



NEW GALLERY FOR: 3109-3115 MAGAZINE ST. NEW ORLEANS, LA 70115

SCOPE OF WORK:

NEW WOOD FRAMED GALLERY WITH IRON POSTS OVER SIDEWALK, ACCESSED BY SECOND FLOOR RESIDENTIAL UNITS

ZONING:

LOT:
SQUARE:
XTH DISTRICT
ADDRESS
X PARISH
ZONING:

	REQD.	PROVIDED
SETBACKS	FRONT	-
	REAR	-
	LEFT	-
	RIGHT	-
OFFSTREET PKG SPACES	-	-

APPLICABLE CODES:

2021 INTERNATIONAL BUILDING CODE
CITY OF NEW ORLEANS COMPREHENSIVE ZONING ORDINANCE
2021 IECC ENERGY CODE

DRAWING INDEX:

T101	TITLE SHEET
T102	PROPOSED SITE / ROOF PLAN
T103	FRONT YARD SETBACK DIAGRAM
A101	PROPOSED GROUND & SECOND FLOOR PLANS
A201	PROPOSED EXTERIOR ELEVATIONS

LEGEND:

	FREEZE PROOF HOSE BIB
	WASHING MACHINE OUTLET BOX HOT/COLD TAP AND DRAIN
	DRYER VENT
	GAS SUPPLY
	SHOWER HEAD
	WATER TAP
	PROPERTY LINE
	CENTER LINE
	AIR CONDITIONING CONDENSING UNIT
	SMOKE DETECTOR - UL 268 HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP
	SMOKE/CARBON MONOXIDE DETECTOR - HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP

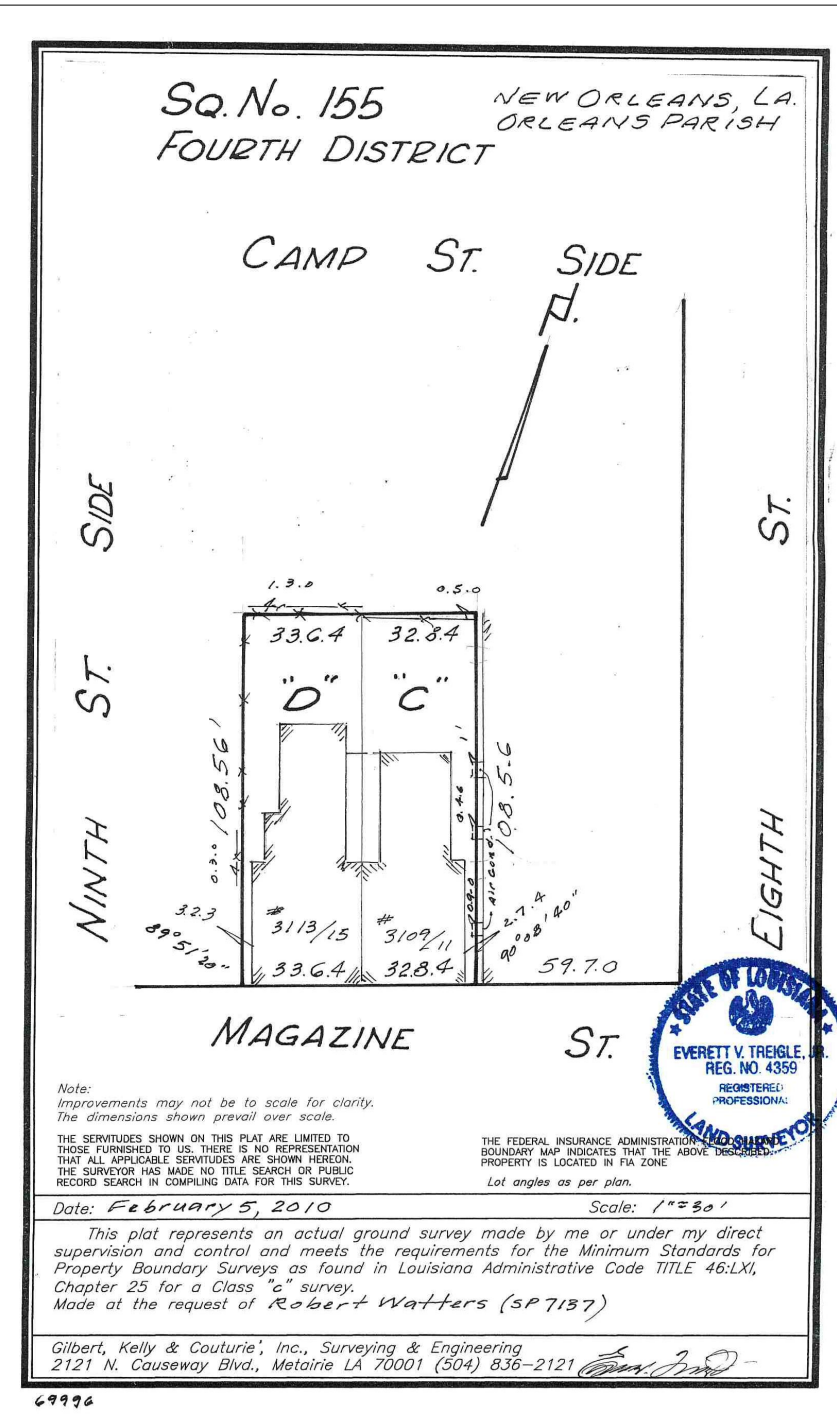
SQUARE FOOTAGES:

GALLERY: 725 SQ.FT.

ABBREVIATIONS:

OFCL OWNER FURNISHED, CONTRACTOR INSTALLED
NIC NOT IN CONTRACT
AFF ABOVE FINISHED FLOOR
FOF FACE OF FINISH
FOS FACE OF STUD
DS DOWNSPOUT
OH OVERHANG
EOD EDGE OF DECK

SURVEY:



GENERAL PROJECT NOTES:

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL SUBCONTRACTORS WITH ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT. SUBCONTRACTORS' BIDS MUST REFLECT ALL CONDITIONS SET FORTH IN THE CONTRACT DOCUMENTS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONNEL ON THE JOB. THE CONTRACTOR SHALL ALSO TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ACCIDENTS OR INJURIES TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, INDUSTRY-STANDARD PRACTICES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING, RELOCATING OR DEMOLISHING EXISTING CONSTRUCTION INCLUDING UTILITIES WHICH WILL INTERFERE WITH THE NEW WORK AND SHALL BE FULLY RESPONSIBLE FOR THE MAINTENANCE OF WATER-TIGHTNESS, AIR CONDITIONING AND SECURITY OF THE EXISTING STRUCTURE.
- PRIOR TO TYING INTO OR SHUTTING DOWN ANY UTILITY, CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FROM THE OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE LOCATION OF THE CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AS REQUIRED.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS AND HOUSE LOCATION PRIOR TO SUBMITTING BID.
- ALL MATERIALS SHALL BE NEW AND U/L UNLESS SPECIFICALLY DESIGNATED OTHERWISE.
- NO WORK SHALL BE CONCEALED UNTO APPROVED BY REGULATORY INSPECTORS.
- ALL CONSTRUCTION SHALL COMPLY WITH CITY, STATE AND NATIONAL CODES AS REQUIRED.
- CONTRACTOR TO WARRANT ALL WORK FOR ONE YEAR.
- CONTRACTOR SHALL PAY FOR ALL WATER AND POWER USED TOWARD CONSTRUCTION FROM EXISTING SOURCES.
- THIS AGREEMENT BETWEEN OWNER AND ARCHITECT DOES NOT INCLUDE CONSTRUCTION PHASE SERVICES UNLESS OTHERWISE NOTED. ACCEPTANCE OF THESE DRAWINGS BY THE OWNER SIGNIFIES THEIR AGREEMENT THAT THE OWNER SHALL BE SOLELY FULLY RESPONSIBLE FOR INTERPRETING THESE DRAWINGS AND OBSERVING THE WORK OF THE CONTRACTOR TO DISCOVER, CORRECT OR MITIGATE ERRORS, INCONSISTENCIES AND OMISSIONS, AND THAT IF THE OWNER AUTHORIZES DEVIATIONS, RECORDED OR UNRECORDED, FROM PLANS PREPARED BY THE ARCHITECT, THE OWNER SHALL NOT BRING ANY CLAIM AGAINST THE ARCHITECT AND SHALL INDEMNIFY AND HOLD THE ARCHITECT, ITS PARTNERS, ASSOCIATES AND EMPLOYEES HARMLESS FROM AND AGAINST CLAIMS, LOSSES, DAMAGES AND EXPENSES, INCLUDING BUT NOT LIMITED TO DEFENSE COSTS AND THE TIME OF THE ARCHITECT, TO THE EXTENT THAT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE ARISES OUT OF OR RESULTS IN WHOLE OR IN PART FROM SUCH DEVIATIONS, REGARDLESS OF WHETHER OR NOT SUCH CLAIM, LOSS, DAMAGE OR EXPENSE IS CAUSED IN PART BY A PARTY INDEMNIFIED UNDER THIS POSITION.

ENERGY EFFICIENCY NOTES:

- PROJECT TO BE INSTALLED AS PER IECC 2021, UNLESS SPECIFIED OTHERWISE.
- ALL NEW HVAC UNITS SHALL BE A MINIMUM SEER 14.5
- ALL NEW APPLIANCES SHALL BE ENERGYSTAR RATED
- ALL NEW HVAC SYSTEMS MUST BE SIZED USING MANUAL J AND S CALCULATIONS, PROVIDED TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- TYPE OF HVAC SYSTEM, IF NOT SPECIFIED HEREIN, MUST BE PRESENTED TO ARCHITECT AT TIME OF BIDDING. THIS INCLUDES TONNAGE, MANUFACTURER, TYPE, AND SEER.
- DUCT TESTING AND SEALING REQUIRED, AS PER IECC 2018.
- ALL NEW WINDOWS TO BE SHGC .25 MAX / 4 U VALUE
- MIN R VALUES: CEILING R-38 / HALL R-13 / FLOOR R-13
- ALL RECESSED CANS IN UNCONDITIONED ATTIC CEILING TO BE INSULATED
- PROVIDE A TOP QUALITY INSULATING BLANKET FOR ALL NEW TANK-STYLE WATER HEATERS.
- ALL ATTIC STAIRS AND ATTIC HATCHES TO BE INSULATED R-13 MIN.
- INSTALL R13 CLOSED CELL FOAM INSULATION BETWEEN FLOOR JOISTS ON RAISED FLOORS. INSTALL ONCE ALL FRAMING AND FLOORING IS DRY.
- PROVIDE ATTIC VENTILATION EQUAL TO 25% OF THE AREA OF SPACE BEING VENTED.
- CATHEDRAL CEILINGS MUST BE VENTILATED, UTILIZING A RAFTER CHANEL OR VENTED ROOF ASSEMBLY.
- CLOSED CELL FOAM IS NOT PERMITTED ON ROOFS IN HOT-HUMID CLIMATES.
- CONTINUOUS AIR BARRIER IS REQUIRED. ALL PENETRATIONS AND BREAKS IN THE CONTINUITY OF THE AIR BARRIER MUST BE SEALED.
- PROVIDE MAKE-UP AIR WITHIN HVAC SYSTEM AS REQUIRED IN ALL NEW CONSTRUCTION WITH CONTINUOUS AIR BARRIER.
- VAPOR BARRIERS / AIR BARRIERS MUST BE ON THE WARM SIDE OF THE INSULATION. IN HOT-HUMID CLIMATES, THIS IS ON THE EXTERIOR SIDE OF INSULATION. ALL BATT INSULATION MUST BE UNFACED. SEE WALL SECTION.
- BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION INSTALLATION SHALL BE DEMONSTRATED TO COMPLY WITH ONE OF THE FOLLOWING METHODS AS CHOSEN BY THE CONTRACTOR, DESIGN PROFESSIONAL OR HOMEOWNER [IRC N1024.2.1.5 IECCG AMENDMENT].

- OPTION 1: BLOWER DOOR TEST BY CERTIFIED PERSONNEL - IF THIS OPTION IS USED, THEN BLOWER DOOR TEST SHALL BE PERFORMED BY INDIVIDUALS CERTIFIED TO PERFORM BLOWER DOOR TESTS BY A NATIONALLY RECOGNIZED ORGANIZATION [IRC N1024.2.1.5 IECCG AMENDMENT] CITY OF NEW ORLEANS BLOWER DOOR TEST REPORT FORMS SHALL BE SUBMITTED TO AND APPROVED BY THE MECHANICAL DIVISION OF THE SAFETY AND PERMITS PRIOR TO FINAL BUILDING INSPECTION AND CERTIFICATE OF OCCUPANCY. TESTED AIR LEAKAGE SHALL BE BETWEEN 3 AND 1 ACH AT 50 PASCAL.
- OPTION 2: VISUAL INSPECTION BY CERTIFIED PERSONNEL - IF THIS OPTION IS USED, THEN VISUAL INSPECTIONS SHALL BE PERFORMED BY INDIVIDUALS CERTIFIED TO PERFORM SUCH INSPECTIONS AND APPROVED BY CITY OF NEW ORLEANS CHIEF BUILDING OFFICIAL PRIOR TO DATE OF INSPECTIONS. SUCH INSPECTIONS SHALL ENCOMPASS ALL ITEMS LISTED IN IRC TABLE N1024.2. THESE INSPECTIONS MAY NEED TO BE CONDUCTED AT DIFFERENT STAGES OF CONSTRUCTION IN ORDER TO COMPLETE ALL INSPECTED AREAS PRIOR TO BEING COVERED. ONCE WALLS ARE CLOSED A VISUAL INSPECTION IS NO LONGER POSSIBLE OR ACCEPTED.

- DUCT TESTING SHALL BE PERFORMED BY INDIVIDUALS CERTIFIED TO PERFORM DUCT SEALING TESTS BY A NATIONALLY RECOGNIZED ORGANIZATION THAT TRAINS AND PROVIDES CERTIFICATION EXAMS FOR THE PROPER PROCEDURES TO PERFORM SUCH TEST. WRITTEN TEST REPORTS FROM THE CITY OF NEW ORLEANS SHALL BE SUBMITTED TO AND APPROVED BY THE MECHANICAL DIVISION PRIOR TO OCCUPANCY [IRC N1024.2.2.1 IECCG AMENDMENT].
- EVERY DWELLING UNIT WITH FORCED AIR HEATING EQUIPMENT SHALL BE PROVIDED WITH AT LEAST ONE PROGRAMMABLE THERMOSTAT [IRC N103.1].
- WOOD BURNING FIRE PLACES SHALL HAVE OUTDOOR COMBUSTION AIR VISIBLE AT ROUGH IN INSPECTION PRIOR TO WALL CLOSURE [IRC N1024.3].
- MANUAL 1", 1 1/2" AND 2" HORIZONTAL CALCULATIONS SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF HVAC SYSTEM ON NEW CONSTRUCTION AND SUBSTANTIAL RENOVATIONS. THIS WILL BE VERIFIED BY AFFIDAVIT ON ONE STOP PERMITS.
- REQUIRED FORMS NECESSARY FOR SUBMITTING BLOWER DOOR TEST RESULTS, DUCT LEAKAGE RESULTS, OR VISUAL AIR ENVELOPE RESULTS ARE AVAILABLE IN OUR OFFICE LOCATED AT 300 PERDIDO ST., ROOM 7402 NEW ORLEANS, LA 70112 AND ONLINE BELOW AS WELL AS AT THE ONE STOP WEBSITE: WWW.NOLA.GOV/NESTOP.

SITENOTE NOTES:

- SITE SHALL BE LEFT NEAT DAILY. PROVIDE COMPLETE CLEAN UP ON A WEEKLY BASIS, NO TRASH STORED IN BUILDING, PROPER DISPOSAL REQUIRED. APPLIANCES, DOORS, AND OTHER SALVAGEABLE UNITS THAT CAN EASILY BE RECYCLED SHOULD BE PICKED UP BY GREEN PROJECT.
- THE CONTRACTOR SHALL GRADE THE SITE AS REQUIRED TO ENSURE PROPER RAIN WATER DRAINAGE AND RUNOFF. NO PART OF THE SITE SHALL BE ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES, NOR SHALL RUNOFF BE ALLOWED TO ACCUMULATE NEXT TO THE EXISTING OR PROPOSED STRUCTURE.
- ALL DOWNPOUTS TO TERMINATE AT SUB-SURFACE DRAINAGE, PAVING OR SPLASH BLOCKS AS REQUIRED.
- SITE FLATWORK (WALKS, DRIVES, ETC.) TO BE 3000 P.S.I. CONCRETE, 4" TO 6" THICK, WITH 6# WELDED WIRE MESH OR AS PER ENGINEER'S DRAWINGS / SPECIFICATIONS.
- WOOD FENCES SHALL BE 2'-0" HIGH TREATED K1 PINE FENCE BOARDS INSTALLED ON 3 TREATED 2X4 STRINGERS MOUNTED WITH METAL STRAP CLIPS TO 1/4 GAUGE GALVANIZED POLES SET INTO CONCRETE FOOTINGS. DEPTH OF POLES SHALL BE MIN. OF 2' BELOW GRADE OR AS SPECIFIED BY ENGINEERING DRAWINGS IF APPLICABLE. THERE SHALL BE NO THRU BOLT ATTACHMENTS OF STRINGERS. ALL POSTS SHALL BE CAPPED. TOP CAP AND/OR BASEBOARD AS SPECIFIED (SEE DRAWINGS FOR DETAILS). WOODEN MEMBERS SHALL BE COATED WITH 2 COATS OF GRAYE STAIN UNLESS OTHERWISE SPECIFIED. COLOR AS SELECTED BY OWNER.
- FOR ALL NEW CONSTRUCTION, TERMITE PROTECTION MUST BE PROVIDED AS PER SEC. R318 IRC 2021 ED, AND CONTRACTOR MUST PROVIDE OWNER WITH CERTIFICATE OF INSTALLATION.

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO FACE OF INTERIOR STUDS, CENTER OF COLUMNS AND PENETRATION OR TO FACE OF BRICK AND EXTERIOR FACE OF EXTERIOR STUDS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR PENETRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- USE 6-INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.
- PROVIDE A GALVANIZED METAL PAN WITH DRAIN AT WATER HEATER AND A/C EXTRACTOR LOCATIONS AND PVC PAN BENEATH WASHING MACHINES LOCATED ABOVE FIRST FLOOR. CONTRACTOR TO VERIFY LOCATION OF A/C DRIP PAN DRAIN PIPE.

LIFE SAFETY NOTES:

- ALL WORK MUST CONFORM TO NFPA 101 LIFE SAFETY CODE FOR THE APPLICABLE CHAPTER.
- ALL NEW WORK MUST CONFORM TO ADAAG 2010.

FRAMING NOTES:

- ALL DIMENSIONS ARE TO FACE OF INTERIOR STUDS, CENTER OF COLUMNS AND PENETRATION OR TO FACE OF BRICK AND EXTERIOR FACE OF EXTERIOR STUDS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. WHEN DIMENSIONS ARE TO AN EXISTING WALL, COLUMN OR PENETRATION, ALL DIMENSIONS SHALL BE FROM THE FACE OF EXISTING FINISH, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- USE 6-INCH STUDS AT PLUMBING WALLS. PROVIDE METAL "SHOES" IN FRAMING TO PROTECT PLUMBING AND ELECTRICAL.
- PROVIDE BLOCKING OR EXTRA STUD ADJACENT TO ALL WINDOW AND DOOR OPENINGS TO ATTACH ELECTRICAL SWITCHES WITHOUT CUTTING CASING.
- COORDINATE CEILING FRAMING WITH LIGHTING PLAN, SO AS TO ALLOW FOR RECESSED LIGHTS TO BE CENTERED ON AREAS INDICATED AS REQUIRED.
- ALL EXTERIOR DOORS TO HAVE A 1/2" STEP DOWN ON THE EXTERIOR SIDE AND METAL THRESHOLDS TO PREVENT WIND DRIVEN RAIN.
- FINISHED FLOOR HEIGHTS ARE APPROXIMATE. REFER TO ELEVATION AND BENCHMARK CERTIFICATE FOR ACTUAL HEIGHT.
- ALL WINDOW UNIT SIZES ARE GIVEN IN ACTUAL FRAME SIZE. CONTRACTOR TO VERIFY ROUGH OPENINGS AND INSTALLATION REQUIREMENTS WITH MANUFACTURER.
- ALL CORNERS SHALL BE PROPERLY BRAGED FOR WIND LOADS. A 48" WIDE SHEET OF PLYWOOD SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
- TREATED WOOD: ALL EXPOSED EXTERIOR WOOD SHALL BE TREATED TO THE FOLLOWING SPECIFICATIONS:
 - 25 TREATED WOOD NOT IN CONTACT WITH THE GROUND.
 - 40 TREATED WOOD IN CONTACT WITH THE GROUND.
 - 20 TREATED WOOD IN CONTACT WITH WATER.
- PAINTED EXTERIOR WOOD SHALL BE TREATED AND FULLY AIR DRIED BEFORE BACK, END AND EDGE PRIMING AND TWO (2) COATS OF PREMIUM GRADE EXTERIOR PAINT. NATURAL EXTERIOR WOOD SHALL BE FULLY GRADED, SELECTED FOR STRAIGHTNESS AND QUALITY, MOSTLY FREE OF CHECKS, KNOTS, AND SPLITS AND TREATED WITH PREMIUM DECK SEALER.
- PROTECT ALL WINDOWS AGAINST WINDBORNE DEBRIS WITH WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 1/8" INCH AND A MAXIMUM SPAN OF 8 FEET. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING:
 - SPAN LESS THAN OR EQUAL TO 6 FEET: 2 1/2" x 8 WOOD SCREWS @ 16" O.C.
 - FASTENERS SHALL BE ATTACHED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANEL.
 - WHERE SCREWS ARE ATTACHED TO MASONRY OR CONCRETE/STUCCO, THEY SHALL BE ATTACHED UTILIZING VIBRATION RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE INTERVAL CAPACITY OF 400 LBS.
- INSTALL 2X4 BLOCKING AT MID-SPAN WITHIN ALL WALLS THAT HAVE CEILING HEIGHTS GREATER THAN 8'-0".
- REFER TO STRUCTURAL DRAWINGS FOR COMPLETE SPECIFICATIONS. IF ANY DISCREPANCIES OCCUR BETWEEN THESE NOTES AND THE STRUCTURAL ENGINEERING DRAWINGS, BRING IT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

EXTERIOR NOTES:

- SLOPE ALL HORIZONTAL SURFACES TO DRAIN
- INSTALL ALL SIDING AND TRIM AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. DO NOT CAULK HORIZONTAL SEAMS OF HORIZONTAL SIDING.
- PROVIDE WATERPROOF MEMBRANE UNDER ALL EXPOSED DECKS THAT ARE ENCLOSED UNDER THE JOISTS OR HAVE CONDITIONED SPACE BENEATH.
- ALL EXTERIOR TRIM TO BE KILN DRIED, PRESSURE TREATED WOOD.
- PROVIDE AIR VENTILATION WITHIN ALL CONCEALED SPACES SUCH AS, BUT NOT LIMITED TO:
 - EXTERIOR PORCH SOFFITS
 - WRAPPED WOOD COLUMNS
 - ATTIC SPACES, INCLUDING CATHEDRAL CEILINGS
- PROVIDE NON CORROSIVE FLASHING AT ALL, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS:
 - AT THE TOP OF AND AROUND ALL EXTERIOR OPENINGS
 - AT THE TOP OF EXTERIOR COLUMNS
 - AT ALL INTERSECTIONS OF ROOF, EAVE, SIDEWALL, ETC. AND ALL PROJECTIONS
 - CONTINUOUSLY ALONG ALL PROJECTING WOOD OR MASONRY ELEMENTS
 - AT INTERSECTIONS OF EXTERIOR PORCHES, DECKS, STAIRS WHERE ATTACHED TO THE EXTERIOR WALL
 - AT ALL HALL, GIBB, AND ROOF INTERSECTIONS.
 - PAN FLASHING REQUIRED UNDER ALL WINDOW SILLS AND DOOR THRESHOLDS.
 - AS OTHERWISE SHOWN ON THE DRAWINGS
 - AS REQUIRED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS OR BY CODE.

- CAULKING ON EXTERIOR SHALL BE PREMIUM QUALITY SILICONE OR URETHANE CAULK.

- PAINT GRADE TO BE PREMIUM QUALITY BENJAMIN MOORE OR SHERWIN-WILLIAMS OR EQUIVALENT. ALL WORK TO RECEIVE THREE (3) COATS. PAINT FINISH TO BE SATIN ON WALLS AND FLAT ON CEILING AND 1/2" GLOSS ON TRIM UNLESS OTHERWISE SELECTED BY OWNER. COLOR TO BE SELECTED BY OWNER AND VERIFIED BY CONTRACTOR PRIOR TO CONTRACT SIGNING. ALL PAINT TO BE HIGHEST QUALITY BY THE MANUFACTURER. INTERIOR PAINT MUST BE VAPOR PERMEABLE.

INTERIOR NOTES:

- FOR NEW CONSTRUCTION, ORANGE PEEL FINISH FOR ALL NEW SHEETROCK WALLS UNLESS SPECIFIED OTHERWISE. FOR RENOVATION PROJECTS, SHEETROCK TO MATCH EXISTING FINISH AND VERIFY WITH OWNER IF AN UPGRADE IS REQUESTED.

TILE NOTES:

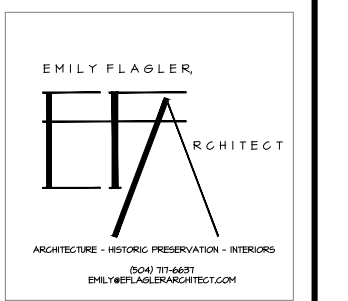
- ALL HORIZONTAL SURFACES TO SLOPE TO DRAIN
- 24 HOUR MIN. WATER TEST TO BE PERFORMED ON ALL SHOWER SYSTEMS.
- IF TILE SELECTED IS NOT THROUGH BODY STONE, ALL EXPOSED EDGES INCLUDING HALL BASES SHALL BE A SEPARATE BALUNES EDGING TILE. NO SCULPTER EDGES ALLOWED.
- ALL SHOWER THRESHOLDS, BENCH TOPS, AND LEDGES TO BE SOLID STONE, UNLESS OTHERWISE SPECIFIED
- ALL SHOWER & BATH FLOORS TO BE MOSAIC TILE OR NON-SLIP TILE
- ALL TILE SHALL BE INSTALLED AS PER ANSI A108.02-2013 4.0
- ALL SHOWNERS TO BE INSTALLED USING LATICRETE HYDROBAN SHOWER SYSTEMS DETAILS AND SPECS (OR EQUIVALENT ALTERNATE)
- ALL TUBS SHALL BE SET INTO A BED OF MORTAR.

STAIRS:

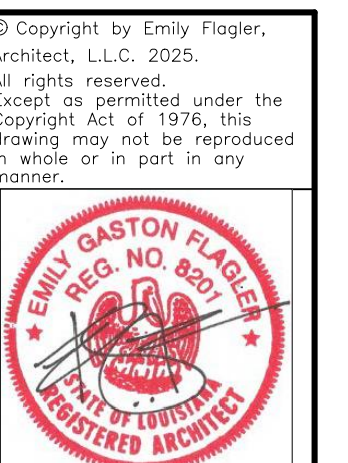
- AS PER 2015 NFPA 101, SECTION 7.2.2.4:
 - HANDRAILS: HANDRAILS ON STAIRS SHALL BE AT LEAST 34 INCHES AND NOT MORE THAN 38 INCHES ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD. NEW HANDRAILS SHALL PROVIDE A CLEARANCE OF AT LEAST 2 1/4 INCHES BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1 1/2 INCHES AND NOT MORE THAN 2 INCHES. NEW HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE ALONG THE ENTIRE LENGTH. NEW HANDRAIL ENDS SHALL BE RETURNED TO THE WALL OR FLOOR OR TERMINATE AT NEVEL POSTS. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. SPIRAL STAIRS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADII. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS SHALL BE REQUIRED ON STAIRS WITH AN ELEVATION DIFFERENCE GREATER THAN 21 INCHES.
- GUARDRAILS: GUARDS SHALL BE AT LEAST 42 INCHES HIGH MEASURED VERTICALLY TO THE TOP OF THE GUARD FROM THE SURFACE ADJACENT THERETO. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER SHALL NOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIR SHALL BE OF SUCH SIZE THAT A SPHERE 6 INCHES IN DIAMETER SHALL NOT PASS THROUGH THE TRIANGULAR OPENINGS. GUARDS SHALL BE REQUIRED IN ALL AREAS MORE THAN 30 INCHES OR 4 RISERS ABOVE THE FLOOR OR THE GRADE BELOW.
- TREADS AND RISERS OF STAIRS SHALL BE SO PROPORTIONED THAT THE SUM OF TWO RISERS AND A TREAD, EXCLUSIVE OF NOSING, IS NOT LESS THAN 24 INCHES NOR MORE THAN 25 INCHES. THE HEIGHT OF RISER SHALL NOT EXCEED 7 INCHES AND TREADS SHALL NOT BE LESS THAN 11 INCHES WIDE.
- TREADS SHALL BE OF UNIFORM DEPTH AND RISER OF UNIFORM HEIGHT IN ANY STAIRWAY BETWEEN TWO FLOORS. THERE SHALL BE NO VARIATION EXCEEDING 3/8" INCH IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS AND TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8" INCHES IN ANY FLIGHT. TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.

EXCEPTION: WHERE THE BOTTOM OR TOP RISER ADJOINS A SLOPING PUBLIC WAY, WALK OR DRIVEWAY HAVING AN ESTABLISHED GRADE AND SERVING AS A LANDING, A VARIATION IN HEIGHT OF NOT MORE THAN 3 INCHES FOR EVERY 9 FEET OF A STAIRWAY WIDTH IS PERMITTED.

PROJECT
EDDIE
TALEBLOO



NEW GALLERY FOR:
3109-3115 MAGAZINE STREET
NEW ORLEANS, LA 70115



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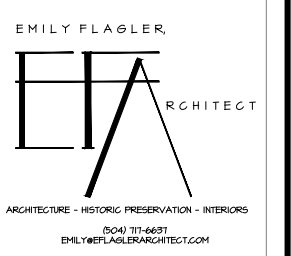
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202409

DATE:
01/27/25

REVISIONS:

T101

PROJECT
EDDIE
TALEBLOO



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NEW ORLEANS, LA 70115

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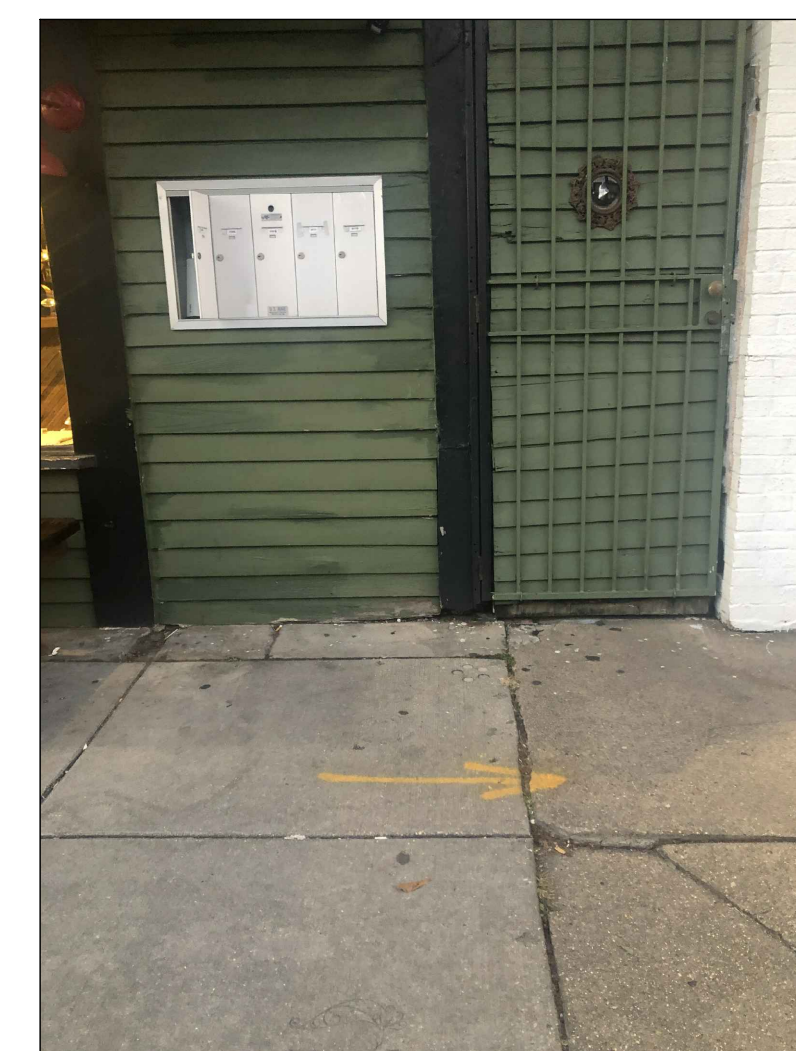
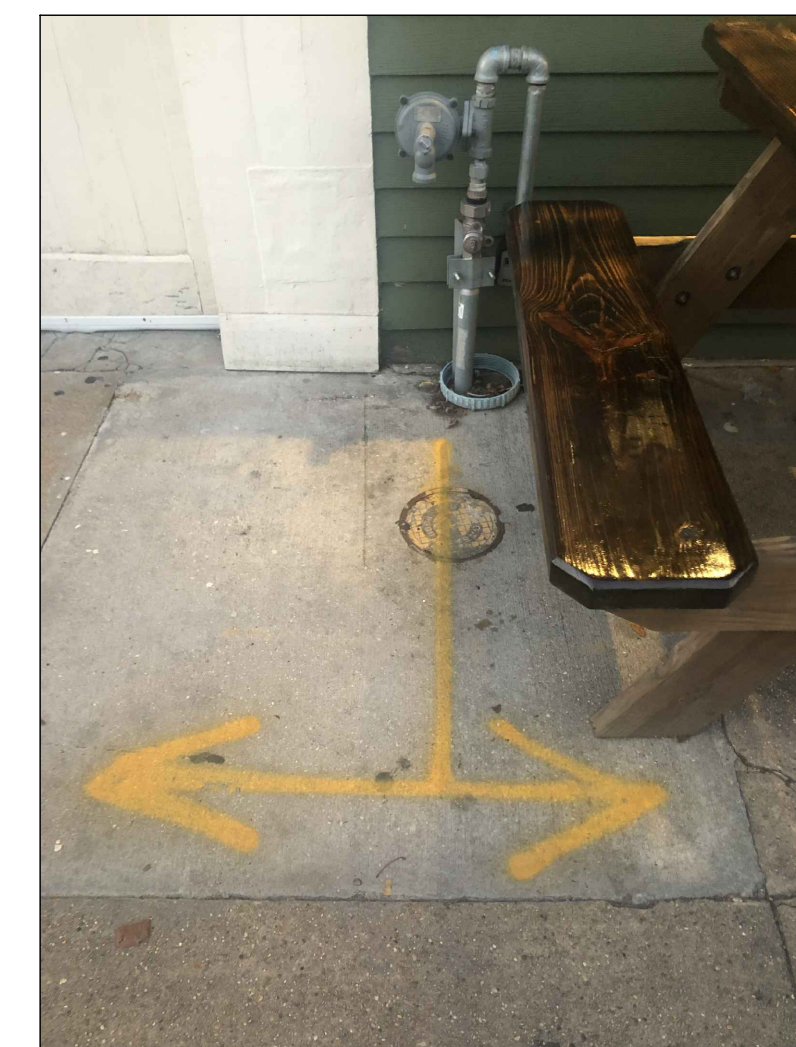
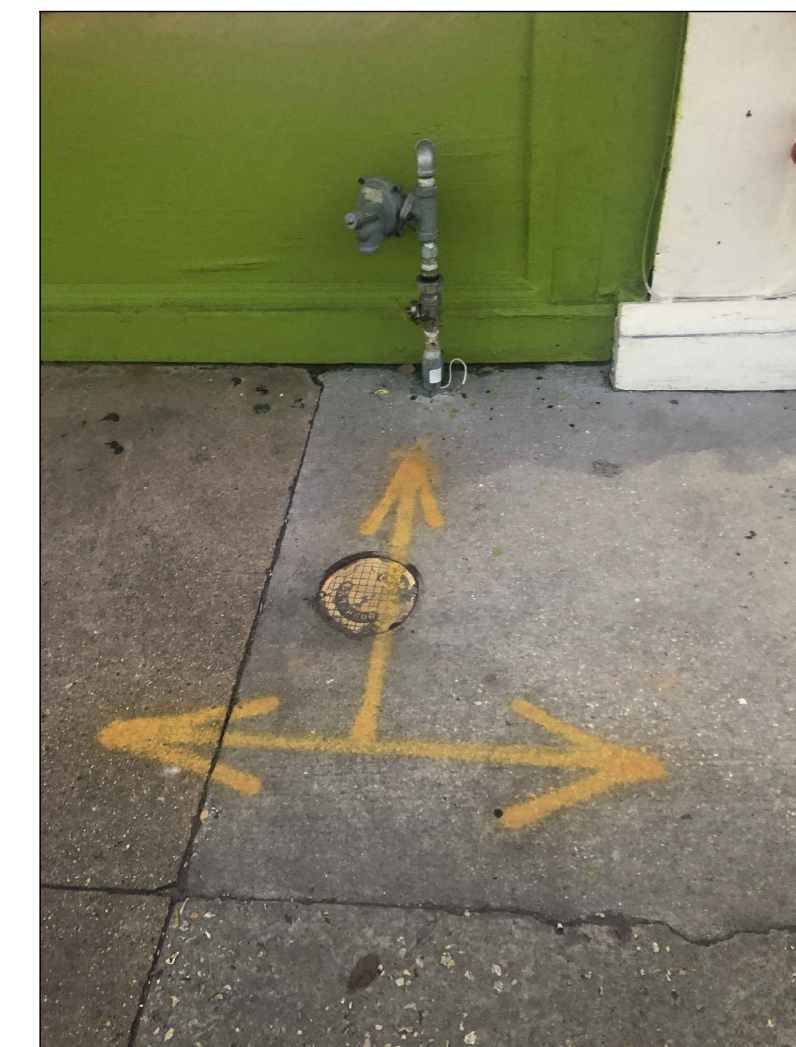
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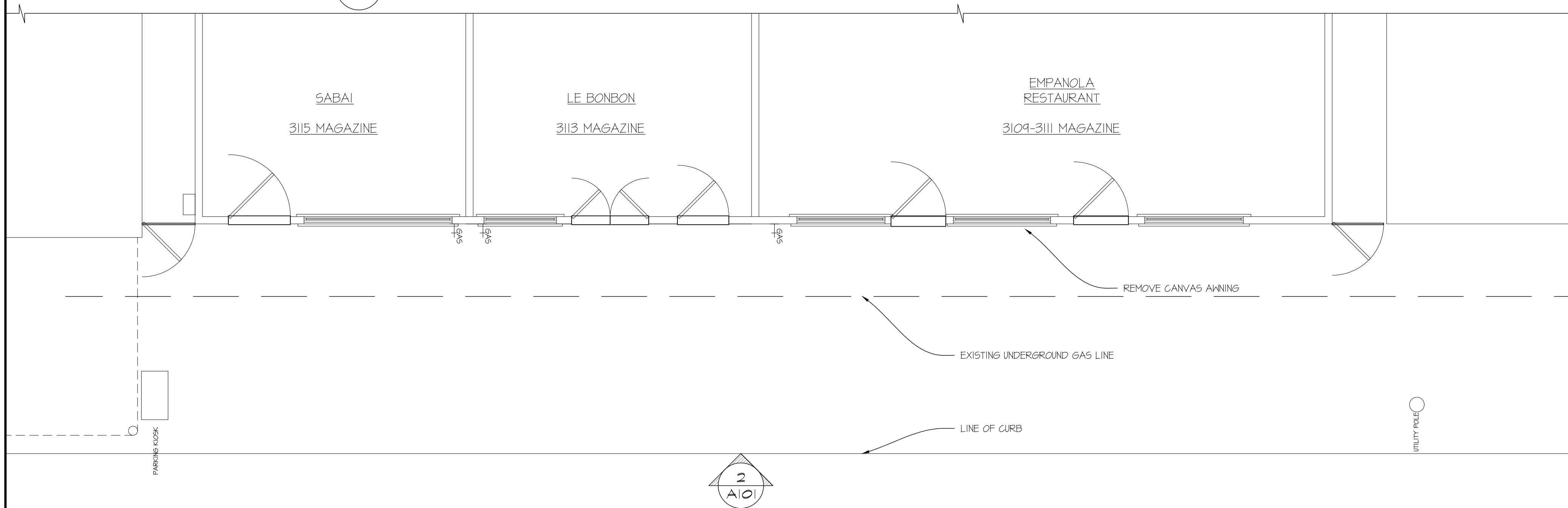
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3 EXISTING UTILITY MARKINGS BY 811
SCALE: 1/4" = 1'-0"



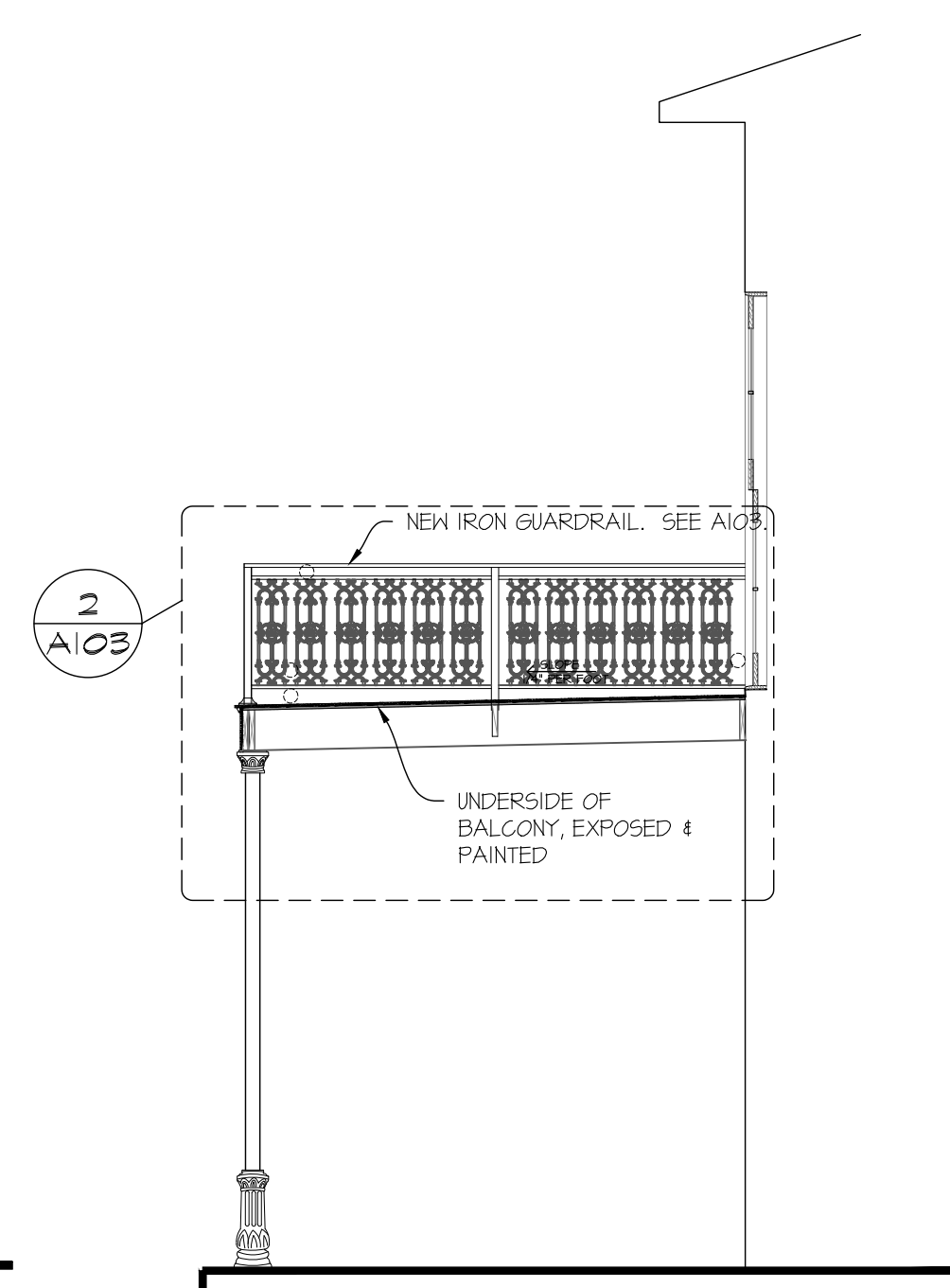
2 EXISTING EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING SITE PLAN @ STREET
SCALE: 1/4" = 1'-0"

MAGAZINE STREET

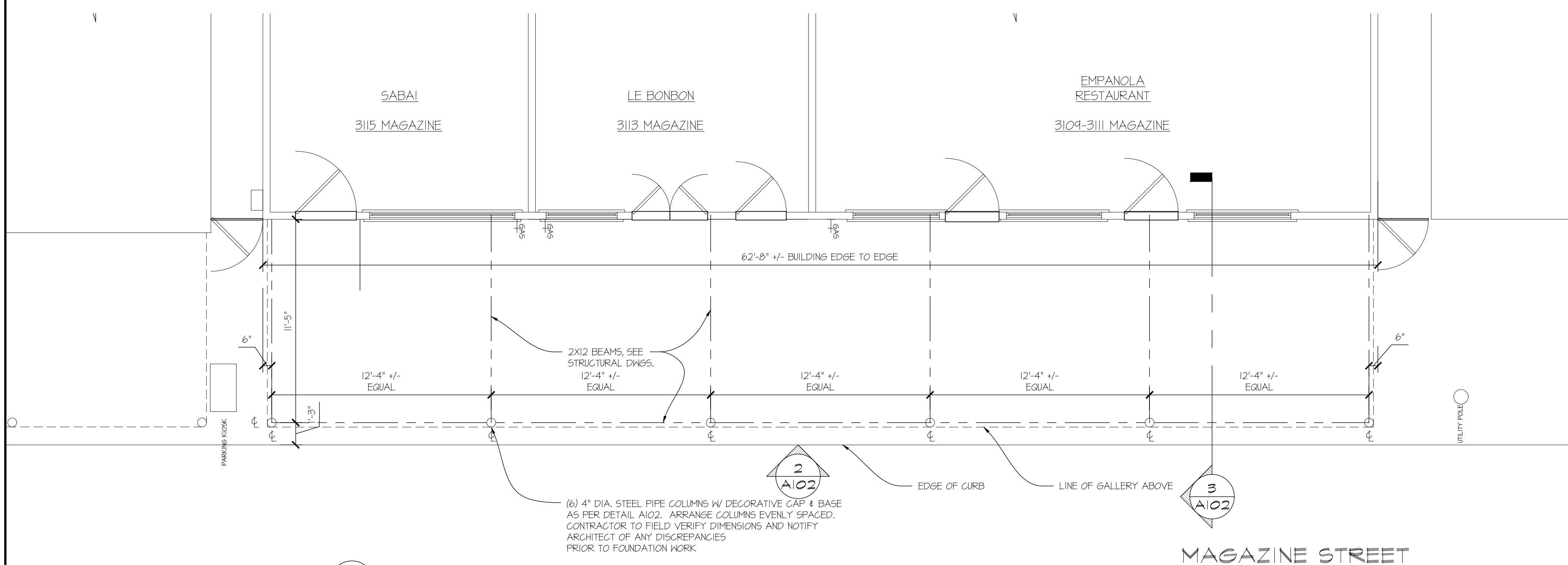
PRELIMINARY NOT FOR CONSTRUCTION



2 PROPOSED EXTERIOR ELEVATION
A102 SCALE: 1/4" = 1'-0"

(6) 4" DIA. STEEL PIPE COLUMNS W/ DECORATIVE CAP & BASE AS PER DETAIL A102. ARRANGE COLUMNS EVENLY SPACED. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FOUNDATION WORK.

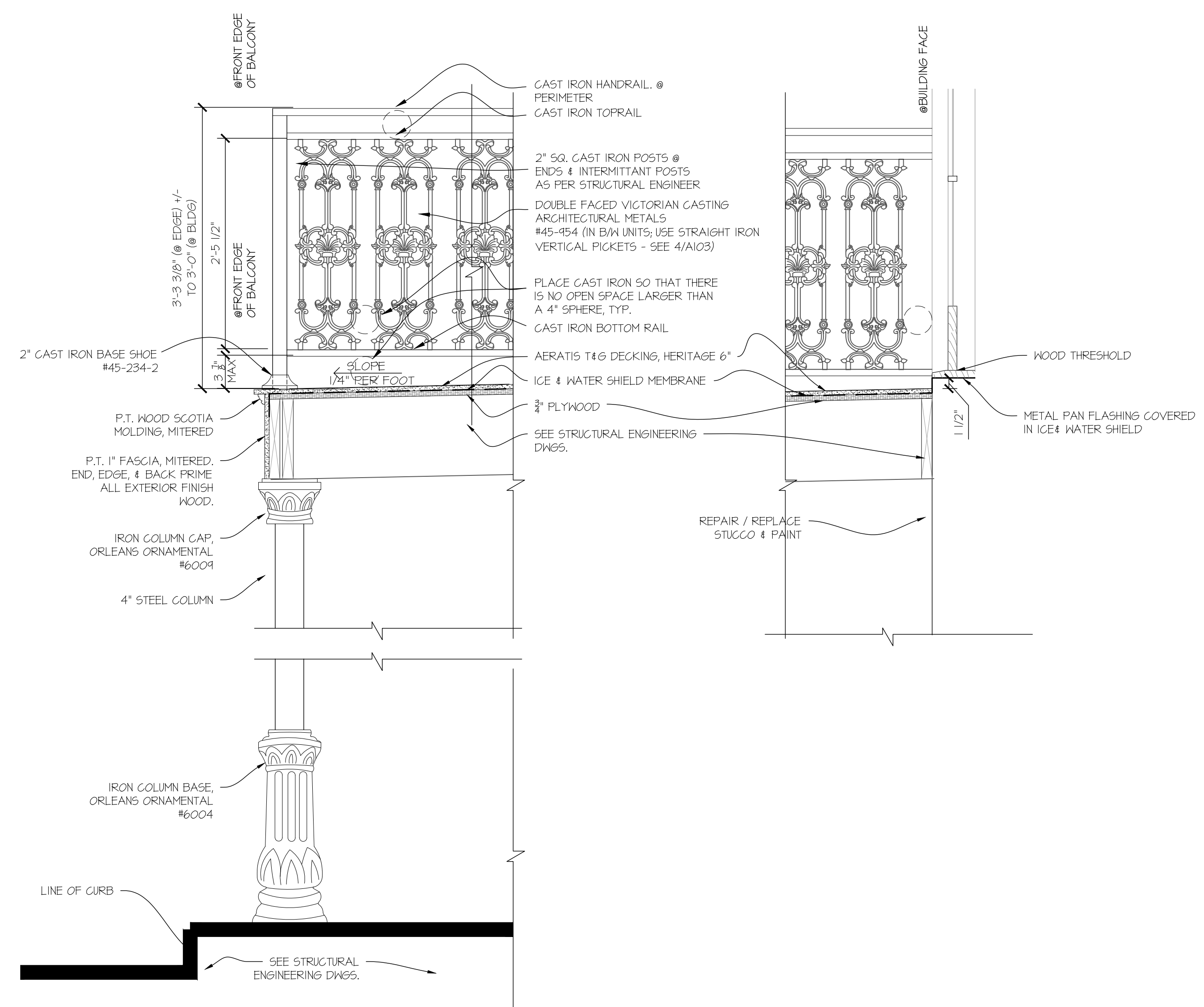
3 PROPOSED SECTION THRU GALLERY
A102 SCALE: 1/4" = 1'-0"



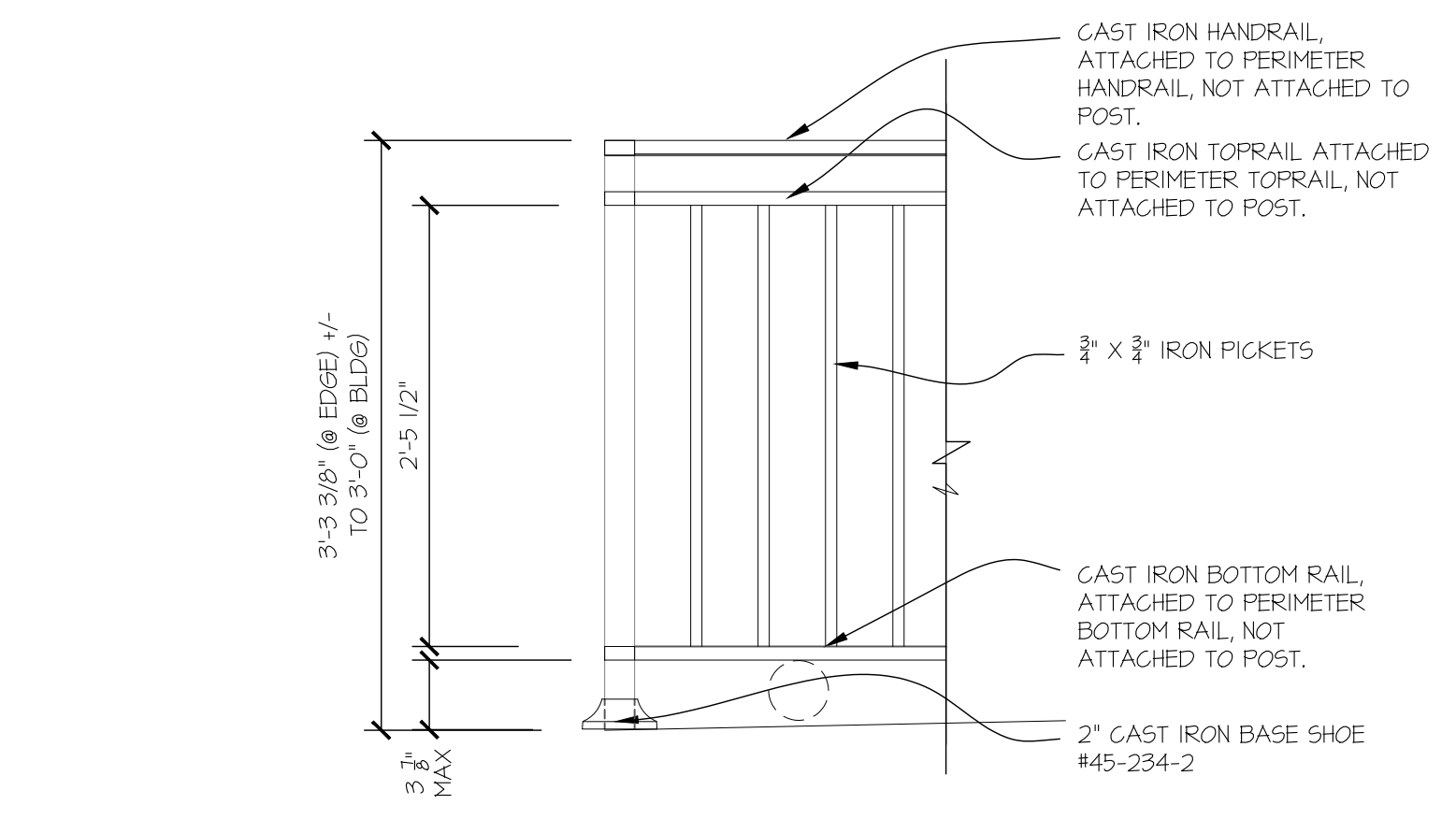
1 PROPOSED SITE PLAN
A102 SCALE: 1/4" = 1'-0"

(6) 4" DIA. STEEL PIPE COLUMNS W/ DECORATIVE CAP & BASE AS PER DETAIL A102. ARRANGE COLUMNS EVENLY SPACED. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FOUNDATION WORK.

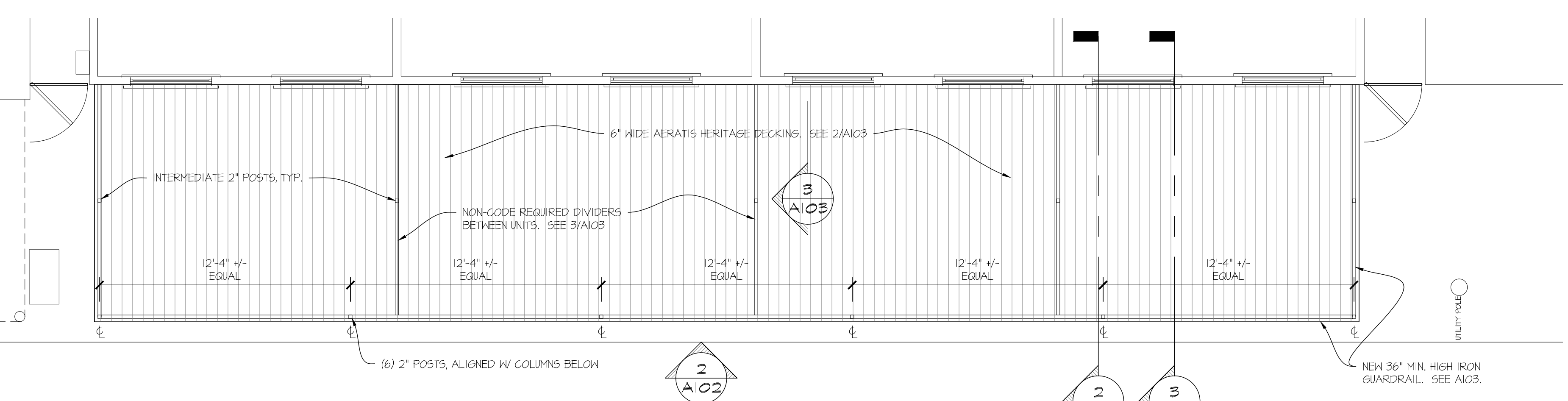
PRELIMINARY NOT FOR CONSTRUCTION



2
A103
PROPOSED SECTION THROUGH BALCONY
SCALE: 1" = 1'-0"



3
A103
PROPOSED SECTION THROUGH BALCONY @ RAILING
SCALE: 1" = 1'-0"

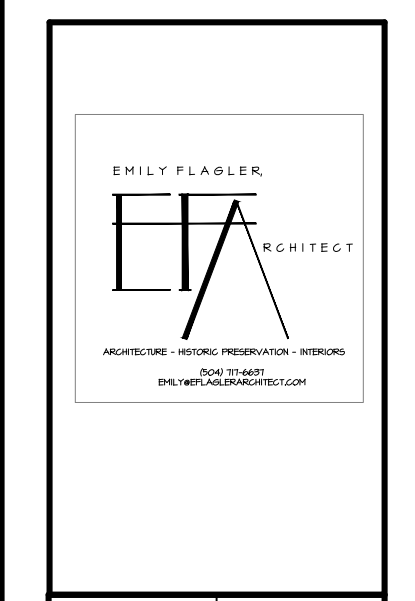


1
A103
PROPOSED BALCONY PLAN @ SECOND FLOOR
SCALE: 1/4" = 1'-0"

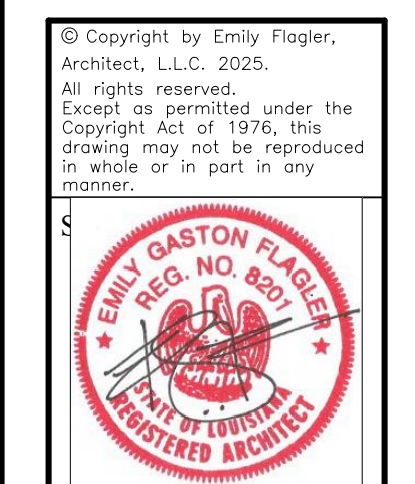
MAGAZINE STREET

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT
EDDIE
TALEBLOO



NEW GALLERY FOR:
BIOA-BIB MAGAZINE STREET
NEW ORLEANS, LA 70115



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Scales as stated hereon are valid on the original drawing only. These plans were prepared by Emily Flagler, Architect, L.L.C. or under our close supervision, and to the best of our knowledge comply with state and local codes.

By: _____

PROJECT NO:
202409

DATE:
01/27/25

REVISIONS:

A103
4 of 4



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 3109 3115€Magazine€Street

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Emily€Flagler

Applicant Address 3380€State€Street€Drive

City New€Orleans State LA Zip 70125

Applicant Contact Number (504)€717 6637 Email emily@eflaglerarchitect.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name AA€Property

Property Owner Address 3414€Dryades€Street

City New€Orleans State LA Zip 70115

Property Owner Contact Number (504)€258 0849 Email aapropertyinvestment@yahoo.com

PROJECT DESCRIPTION

New€gallery€with€iron€posts€and€railings.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use retail€(1st€floor)€residential€(2nd€fl) Proposed Use retail€(1st€floor)€residential€(2nd€fl)

Square Number 155 Lot Number C Permeable Open Space (sf) n/a

New Development?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Addition?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Tenant Width	<u>59'</u>
Existing Structure(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Renovations?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Building Width	<u>59'</u>
Change in Use?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Existing Signs?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Lot Width (sf)	<u>65'</u>
New Sign(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Lot Area (sf)	<u>7,020</u>	Building Area (sf)	<u>8178</u>



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000