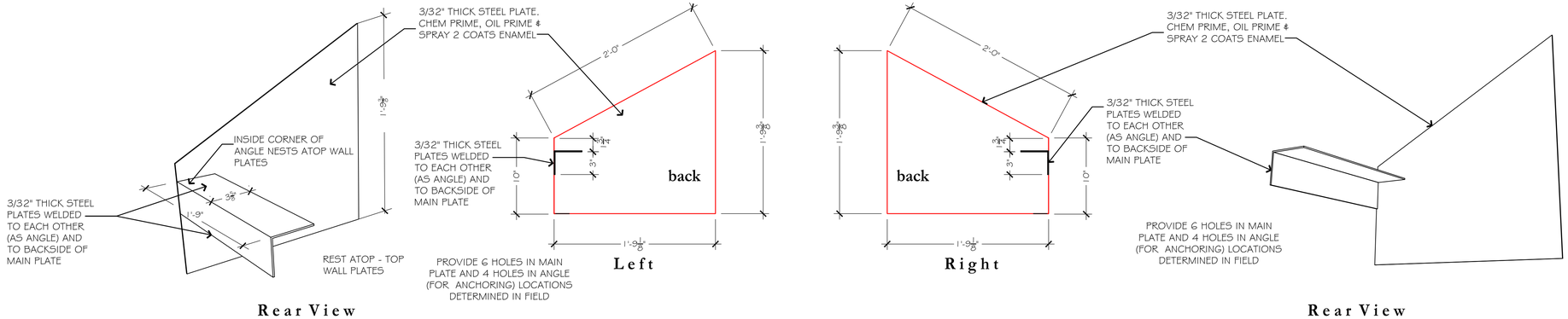
1. All work to be performed by licensed electrical and mechanical contractors.

2. The Contractor shall be responsible for verifying the rough-ins for wiring & ductwork and the locations & sizes of new or replacement electrical and mechanical components.

3. The Electrical Plan and Floor Plan on this sheet shows general locations of fixtures or other elements only. The Contractor shall be responsible for ensuring electrical & mechanical work complies with IRC 2021 and State Uniform Construction Code.

4. All electrical fixtures will be supplied by Owner, installed by contractor. Contractor to provide all j boxes, wiring, switches, outlets and other miscellaneous parts. Install new 60 amp panel breakers (min 6- 15 amp). Provide wire through attic - back to existing 200 amp house panel at front of home.

5. Existing 4 ton, single Air Conditioner & 60 k btu furnace/Air Handler / coil system to remain in use. Tap two new ducts into existing supply plenum. Layout as shown with splitter box and new supply registers . All components & installation to comply with IRC - G2407. Tape, Mastic & Zip tie all flex duct connections. Existing condensing unit sits atop the existing rear shed roof on a platform. Disconnect power & refrigerant lines, temporarily relocate unit to rear yard outside of the new construction zone and reconnect for owner to use during construction. Once roofing has been installed at the new addition, reinstall unit atop on new roof platform. Revise refrigerant lines accordingly. Wiring & piping per IRC 2021, current ASHRAE & NEC to provide complete code compliant systems.



Corner Bracket Details

Scale: 1-1/2" = 1'-0"

A Rear Addition To

The Stoecker Family Residence
1729 Short St.
New Orleans Louisiana 70118

BAVIDO ARCHITECTURE LLC
3425 N. RAMPART ST.
NEW ORLEANS LA 70117

October 5, 2024
DATE

VARIES
SCALE

SAMUEL A. BAVIDO JR. Reg. No. 38610 STATE OF LOUISIANA REGISTERED ARCHITECT

DRAWN BY:

REVIEWED BY:

SHEET NUMBER

A-8

CITY OF NEW ORLEANS
ONE STOP
PERMITS & LICENSES

Building/Construction Related Permit

Date _____ Received by_____
Tracking Number _____

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: (•) Design Review ( ) Interim Zoning Districts Appeal ( ) Moratorium Appeal

Property Location 1729 Short St, New Orleans, LA 70118

APPLICANT INFORMATION

Applicant Identity: (•) Property Owner ( ) Agent

Applicant Name Charles Stoecker

Applicant Address 1729 Short St

City New Orleans State LA Zip 70118

Applicant Contact Number 530-400-7584 Email cfstoecker@gmail.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☑

Property Owner Name

Property Owner Address

City State Zip

Property Owner Contact Number Email

PROJECT DESCRIPTION

This project will replace an existing shed structure that is attached to the house with an additional back room that will be used as a home office. The new room occupies approximately the same footprint as the existing shed structure and will preserve the character of the existing house and is consistent with other back additions in the neighborhood.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review
- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☐ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

Non-Design Overlay District Review
- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

ADDITIONAL INFORMATION

Current Use Single family residence Proposed Use Single family residence (unchanged)

Square Number 223 Lot Number 15 Permeable Open Space (sf) 969

New Development?	Yes ( ) No (•)	Addition?	Yes (•) No ( )	Tenant Width	
Existing Structure(s)?	Yes ( ) No (•)	Renovations?	Yes (•) No ( )	Building Width	24'2"
Change in Use?	Yes ( ) No (•)	Existing Signs?	Yes ( ) No (•)	Lot Width (sf)	30'
New Sign(s)?	Yes ( ) No (•)	Lot Area (sf)	3210	BuildingArea (sf)	1550

CITY OF NEW ORLEANS
ONE STOP
PERMITS & LICENSES

Building/Construction
Related Permit

Date _____ **Received by**_____
Tracking Number _____

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ○ North arrow, scale, and date of plan
- ○ Location, dimensions, and area of permeable open space
- ○ Name, address of the professional who prepared the plan
- ○ Legend of symbols, patterns, and abbreviations used
- ○ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ○ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ○ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ○ Location of adjacent buildings
- ○ Location of refuse storage locations
- ○ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ○ Fence location, height, and materials

2. FLOOR PLAN

- ○ Indicating the dimensions and square footage of proposed development
- ○ Room use
- ○ Location of all walls, doors, and windows
- ○ Location of all plumbing fixtures
- ○ Location of major appliances/mechanical equipment
- ○ Stairway location
- ○ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ○ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ○ Location of all exterior lighting, including those mounted on poles and walls
- ○ Types, style, height, and the number of fixtures
- ○ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ○ Proposed Signage with overall height, width, and materials
- ○ Building Elevation (including building width and height)
- ○ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ○ Name and address of professional who prepared the plan.
- ○ Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ○ All landscape plans shall meet the minimum requirements of site plans
- ○ Legend defining all symbols, patterns, and abbreviations used
- ○ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ○ Description of all tree preservation measures on-site and in the public right-of-way
- ○ Width, depth, and area of landscaped area(s)
- ○ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ○ Photographs of the subject site and/or building

8. NARRATIVE

- ○ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ○ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- ○ Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	$225
CBD Demolitions	$500
Moratorium Appeals	$1,000

Design Review Application
Supplement A
1729 Short St, New Orleans, LA 70118
Charles Stoecker (owner)

Project Description
This project will replace an existing shed structure that is attached to the house with an additional back room that will be used as a home office. The new room occupies approximately the same footprint as the existing shed structure and will preserve the character of the existing house and is consistent with other back additions in the neighborhood.

Site Plan
See attached architectural plans.

Floor Plan
See attached architectural plans.

Landscape Plan
There is no change to the existing landscaping.

Lighting Plan
The renovation will replace six existing exterior floodlights that light the back yard with a single lighting fixture above the stoop that will resemble the fixtures on the front porch. The back stoop light will not be visible from the street.

Architectural Elevations
See attached architectural plans.

Signage Plan
There is no existing signage (this is a single family residence) and there is no plan to add any.

Photos

Compliance with HU-RD2 Building Design Standards Section 11.3.B

This proposed renovation is not visible from the street and preserves the existing character of the building, which is consistent with the neighborhood. Detailed comments addressing the specific building design standards in 11.3.B are in the table below.

Specification	Response
11.3.B.1. The following standards shall apply to all sites, except single and two-family residential dwellings: a. All buildings shall provide a clearly identifiable entry from the public sidewalk at the front (primary street) elevation. b. All buildings shall be oriented towards a public or private street in terms of architectural interest and building access. c. To avoid the appearance of blank walls facing the street, when the side walls of a dwelling face a street, building facades shall be designed with multiple windows of a size matching those on the front elevation.	This is a single family residential dwelling. Also the proposed renovation is not visible from the street.
11.3.B.2.a. Large, flat facades facing the street shall be avoided. Form-giving elements such as, but not limited to galleries, balconies, projected entrances, and overhangs are required on the street-facing façade.	The street-facing façade is unchanged.
11.3.B.2.b. Roof planes shall be consistent in slope, material, and detail to those typical in the area.	Roof angle of the addition will match the roof angle of the existing structure (which also matches the roof angles already in the neighborhood).
11.3.B.2.c. All shutters shall be operational and sized to fit windows.	The addition does not have shutters.
11.3.B.2.d. Facades shall be designed to be viewed from multiple directions with consistent materials and treatments that wraps around all facades. There shall be a unifying architectural theme for an entire multi-family or townhouse development, utilizing a common vocabulary of architectural forms, elements, materials, and colors around the entire structure.	The back renovation will match the color and of the existing house. The addition will use hardi planks that will be ripped to match the existing planks in width. The posts and rails on the back stoop will match those on the front porch.

11.3.B.3.a. Parking is prohibited in the required front and corner side yards. Parking is prohibited in front of the building line or within five (5) feet of the front property line when located within a corner side yard. The front building line does not include any architectural features of the front façade.	No changes to parking or the front façade are proposed.
11.3.B.3.b. Driveways should be consolidated, where possible, in order to reduce curb cuts. Adjacent residential buildings should, where possible, share driveway access.	The building does not have a driveway, and this is unchanged.
11.3.B.4 The following materials are prohibited as the predominant surface finish material in the construction of new multi-family and townhouse developments. However, such materials may be used as part of decorative or detail elements, or as part of the exterior construction, such as a foundation course, that is not used as a predominant surface finish material. i. Exterior insulation finish systems (EIFS) (e.g.“Dryvit”) ii. Stuccato board iii. Vinyl	No prohibited materials will be used. The materials are detailed in the submitted detailed architectural plans.

Compliance with Article 4, Section 4.5

The proposed addition has minimal impact on adjacent property as it is a replacement of existing attached lean-tos with a rear room that is not visible from the street. The illumination plan is a single rear bulb fixture that replaces six existing exterior floodlights. There are no changes to the landscape as the new addition largely occupies the existing footprint of the lean-tos. The rear yard is further surrounded by a privacy fence (see photos). There is no parking on the property and the replacement structure does not add any parking. The replacement structure maintains the existing character of the house and neighborhood by mimicking the siding style, roofline, and trim.

Base Zoning District: HU-RD2

Bulk Regulations	Requirement	Provided	Waiver Necessary?
Min. Lot Area	2250 sf	3228 sf	No
Min. Lot Width	30’	30’	No
Min. Lot Depth	90’	107.5’	No
Max. Building Height	35’	19.5’	No
Min. Permeable Open Space	30% of lot	30%	No
Min. Open Space	120 sf	1005 sf	No
Max. Impervious Surface in Front Yard	40%	40%	No
Max. Impervious Surface in Corner Side Yard	40%	40%	No
Front Yard	Current	No change	No
Interior Side Yard	3’	3’	No
Corner Side Yard	10%	10%	No
Rear Yard	Min(20%,15’)	15’	No
Parking	None	None	No

Compliance with University Area Design Overlay District Section 18.32.B

The proposed addition has minimal changes to scale, massing, articulation, or roof form consistent with the requirements of the University Area Design Overlay. The proposed addition will replace existing lean-to structures attached to the back of the house. The replacement will follow the existing roof angles of the rest of the house. The addition will be approximately 3 feet wider on each side than the existing lean-tos, but will still preserve >3’ of clearance on either side between the replacement room and the property line. The height of the replacement room will be ~6” below the existing house (but follow the roof line). The six pictures in the photos section show additions in the surrounding houses and demonstrate the proposed addition is consistent.