

REVISIONS	

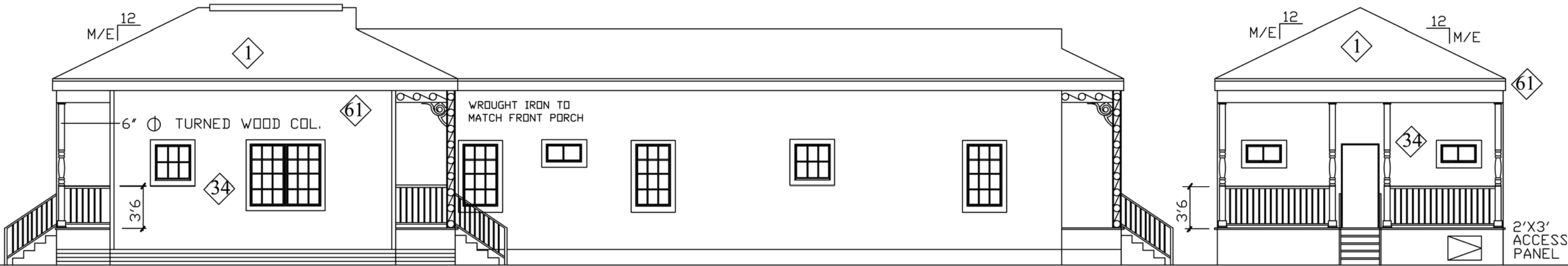
ADDITION AND RENOVATION TO:  
7610 AND 7608 BURTHE ST.  
NEW ORLEANS, LA 70118

JHB ENGINEERING, Inc.

DRAWN BY  
NAT  
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SHEET TITLE  
**EXTERIOR  
ELEV.**

DATE: 5-01-2024  
SHEET NO.  
**A-5**



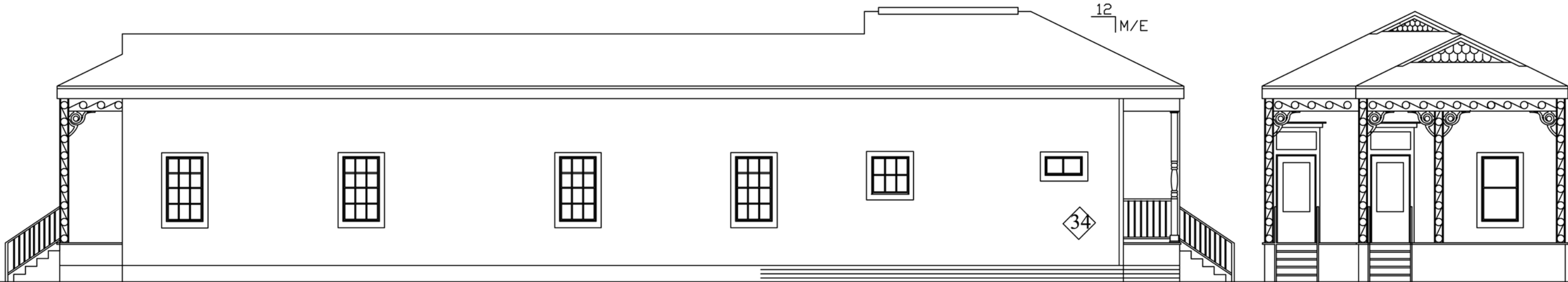
4 LEFT SIDE ELEVATION  
1/ 8"=1'-0"

2 REAR ELEVATION WOOD STAIR, PORCH & RAILING  
1/ 8"=1'-0"

- ◆ **NOTES**
- 1 FIBREGLOSS 25 YEAR WARRANTY SHINGLES
  - 61 1 X 8 FASCIA
  - 34 HARDIBOARD SIDING WITH BUILDING WRAP
  - 72
  - 35 FINISH GRADE

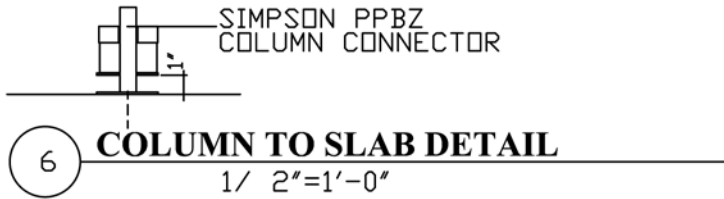
SEE SHEET A-6 FOR ◆ **NOTES**

\*ALL WOOD USED ON THE EXTERIOR  
AND BELOW THE BFE IS TREATED.  
SEE 13/A-6 FOR BFE



3 RIGHT SIDE ELEVATION  
1/ 8"=1'-0"

1 FRONT ELEVATION  
1/ 8"=1'-0"



6 COLUMN TO SLAB DETAIL  
1/ 2"=1'-0"

6X6 TREATED WD  
COLUMN

5 COLUMN DETAIL

REVISIONS	

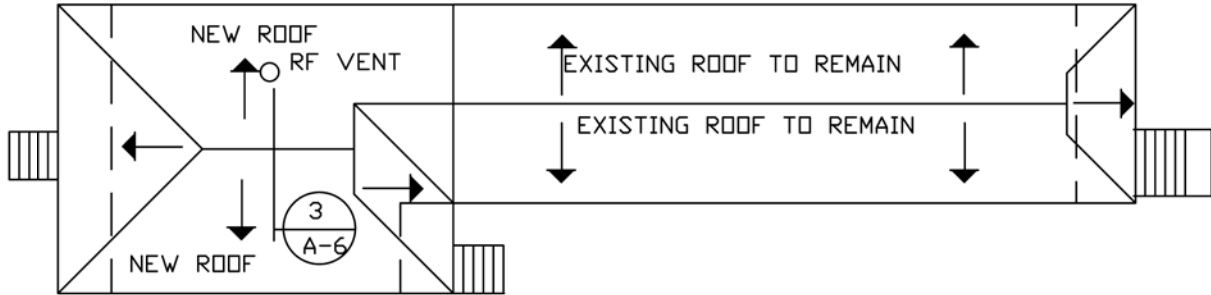
ADDITION AND RENOVATION TO:  
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NEW ORLEANS, LA 70118



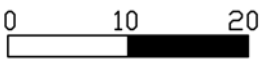
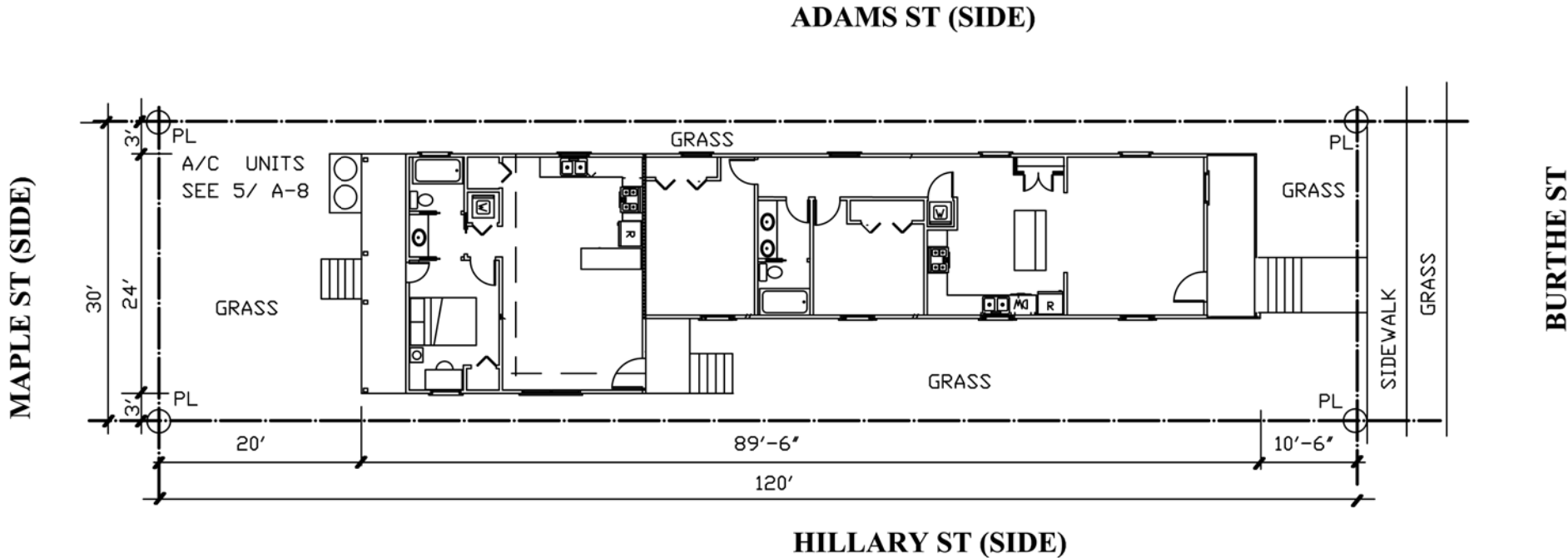
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SHEET TITLE  
SITE PLAN  
& DETAILS

DATE: 5-01-2024  
SHEET NO.  
A-1



2 ROOF PLAN  
1/ 16"=1'-0"

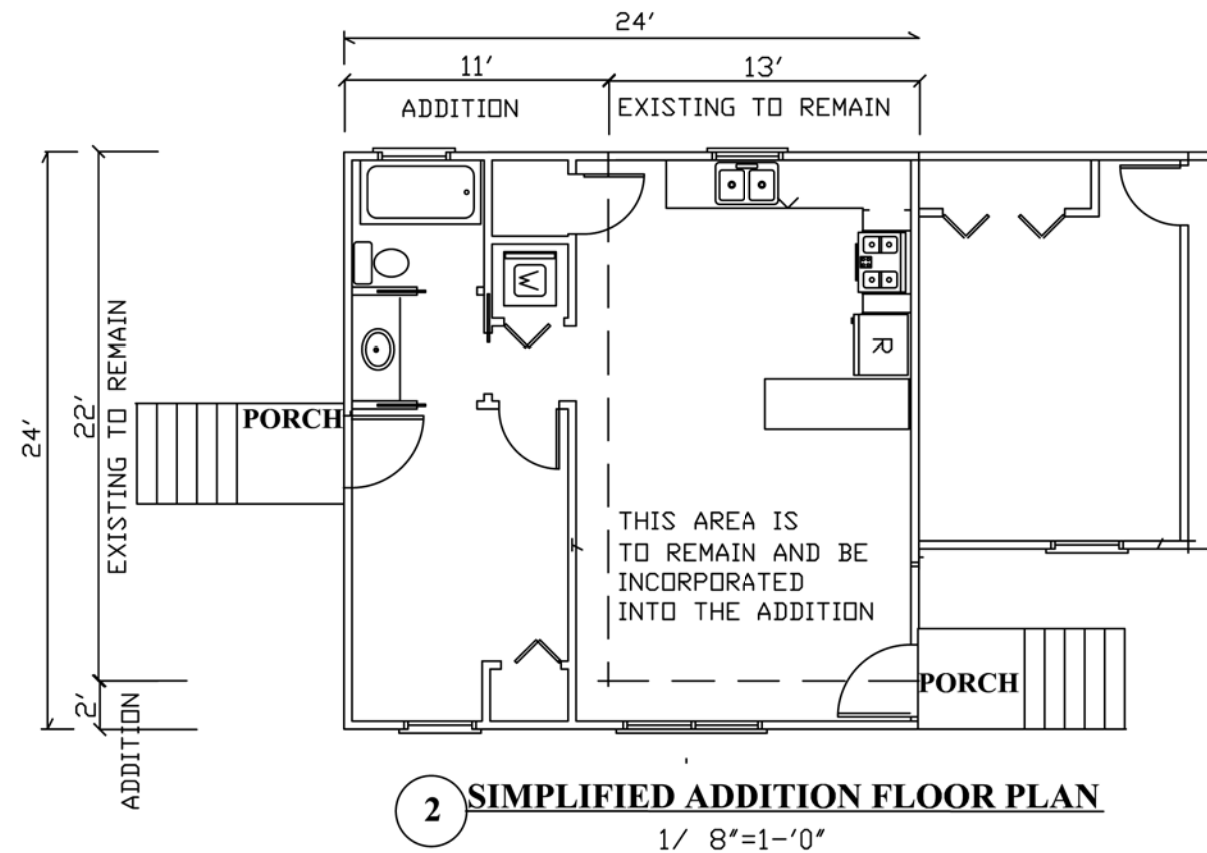


1 SITE PLAN  
1/ 16"=1'-0"



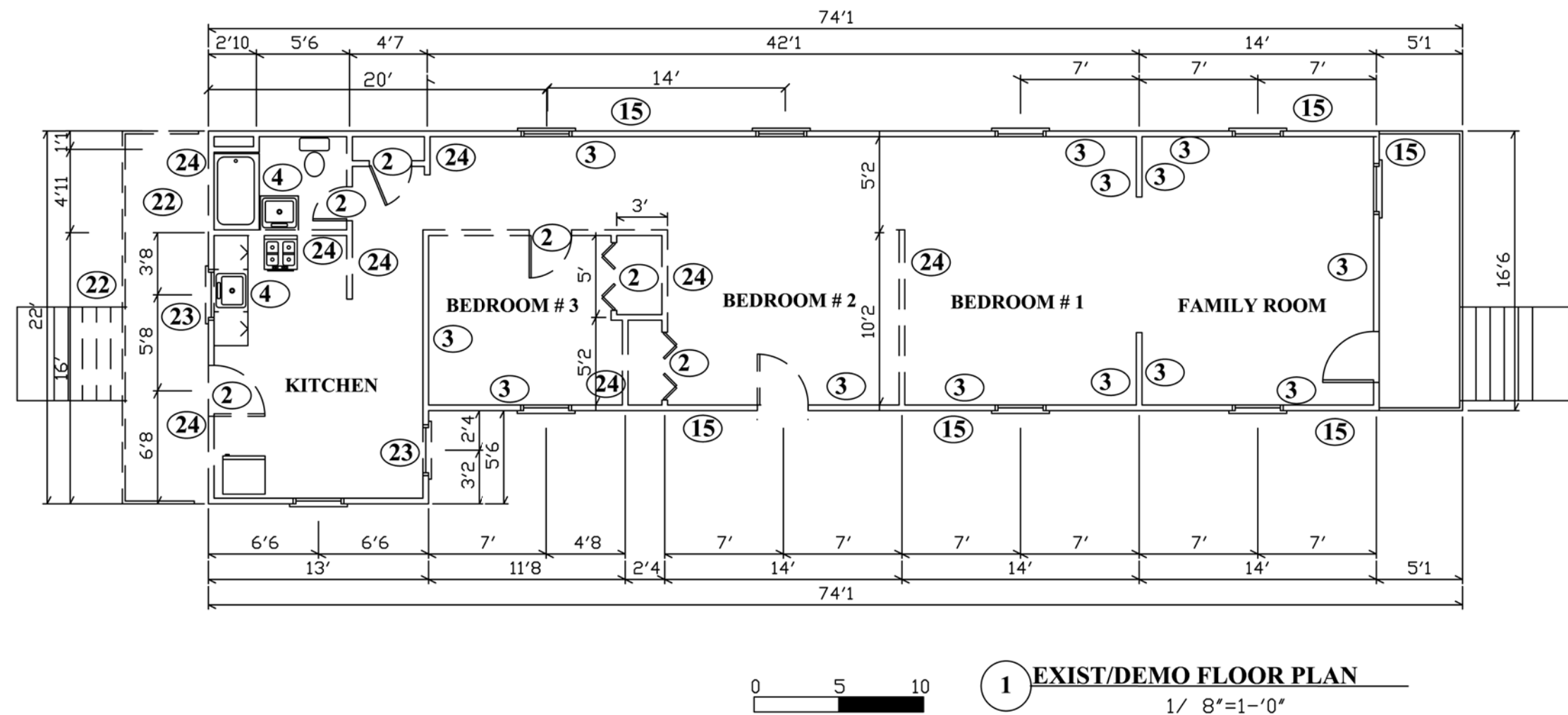
**⑫ ENVIROMENTAL REMEDIATION NOTES:**

CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST TO HAVE INSPECTIONS DONE TO ASCERTAIN IF THERE IS LEAD PAINT OR ASBESTOS PRESENT IN THE BUILDING. THIS WORK CAN ONLY BE PERFORMED BY A COMPANY LICENSED TO DO SO BY THE STATE OF LOUISIANA. IN THE EVENT THERE IS ANY ENVIRONMENTAL CONTAMINANTS THE CONTRACTOR'S BID AT THAT TIME SHOULD BE MODIFIED TO HAVE THEM PROPERLY REMOVED AND DISPOSED OF BY A LOUISIANA LICENSED SUB-CONTRACTOR, LICENSED TO DO SAME BY THE STATE OF LOUISIANA. SAFETY AND PERMITS OF THE CITY OF NEW ORLEANS SHALL BE NOTIFIED AND MONITOR ALL REMEDIATION WORK. BEFORE ANY REMODELING WORK COMMENCES THE CONTRACTOR SHALL REQUEST AND RECEIVE IN WRITING FROM THE COMPANY SELECTED TO DO THE REMEDIATION WORK A "NOTICE OF ALL CLEAR". THIS NOTICE SHALL THEN BE GIVEN TO THE OWNER AND SAFETY AND PERMITS.



## ⑫ DEMOLITION & REHAB NOTES

1. REMOVE DOOR
2. REMOVE DOOR AND FRAME
3. REMOVE ALL PLASTER FROM WALLS AND CEILINGS AND REPLACE OR REPAIR ALL DAMAGED STUDS AND PLATES.
4. REMOVE ALL PLUMBING FIXTURES.
5. WHEN PLUMBING FIXTURES HAVE BEEN REMOVED OR NO LONGER IN USE CAP ALL EXPOSED LINES.
6. REMOVE ELCTRIC PANEL.
7. REPLACE ELECTRIC WIRING.
8. NOT USED
9. WHERE CONSTRUCTION ACTIVITIES DAMAGES ADJACENT FINISHES CONTRACTOR SHALL REPAIR OR REPLACE SAME BRINGING IT BACK TO "AS NEW" CONDITION.
10. THE EXISITNG PLUMBING SYSTEM SHALL BE EXAMINED BY A LOUISIANA LICENSED PLUMBER AND FINDINGS SHALL BE MADE AVAILABLE TO ALL APPLICABLE GOVERNMENTAL AGENCIES FOR THEIR REVIEW CONFIRMING THAT THE SYSTEM, WITH THE ADDITIONAL LOAD, MEETS PREVAILING CODES.
11. SEAL ALL EXTRIOR PIPE PENETRATIONS WITH EXPANDING FOAM.
12. REMOVE WATER HEATER.
13. NOT USED
14. BEFORE ANY NEW WORK IS STARTED THE BUILDING SHALL RECEIVE A COMPLETE TERMITE INSPECTION AND TREATMENT.
15. REMOVE ALL SIDING.
16. REMOVE ALL PAINT AND CAULKING FROM WINDOWS. WINDOWS SHALL BE RETURNED TO OPERABLE CONDITION.
17. WOOD FLOORS SHALL BE SANDED TO THERE NATURAL FINISH.
18. THE OWNER SHALL HAVE THE RIGHT OF FIRST REFUSAL FOR ALL ITEMS REMOVED FROM JOB.
19. NOT USED
20. RAISE AND LEVEL FLOOR.
21. REMOVE GUTTERS.
22. REMOVE PORCH AND STEPS
23. REMOVE WINDOW.
24. REMOVE PARTITION.
25. NOT USED
26. REMOVE ALL MILLWORK.



REVISIONS	

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NEW ORLEANS, LA 70118**



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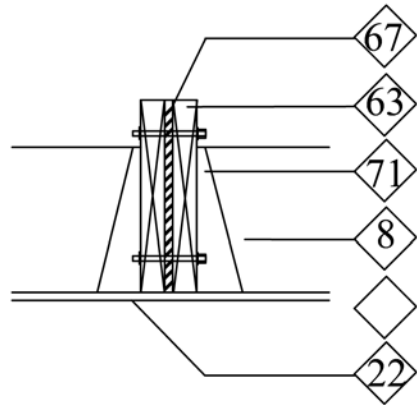
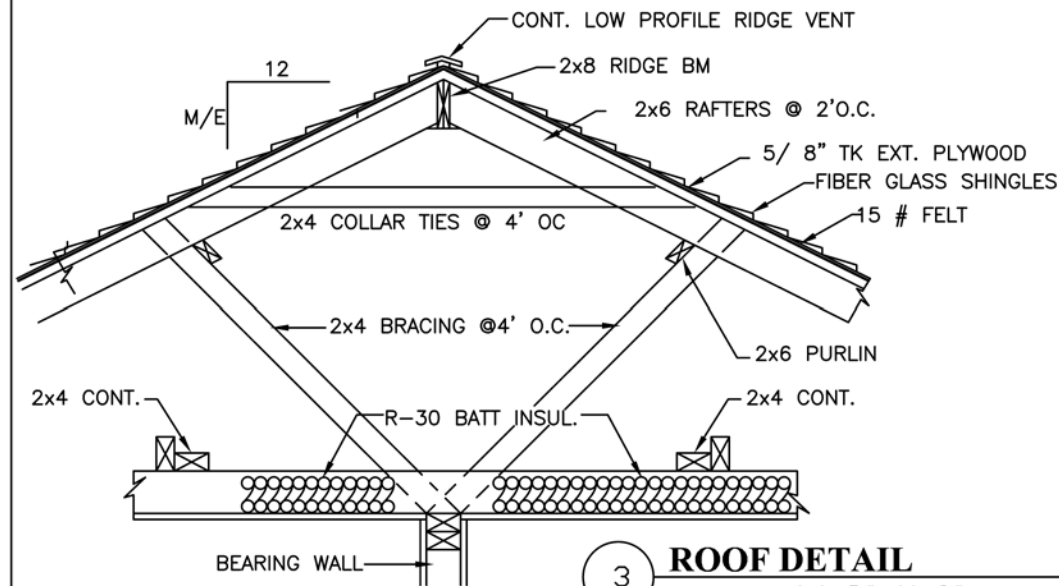
**SHEET TITLE**  
**EXIST/  
DEMO  
PLAN**

**DATE: 5-01-2024**

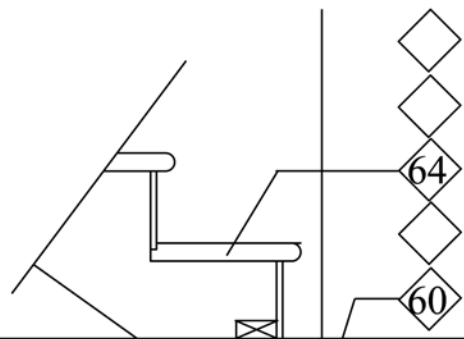
SHEET NO.

A-2

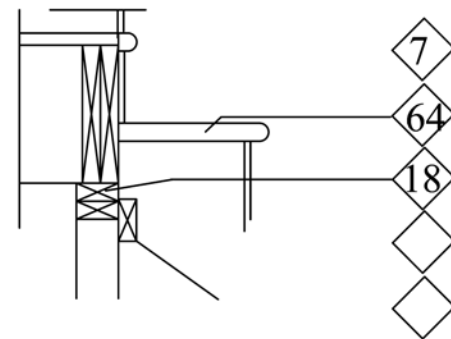


**FLITCH BM**

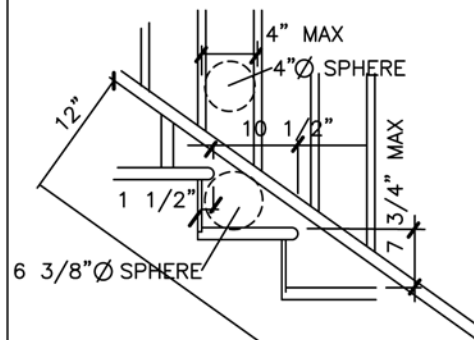
## ROOF DETAIL



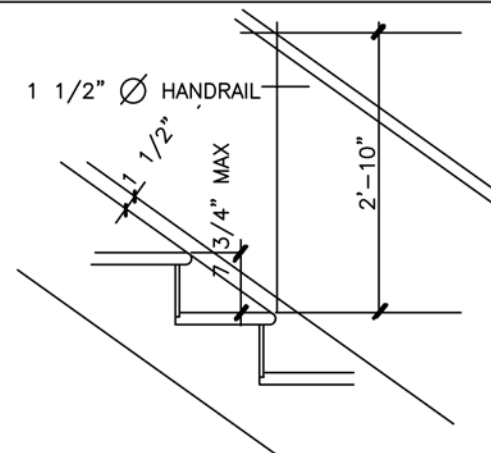
## STAIR DETAIL



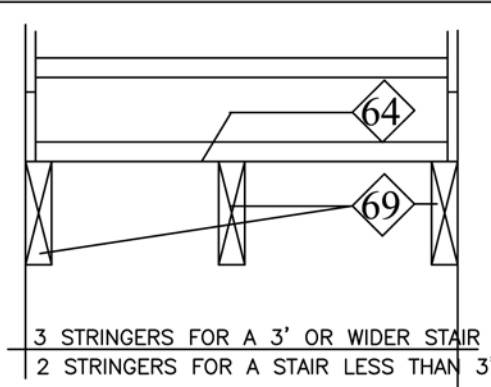
## STAIR DETAIL



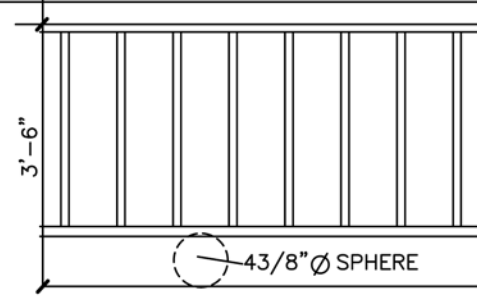
## STAIR DETAIL



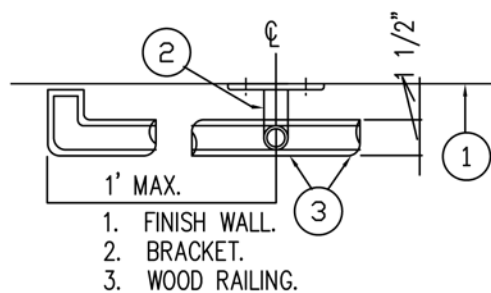
## STAIR DETAIL



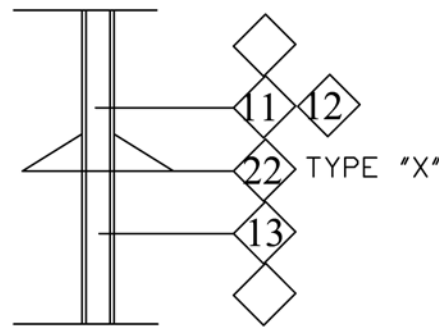
## STAIR DETAIL



## GUARDRAIL DETAIL

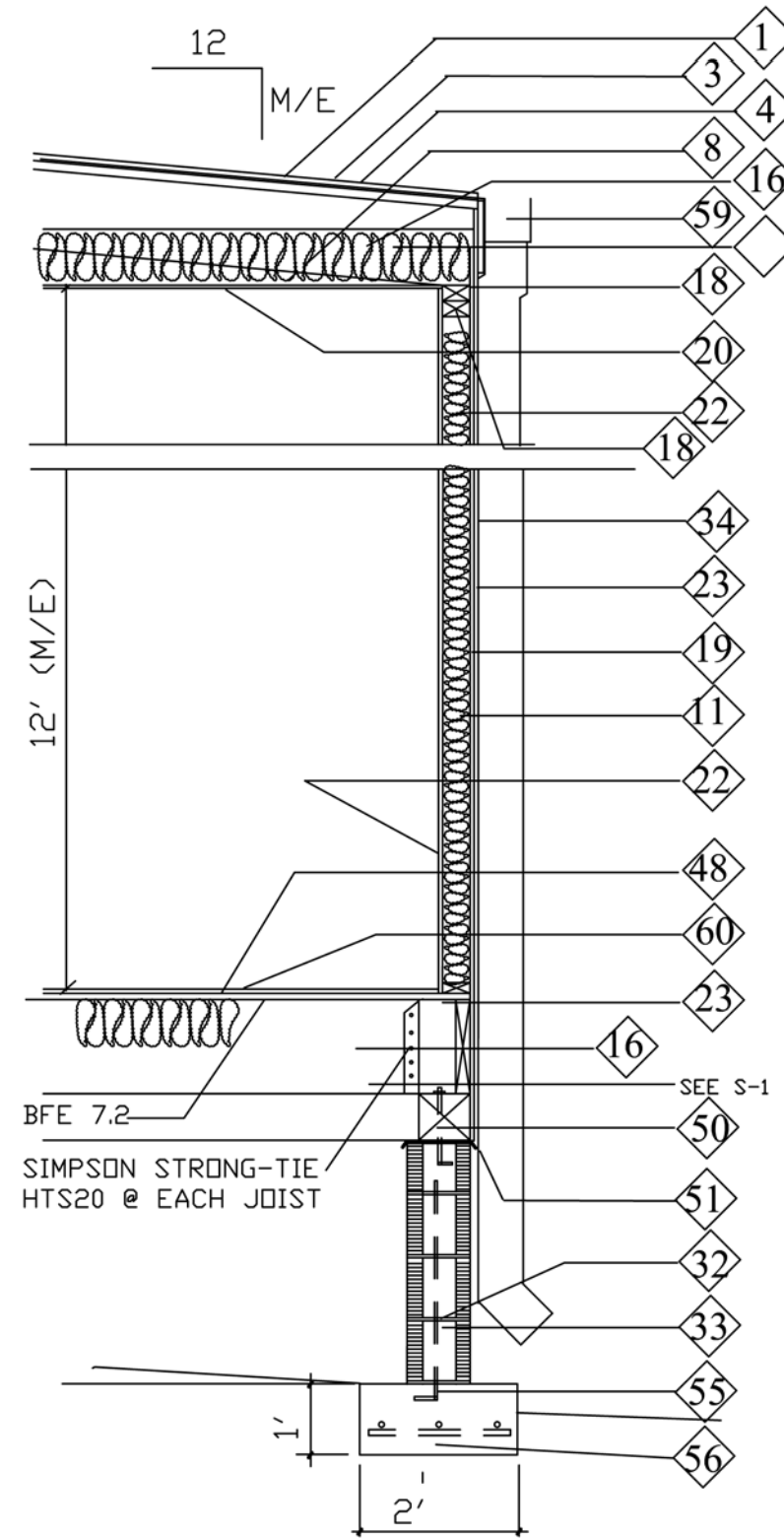


## HANDRAIL DETAIL



## RATED WALL DETAIL

0.00 BFE (BASE FLOOD ELEVATION)



### WALL SECTION

**1** NOTES: ONLY NOTES USED APPLY

- 1 FIBREGLASS 25 YEAR WARRANTY SHINGLES  
2 CONTINUOUS LOW PROFILE RIDGE VENT  
3 15# ROOF FELT  
4 CDX  $\frac{5}{8}$ " THICK EXTERIOR GRADE PLYWOOD  
5 2 X 8 RIDGE BEAM  
6 2 X 6 RAFTERS @ 2'-0" O.C. WITH HURRICANE CLIPS  
@ EACH RAFTER.  
7  
8 SEE SHT A-3 FOR JOIST SIZE, SPACING & DIRECTION  
9 1 X 6 COLLAR TIES @ 4'-0" O. C.  
10 CONTINUOUS WOOD BLOCKING  
11 2 X 4 WD STUDS @ 16' O.C.  
12 2 X 6 WD STUDS @ 16' O.C. @ ALL WET WALLS  
AND WHERE NOTED.  
13 2 X 4 STRAP  
14 2 X 4 CONTINUOUS PURLIN  
15 2 X 4 DIAGONAL BRACING @ 4'-0" O.C.  
16 R-38 BATT INSULATION (STAPLE TO JOIST BELOW FL)  
17  
18 2-2 X 4 TOP PLATES (2 X 6 WHERE NOTED  
19 1/2" THICK EXTERIOR GRADE PLYWOOD  
20  
21  $\frac{1}{2}$ " THICK GYPSUM BOARD  
22  $\frac{3}{8}$ " THICK GYPSUM BOARD  
23 R-13 BATT INSULATION  
24 2X TREATED WD BASE PLATE  
25 26 GAUGE GALVANIZED WALL TIES @ 12' O.C. VERT.  
26  
27 CONTINUOUS MEMBRANE FLASHING  
28 GROUT SOLID  
29 1/2" THICK X 11 1/4" STEEL PLATE  
30  
31 NOT USED  
32 THRU  
33 NOT USED  
34 HORIZONTAL WALL REINFORCING @ 16" O. C.  
35 VERTICALLY  
36 CMU - SEE FLOOR PLAN FOR SIZE - FILL CELL  
SOLID WITH CONCRETE @ ANCHOR BOLTS  
37 HARDIBOARD SIDING WITH BUILDING WRAP  
38 FINISH GRADE  
39 NOT USED  
40 THRU  
41 NOT USED  
42  
43  $\frac{3}{4}$ " THICK PLYWOOD SUBFLOOR GLUED AND  
44 SCREWED  
45 COMPACTED SOIL  
46 6 X 6 CONTINUOUS TREATED WOOD SILL ATTACH TO  
47 CMU WITH 1/2"  $\phi$  X 12' LONG THREADED DOWELS  
48 GALVANIZED TERMITE SHIELD  
49 3 # 5 RODS @ 6' O.C. TOP & 2' O. C. BOTTOM  
50 ATTACH 6 X 6 TO CMU WITH 1/2"  $\phi$  X 12' LONG  
51 THREADED DOWELS @ 2' O.C. EMBEDDED IN CONCRETE  
52 TIE # 5 RODS TO HORIZONTAL RODS IN FOOTING  
53 EXTEND UP AND FILL CELL SOLID WITH CONCRETE  
54 (IN CONTINUOUS WALL SPACE RODS 2' OC)  
55 CONTINUOUS CONCRETE FOOTING  
56 SEE SHT S-1 FOR JOIST SIZE, SPACING & DIRECTION  
57 CONCRETE ROLL-OVER CURB  
58 4" X 6" ALUMINUM GUTTER WITH 4" X 4"  
59 DOWNSPOUT WITH 18" X 12" X 4" CONCRETE SPLASH  
BLOCK  
60 FINISH FLOOR AND BASE  
61 1 X 8 FASCIA VINYL COVERED  
62 VENTED FLAT VINYL SOFFIT  
63 2 X 12 CONTINUOUS  
64 1 1/2" THICK BULLNOSED WOOD STAIR TREAD  
65 2-2X 8" S CONTINUOUS  
66 LINE OF FIRST FLOOR  
67  $\frac{3}{4}$ " THICK PLYWOOD  
68 1 X 12 SKIRT BOARD  
69 2 X 12 STRINGER  
70 1/2" ROUND BOLTS @ 2' O.C. STAGGERED TOP AND  
BOTTOM  
71 JOIST HANGER

## REVISIONS

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7610 AND 7608 BURTHER ST.  
NEW ORLEANS, LA 70118**

JHB ENGINEERING, Inc.

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# HEET TITLE WALL SECTION & DETAILS

**DATE: 5-01-2024**

SHEET NO.

A-6



2X4 TOP PLATE

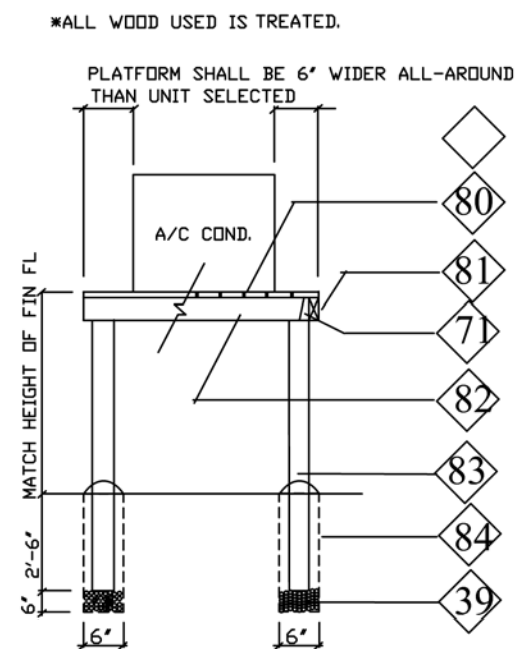
2X4 WALL STUD

HORIZONTAL EXT. SHEATHING  
(STAGGER END JOINTS  
BETWEEN HORIZONTAL PANELS)  
(NAIL 3" O.C. ON EDGES AND 6" O.C.  
ON INTERIOR. KEEP NAILS 3/8" FROM EDGE)

DIAGONAL BRACING MEMBER NOTCHED  
IN WALL STUDS AND SET AT 45 DEG. ANGLES  
(USE 8D COMMON NAILS AT EACH STUD)

3/4" STRUCTURAL PANELS TO BE  
PLACED VERTICALLY AT CORNERS  
(USE 8D COMMON NAILS AT EACH STUD)  
(NAIL 3" O.C. ON EDGES AND 6" O.C.  
ON INTERIOR. KEEP NAILS 3/8" FROM EDGE)

13 **BRACING DETAIL**  
NTS

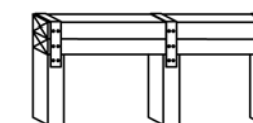


- 39 SAND FILL  
71 JOIST HANGER  
80 1 1/4" X 5' T & G DECKING  
81 2 X 8 CONT.  
82 2 X 6'S @ 2' O. C.,  
83 4 X 4 WOOD POST  
84 CONC. ROUND TOP

5 A/C PLATFORM DET  
1/ 4"=1'-0"

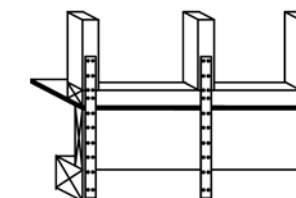
ALWAYS USE JOIST HANGERS  
WHEN JOISTS ARE FACE TO FACE  
WITH PERPENDICULAR MEMBER

8 **JOIST TO BEAM DET**  
NTS



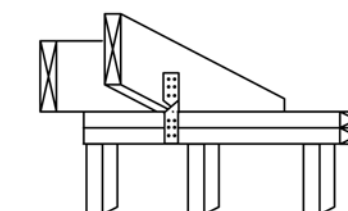
SIMPSON STRONG TIE # SP4  
(SP6 WHERE APPLICABLE)

7 TOP PL TO STUD DET



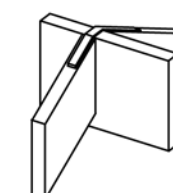
SIMPSON STRONG-TIE # CS24

6 **STUD @ FL DET**  
NTS



SIMPSON STRONG-TIE # HTS20

3 RAFTER TO TOP PL DET  
NTS



SIMPSON STRONG-TIE # LSTA21

9 RAFTER TO RIDGE BM DET  
NTS

<b>REVISIONS</b>	

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NEW ORLEANS, LA 70118**

JHB ENGINEERING, Inc.

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SHEET TITLE  
**WIND &  
RESIST.  
DETAILS**

DATE: 5-01-2024

SHEET NO.

A-8







REVISIONS

- 33 CMU - SEE FLOOR PLAN FOR SIZE - FILL CELL  
34 SOLID WITH CONCRETE @ ANCHOR BOLTS  
35 HARDIBOARD SIDING WITH BUILDING WRAP  
36 FINISH GRADE  
36 NOT USED  
47 THRU  
47 NOT USED  
48 3/4" THICK PLYWOOD SUBFLOOR GLUED AND  
48 SCREWED  
49 COMPACTED SOIL  
50 6 X 6 CONTINUOUS TREATED WOOD SILL ATTACH TO  
50 CMU WITH 1/2" Ø X 12" LONG THREADED DOWELS  
51 GALVANIZED TERMITE SHIELD  
52 3 # 5 RODS @ 6" O.C. TOP & 2' O. C. BOTTOM  
53 ATTACH 6 X 6 TO CMU WITH 1/2" Ø X 12" LONG  
53 THREADED DOWELS @ 2' O.C. EMBEDDED IN CONCRETE  
55 TIE # 5 RODS TO HORIZONTAL RODS IN FOOTING  
55 EXTEND UP AND FILL CELL SOLID WITH CONCRETE  
(IN CONTINUOUS WALL SPACE RODS 2' OC)  
56 CONTINUOUS CONCRETE FOOTING  
57 SEE SHT S-1 FOR JOIST SIZE, SPACING & DIRECTION  
58 CONCRETE ROLL-OVER CURB  
59 4' X 6" ALUMINUM GUTTER WITH 4' X 4'  
59 DOWNSPOUT WITH 18" X 12" X 4" CONCRETE SPLASH  
59 BLOCK  
60 FINISH FLOOR AND BASE  
61 1 X 8 FASCIA VINYL COVERED  
62 VENTED FLAT VINYL SOFFIT  
63 2 X 12 CONTINUOUS  
64 1 1/4" THICK BULLNOSED WOOD STAIR TREAD  
65 2-2X 8' S CONTINUOUS  
66 LINE OF FIRST FLOOR  
67 3/4" THICK PLYWOOD  
68 1' X 12 SKIRT BOARD  
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71 JOIST HANGER

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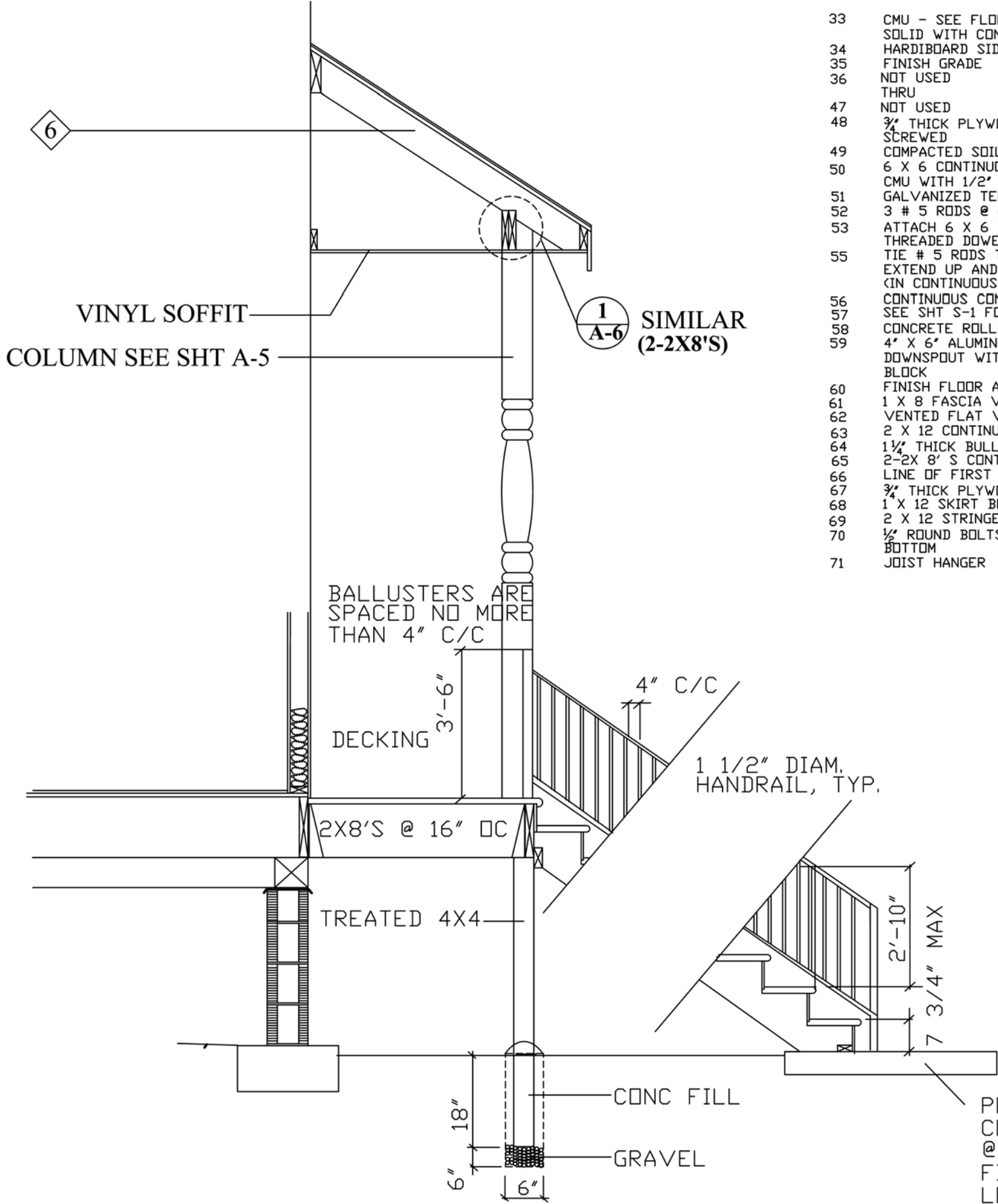
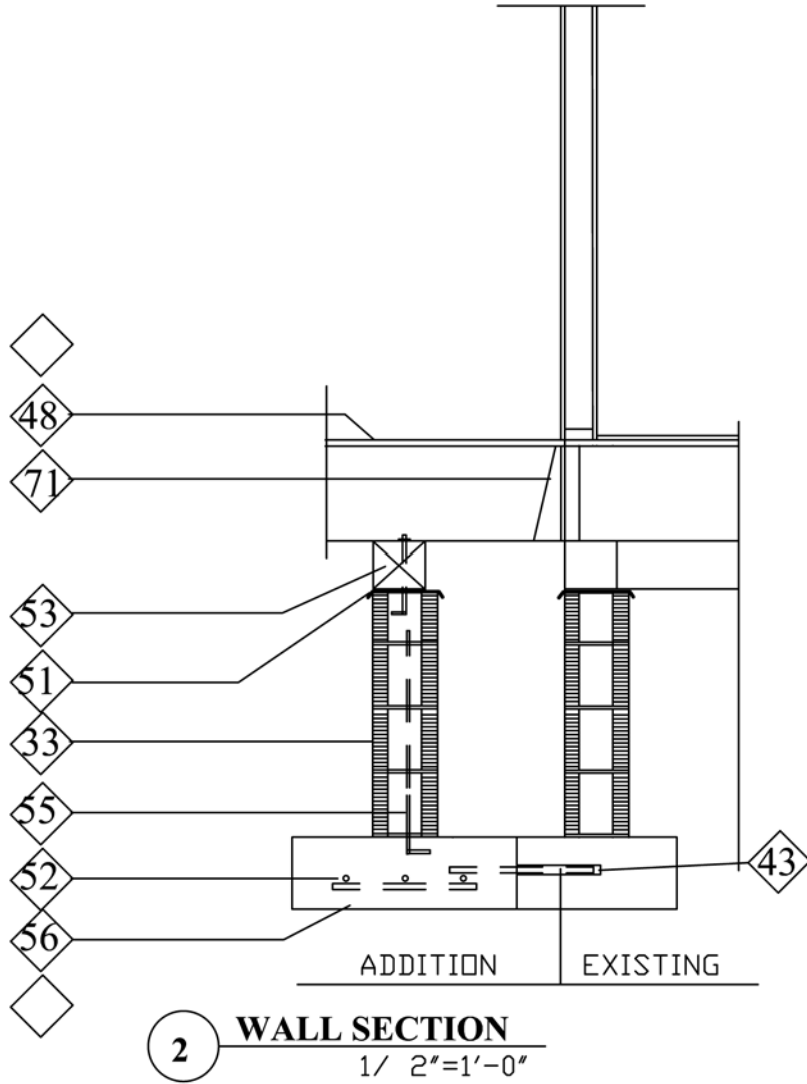
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SHEET TITLE  
STAIR &  
PORCH  
SECTIONS

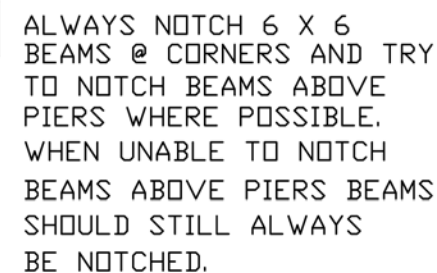
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SHEET NO.

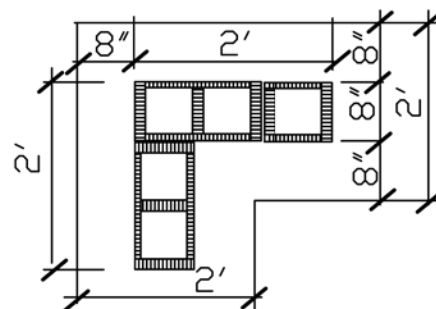
A-10



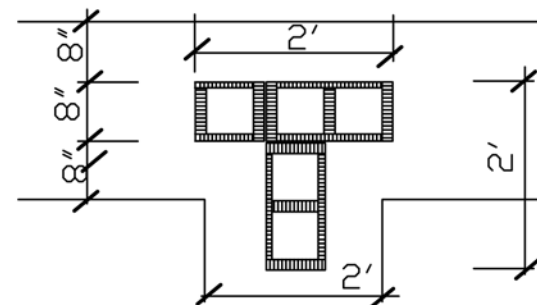




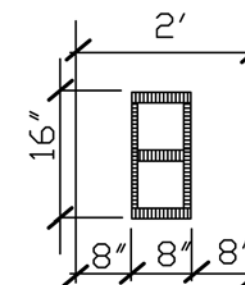
**3 ENLARGED BEAM TO PIER DETAIL**  
NTS



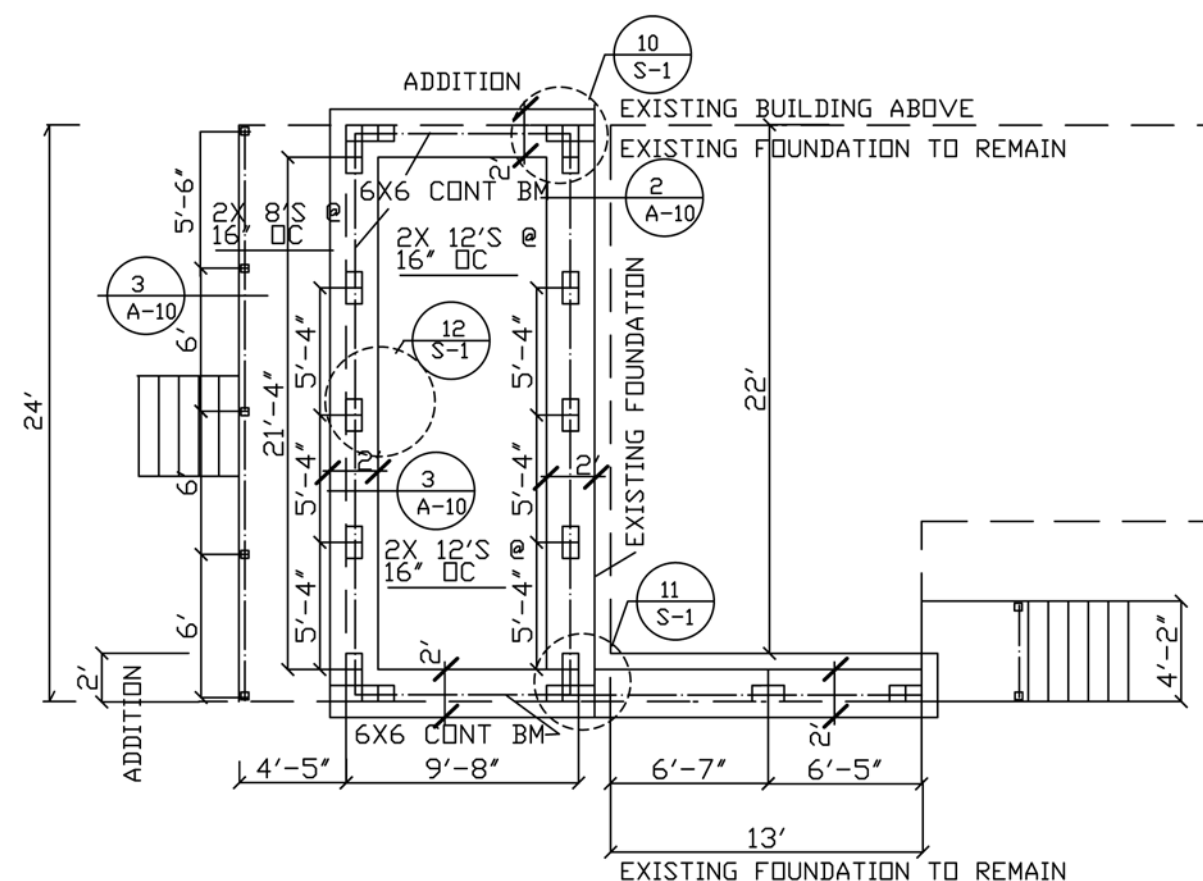
10 FOUND. DETAIL



11 FOUND. DETAIL



12 **FOUND. DETAIL**  
1/ 2"=1'-0"



0 5 10

1 FOUNDATION PLAN

1/ 8"=1'-0"



<b>REVISIONS</b>	

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<b>NAT</b>	
<b>CHECKED BY</b>	

**SHEET TITLE**  
**FOUND**  
**PLAN &**  
**DETAILS**

DATE: 5-01-2024

SHEET NO.

S-1

MEP SYMBOLS

- 110 WATERPROOF ELECTRIC OUTLET
- 110 ELECTRIC OUTLET
- 220 ELECTRIC OUTLET
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- 2X4 CEILING MOUNTED FLOURESCENT FIXTURE
- 1X4 CEILING MOUNTED FLOURESCENT FIXTURE
- \$ LIGHT SWITCH
- \$ 3-WAY LIGHT SWITCH
- DOOR BELL
- CABLE JACK
- △ TELEPHONE JACK
- Ⓢ A/C THERMOSTAT
- RETURN AIR GILLE
- ⊠ 6 X 12 HVAC GRILLE
- ⊠ 12 X 12 HVAC GRILLE
- ↑ WALL MOUNTED HVAC GRILLE

- VENT/LIGHT
- SD SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR

- SECURITY LIGHT
- CEILING FAN AND LIGHT FIXTURE
- WH 20 GALLON LD-BOY WATER HEATER  
PLACE ABOVE 8' CEILING IN PAN  
CONNECT TO A PLUMBING DRAIN LINE

- 22'x36' DISAPPEARING STAIR

- AHU AIR HANDLING UNIT IN ATTIC  
INSTALL DRIP PAN  
CONNECT TO A PLUMBING DRAIN LINE

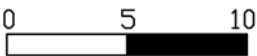
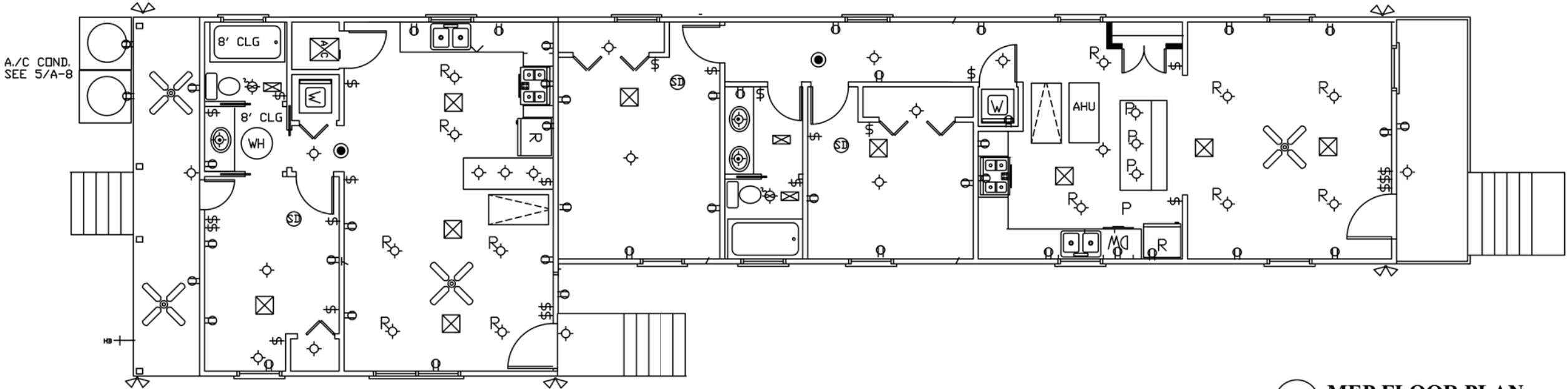
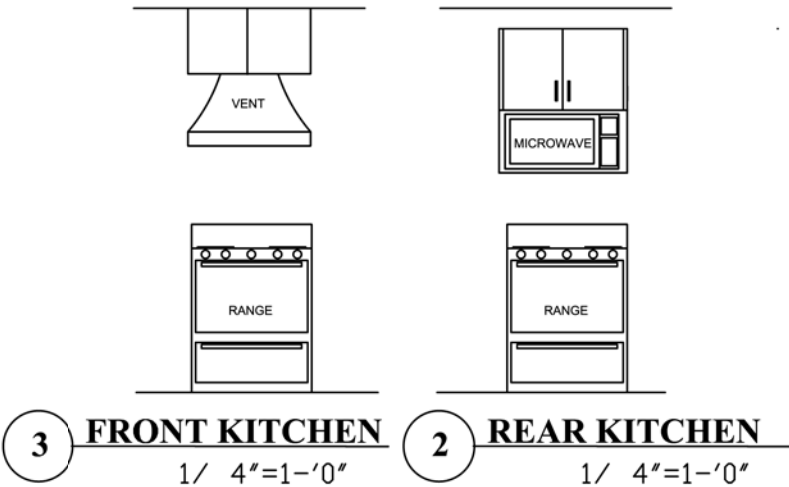
- VAH VERTICAL AIR HANDLING UNIT  
R/A FROM BELOW
- R□ RECESSED LIGHT FIXTURE
- H HOSE BIBB

- A/C COND.  
SEE 5/A-8  
(1 TON/400 SQUARE FEET  
W/8' TALL CEILING)  
(1 TON/300 SQUARE FEET  
W/9' OR TALLER CEILING)

- C//O PLUMBING CLEAN OUT
- D DRYER
- W WASHER
- R REFRIGERATOR

MEP NOTES:

- 1 ALL LIGHTS IN ALL CLOSETS, AND PANTRY ARE RECESSED
- 2 USE PENDANT LIGHTS ABOVE THE ISLAND
- 3 LIGHTS IN MASTER BEDROOM AND DINING ROOM ARE DIMMER CONTROLLED
- 4 ALL OUTLETS IN KITCHEN AND BATHS ARE ON GFI CIRCUITS
- 5 SEE FLOOR PLAN FOR ADDITIONAL RECESSED LIGHTS LOCATIONS
- 6 BATHROOMS AND LAUNDRY ROOMS, WHERE APPLICABLE, VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR AS PER SECTION 1507 OF THE 2021 IRC
- 7 THIS IS A GAS AND ELCTRIC HOME



1 MEP FLOOR PLAN  
1/ 8"=1'-0"



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DRAWN BY  
NAT  
CHECKED BY

SHEET TITLE  
MEP  
FLOOR  
PLAN

DATE: 5-01-2024

SHEET NO.  
MEP-1

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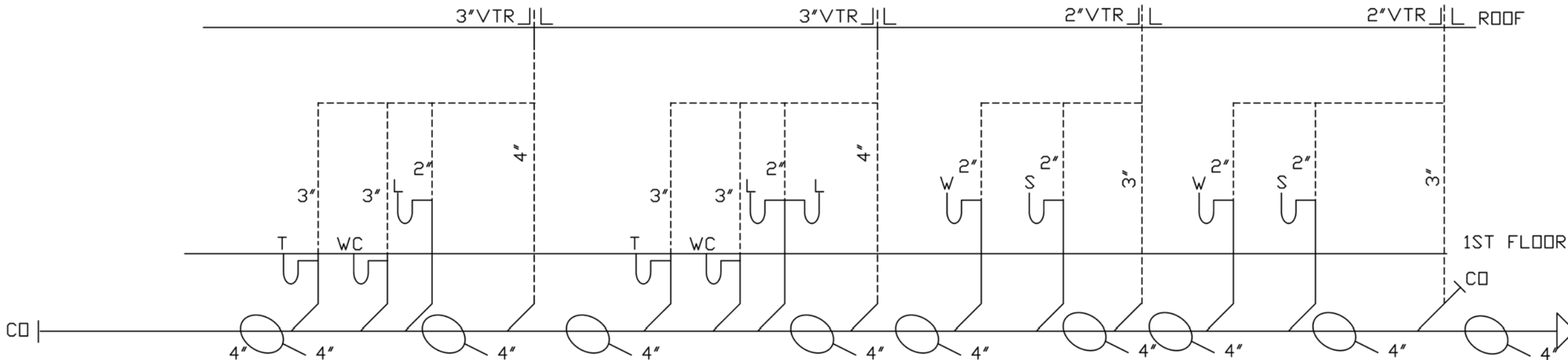
JHB ENGINEERING, Inc.

DRAWN BY  
NAT  
CHECKED BY

SHEET TITLE  
PLUMBING  
FLOOR  
PLAN

DATE: 5-01-2024

SHEET NO.  
P-1



PLUMBING RISER DRAWING

NTS

PLUMBING RISER LEGEND

WC	WC	WATER CLOSET
L	L	LAVATORY
S	S	SINK
T	T	TUB
SH	SH	SHOWER
MS	MS	MOP SINK
WH	WH	WATER HEATER
2"VTR	2"VTR	2" VENT THRU ROOF
3"VTR	3"VTR	3" VENT THRU ROOF
AC	AC	AIR COND.
SEWER		CONDENSATE DRAIN
CD	CD	CLEAN OUT
W	W	WASHER
SEW	SEW	SEWER

B. PIPING MATERIALS

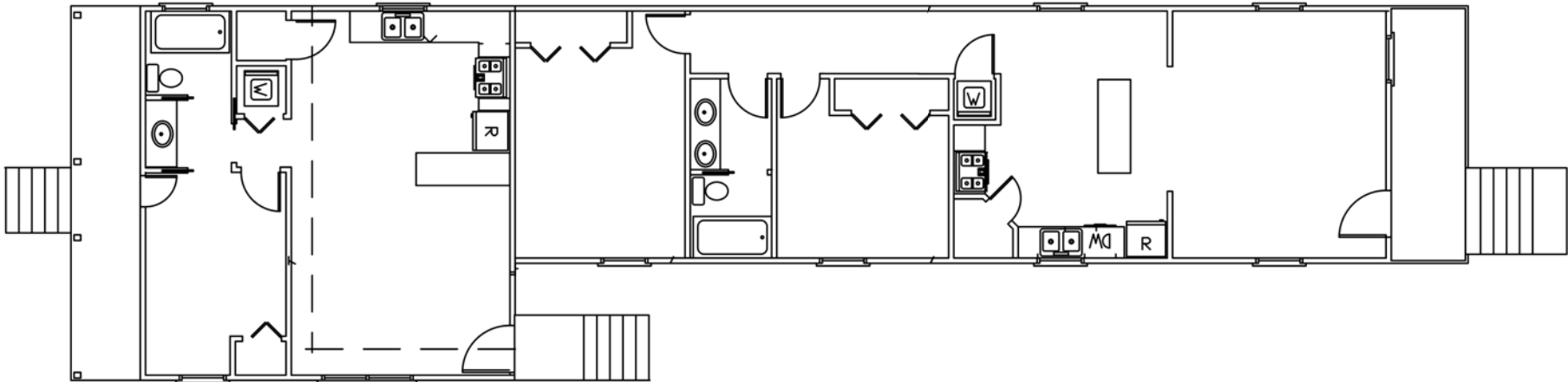
- DOMESTIC HOT AND COLD WATER PIPING AND FITTINGS UNDER THE SLAB SHALL BE ASTM B88 COPPER WATER TUBE, TYPE L, SOFT ANNEALED, NO JOINTS SHALL BE ALLOWED UNDER THE SLAB.
- DOMESTIC WATER PIPING AND FITTINGS ABOVE THE SLAB SHALL BE ASTM B88 COPPER WATERTUBE, TYPE L, HARD DRAW WITH WROUGHT COPPER PRESSURE TYPE FITTINGS, ANSI B16.22 . THE JOINTS SHALL BE SOLDERED TYPE USING ASTM B32, ALLOY . GRADE 95A (95-5) SOLDER.
- SOIL , WASTE, VENT PIPING AND FITTINGS UNDER THE SLAB SHALL BE SERVICE WEIGHT CAST IRON PIPE WITH BELL AND SPIGOT ENDS AND ONE PIECE NEOPRENE INSERT TYPE GASKET. USE PVC SCHEDULE 40 OR ABS DWV PIPES AND FITTINGS WHERE PERMITTED BY THE CODE.
- SOIL, WASTE, AND VENT PIPING AND FITTINGS ABOVE THE SLAB SHALL BE SERVICE WEIGHT CAST IRON PIPE WITH NO HUB TYPE FITTINGS AND STAINLESS STEEL CLAMPS. USE PVC SCHEDULE 40 OR ABS PIPING AND FITTINGS WHERE PERMITTED BY THE CODE.
- ABOVE GROUND GAS PIPING SHALL BE BLACK STEEL SCHEDULE 40 WITH BLACK MALLEABLE IRON FITTINGS. THE GAS LINES SHALL BE RUN EXPOSED OR WELL VENTILATED SPACE INSIDE THE BUILDING.

C. INSULATION

- ALL WATER PIPING AND FITTINGS ABOVE THE FLOOR SHALL BE INSULATED WITH 1/2" THICK FIBERGLASS INSULATION AND JACKET.

PLUMBING SPECIFICATIONS:

- PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT FOR A COMPLETE OPERATION SYSTEM. THE SYSTEM SHALL INCLUDES SEWERAGE, HOT AND COLD WATER PIPING, GAS PIPING, INSULATION, WATER HEATER, HANGERS, VALVES, SUPPORTS AND PLUMBING FIXTURES WITHOUT ANY RESTRICTING VOLUME. CUT AND PATCH AS REQUIRED TO INSTALL PIPING.
- ALL WORK AND MATERIAL SHALL CONFORM SSTRICKLY TO THE LATEST, LOCAL CITY , PARISH, STATE AND NATIONAL GOVERNING CODES.
- CONTRACTOR IS TO FIELD VERIFY ALL EXISTING UTILITIES LOCATIONS, ELEVATIONS AND SIZES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL PAY ALL NECESSARY FEES FOR THE UTILITIES CONNECTIONS.
- CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING INVERTS AND SET NEW INVERTS OF SEWERAGE AND DRAINAGE PIPES.
- SEWERAGE LINES 3-INCHES AND SMALLER SHALL BE SLOPED 1/4" PER FOOT AND LINES 4-INCHES AND LARGER SHALL BE SLOPED 1/8" PER FOOT.
- TEST ALL PIPING AT REQUIRED PRESSURE.















## **JHB ENGINEERING, INC**

This is a single story addition to an existing home. It is being added to the rear of the home. The only thing that is visible to the street is a small porch and an entry. The roof that covers this entrance is at the same height as the existing roof. The Column that supports the addition roof matches the existing columns that support the Front porch roof. The finish material (horizontal wood siding) matches The existing siding. The massing of the home, height, width and elevated is Compatible with the homes on both sides of the block.

2902 Saint Roch Ave.    New Orleans, LA 70122





Building/Construction  
Related Permit



Date \_\_\_\_\_ Received by \_\_\_\_\_  
Tracking Number \_\_\_\_\_

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 1608-TG10 Burthe St.

### APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Nat Jones

Applicant Address 2902 St Roch Ave

City New Orleans State LA Zip 70122

Applicant Contact Number 504-259-0302 Email nathanison7@american  
drafting  
service.com

### PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Deanna Prado

Property Owner Address 2926 Albin Dr

City San Antonio State Texas Zip \_\_\_\_\_

Property Owner Contact Number 210-954-7107 Email deanna.prado@yahoo.com

### PROJECT DESCRIPTION

This is the addition to an existing residence turning a single in to a double.

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☒ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

#### Non-Design Overlay District Review

- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

### ADDITIONAL INFORMATION

Current Use Residence

Proposed Use Duplex

Square Number 98

Lot Number 19

Permeable Open Space (sf) 5672

New Development? Yes ☐ No ☐

Addition? Yes ☒ No ☐

Tenant Width \_\_\_\_\_

Existing Structure(s)? Yes ☐ No ☐

Renovations? Yes ☐ No ☐

Building Width 24

Change in Use? Yes ☐ No ☐

Existing Signs? Yes ☐ No ☐

Lot Width (sf) 30

New Sign(s)? Yes ☐ No ☐

Lot Area (sf) 7200

Building Area (sf) 1528

<b>Base Zoning District:</b>	HU-RD2		
<b>Bulk Regulations</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
Minimum Lot Area	1,800 sf/du	3,600	
Minimum Lot Width	30'	30'	
Minimum Lot Depth	90'	120'	
*Maximum Building Height	35'	22'	
Minimum Permeable Open Space	30% of lot area	45%	
Minimum Open Space			
Maximum Impervious Surface in Front Yard	40%	13%	
Maximum Impervious Surface in Corner Side Yard	40%	Not Applicable	
<b>Minimum Yard Requirements</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
Front Yard	See Section 11.3.A.2	10'-6"	
Interior Side Yard	3'	3'	
Corner Side Yard	See Section 11.3.A.2	Not Applicable	
Rear Yard	20% of lot depth or 15'	20'	
<b>***Parking</b>	<b>Requirement</b>	<b>Provided</b>	<b>Waiver Necessary?</b>
	Not required	None	

\* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement of an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

\*\*Waivers of height requirements may be considered by the Board of Zoning Adjustments.

\*\*\*Confirm the off-street parking requirements of both [Article 22](#) and [Article 18, Section 18.30](#) University Area Off-Street Parking Overlay District are met.