EDWARD HYNES CHARTER SCHOOL at U.N.O. - PERFORMANCE ATHLETIC CENTER



DESIGN ADVISORY COMMITTEE REVIEW MAY 19, 2025

PROJECT DESCRIPTION

THE PROJECT IS A STANDALONE NEW CONSTRUCTION OF A GYMNASIUM, CLASSROOMS, AND SUPPORT SPACES FOR AN EXISTING PRIMARY EDUCATIONAL FACILITY. IT IS APPROXIMATELY 18,500 SF ON U.N.O. CAMPUS.

VICINITY MAP



PROJECT DIRECTORY

ARCHITECT

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LANDSCAPE ARCHITECT

McKNIGHT LANDSCAPE ARCHITECT 668 S. FOSTER DR., SUITE 101 BATON ROUGE, LA 70806 225.924.1265

DRAWING INDEX

GENERAL

COVER SHEET

ARCHITECTURAL SITE

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ARCHITECTURE

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LANDSCAPE

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L2.1 IRRIGATION DETAILS

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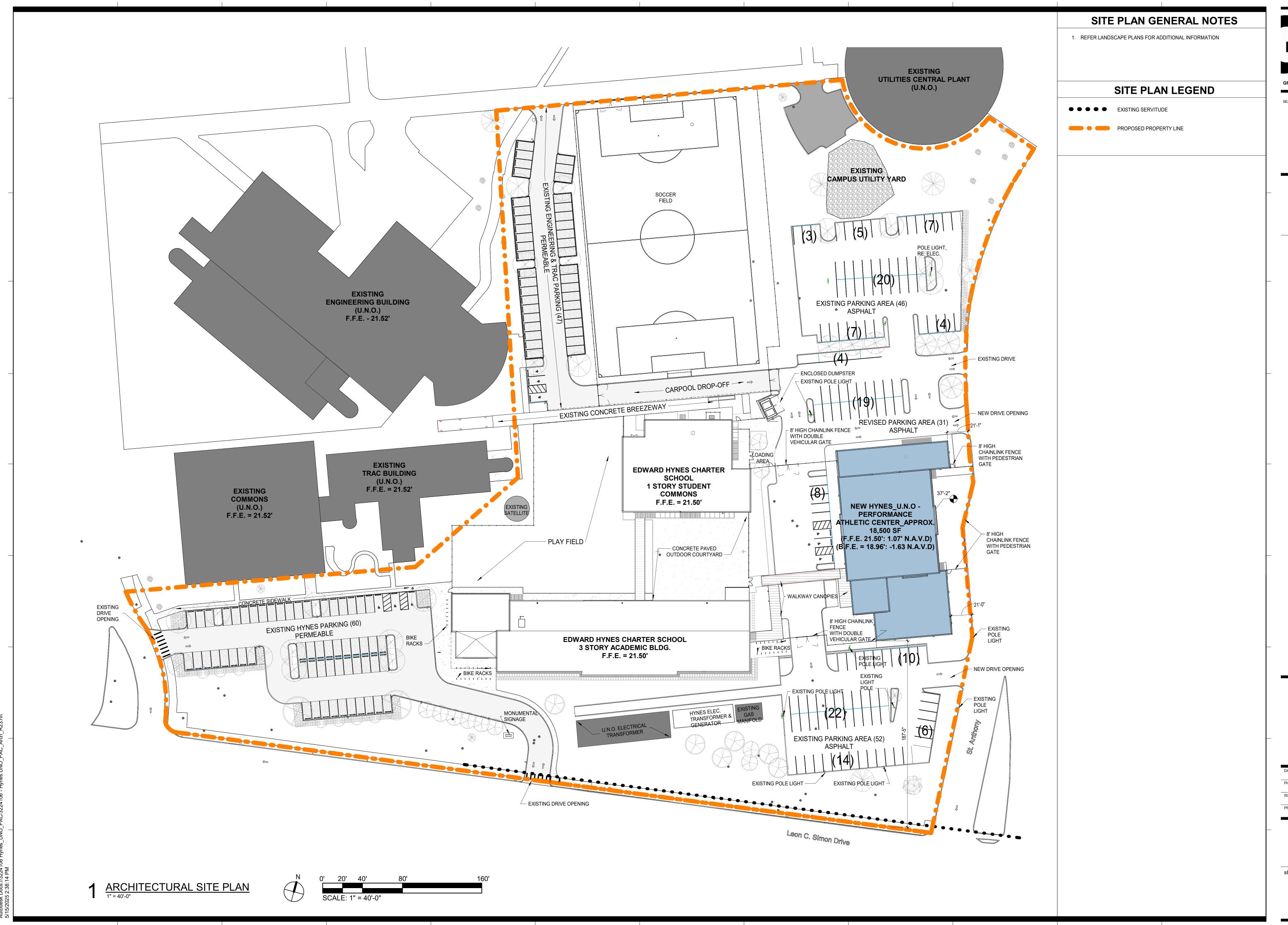
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COVER SHEET

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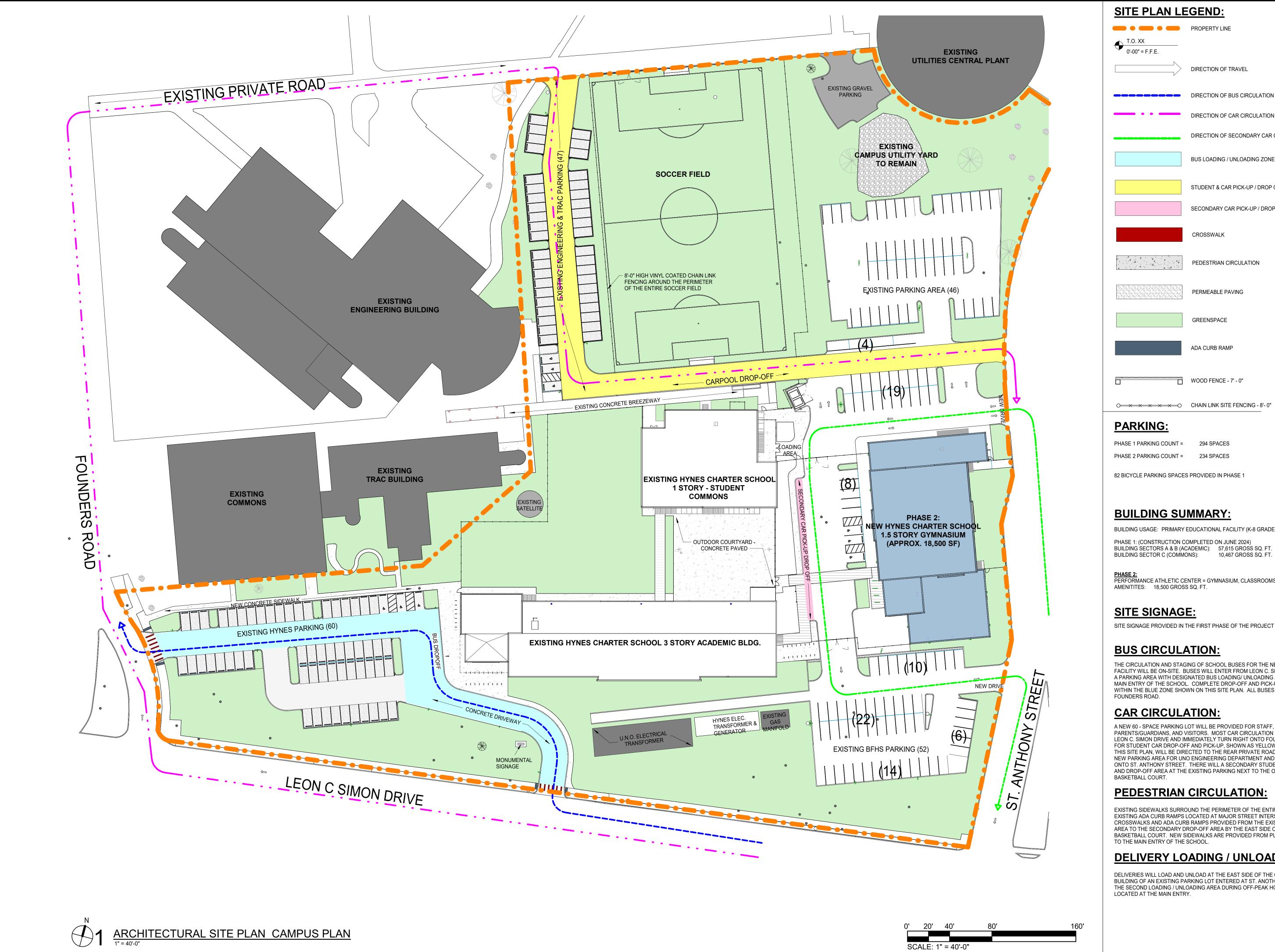
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-RIENDS OF 1901 LEON (

ARCHITECTURAL SITE PLAN

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294 SPACES

DIRECTION OF TRAVEL

DIRECTION OF CAR CIRCULATION

BUS LOADING / UNLOADING ZONE

CROSSWALK

PEDESTRIAN CIRCULATION

PERMEABLE PAVING

GREENSPACE

ADA CURB RAMP

WOOD FENCE - 7' - 0"

DIRECTION OF SECONDARY CAR CIRCULATION

STUDENT & CAR PICK-UP / DROP OFF ZONE

SECONDARY CAR PICK-UP / DROP OFF ZONE

82 BICYCLE PARKING SPACES PROVIDED IN PHASE 1

BUILDING SUMMARY:

BUILDING USAGE: PRIMARY EDUCATIONAL FACILITY (K-8 GRADES)

PHASE 1: (CONSTRUCTION COMPLETED ON JUNE 2024) BUILDING SECTORS A & B (ACADEMIC): 57,615 GROSS SQ. FT. BUILDING SECTOR C (COMMONS): 10,467 GROSS SQ. FT.

PERFORMANCE ATHLETIC CENTER = GYMNASIUM, CLASSROOMS, AND SUPPORT AMENITITES: 18,500 GROSS SQ. FT.

SITE SIGNAGE:

SITE SIGNAGE PROVIDED IN THE FIRST PHASE OF THE PROJECT BY DPW.

BUS CIRCULATION:

THE CIRCULATION AND STAGING OF SCHOOL BUSES FOR THE NEW EDUCATIONAL FACILITY WILL BE ON-SITE. BUSES WILL ENTER FROM LEON C. SIMON STREET TO A PARKING AREA WITH DESIGNATED BUS LOADING/ UNLOADING AREA NEAR THE MAIN ENTRY OF THE SCHOOL. COMPLETE DROP-OFF AND PICK-UP WILL HAPPEN WITHIN THE BLUE ZONE SHOWN ON THIS SITE PLAN. ALL BUSES TO EXIT ONTO FOUNDERS ROAD.

CAR CIRCULATION:

A NEW 60 - SPACE PARKING LOT WILL BE PROVIDED FOR STAFF, PARENTS/GUARDIANS, AND VISITORS. MOST CAR CIRCULATION TO ENTER AT LEON C. SIMON DRIVE AND IMMEDIATELY TURN RIGHT ONTO FOUNDERS ROAD. FOR STUDENT CAR DROP-OFF AND PICK-UP, SHOWN AS YELLOW ZONE ON THIS SITE PLAN, WILL BE DIRECTED TO THE REAR PRIVATE ROAD LEADING TO A NEW PARKING AREA FOR UNO ENGINEERING DEPARTMENT AND TO EXIT OUT ONTO ST. ANTHONY STREET. THERE WILL A SECONDARY STUDENT PICK-UP AND DROP-OFF AREA AT THE EXISTING PARKING NEXT TO THE OUTDOOR BASKETBALL COURT.

PEDESTRIAN CIRCULATION:

EXISTING SIDEWALKS SURROUND THE PERIMETER OF THE ENTIRE SITE WITH EXISTING ADA CURB RAMPS LOCATED AT MAJOR STREET INTERSECTIONS. NEW CROSSWALKS AND ADA CURB RAMPS PROVIDED FROM THE EXISTING PARKING AREA TO THE SECONDARY DROP-OFF AREA BY THE EAST SIDE OF THE OUTDOOR BASKETBALL COURT. NEW SIDEWALKS ARE PROVIDED FROM PUBLIC STREETS

DELIVERY LOADING / UNLOADING:

DELIVERIES WILL LOAD AND UNLOAD AT THE EAST SIDE OF THE COMMONS BUILDING OF AN EXISTING PARKING LOT ENTERED AT ST. ANOTHER STREET. THE SECOND LOADING / UNLOADING AREA DURING OFF-PEAK HOURS WILL BE LOCATED AT THE MAIN ENTRY.

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CAMPUS & TRAFFIC PLAN

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AS100

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RIENDS 901 LE

- o E. Rear Yard = 20% of lot depth or 20', whichever is less
 - Designed rear yard = 363' 0"

Required Off-Street Vehicle Parking Spaces

22.4 Off-Street Vehicle and Bicycle Parking Requirements

- Educational Facility, Primary
 - Minimum Required Vehicle Spaces All required parking was provided for Phase 1 of the the project.
 - Phase 1 = 294 parking spaces shared between Hynes Charter, University of New Orleans, and Benjamin Franklin High School.
 - Phase 2 = 234 parking spaces
 - Minimum Required Bicycle Spaces -
 - Bicycle spaces provided = 82 (completed with Phase 1 construction)

Existing Site Context and Photos:



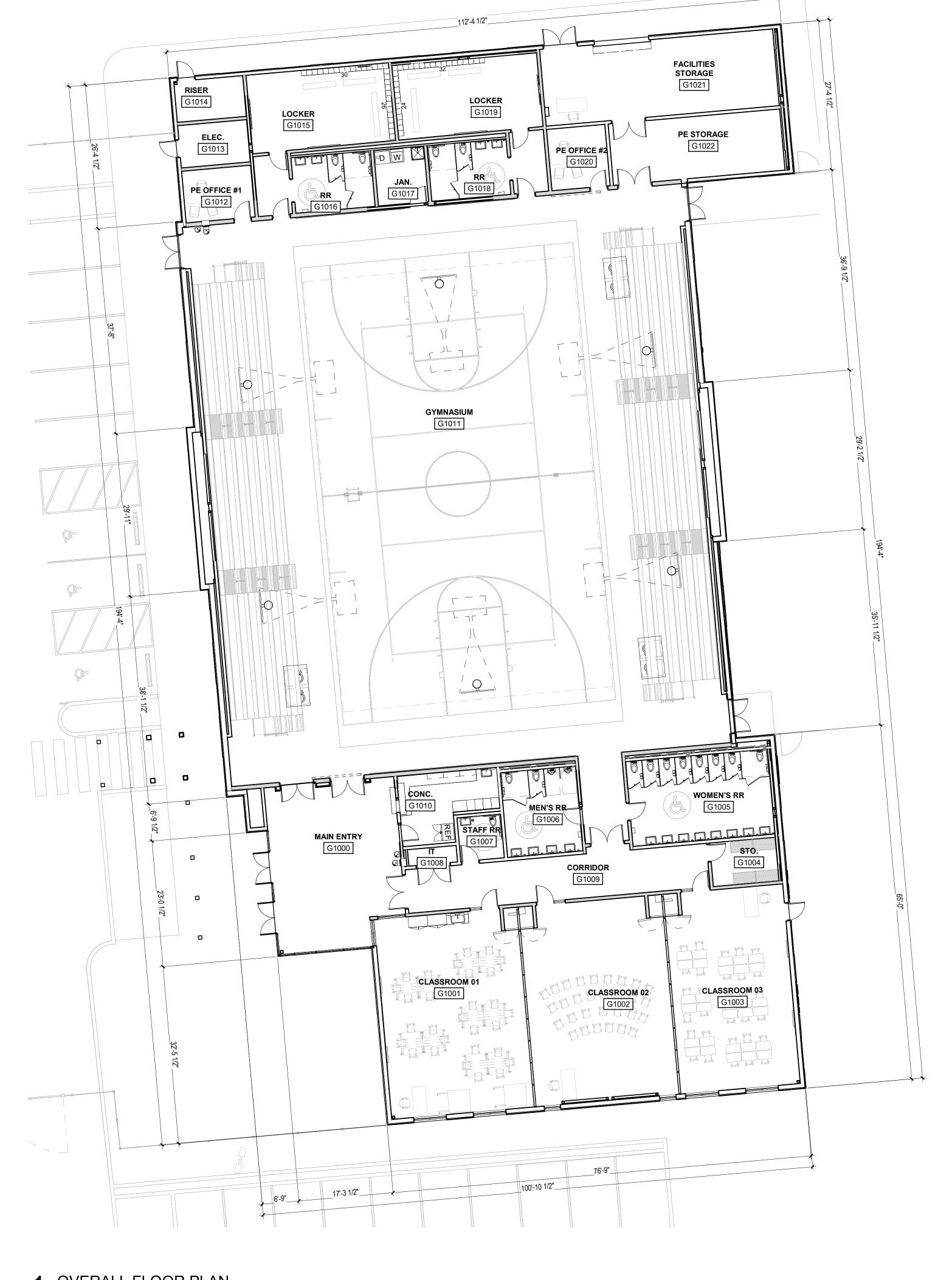
Main Entry of Academic Building from Leon C. Simon Drive



View from play field of the Academic Building and Commons Building



View from of the Academic and Commons Buildings from the soccer field.





EAL:

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FLOOR PLAN

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AF100





Grace Hebert Curtis Architects, LLC Grace Hebert Curtis Architects, PLLC Fred J. Grace, III, retired



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BUILDING ELEVATIONS

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AE100



VIEW FROM LEON C. SIMON DRIVE - MAIN ENTRY SOUTH ELEVATION



VIEW GOING DOWN ST. ANTHONY - EAST ELEVATION



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RENDERINGS

sheet number

AR101



VIEW FROM ST. ANTHONY GOING TOWARDS LEON C. SIMON DRIVE - NORTHEAST ELEVATION



VIEW FROM COMMONS BUILDING TO PAC - WEST ELEVATION



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RENDERINGS

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SCALE: 1'' = 20'-0''

QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
2,835	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Mix top 4" of topsoil w first 3" of imported planting soil.
366	Gravel Border (square feet) $1"-1\frac{1}{2}"$ river rock
246	Metal Edging (linear feet)
4	Red Maple 'Florida Flame' (Acer rubrum 'Florida Flame') 45 gallon container, 12' height, 4'-5' spread, $2\frac{1}{2}$ " caliper, 6'-6" clear trunk to first branching, heavily branched, single lead full canopy
6	Sweetbay Magnolia (Magnolia virginiana 'JimWilson Moonglow 30 gallon container, 8' height, 4'-5' spread, multi-trunk (3), 1 $\frac{1}{4}$ " n caliper per trunk, 6' clear to first branching, heavily branched
98	Dwarf Yew 'Pringles' (Podocarpus macrophyllus 'Pringles Dwarf' 7 gallon container, 12"-18" spread, 24" height, dense and comp growth habit, spaced 36" o.c.
44	Pink Muhly Grass (Muhlenbergia capillaris) 5 gallon container, 12" - 18" height, 12" - 18" spread at base, full container, heavy and active foliage
653	Liriope (Liriope muscari) 4" Container, 4"-6" height and spread, full container 4 per square foot
219	Dwarf Yaupon (llex vomitoria 'Nana') 7 gallon container, 12"-15" spread, 24" height, dense and compact growth habit, planted 36" o.c.
AS NEEDED	Hydroseed - Common Bermuda Seed (square yards) Applied at a rate of 3.5 lbs (dry weight) / 1000 square feet Install in any area disturbed by construction
731	Sod - Common Bermuda (square yards) certified weed and pest free
±2,835	Hardwood Mulch, shredded (square feet) 3" thick layer in all planting areas and in ring around trees (2x rootball diameter)

LANDSCAPE ORDINANCE REQUIREMENTS

NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE - ARTICLE 23

PERIMETER PARKING LOT LANDSCAPE (108 L.F.)

MIN. 5' WIDTH ORNAMENTAL TREES REQUIRED (108 / 25' O.C.): 5 TREES SHRUBS REQUIRED (108 / 3' O.C.): 36 SHRUBS

PROVIDED ORNAMENTAL TREES: 3 + 1 EXISTING SHADE TREE

PROVIDED SHRUBS: 93 (DOUBLE ROW)

FRONT LANDSCAPE YARD

N/A SEE PLAN FOR PLANTING PROVIDED WHERE APPLICABLE

PARKWAY TREES

BUILDING FOUNDATION LANDSCAPE

A SINGLE HEDGE ROW WITH A MIN. HEIGHT OF 24" AT PLANTING

PARKING LOT LANDSCAPE - INTERIOR ONE PARKING ISLAND EVERY 10 SPACES + ONE TREE REQUIRED EVERY PARKING ISLAND

65 PARKING SPACES/10 = 7 TREES REQUIRED PROVIDED: 7

BUFFER YARD SCREEN

GENERAL PLANTING NOTES

- 1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
- 2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN OR SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
- 3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
- 4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
- 5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
- 6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
- 7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
- 8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 9. SOIL SAMPLES: CONTRACTOR SHALL TAKE SOIL SAMPLES FROM SEVERAL AREAS (CONTRACTOR TO IDENTIFY ON SITE PLAN) OF THE SITE SCHEDULED FOR GRASSING/LANDSCAPING TO BE ANALYZED BY INDEPENDENT TESTING LAB. PROVIDE LANDSCAPE ARCHITECT WITH THE WRITTEN REPORT OF RECOMMENDATIONS FOR SOIL AMENDMENTS & FERTILIZERS TO BE USED ON SITE. CONTRACTOR SHALL RECEIVE ENDORSEMENT OF RECOMMENDATIONS FROM LANDSCAPE ARCHITECT AND INCORPORATE ACCORDINGLY. ALL OF THE ABOVE SHALL BE DONE WITH NO ADJUSTMENTS TO EITHER THE CONTRACT SUM OR CONTRACT
- 10. CONTRACTOR TO PROVIDE MIN. 100 S.F. MOCK-UP OF FULLY AMENDED BED PREPARATION INCLUDING TILLING SUB-GRADE PER SPECIFICATIONS FOR REVIEW AND APPROVAL BY LANDSCAPE PRIOR TO COMPLETING REMAINING BED PREPARATIONS AND PLANT INSTALLATION.
- 11. QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY, CONTRACTOR SHALL VERIFY QUANTITIES BASED ON PLAN SYMBOLS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION.

LAWN NOTES:

- 1. PERMANENT GRASSING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ATTAINING FINAL PERMANENT GRASSING (AND/OR SPRIGGING AND/OR SOD) ON THE PROJECT IN ACCORDANCE WITH THE SPECIFIC CRITERIA OF THE CONTRACT DOCUMENTS. ALL TEMPORARY GRASSING WHICH DOES NOT COMPLY WITH THE REQUIRED PERMANENT GRASSING MATERIALS WHICH WERE INSTALLED FOR EROSION CONTROL MEASURES OR THE CONVENIENCE OF THE CONTRACTOR SHALL BE FULLY TILLED UNDER, AND THEN THE SOIL PREPARED FOR PERMANENT GRASSING IN ACCORDANCE WITH CONTRACT CRITERIA.
- 2. ACCEPTABLE UNIFORM STAND OF GRASS: AN ACCEPTABLE UNIFORM STAND OF GRASS IS DEFINED AS "ESTABLISHMENT OF THE SPECIFIED GRASS, PROPERLY WATERED, MAINTAINED, MOWED, AND FREE OF WEEDS, WITH THE GRASS HAVING A MINIMUM OF 97% COVERAGE OVER THE REQUIRED AREAS AND ONLY SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE (1) SQUARE FOOT IN AREA."
- MOWING SCHEDULE:
- WHEN GRASS REACHES A HEIGHT OF THREE (3) INCHES, MOW TO 2/3 HEIGHT, LEAVING TWO (2) INCHES REMAINING.
- MAINTAIN A GRASS HEIGHT BETWEEN TWO (2) AND THREE (3) INCHES UNTIL END OF MAINTENANCE PERIOD.
- DO NOT CUT OFF MORE THAN 40% OF GRASS HEIGHT IN
- SINGLE MOWING.
- PERFORM MOWING APPROXIMATELY WEEKLY (OR AS REQUIRED TO FULFILL THE ABOVE CRITERIA) FOR A TOTAL OF NOT LESS THAN FOUR (4) MOWINGS PRIOR TO FINAL ACCEPTANCE.



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1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 AND IN THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY, LATEST EDITION, AS PUBLISHED BY THE LOUISIANA NURSERY AND LANDSCAPE ASSOCIATION, AND CURRENTLY IN EFFECT AT THE TIME OF SUCH

LANDSCAPE ORDINANCE STANDARDS

- 2. PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. ALL LANDSCAPING SHALL BE INSTALLED IN A SOUND MANNER AND IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE LOUISIANA NURSERYMAN'S MANUAL FOR THE ENVIRONMENTAL HORTICULTURE INDUSTRY.
- 3. TREES AND SHRUBS SELECTED FOR PLANTING SHALL MEET THE MINIMUM REQUIREMENTS PROVIDED IN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, LATEST EDITION AS PUBLISHED BY THE AMERICA NURSERY AND LANDSCAPE ASSOCIATION.
- 4. PLANT MATERIALS SHALL BE COLD HARDY FOR THE SPECIFIC LOCATION WHERE THEY ARE TO BE PLANTED.
- 5. PLANT MATERIALS SHALL BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- 6. ALL PLANT HEIGHTS SHALL BE MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE HIGHEST BRANCH.

7. SHADE AND STREET YARD TREES:

- 7.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM TWO AND ONE-HALF INCH CALIPER AND MEASURE A MINIMUM OF SIX AND ONE-HALF FEET CLEAR TRUNK AT TIME OF PLANTING.
- 7.2. MULTI-TRUNK TREES SHALL HAVE MAIN STEMS WITH A MINIMUM ONE AND ONE-QUARTER INCH CALIPER PER TRUNK, A MINIMUM OF THREE MAIN STEMS, AND MEASURE A MINIMUM OF SIX FEET CLEAR TRUNK AT TIME OF PLANTING.

8. ORNAMENTAL TREES:

- 8.1. ALL SINGLE TRUNK TREES SHALL HAVE A MINIMUM THREE INCH CALIPER AT TIME OF PLANTING.
- 8.2. MULTI-TRUNK TREES SHALL HAVE THREE MAIN STEMS WITH A MINIMUM ONE AND ONE HALF-INCH CALIPER PER TRUNK (FIVE MAXIMUM) AND MEASURE A MINIMUM OF EIGHT FEET IN HEIGHT AT TIME OF PLANTING.

9. EVERGREEN TREES: 9.1. ALL SINGLE TRUNK TREES SHALL BE A MINIMUM OF EIGHT FEET IN

HEIGHT AT TIME OF PLANTING.

10. SHRUBS: 10.1. LARGE SHRUBS SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT AND SMALL SHRUBS SHALL BE A MINIMUM OF 18 INCHES IN HEIGHT AT INSTALLATION, UNLESS THEY ARE PLANTED AS A SCREEN FOR A BUFFER. WHEN PLANTED AS A SCREEN FOR A

BUFFER OR A PARKING LOT, THE MAXIMUM SPACING FOR 24

10.2. SPACING FOR OTHER REQUIRED PLANT MATERIAL SHALL BE DETERMINED PER CZO.

INCH HIGH SHRUBS SHALL BE 36 INCHES ON CENTER.

11. IRRIGATION AND WATERING STANDARD: 11.1. A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED ON A DESIGN/BUILD BASIS. WATERING SCHEDULE TO BE PROVIDED IN ACCORDANCE WITH NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE (CZO), ARTICLE 23, SECTION 23.5.G.

12. MAINTENANCE:

- 12.1. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL REQUIRED LANDSCAPING IN A HEALTHY AND GROWING CONDITION, REPLACING DEAD OR DAMAGED VEGETATION, AND KEEPING ALL LANDSCAPED AREAS FREE OF REFUSE AND DEBRIS.
- 12.2. PROPERTY OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING, AND MAINTAINING ALL LANDSCAPING WITHIN THE ABUTTING RIGHT-OF-WAY.

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LANDSCAPE PLAN

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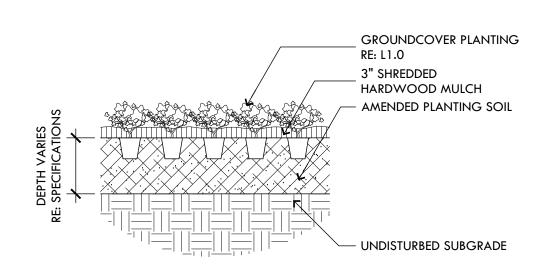
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PLANTING DETAILS

sheet number

NOTES:

1. RE: SPECIFICATIONS FOR TYPICAL GROUNDCOVER PLANTING INSTALLATION.



GROUNDCOVER PLANTING 1/2" = 1'-0"

LAWN

NOTES:

PREPARATION.

1/2" = 1'-0"

1. THE CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS FROM AN INDEPENDENT LABORATORY APPROVED BY THE STATE DEPARTMENT OF AGRICULTURE. ANY

RECOMMENDED AMENDMENTS SHALL BE INCORPORATED DURING LAWN

2. THE CONTRACTOR SHALL LOOSEN THE TOP FOUR (4) INCES OF SOIL IN AREAS TO

RECEIVE LAWN. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, STICKS, ROOTS,

RUBBISH, CLUMPS OF SOIL, STONES OVER ONE (1) INCE IN DIAMETER, AND ALL

3. INSTALL SOD WITH TIGHTLY FITTED JOINTS TO ELIMINATE AIR POCKETS AND FORM

SEED OR SOD

(PIECES OR ROLLS)

CULTIVATED AND AMENDED SUBGRADE

OR IMPORTED PLANTING SOIL

TILLED AND LOOSENED

- UNDISTURBED SUBGRADE

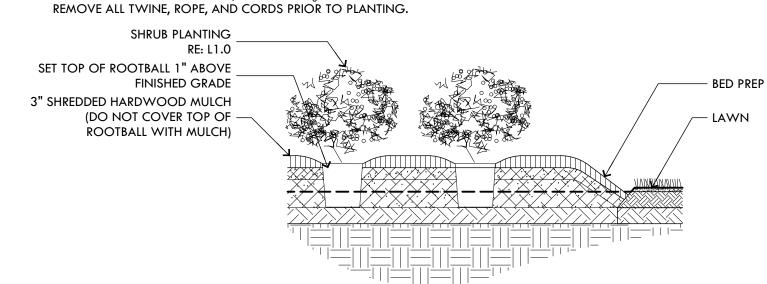
EXISTING SOIL

OTHER EXTRANEOUS MATTER PRIOR TO FINE GRADING FOR LAWN AREAS.

A SMOOTH CONTINUOUS MASS OF LAWN.

NOTES:

- 1. FOR CONTAINER GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL OR WASH POTTING MIX AND ROOT MAT APART TO DIRECT OUTER ROOTS INTO THE ADJACENT SOIL. DO NOT LEAVE CIRCLING ROOTS AGAINST THE ROOTBALL.
- 2. FOR BALL AND BURLAP SHRUBS, REMOVE TO $\frac{1}{3}$ OR ENTIRE BURLAP FROM ROOTBALL AND



E SHRUB PLANTING 1/2" = 1'-0"

PAVING VARIES RE: CIVIL – LAWN CROWN OF SOD (SOIL AND GRASS BLADE LINE) SHALL BE SET LEVEL OR SLIGHTLY ABOVE $(\frac{1}{2}$ MAX.) FINISHED GRADE OF PAVEMENT

SPADE OR SHOVEL CUT BED EDGE

TO DEFINE BED AND RETAIN MULCH

- ROUGH GRADE

UNDISTURBED SUB-GRADE

3/4" = 1'-0"

NOTES:

IN THE DRAWINGS.

3" SHREDDED

3" IMPORTED

PLANTING SOIL

HARDWOOD MULCH

7" BLEND OF NATIVE AND

4" TILLED AND LOOSENED

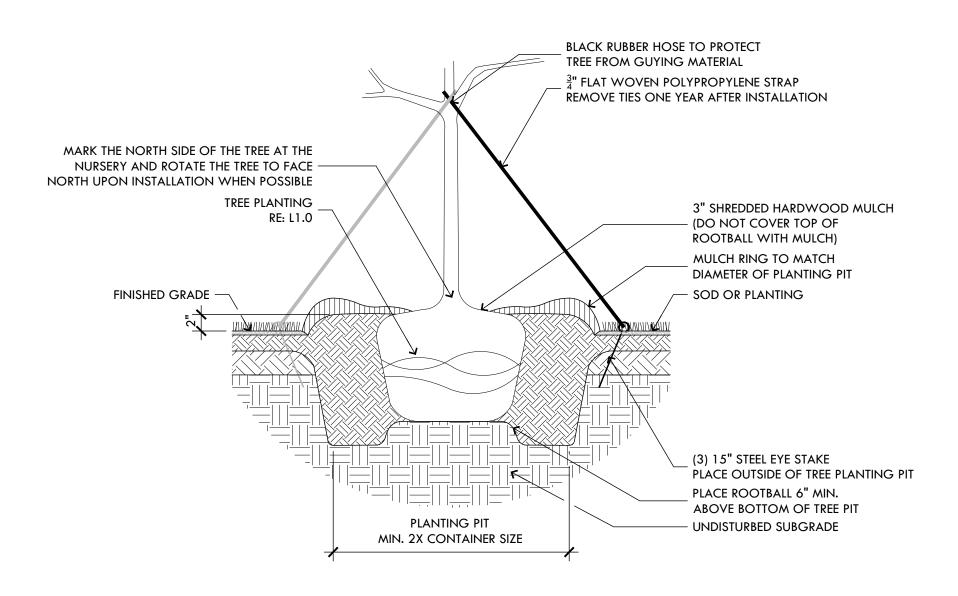
IMPORTED SOIL

EXISTING SOIL

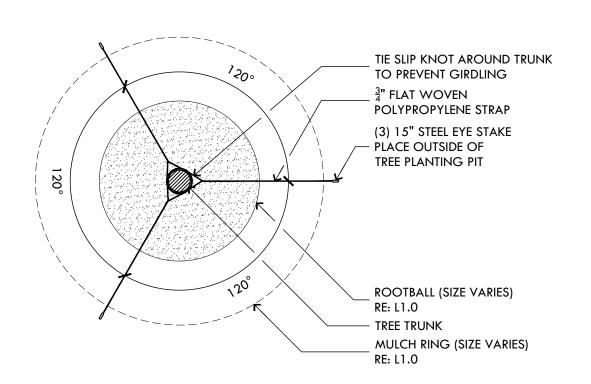
1. PREPARE SOIL ACROSS THE ENTIRE BED AS SPECIFIED

2. RE: SPECIFICATIONS FOR TYPICAL BED PREPARATION.

D PAVEMENT LAWN TRANSITION 1/2" = 1'-0"



F TREE PLANTING 1/2" = 1'-0"



G TREE STAKING 1/2" = 1'-0"

SCALE: 1" = 20'-0"

IRRIGATION NOTES:

- 1. THE IRRIGATION SYMBOLS ON THIS PLAN ARE NOT TO SCALE. THEY ARE STRICTLY A GRAPHIC REPRESENTATION AND ARE USED TO APPROXIMATELY LOCATE THE PLACEMENT OF THE IRRIGATION COMPONENTS.
- 2. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING THE WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ON SITE STRUCTURES OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION AND IS TO REPAIR ANY DAMAGE WHICH OCCURS DURING INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
- 4. THE CONTRACTOR SHALL FOLLOW LOCAL IRRIGATION REQUIREMENTS REGARDING PIPE DEPTH, TAPS, BACKFLOW PREVENTION DEVICES, ETC.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT.
- 6. ALL WORK, ADJUSTMENTS, AND INSPECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, THE TOTAL WORK AS PER INSTRUCTIONS OF THE OWNER.
- 8. IRRIGATION LINE AND HEAD LAYOUT ON THIS PLAN ARE SCHEMATIC. THE CONTRACTOR SHALL LOCATE ALL LINES AND HEADS IN SUCH A WAY AS TO CAUSE THE LEAST CONFLICT WITH THE LOCATION OF UTILITIES AND PROPOSED/EXISTING PLANTS.
- 9. PVC SLEEVES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 15" BELOW PAVEMENT SURFACE AND NO DEEPER THAN 21". END OF SLEEVE SHALL EXTEND 6" BEYOND CURB OR PAVEMENT EDGE.
- 10. ALL PLANTING BEDS SHALL RECEIVE DRIP IRRIGATION.
- 11. INSTALL THRUST BLOCKS AT ALL PIPE JOINTS AND 90s.
- 12. IRRIGATION METER TO BE PROVIDED SEPARATE OF DOMESTIC. CONNECT TO EXISTING IRRIGATION SYSTEM. CONTRACTOR TO CONFIRM METER SIZE FOR FLOW AND PRESSURE CAPACITY. COORD WITH CIVIL FOR UTILITIES LOCATIONS.

IRRIGATION LEGEND:



VALVE SEQUENCE **GALLONS PER MINUTE** VALVE SIZE

PVC IRRIGATION SLEEVE

MAINLINE 2" SCH. 40 PVC

LATERAL LINE $\frac{3}{4}$ " - 1 $\frac{1}{2}$ " CLASS 200

DRIP LINE; 0.6 GPH EMITTERS SPACED AT 12"

BACKFLOW PREVENTOR (LINE SIZED) RPZ OR PVB ASSEMBLY W/ INSULATED ENCLOSURE FEBCO OR APPROVED EQUAL

WATER METER - IRRIGATION ONLY

SIZE PER MAXIMUM ZONE GPM AUTOMATIC CONTROLLER

HUNTER PRO-C 12 ZONE CONTROLLER OR APPROVED EQUAL

ZONE VALVE HUNTER PGV OR APPROVED EQUAL

DRIP ZONE CONTROL KIT

HUNTER ICZ-101 OR APPROVED EQUAL

MANUAL ISOLATION VALVE (LINE SIZED)

1" QUICK COUPLING VALVE (THREADED) PROVIDE (2) KEYS MINIMUM

COMPRESSION FITTING (HARD PIPE TO DRIP TUBE CONNECTION)

POP-UP SPRAY NOZZLE HUNTER PRO-SPRAY SERIES NOZZLES WITH PRS-30 BODY OR APPROVED EQUAL

12" 4"

- A A 15' QUARTER CIRCLE
 - 15' HALF CIRCLE
 - 15' ADJUSTABLE ARC
- 15' FULL CIRCLE
- 15' END STRIP
- 15' SIDE STRIP 15' CORNER STRIP
- 12' QUARTER CIRCLE
- 12' HALF CIRCLE 12' ADJUSTABLE ARC
- 12' FULL CIRCLE
- 10' QUARTER CIRCLE 10' HALF CIRCLE
- 10' ADJUSTABLE ARC
- 10' FULL CIRCLE 8' QUARTER CIRCLE
- 8' HALF CIRCLE 8' ADJUSTABLE ARC
- 8' FULL CIRCLE
- 5' QUARTER CIRCLE 5' HALF CIRCLE
- 5' FULL CIRCLE

- 4F 4F 4' FULL CIRCLE

 4H 4H 4' HALF CIRCLE

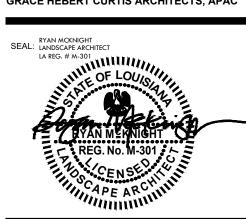
 4Q 4Q 4' QUARTER CIRCLE

 2H 2H 2' HALF CIRCLE

 2Q 2Q 2 QUARTER CIRCLE







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LLC DR.,

05.19.25 DAC REVIEW ISSUED FOR 3220104

IRRIGATION PLAN

sheet number



GRACE HEBERT CURTIS ARCHITECTS, APAC

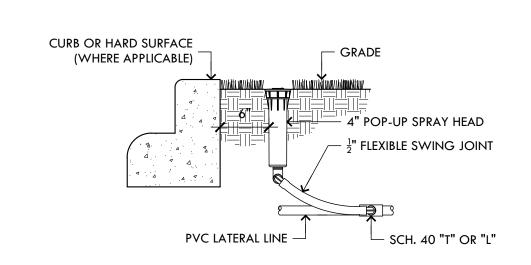
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ORLEANS



4 IN POP UP HEAD 1" = 1'-0"

← SIDEWALK

SCH. 40 PVC SLEEVE;

1" = 1'-0"

SIZE VARIES

- ISOLATION VALVE COPPER MALE ADAPTER REDUCED PRESSURE BACKFLOW PREVENTER — COPPER "L" COPPER UNION GRADE - COPPER PIPE POINT OF CONNECTION -- COPPER FEMALE ADAPTER IIIII ← MAINLINE - PVC MALE ADAPTER 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. 2. BACKFLOW SHALL HAVE INSULATED ENCLOSURE

BACKFLOW PREVENTER 1" = 1'-0"

3. MIN. OF 12" ABOVE GRADE

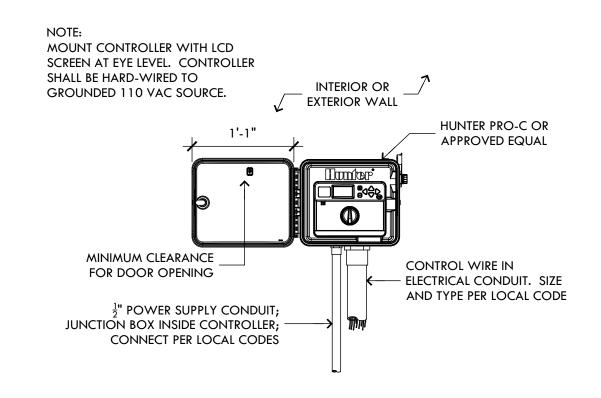
WIRING AT 20' INTERVALS.

MAIN SUPPLY, LATERAL AND LATERAL LOW-VOLTAGE 120 VOLT LATERAL LINE LOW-VOLTAGE WIRING WIRING TREE ROOT WIRING - LATERAL DO NOT CUT TREE ROOTS LARGER THE $\frac{1}{2}$ " — DIAMETER. TUNNEL UNDER ROOTS. HAND DIG OR BORE WITHIN DRIP LINE - TRACER WIRES ON ALL MAIN SUPPLY LINES ALL 120 VOLT WIRING — IN ACCORDANCE WITH LOCAL CODE. TIE A LOOSE 20" LOOP WIRING AT ALL CHANGES OF - DIRECTION GREATER THAN 30°. UNTIE ALL LOOPS AFTER CONNECTIONS HAVE BEEN COMPLETED TAPE AND BUNDLE TUBING OR

AND THE INSTALLATION OF PVC PIPING.

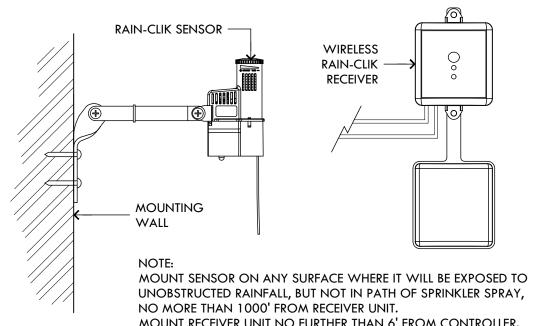
CONTRACTOR TO COMPLY WITH ALL LOCAL CODES AND ORDINANCES IN REFERENCE TO LOW VOLTAGE WIRING

E TRENCHING SECTION 1" = 1'-0"



CONTROLLER

1" = 1'-0"



WIRELESS RAIN SENSOR

VALVE BOX WITH COVER GRADE — 18-24" COILED WIRE -WATERPROOF CONNECTORS PVC LATERAL LINE ---> BRICK SUPPORTS -3" WASHED GRAVEL -

COORDINATE ROADWAY/ DRIVEWAY SLEEVES W/

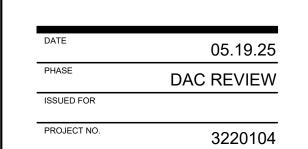
ADDITIONAL SLEEVES AND BORING WILL BE AT

CONTRACTORS EXPENSE

SLEEVE

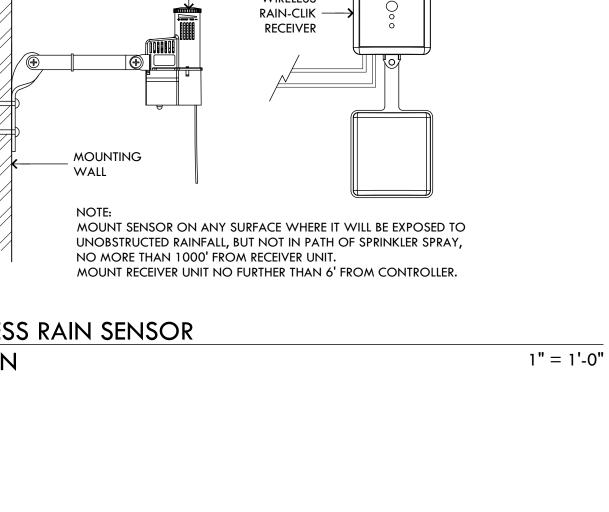
GENERAL CONTRACTOR PRIOR TO CONCRETE POURS.

G ZONE VALVE SECTION 1" = 1'-0"



IRRIGATION DETAILS

sheet number









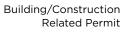
Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to
submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted
and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application:	Design	Review	Interim 2	Zoning Di	stricts Appeal	Moratorium Appeal
Property Location						
APPLICANT IN	FORI	MATION				
Applicant Identity:		Property Owne	r Agen	t		
Applicant Name						
Applicant Address						
City		:	State			Zip
Applicant Contact Nur	nber _			Ema	ail	
PROPERTY OV	VNER	INFORM	ATION	SAME A	S ABOVE	
Property Owner Name						
City			State			Zip
Property Owner Conta	ct Num	ber		Ema	ail	
PROJECT DES	CRIP	ΓΙΟΝ				
REASON FOR	REVII	EW (REQUIR	ED FOR DESIGN F	REVIEW)		
Design Overlay District Review Character Preservation Corridor Riverfront Design Overlay Enhancement Corridor Corridor Transformation Greenway Corridor Others as required		Developm Public Ma Parking L loading zo Wireless A	Non-Design Overlay District Review Development over 40,000 sf Public Market Parking Lots with over 10 spaces or loading zones Wireless Antenna/Tower Educational Facility		Mural Reviews Electric Utility Substations and Transmission Lines CBD FAR Bonus Changes to Approved Plans DAC Review of Public Projects Others as required	
ADDITIONAL II	NFOF	RMATION				
Current Use				Prop	oosed Use	
Square Number		_	Lot Number			Permeable Open Space (sf)
New Development?	Yes	No	Addition?	Yes	No	Tenant Width
Existing Structure(s)?	Yes	No	Renovations?	Yes	No	Building Width
Change in Use?	Yes	No	Existing Signs?	Yes	No	Lot Width (sf)
New Sign(s)?	Yes	No	Lot Area (sf)			BuildingArea (sf)







Date	Received by
Tracking Number	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan

Location, dimensions, and area of permeable open space Name, address of the professional who prepared the plan Legend of symbols, patterns, and abbreviations used The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of refuse storage locations

Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways

Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development

Room use

Location of all walls, doors, and windows

Location of all plumbing fixtures

Location of major appliances/mechanical equipment

Stairway location

Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of easch side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls

Types, style, height, and the number of fixtures Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials Building Elevation (including building width and height) Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission All landscape plans shall meet the minimum requirements of site plans

Legend defining all symbols, patterns, and abbreviations used

Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.

Description of all tree preservation measures on-site and in the public right-of-way

Width, depth, and area of landscaped area(s)

Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan \$225
CBD Demolitions \$500
Moratorium Appeals \$1,000



CITY OF NEW ORLEANS - DAC REVIEW

PROJECT: EDWARD HYNES CHARTER SCHOOL @ UNO_

PERFORMANCE ATHLETIC CENTER

Address: 1901 Leon C. Simon Drive, New Orleans, 70122

GHC Project #: 3224106

Date: May 19th, 2025 Ref. # DR116-21

Narrative:

Situated East of the existing Hynes UNO Charter School on the University of New Orleans campus, the new Performance Athletic Center (PAC) will be constructed in an existing parking lot originally reserved for future expansion. The 3 story Academic and 1 story Commons building were completed in 2024. The 18,500 SF Performance Athletic Center (PAC) is a standalone new construction addition to the primary educational facility. The PAC will include a gymnasium with bleachers, stem classrooms, and supporting spaces. As part of the original project, the existing site scope will include minimal updates to site lighting, revised parking space and drive lane restriping, code minimum landscaping, and asphalt patching and topping for a more uniform appearance. The massing and materiality of the building will directly relate to the recently constructed Academic and Commons buildings of the Hynes UNO campus. The main traffic pattern for the entire site will not change nor will any additional traffic be added. The site is within an Educational Campus District; Historic Urban Corridor Use Restriction Overlay District and Enhancement Corridor Design Overlay District. The new addition will not change the permitted use of Educational Facility.

Site Design Standards:

15.3.A Bulk and Yard Regulations

- A: Maximum Building Height
 - o Requirement = 70'-0" max
 - Designed maximum building height = 37' 2"
- Minimum Permeable Open Space
 - o Requirement = 30% of the lot area
 - 333.800 x 0.3 = 100.140sf
 - o Designed permeable open space = 153,000sf
- Minimum Yard Requirements
 - B. Front Yard = 20'
 - Designed front yard along Leon C Simon Dr. = 187'- 5"
 - C. Interior Side Yard = 10% of lot width or 3', whichever is greater
 - n/a
 - D. Corner Side Yard = 10' or 10% of lot width, whichever is less
 - Designed corner side yard along St. Anthony St = 21' 0'
 - Designed corner side yard along Founders Rd = 706' 0"