

EDWARD HYNES CHARTER SCHOOL at U.N.O. - PERFORMANCE ATHLETIC CENTER

DESIGN ADVISORY COMMITTEE REVIEW MAY 19, 2025



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EDWARD HYNES CHARTER SCHOOL -

U.N.O. - PAC

FRIENDS OF HYNES, LLC
1901 LEON C. SIMON DR., NEW ORLEANS, LA 70122

DATE	05.19.25
PHASE	DAC REVIEW
ISSUED FOR	
PROJECT NO.	3220104

COVER SHEET

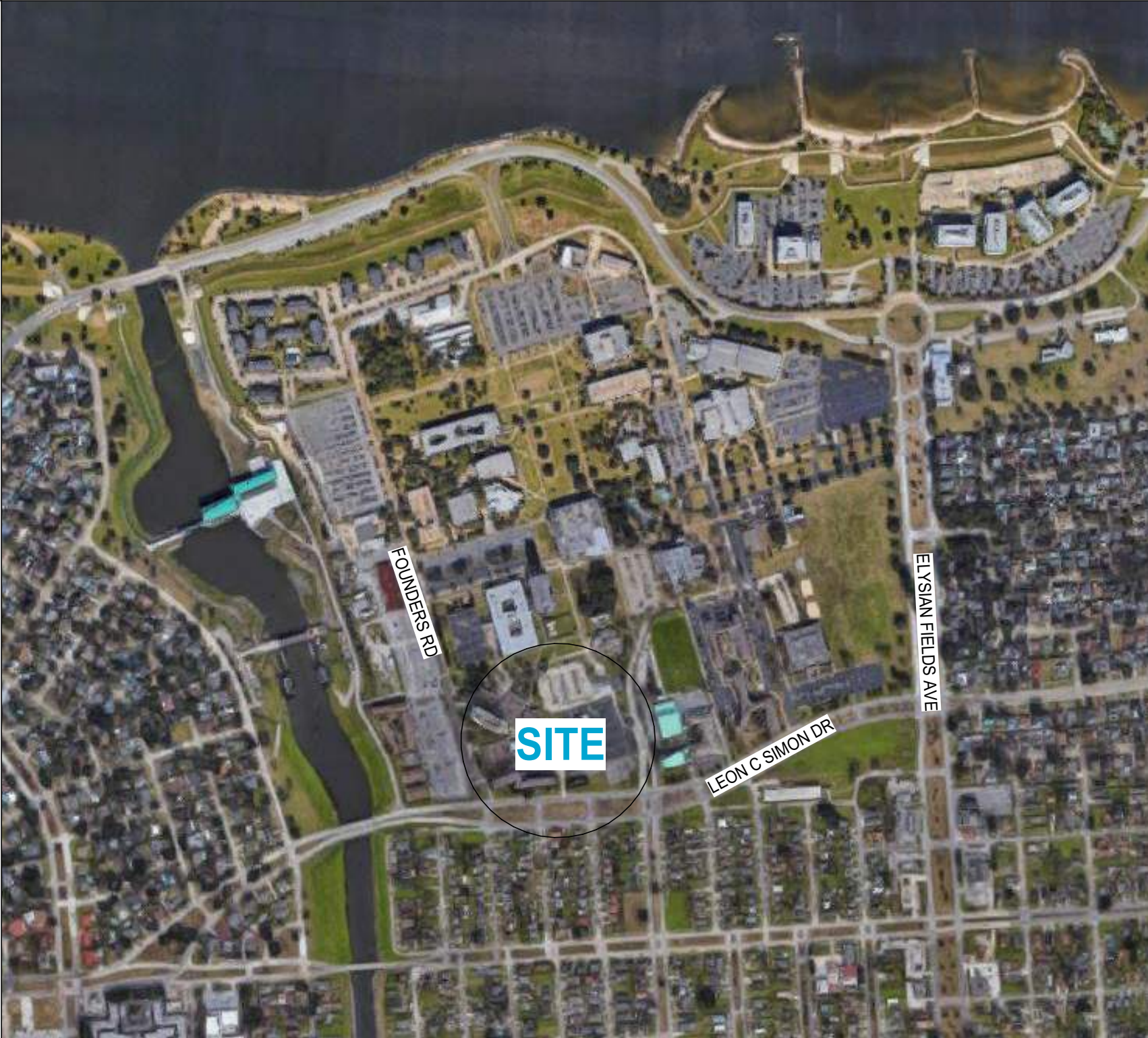
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PROJECT DESCRIPTION

THE PROJECT IS A STANDALONE NEW CONSTRUCTION OF A GYMNASIUM, CLASSROOMS, AND SUPPORT SPACES FOR AN EXISTING PRIMARY EDUCATIONAL FACILITY. IT IS APPROXIMATELY 18,500 SF ON U.N.O. CAMPUS.

VICINITY MAP



PROJECT DIRECTORY

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LANDSCAPE ARCHITECT

McKNIGHT LANDSCAPE ARCHITECT
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BATON ROUGE, LA 70806
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DRAWING INDEX

GENERAL

G000 COVER SHEET

ARCHITECTURAL SITE

SP100 ARCHITECTURAL SITE PLAN
AS100 CAMPUS & TRAFFIC PLAN

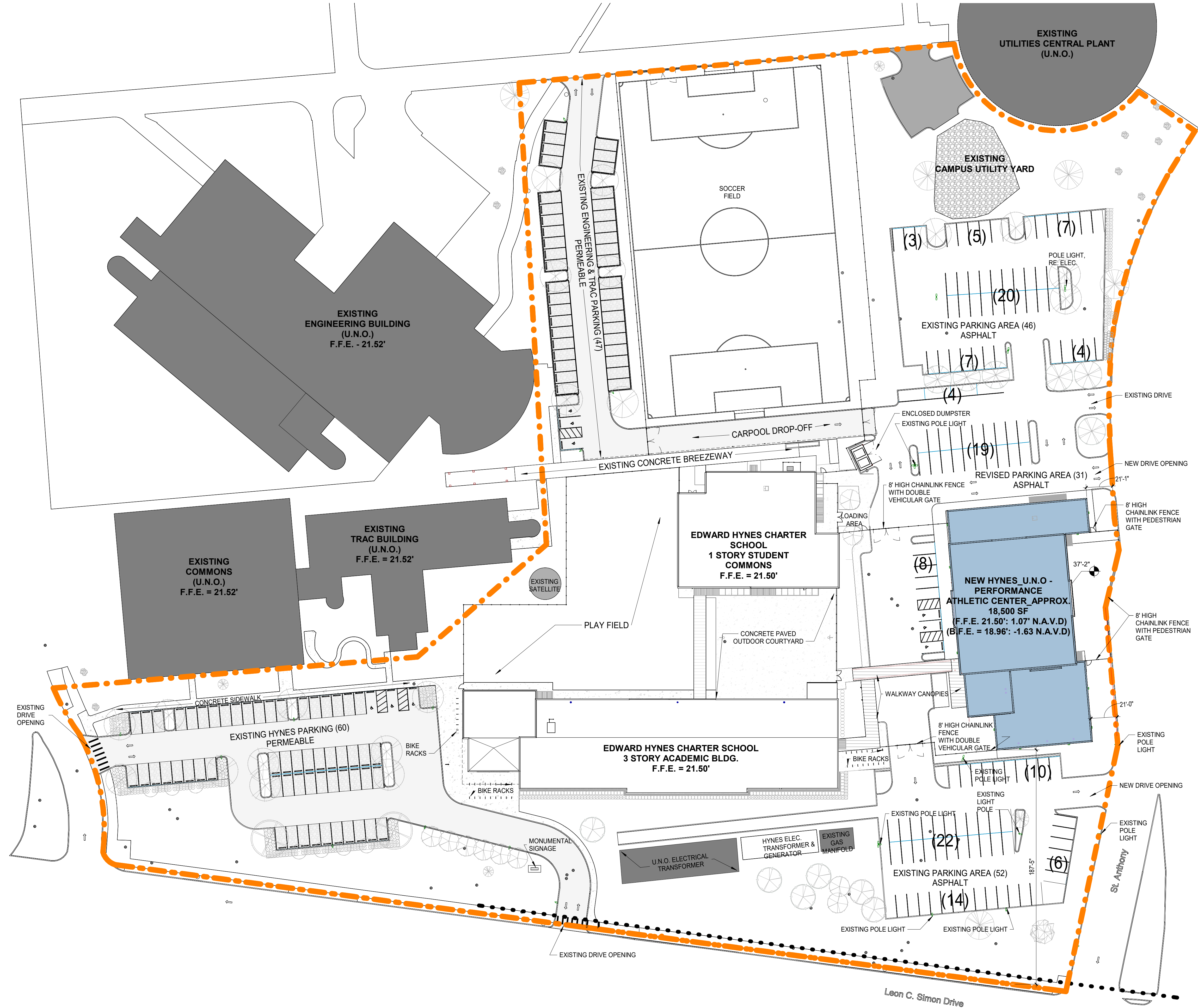
ARCHITECTURE

AF100 FLOOR PLAN
AE100 BUILDING ELEVATIONS
AR101 RENDERINGS
AR102 RENDERINGS

LANDSCAPE

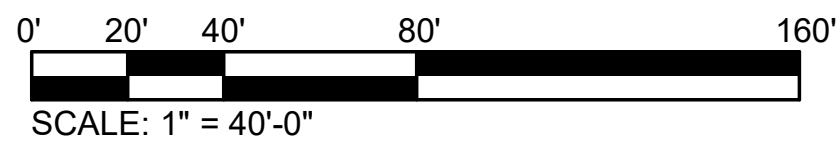
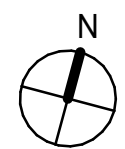
L1.0 LANDSCAPE PLAN
L1.1 PLANTING DETAILS
L2.0 IRRIGATION PLAN
L2.1 IRRIGATION DETAILS

Architect: D:\proj\2024\106 Hynes_UNO_PAC\2024\106 - Hynes_UNO_PAC_Arch_R23.rvt
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1 ARCHITECTURAL SITE PLAN

1" = 40'-0"



SCALE: 1" = 40'-0"

SITE PLAN GENERAL NOTES

1. REFER LANDSCAPE PLANS FOR ADDITIONAL INFORMATION

SITE PLAN LEGEND

- EXISTING SERVITUDE
- - - - - PROPOSED PROPERTY LINE



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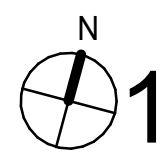
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ARCHITECTURAL SITE
PLAN

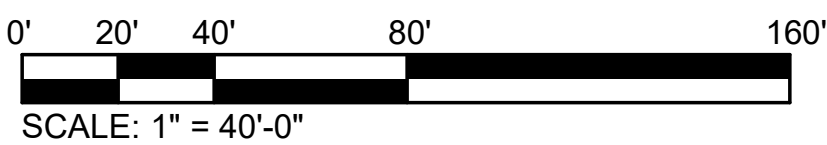
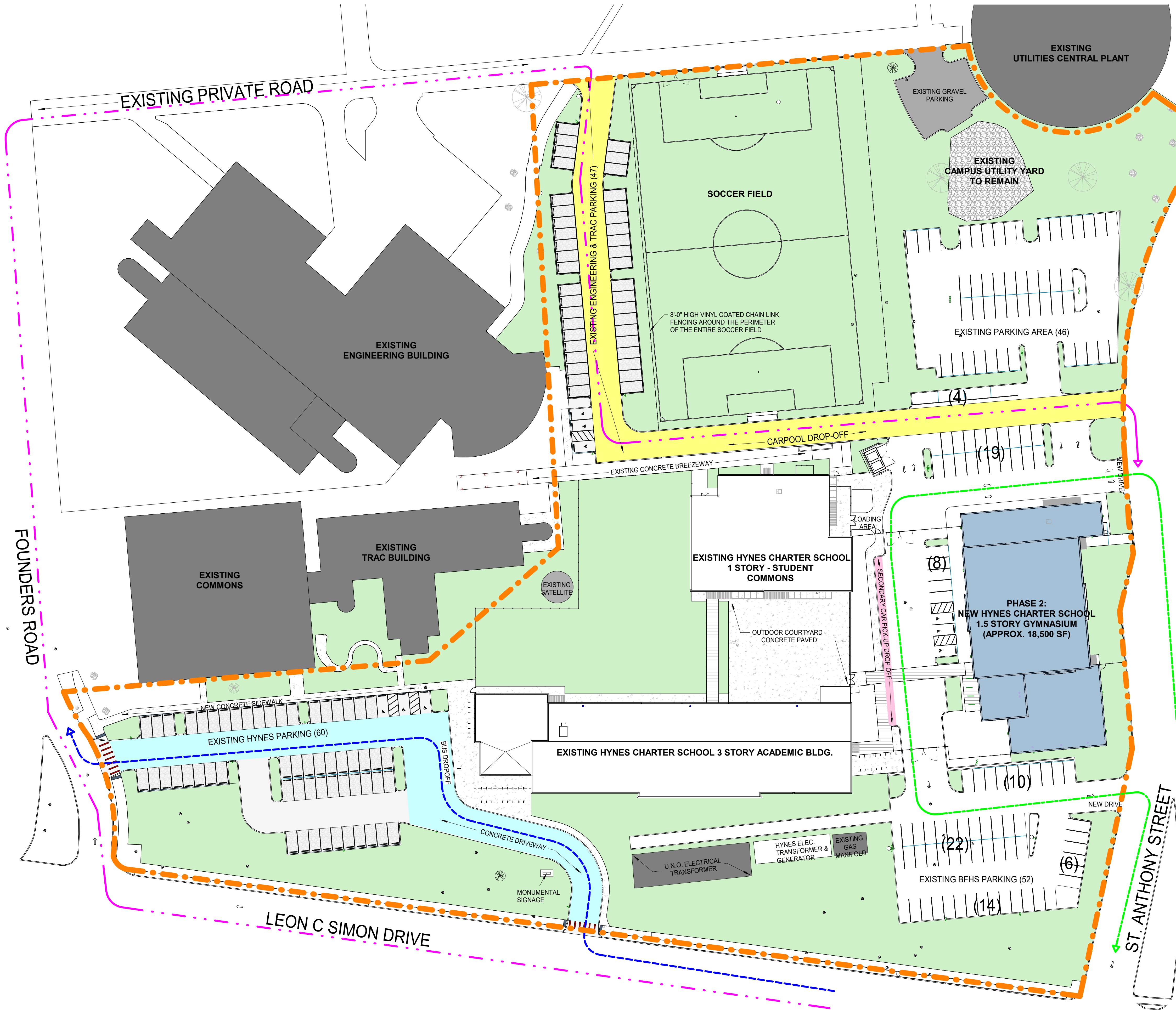
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1 ARCHITECTURAL SITE PLAN CAMPUS PLAN
1" = 40'-0"



SITE PLAN LEGEND:

- PROPERTY LINE
- T.O. XX
0'-00" = F.F.E.
- DIRECTION OF TRAVEL
- DIRECTION OF BUS CIRCULATION
- DIRECTION OF CAR CIRCULATION
- DIRECTION OF SECONDARY CAR CIRCULATION
- BUS LOADING / UNLOADING ZONE
- STUDENT & CAR PICK-UP / DROP OFF ZONE
- SECONDARY CAR PICK-UP / DROP OFF ZONE
- CROSSWALK
- PEDESTRIAN CIRCULATION
- PERMEABLE PAVING
- GREENSPACE
- ADA CURB RAMP
- WOOD FENCE - 7' - 0"
- CHAIN LINK SITE FENCING - 8' - 0"

PARKING:

PHASE 1 PARKING COUNT = 294 SPACES
PHASE 2 PARKING COUNT = 234 SPACES

82 BICYCLE PARKING SPACES PROVIDED IN PHASE 1

BUILDING SUMMARY:

BUILDING USAGE: PRIMARY EDUCATIONAL FACILITY (K-8 GRADES)

PHASE 1: (CONSTRUCTION COMPLETED ON JUNE 2024)
BUILDING SECTORS A & B (ACADEMIC): 57,615 GROSS SQ. FT.
BUILDING SECTOR C (COMMONS): 10,467 GROSS SQ. FT.

PHASE 2:
PERFORMANCE ATHLETIC CENTER = GYMNASIUM, CLASSROOMS, AND SUPPORT AMENITIES: 18,500 GROSS SQ. FT.

SITE SIGNAGE:

SITE SIGNAGE PROVIDED IN THE FIRST PHASE OF THE PROJECT BY DPW.

BUS CIRCULATION:

THE CIRCULATION AND STAGING OF SCHOOL BUSES FOR THE NEW EDUCATIONAL FACILITY WILL BE ON-SITE. BUSES WILL ENTER FROM LEON C. SIMON STREET TO A PARKING AREA WITH DESIGNATED BUS LOADING/ UNLOADING AREA NEAR THE MAIN ENTRY OF THE SCHOOL. COMPLETE DROP-OFF AND PICK-UP WILL HAPPEN WITHIN THE BLUE ZONE SHOWN ON THIS SITE PLAN. ALL BUSES TO EXIT ONTO FOUNDERS ROAD.

CAR CIRCULATION:

A NEW 60 - SPACE PARKING LOT WILL BE PROVIDED FOR STAFF, PARENTS/GUARDIANS, AND VISITORS. MOST CAR CIRCULATION TO ENTER AT LEON C. SIMON DRIVE AND IMMEDIATELY TURN RIGHT ONTO FOUNDERS ROAD. FOR STUDENT CAR DROP-OFF AND PICK-UP, SHOWN AS YELLOW ZONE ON THIS SITE PLAN, WILL BE DIRECTED TO THE REAR PRIVATE ROAD LEADING TO A NEW PARKING AREA FOR UNO ENGINEERING DEPARTMENT AND TO EXIT OUT ONTO ST. ANTHONY STREET. THERE WILL A SECONDARY STUDENT PICK-UP AND DROP-OFF AREA AT THE EXISTING PARKING NEXT TO THE OUTDOOR BASKETBALL COURT.

PEDESTRIAN CIRCULATION:

EXISTING SIDEWALKS SURROUND THE PERIMETER OF THE ENTIRE SITE WITH EXISTING ADA CURB RAMPS LOCATED AT MAJOR STREET INTERSECTIONS. NEW CROSSWALKS AND ADA CURB RAMPS PROVIDED FROM THE EXISTING PARKING AREA TO THE SECONDARY DROP-OFF AREA BY THE EAST SIDE OF THE OUTDOOR BASKETBALL COURT. NEW SIDEWALKS ARE PROVIDED FROM PUBLIC STREETS TO THE MAIN ENTRY OF THE SCHOOL.

DELIVERY LOADING / UNLOADING:

DELIVERIES WILL LOAD AND UNLOAD AT THE EAST SIDE OF THE COMMONS BUILDING OF AN EXISTING PARKING LOT ENTERED AT ST. ANOTHER STREET. THE SECOND LOADING / UNLOADING AREA DURING OFF-PEAK HOURS WILL BE LOCATED AT THE MAIN ENTRY.



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FRIENDS OF HYNES, LLC

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CAMPUS & TRAFFIC PLAN

sheet number

AS100

- E. Rear Yard = 20% of lot depth or 20', whichever is less
 - Designed rear yard = 363' – 0"

Required Off-Street Vehicle Parking Spaces

22.4 Off-Street Vehicle and Bicycle Parking Requirements

- Educational Facility, Primary
 - Minimum Required Vehicle Spaces – All required parking was provided for Phase 1 of the the project.
 - Phase 1 = 294 parking spaces shared between Hynes Charter, University of New Orleans, and Benjamin Franklin High School.
 - Phase 2 = 234 parking spaces
 - Minimum Required Bicycle Spaces –
 - Bicycle spaces provided = 82 (completed with Phase 1 construction)

Existing Site Context and Photos:



Main Entry of Academic Building from Leon C. Simon Drive

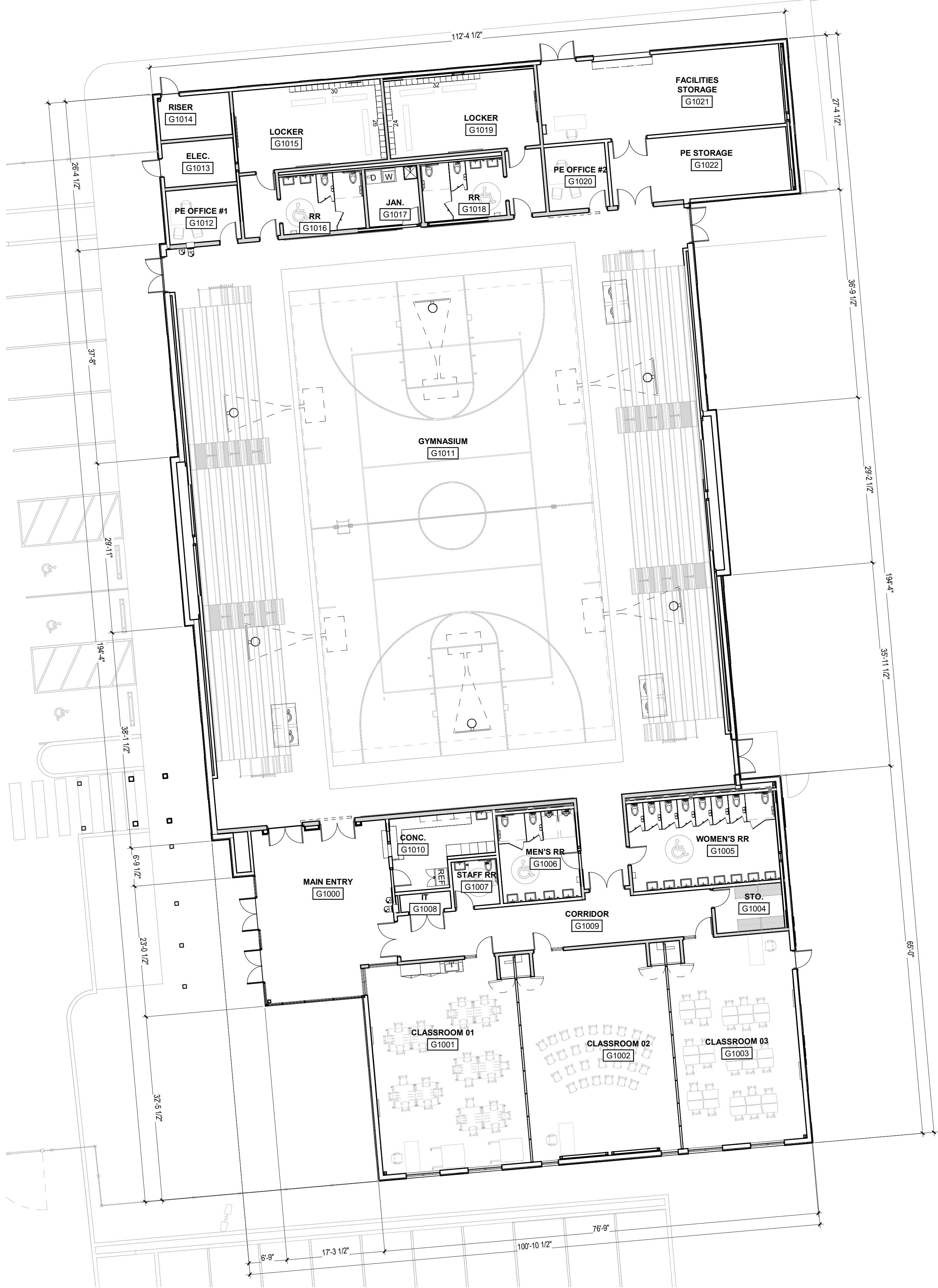


View from play field of the Academic Building and Commons Building



View from of the Academic and Commons Buildings from the soccer field.

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1 OVERALL FLOOR PLAN
3/32" = 1'-0"



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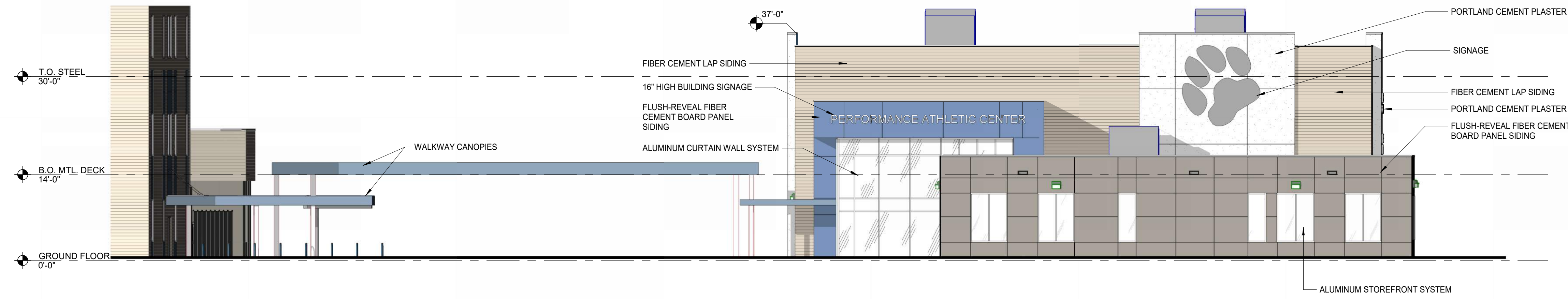
DATE	05.19.25
PHASE	DAC REVIEW
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PROJECT NO.	3220104

FLOOR PLAN

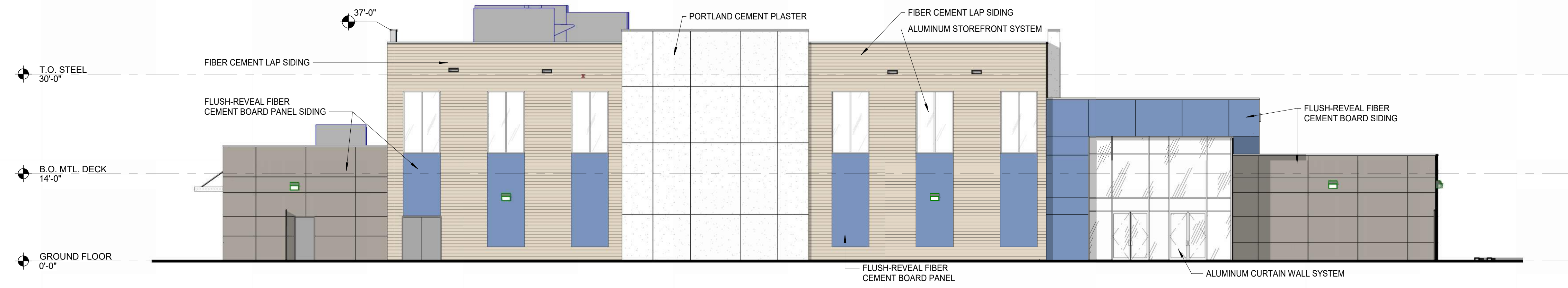
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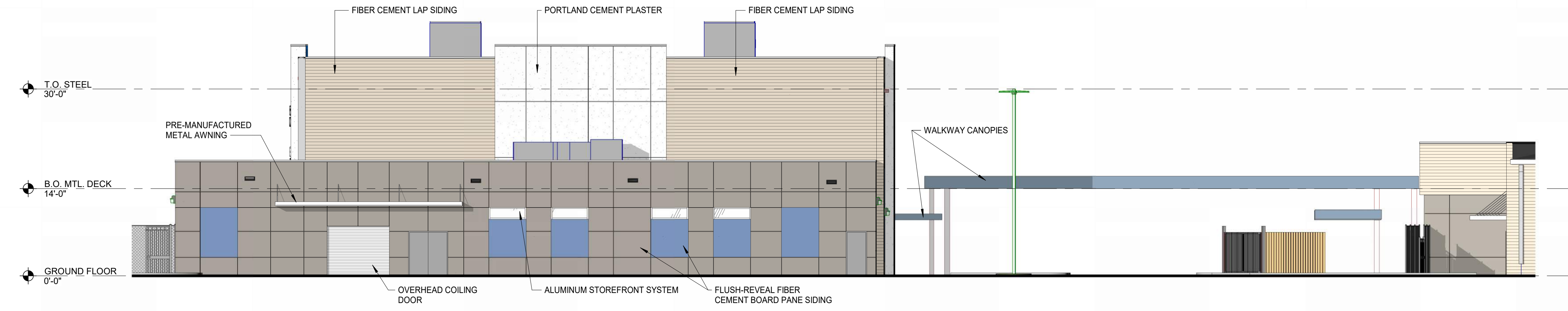




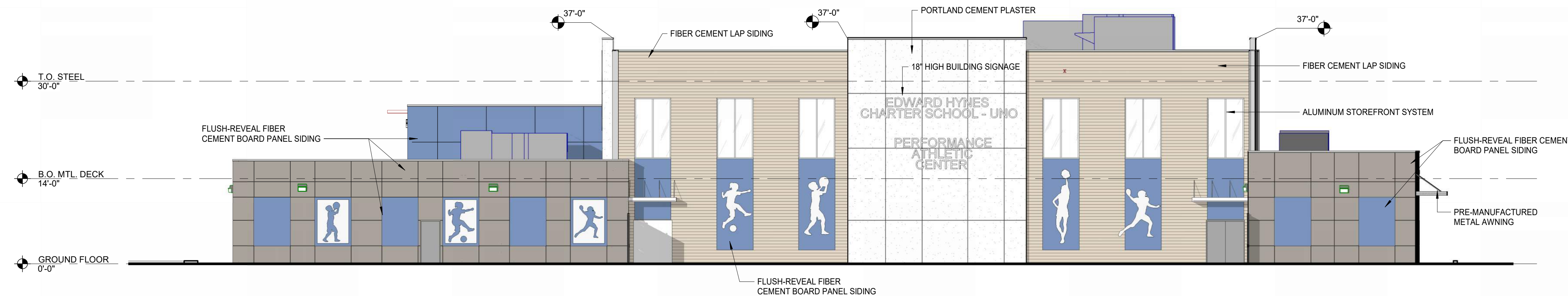
1 **GYM - MAIN ENTRY**
3/32" = 1'-0"



2 **LEFT ELEVATION - GYM**
3/32" = 1'-0"



3 **REAR ELEVATION - GYM**
3/32" = 1'-0"



4 **RIGHT ELEVATION - GYM**
3/32" = 1'-0"



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BUILDING ELEVATIONS

sheet number

AE100



VIEW FROM LEON C. SIMON DRIVE - MAIN ENTRY SOUTH ELEVATION



VIEW GOING DOWN ST. ANTHONY - EAST ELEVATION



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RENDERINGS

sheet number

AR101



VIEW FROM ST. ANTHONY GOING TOWARDS LEON C. SIMON DRIVE - NORTHEAST ELEVATION



VIEW FROM COMMONS BUILDING TO PAC - WEST ELEVATION



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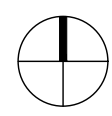
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RENDERINGS

sheet number

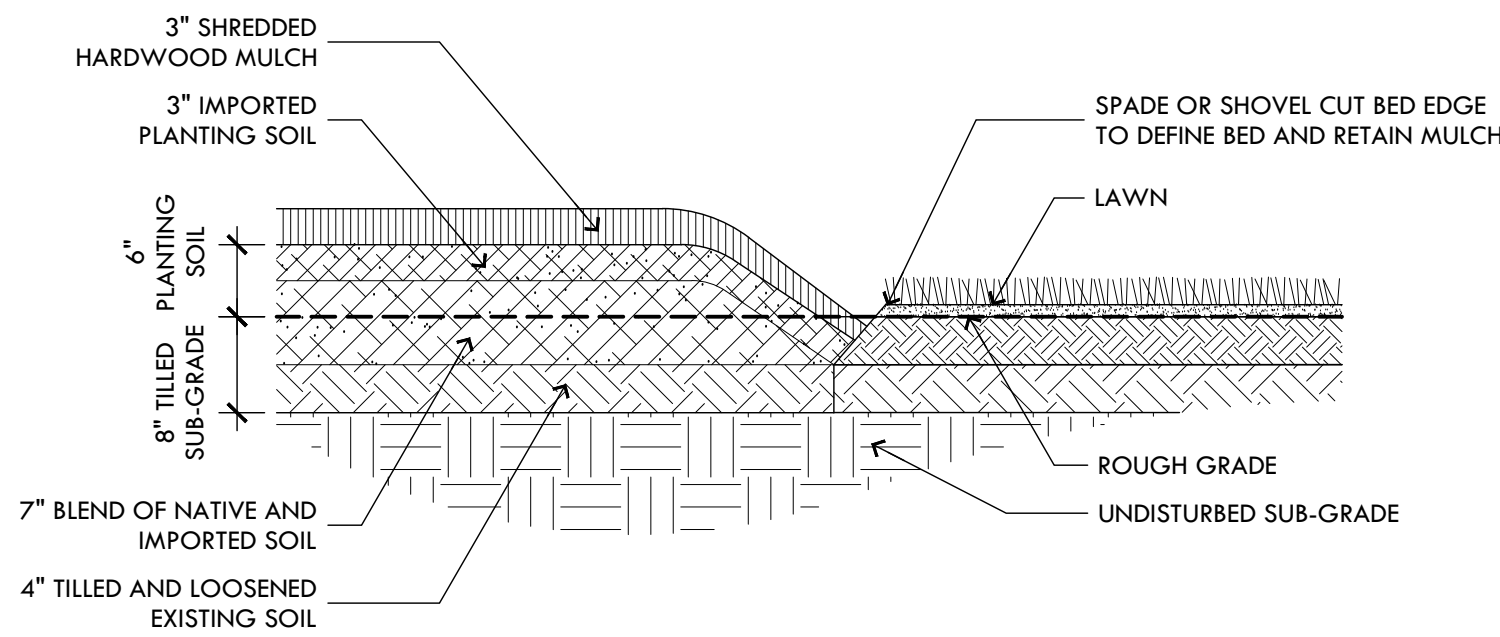
AR102



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NOTES:

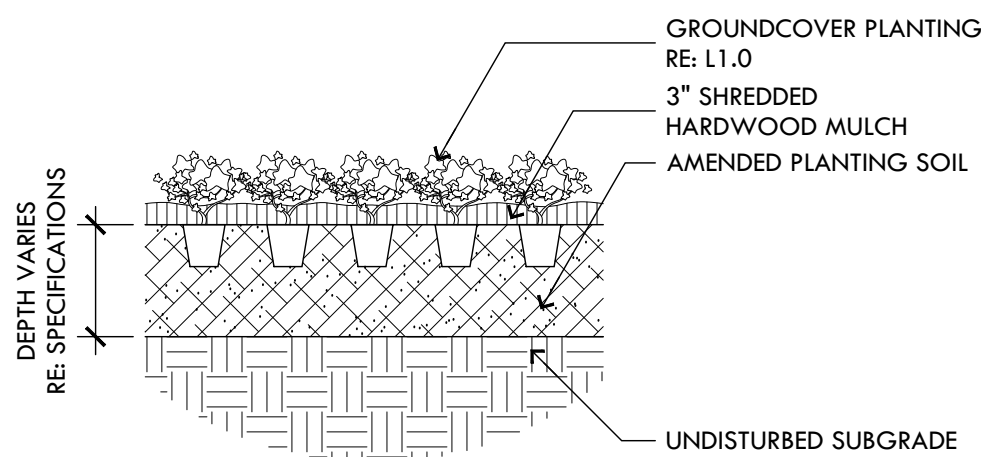
1. PREPARE SOIL ACROSS THE ENTIRE BED AS SPECIFIED IN THE DRAWINGS.
2. RE: SPECIFICATIONS FOR TYPICAL BED PREPARATION.



A BED PREP SECTION 3/4" = 1'-0"

NOTES:

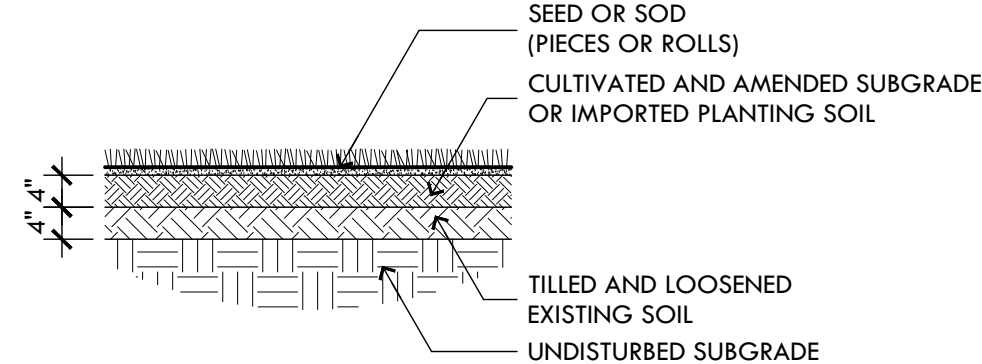
1. RE: SPECIFICATIONS FOR TYPICAL GROUNDCOVER PLANTING INSTALLATION.



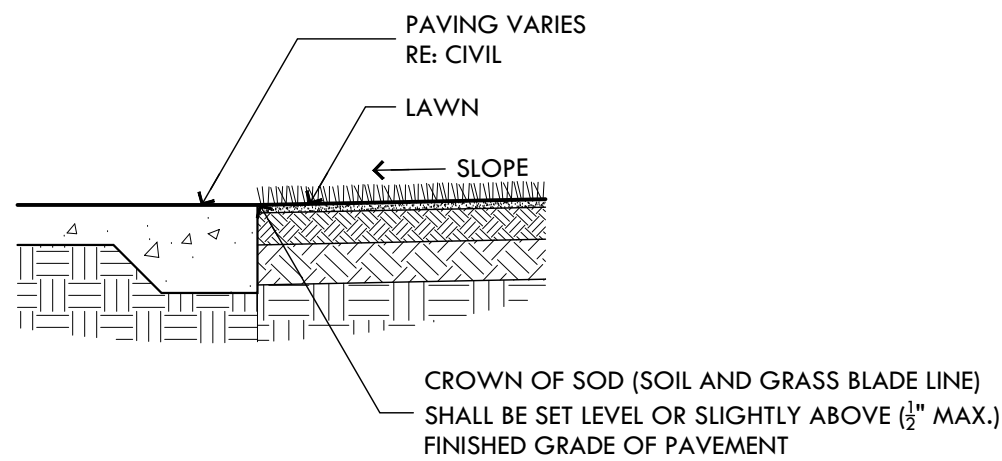
B GROUNDCOVER PLANTING SECTION 1/2" = 1'-0"

NOTES:

1. THE CONTRACTOR SHALL OBTAIN A SOIL ANALYSIS FROM AN INDEPENDENT LABORATORY APPROVED BY THE STATE DEPARTMENT OF AGRICULTURE. ANY RECOMMENDED AMENDMENTS SHALL BE INCORPORATED DURING LAWN PREPARATION.
2. THE CONTRACTOR SHALL LOOSEN THE TOP FOUR (4) INCHES OF SOIL IN AREAS TO RECEIVE LAWN. THE CONTRACTOR SHALL REMOVE ALL DEBRIS, STICKS, ROOTS, RUBBISH, CLUMPS OF SOIL, STONES OVER ONE (1) INCH IN DIAMETER, AND ALL OTHER EXTRANEOUS MATTER PRIOR TO FINE GRADING FOR LAWN AREAS.
3. INSTALL SOD WITH TIGHTLY FITTED JOINTS TO ELIMINATE AIR POCKETS AND FORM A SMOOTH CONTINUOUS MASS OF LAWN.



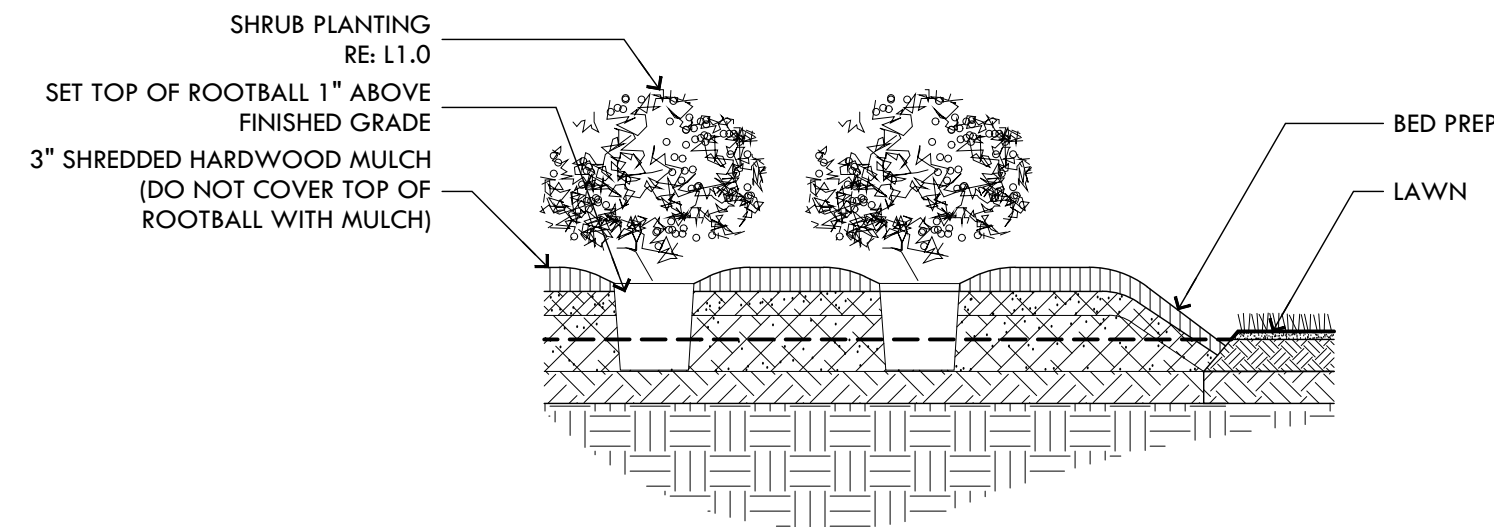
C LAWN SECTION 1/2" = 1'-0"



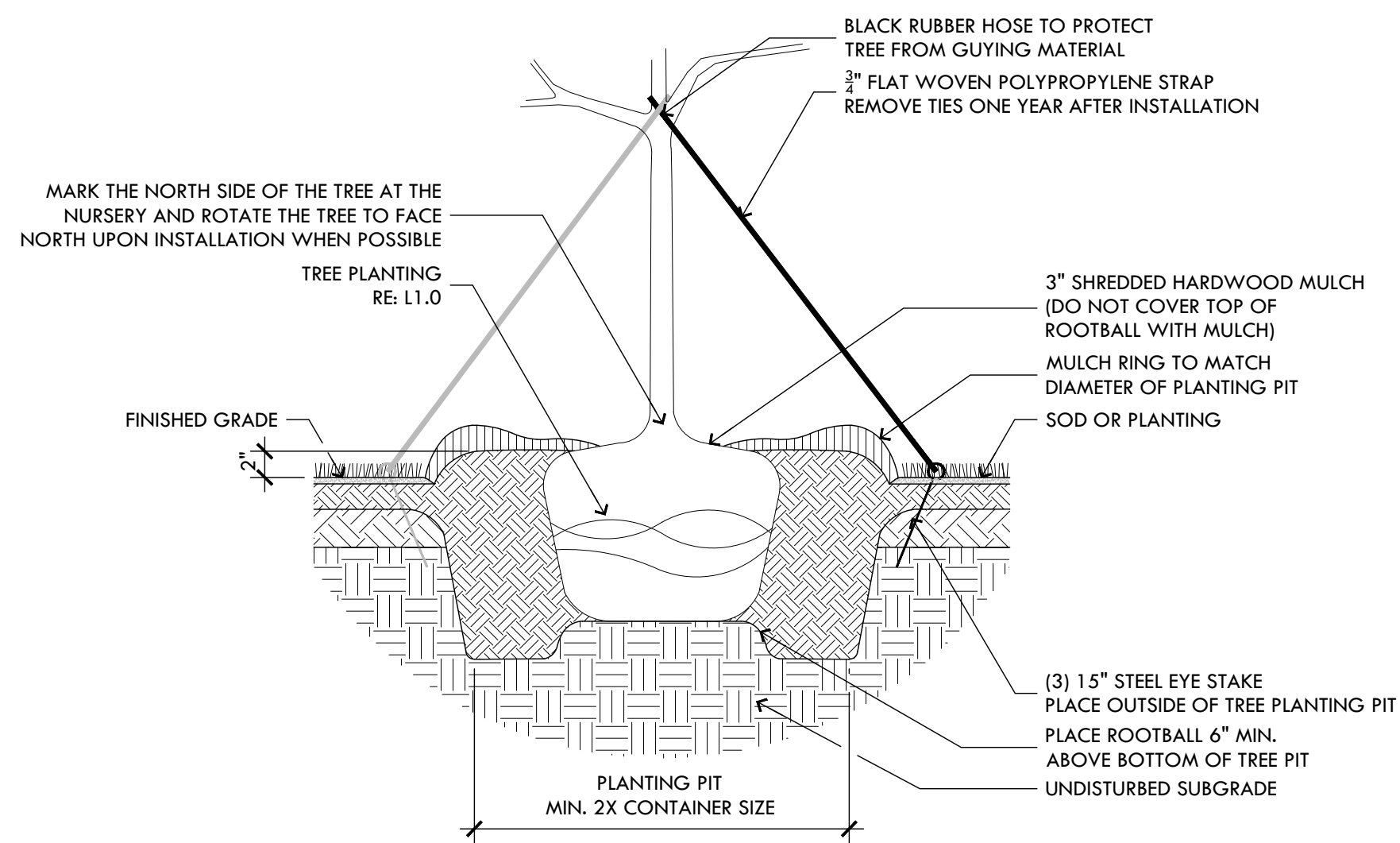
D PAVEMENT LAWN TRANSITION SECTION 1/2" = 1'-0"

NOTES:

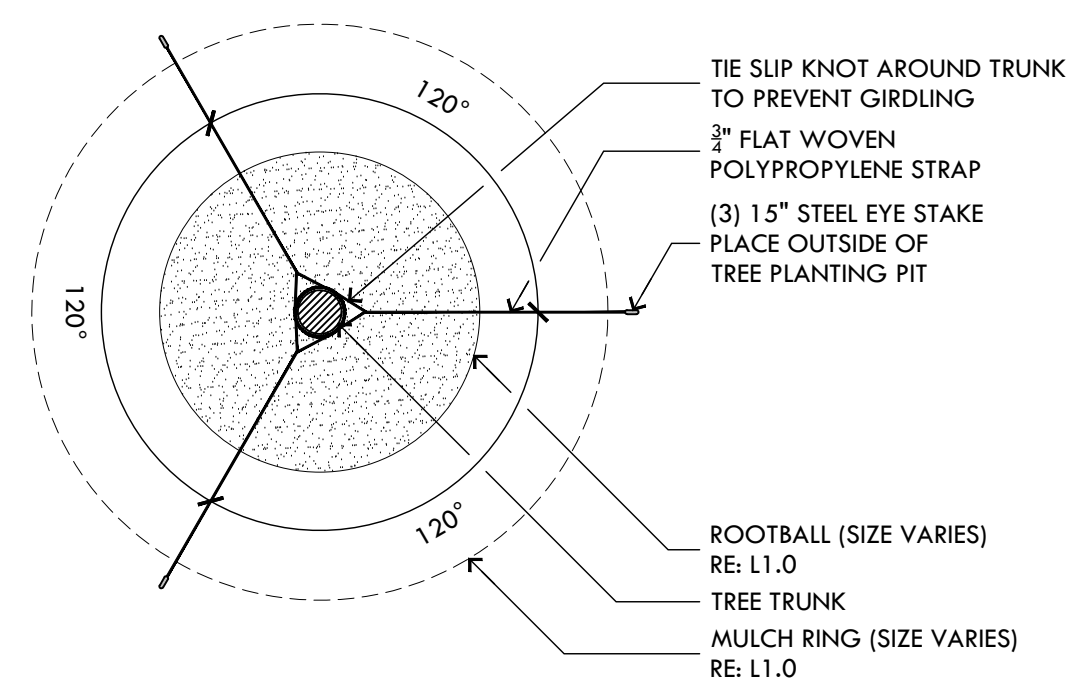
1. FOR CONTAINER GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL OR WASH POTTING MIX AND ROOT MAT APART TO DIRECT OUTER ROOTS INTO THE ADJACENT SOIL. DO NOT LEAVE CIRCLING ROOTS AGAINST THE ROOTBALL.
2. FOR BALL AND BURLAP SHRUBS, REMOVE TO 1/3 OR ENTIRE BURLAP FROM ROOTBALL AND REMOVE ALL TWINE, ROPE, AND CORDS PRIOR TO PLANTING.



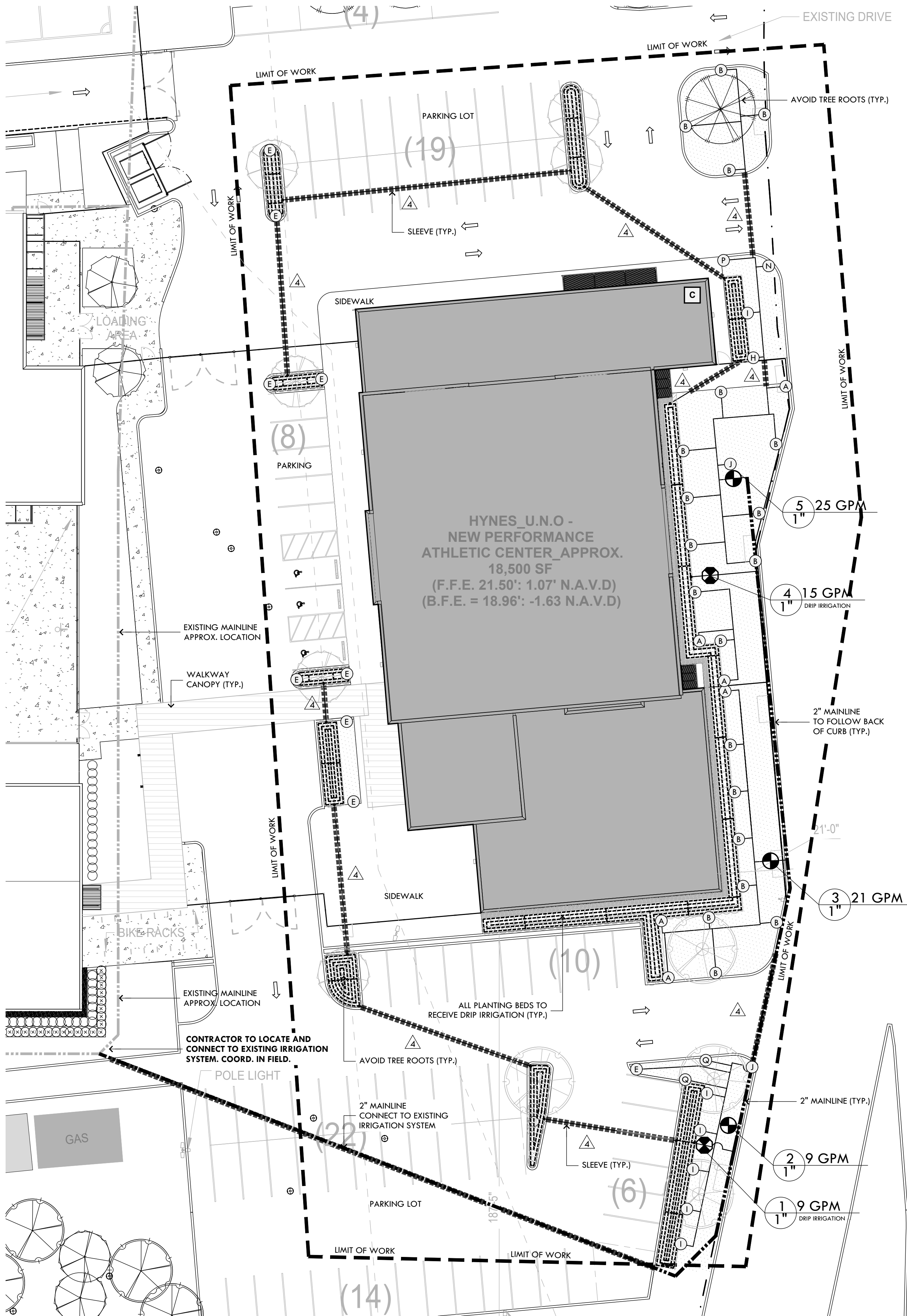
E SHRUB PLANTING SECTION 1/2" = 1'-0"



F TREE PLANTING SECTION 1/2" = 1'-0"



G TREE STAKING PLAN 1/2" = 1'-0"



IRRIGATION NOTES:

1. THE IRRIGATION SYMBOLS ON THIS PLAN ARE NOT TO SCALE. THEY ARE STRICTLY A GRAPHIC REPRESENTATION AND ARE USED TO APPROXIMATELY LOCATE THE PLACEMENT OF THE IRRIGATION COMPONENTS.
2. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING THE WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ON SITE STRUCTURES OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION AND IS TO REPAIR ANY DAMAGE WHICH OCCURS DURING INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL FOLLOW LOCAL IRRIGATION REQUIREMENTS REGARDING PIPE DEPTH, TAPS, BACKFLOW PREVENTION DEVICES, ETC.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT.
6. ALL WORK, ADJUSTMENTS, AND INSPECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, THE TOTAL WORK AS PER INSTRUCTIONS OF THE OWNER.
8. **IRRIGATION LINE AND HEAD LAYOUT ON THIS PLAN ARE SCHEMATIC. THE CONTRACTOR SHALL LOCATE ALL LINES AND HEADS IN SUCH A WAY AS TO CAUSE THE LEAST CONFLICT WITH THE LOCATION OF UTILITIES AND PROPOSED/EXISTING PLANTS.**
9. PVC SLEEVES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 1.5" BELOW PAVEMENT SURFACE AND NO DEEPER THAN 21". END OF SLEEVE SHALL EXTEND 6" BEYOND CURB OR PAVEMENT EDGE.
10. ALL PLANTING BEDS SHALL RECEIVE DRIP IRRIGATION.
11. INSTALL THRUST BLOCKS AT ALL PIPE JOINTS AND 90s.
12. IRRIGATION METER TO BE PROVIDED SEPARATE OF DOMESTIC. **CONNECT TO EXISTING IRRIGATION SYSTEM.** CONTRACTOR TO CONFIRM METER SIZE FOR FLOW AND PRESSURE CAPACITY. COORD WITH CIVIL FOR UTILITIES LOCATIONS.

IRRIGATION LEGEND:

5 30 GPM
2" VALVE SEQUENCE
GALLONS PER MINUTE
VALVE SIZE

PVC IRRIGATION SLEEVE

MAINLINE 2" SCH. 40 PVC

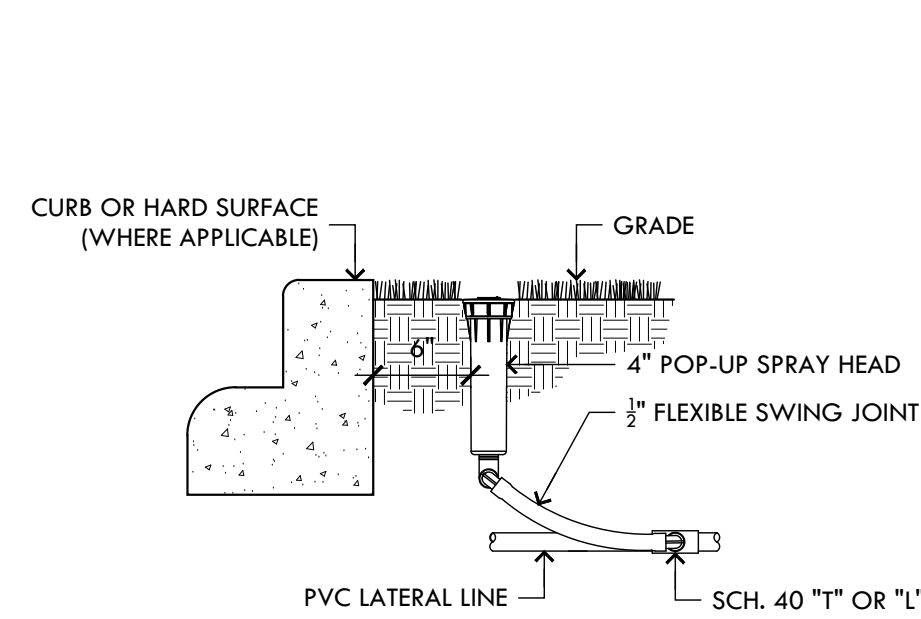
LATERAL LINE 3/4" - 1 1/2" CLASS 200

DRIP LINE; 0.6 GPH EMITTERS SPACED AT 12"

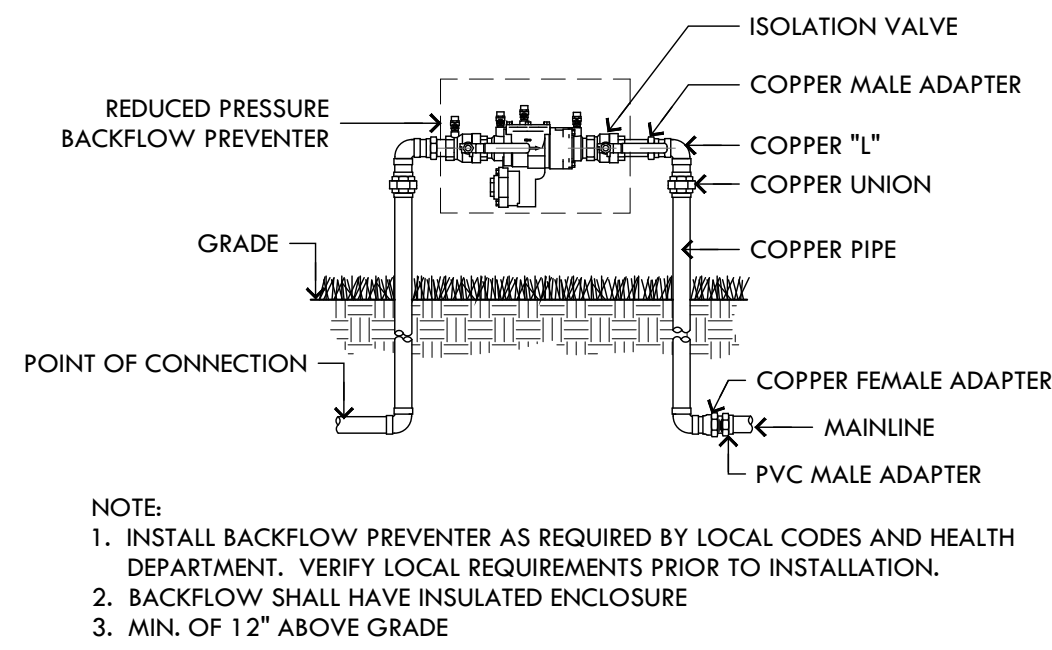
- BF BACKFLOW PREVENTOR (LINE SIZED)
RPZ OR PVB ASSEMBLY W/ INSULATED ENCLOSURE
FEBCO OR APPROVED EQUAL
- M WATER METER - IRRIGATION ONLY
SIZE PER MAXIMUM ZONE GPM
- C AUTOMATIC CONTROLLER
HUNTER PRO-C 12 ZONE CONTROLLER
OR APPROVED EQUAL
- ZONE VALVE
HUNTER PGV OR APPROVED EQUAL
- DRIP ZONE CONTROL KIT
HUNTER ICZ-101 OR APPROVED EQUAL
- MANUAL ISOLATION VALVE (LINE SIZED)
- 4" SLEEVE SIZE
- 1" QUICK COUPLING VALVE (THREADED)
PROVIDE (2) KEYS MINIMUM
- COMPRESSION FITTING (HARD PIPE TO
DRIP TUBE CONNECTION)

POP-UP SPRAY NOZZLE
HUNTER PRO-SPRAY SERIES NOZZLES WITH
PRS-30 BODY OR APPROVED EQUAL

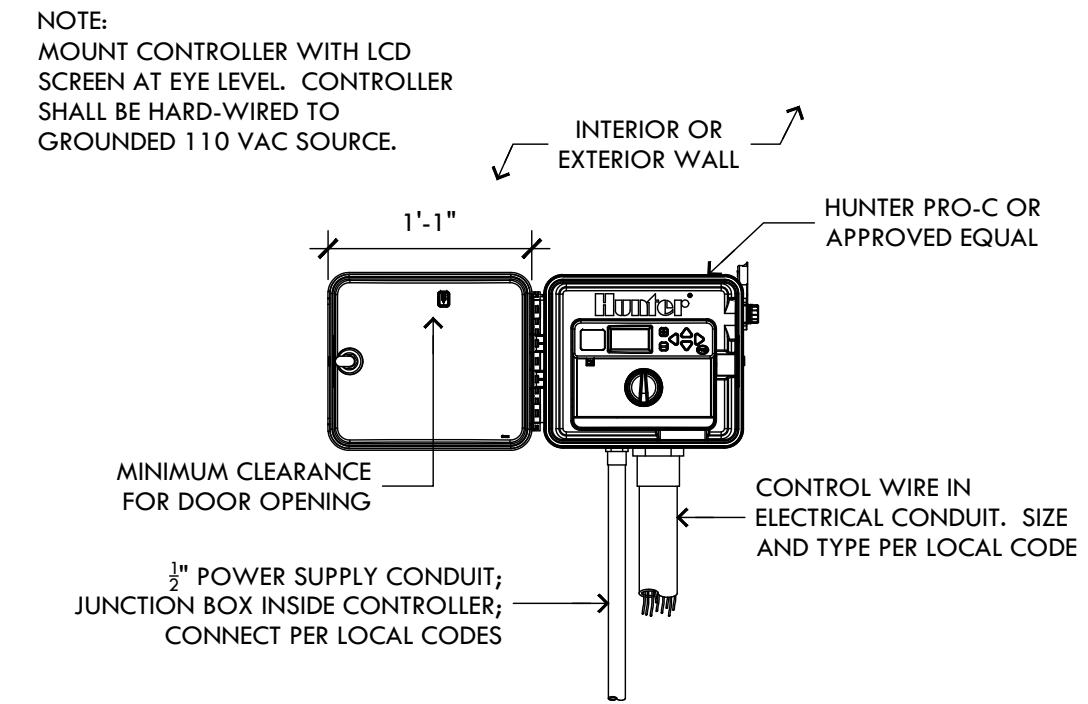
- | | | |
|-----|----|---------------------|
| 12" | 4" | |
| A | A | 1.5" QUARTER CIRCLE |
| B | B | 1.5" HALF CIRCLE |
| C | C | 1.5" ADJUSTABLE ARC |
| D | D | 1.5" FULL CIRCLE |
| E | E | 1.5" END STRIP |
| F | F | 1.5" SIDE STRIP |
| G | G | 1.5" CORNER STRIP |
| H | H | 12" QUARTER CIRCLE |
| I | I | 12" HALF CIRCLE |
| J | J | 12" ADJUSTABLE ARC |
| K | K | 12" FULL CIRCLE |
| L | L | 10" QUARTER CIRCLE |
| M | M | 10" HALF CIRCLE |
| N | N | 10" ADJUSTABLE ARC |
| O | O | 10" FULL CIRCLE |
| P | P | 8" QUARTER CIRCLE |
| Q | Q | 8" HALF CIRCLE |
| R | R | 8" ADJUSTABLE ARC |
| S | S | 8" FULL CIRCLE |
| T | T | 5" QUARTER CIRCLE |
| U | U | 5" HALF CIRCLE |
| V | V | 5" FULL CIRCLE |
| W | W | 4" FULL CIRCLE |
| X | X | 4" HALF CIRCLE |
| Y | Y | 4" QUARTER CIRCLE |
| Z | Z | 2" HALF CIRCLE |
| AA | AA | 2" QUARTER CIRCLE |



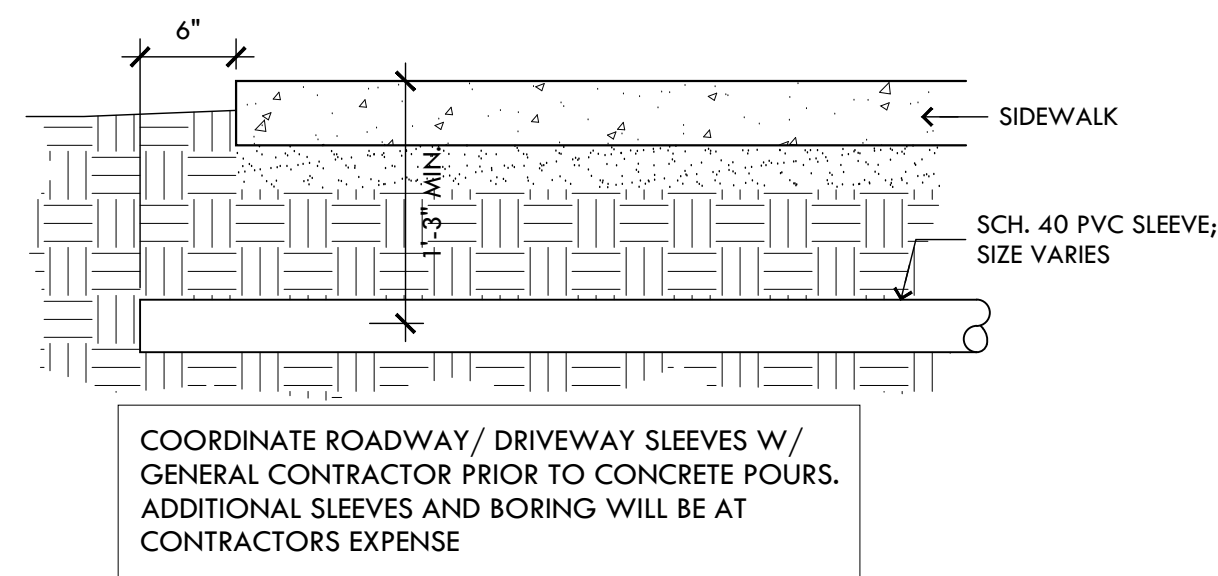
A 4 IN POP UP HEAD
SECTION 1" = 1'-0"



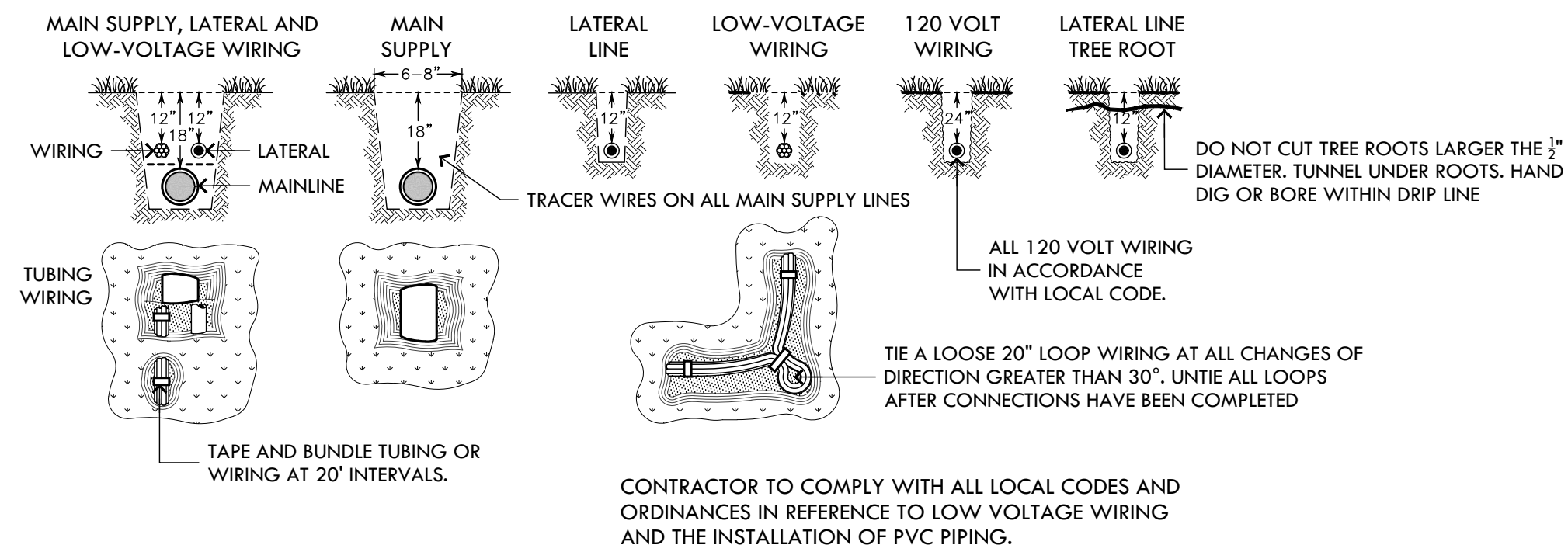
B BACKFLOW PREVENTER
SECTION 1" = 1'-0"



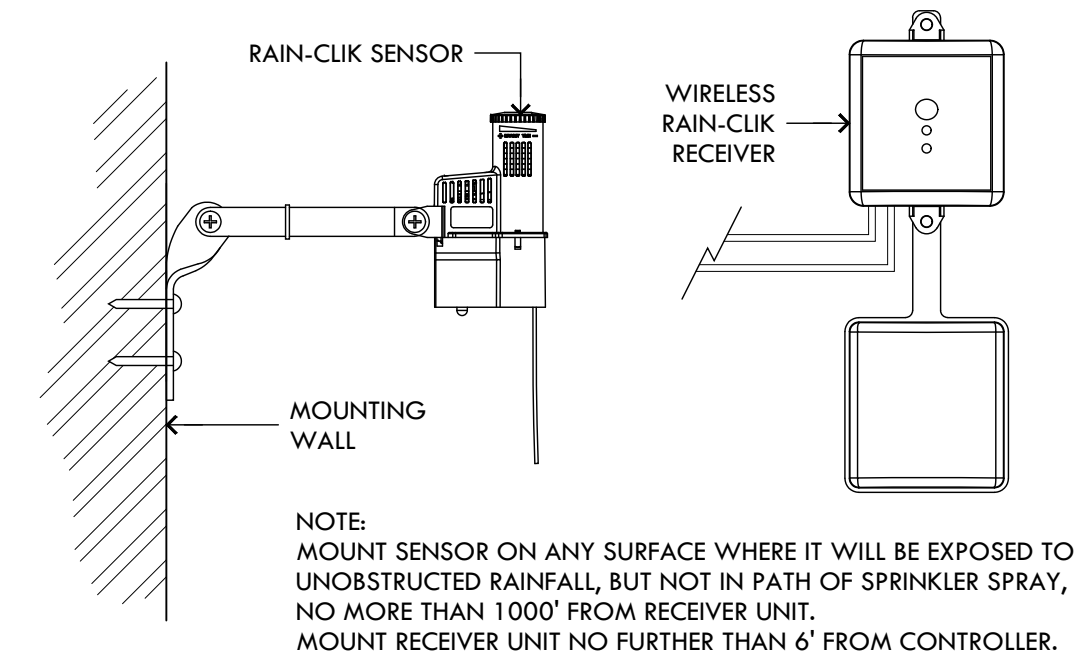
C CONTROLLER
SECTION 1" = 1'-0"



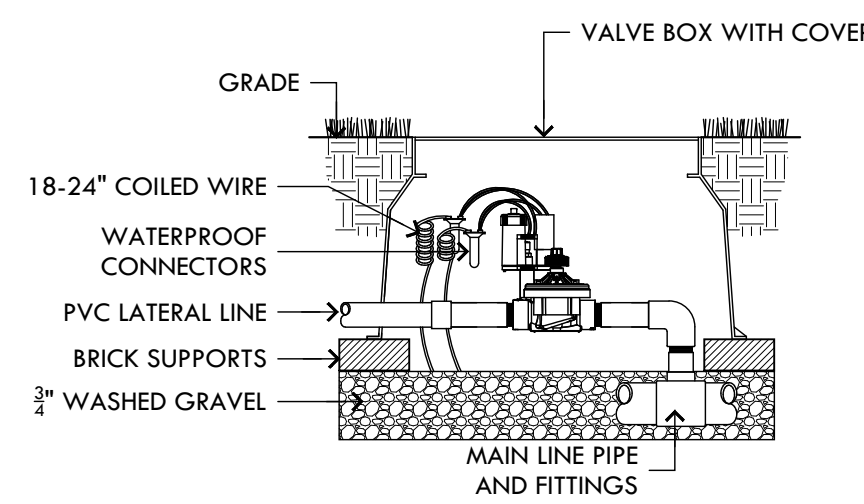
D SLEEVE
SECTION 1" = 1'-0"



E TRENCHING
SECTION 1" = 1'-0"



F WIRELESS RAIN SENSOR
SECTION 1" = 1'-0"



G ZONE VALVE
SECTION 1" = 1'-0"



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location _____

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name _____

Applicant Address _____

City _____ State _____ Zip _____

Applicant Contact Number _____ Email _____

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name _____

Property Owner Address _____

City _____ State _____ Zip _____

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

Character Preservation Corridor
Riverfront Design Overlay
Enhancement Corridor
Corridor Transformation
Greenway Corridor
Others as required

Non-Design Overlay District Review

Development over 40,000 sf
Public Market
Parking Lots with over 10 spaces or loading zones
Wireless Antenna/Tower
Educational Facility

Mural Reviews

Electric Utility Substations and Transmission Lines
CBD FAR Bonus
Changes to Approved Plans
DAC Review of Public Projects
Others as required

ADDITIONAL INFORMATION

Current Use _____ Proposed Use _____

Square Number _____ Lot Number _____ Permeable Open Space (sf) _____

New Development? Yes No Addition? Yes No Tenant Width _____

Existing Structure(s)? Yes No Renovations? Yes No Building Width _____

Change in Use? Yes No Existing Signs? Yes No Lot Width (sf) _____

New Sign(s)? Yes No Lot Area (sf) _____ Building Area (sf) _____



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan
Location, dimensions, and area of permeable open space
Name, address of the professional who prepared the plan
Legend of symbols, patterns, and abbreviations used
The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of refuse storage locations
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development
Room use
Location of all walls, doors, and windows
Location of all plumbing fixtures
Location of major appliances/mechanical equipment
Stairway location
Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls
Types, style, height, and the number of fixtures
Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials
Building Elevation (including building width and height)
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
All landscape plans shall meet the minimum requirements of site plans
Legend defining all symbols, patterns, and abbreviations used
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
Description of all tree preservation measures on-site and in the public right-of-way
Width, depth, and area of landscaped area(s)
Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000

CITY OF NEW ORLEANS – DAC REVIEW

PROJECT: EDWARD HYNES CHARTER SCHOOL @ UNO_
PERFORMANCE ATHLETIC CENTER
Address: 1901 Leon C. Simon Drive, New Orleans, 70122
GHC Project #: 3224106
Date: May 19th, 2025
Ref. # DR116-21

Narrative:

Situated East of the existing Hynes UNO Charter School on the University of New Orleans campus, the new Performance Athletic Center (PAC) will be constructed in an existing parking lot originally reserved for future expansion. The 3 story Academic and 1 story Commons building were completed in 2024. The 18,500 SF Performance Athletic Center (PAC) is a standalone new construction addition to the primary educational facility. The PAC will include a gymnasium with bleachers, stem classrooms, and supporting spaces. As part of the original project, the existing site scope will include minimal updates to site lighting, revised parking space and drive lane restriping, code minimum landscaping, and asphalt patching and topping for a more uniform appearance. The massing and materiality of the building will directly relate to the recently constructed Academic and Commons buildings of the Hynes UNO campus. The main traffic pattern for the entire site will not change nor will any additional traffic be added. The site is within an Educational Campus District; Historic Urban Corridor Use Restriction Overlay District and Enhancement Corridor Design Overlay District. The new addition will not change the permitted use of Educational Facility.

Site Design Standards:

15.3.A Bulk and Yard Regulations

- A: Maximum Building Height
 - Requirement = 70'-0" max
 - Designed maximum building height = 37' – 2"
- Minimum Permeable Open Space
 - Requirement = 30% of the lot area
 - $333,800 \times 0.3 = 100,140\text{sf}$
 - Designed permeable open space = 153,000sf
- Minimum Yard Requirements
 - B. Front Yard = 20'
 - Designed front yard along Leon C Simon Dr. = 187'- 5"
 - C. Interior Side Yard = 10% of lot width or 3', whichever is greater
 - n/a
 - D. Corner Side Yard = 10' or 10% of lot width, whichever is less
 - Designed corner side yard along St. Anthony St = 21' - 0'
 - Designed corner side yard along Founders Rd = 706' – 0"