Ŋ

DRAFTING SYMBOLS

	SECTION OR DETAIL NUMBER	
	DIRECTION OF CUTTING PLANE	
	SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN	
	DIRECTION OF CUTTING PLANE	
	LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER	2/6.2
A401	SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN	
		(1585A)-
	ELEVATION NUMBER	
	SURFACE SHOWN IN ELEVATION	<u>AN-01</u>
A801-	SHEET NUMBER ON WHICH ELEVATION IS DRAWN	/
	DETAIL NUMBER	
	AREA OF DETAIL	
	SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN	,
		12
	SECTION OR DETAIL NUMBER	
<u> </u>		
		(09 22 16)
	INDICATES SCALE SHEET NUMBER ON WHICH THIS SECTION OR	
	DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)	
Room Name -	- ROOM NAME	36.5' ——
101	- ROOM NUMBER	
		36.5'
		16

RENDERING



	BUILDING INFORMATION	
	PROJECT ADDRESS 923 NAPOLEON AVENUE NEW ORLEANS, LA 70115	SITE AREA TOTAL SITE AREA 20,100 SF BUILDING HEIGHT 36' - 3"
1 NEW COLUMN OR WALL 1 EXISTING COLUMN OR WALL REFERENCE GRID 1 WALL REFERENCE GRID	PROJECT DESCRIPTION INTERIOR RENOVATION OF A TWO-STORY SCHOOL BUILDING, NEW TWO-STORY REAR ADDITION WITH ADA-COMPLIANT LIFT AND NEW EXTERIOR ADA- COMPLIANT ENTRY RAMP.	PROPOSED USES EDUCATIONAL FACILITY FLOOD ZONES ZONE X +6.8
INDICATES SECTION OR DETAIL NO. 2 APPEARING ON THE SHEET NO. 6.2 WINDOW TYPE / LOUVER TYPE	LEGAL DESCRIPTION SQ 230 PT LOT 6 LOTS 7 THRU 10 GEN PERSHING AND CAMP 150X134 PORTEOUS HALL AND LOWER SCHOOL BLDG EXEMPT FILE #48935	FIRM PANEL: 22071C0236F <u>OCCUPANCY CLASSIFICATION</u> EDUCATIONAL PER IBC 305.1; NFPA 6.1.3
DOOR OR OPENING NUMBER FINISH	BOUNDING STREETS CAMP STREET, NAPOLEON AVENUE, GENERAL PERSHING STREET (SIDE), MAGAZINE STREET (SIDE)	CONSTRUCTION TYPE (IBC) TYPE V-A (NFPA 220) TYPE V (111)
PARTITION TYPE SMOKE PARTITION / FIRE RATING (HOURS). "S" INDICATES SMOKE PARTITION. PARTITION MODIFIER	BUILDING AREA EXISTING RENOVATED NEW FIRST FLOOR 3,905 SF 3,905 SF 554 SF SECOND FLOOR 3,905 SF 3,905 SF 554 SF TOTAL 7,810 SF 1,108 SF MAJOR APPLICABLE CODES AND REGULATIONS (NOT LIMITED TO THE FOLLOWING)	FIRE PROTECTION STRUCTURAL FRAME BEARING WALLS EXTERIOR INTERIOR NONBEARING WALLS AND PARTITIONS EXTERIOR INTERIOR
8 REFERENCE NUMBER FOR EQUIPMENT, CONSTRUCTION, ETC. OR ANY INFORMATION TO BE CONVEYED WHICH IS REPETITIVE OR AVAILABLE SPACE PROHIBITS A WRITTEN DESCRIPTION OF ANY ITEM	NFPA 101 LIFE SAFETY CODE2021INTERNATIONAL BUILDING CODE2021INTERNATIONAL EXISTING BUILDING CODE2021INTERNATIONAL MECHANICAL CODE2021INTERNATIONAL PLUMBING CODE2021	FLOOR CONSTRUCTION ROOF CONSTRUCTION FIRE WALLS HAZARD OF CONTENTS
ITEMS NOT IN CONTRACT / FURNISHED BY OWNER / INSTALLED BY OWNER / INSTALLED UNDER THIS CONTRACT, ETC. (SEE CLARIFICATION OF THIS SYMBOL FOR ITS USE IN REGARD TO THIS PROJECT)	NATIONAL ELECTRICAL CODE2020COMMERCIAL BUILDING ENERGY2021CONSERVATION CODE (ASHRAE 90.1)2021AMERICANS WITH DISABILITIES ACT2010	FIRE SUPRESSION SYSTEM YES FIRE ALARM SYSTEM EXISTING T
6) SPECIFICATION REFERENCE (FOUND IN PROJECT MANUAL) SPECIFICATION REFERENCES ARE INDICATED FOR THE CONTRACTOR'S CONVENIENCE, LACK OF REFERENCE OR MISREFERENCE DOES NOT RELIEVE THE CONTRACTOR OF THE	ZONING CLASSIFICATION HU-RD2, HISTORIC URBAN ZONING DISTRICT HU-RD2, HISTORIC URBAN TWO-FAMILY RESIDENTIAL DISTRIC FUTURE LAND USE RLD-PRE, RESIDENTIAL LOW DENSITY PRE-WAR DISTRIC	
RESPONSIBILITY TO PROVIDE THAT MATERIAL NEW OR REQUIRED POINT ELEVATION	– OVERLAY DISTRICT CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT	
	MAGAZINE STREET USE RESTRICTION OVERLAY DISTRICT	
INDICATES FOOD SERVICE EQUIPMENT	BED AND BREAKFAST INTERIM ZONING DISTRICT COMMERCIAL SHORT TERM	
	RENTAL INTERIM ZONING DISTRICT NON-COMMERCIAL SHORT TERM RENTAL INTERIM ZONING DISTRICT	



HISTORIC DISTRICT

HISTORIC LANDMARK HDLC LANDMARKS



UPTOWN NEW ORLEANS HISTORIC DISTRICT

INDEX OF DRAWINGS

G001	INFORMATION SHEET
A001	SITE PLAN - DEMOLITION
A101	FIRST AND SECOND FLOOR PLANS - DEMOLITION
A201	FIRST AND SECOND FLOOR PLANS
A401	EXTERIOR ELEVATIONS

1 HR (X ≤ 10') 0 HR

1 HR

1 HR 1 HR

1 HR 1 HR

3 HR

ORDINARY

TEM YES EXISTING TO BE MODIFIED

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

PROJECT DIRECTORY

<u>OWNER</u> ST. GEORGE'S EPISCOPAL SCHOOL 923 NAPOLEON AVENUE NEW ORLEANS, LA 70115 TEL: 504.891.5509

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JENNY SNAPE, PE jenny@maraisconsultants.com

ST. GEORGE'S EPISCOPAL **SCHOOL - WOODEN** BUILDING

923 Napoleon Avenue New Orleans, LA 70115

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ISSUE DATE | 10 JANUARY 2025 DESIGN DEVELOPMENT REVISIONS

INFORMATION SHEET

G001



3 RTH EXTERIOR ELEVATION - PORTEOUS A201 A401 1/8" = 1'-0"

1WEST EXTERIOR ELEVATION - PORTEOUSA201A4011/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117 **GRAPHIC RENOVATION LEGEND**

EXISTING WALLS TO REMAIN NEW WALLS Γ — EXISTING ELEMENTS TO BE DEMOLISHED

L __ _

PORTION OF AREA TO BE DEMOLISHED

DESIGNATIONS

E28 NEW CONCRETE RAMP AND METAL GUARDRAIL AND HANDRAIL. SEE SHEET A003.

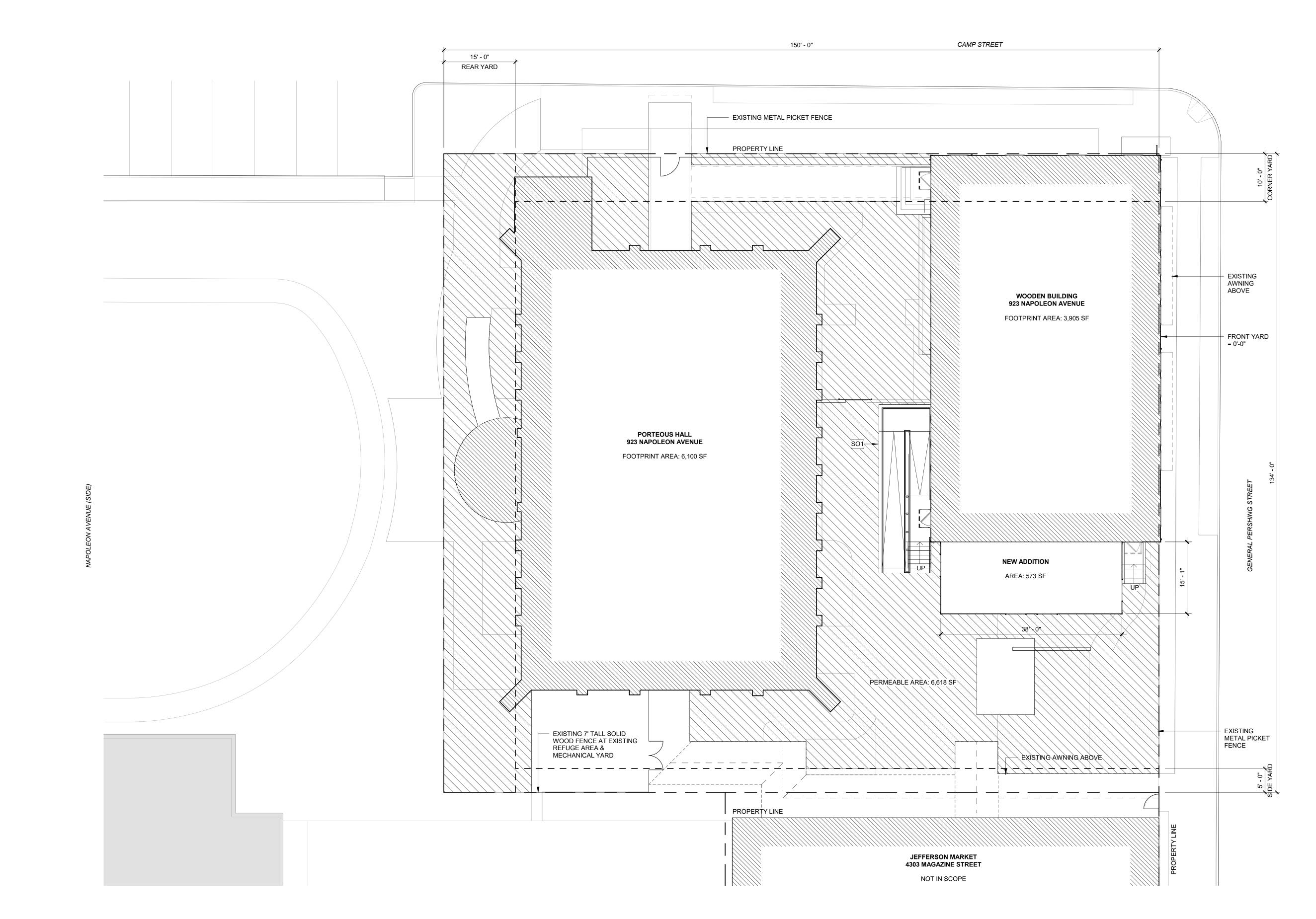
ST. GEORGE'S EPISCOPAL SCHOOL - PORTEOUS HALL

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EXTERIOR ELEVATIONS



MAGAZINE STREET (SIDE)

1 SITE PLAN A004 1" = 10'-0"



STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC RENOVATION LEGEND

EXISTING WALLS TO REMAIN

NEW WALLS

EXISTING ELEMENTS TO BE DEMOLISHED

PORTION OF AREA TO BE DEMOLISHED

NOT IN SCOPE, CAMPUS BUILDING

GENERAL NOTES PERTAINING TO NEW WORK

- PROVIDE POSITIVE DRAINAGE AWAY FROM WALL FOUNDATIONS (FINAL GRADE SLOPES AWAY AT 5% MIN).
- 2. NEW SIDEWALKS SHALL BE MIN. 4" THICK 3,000 PSI, REINFORCED WITH 6X6-W2.9X2.9 WWF. PROVIDE CONTROL JOINTS AT 5'-0" O.C. MAX. PROVIDE EXPANSION JONTS AT ALL INTERSECTIONS WITH EXISTING SIDEWALKS AND AT MAX. 70'-0" O.C.

CLARIFICATION OF REFERENCE

SO1 PROVIDE NEW RAMP, STEPS, AND LANDING. SEE SHEET A003.

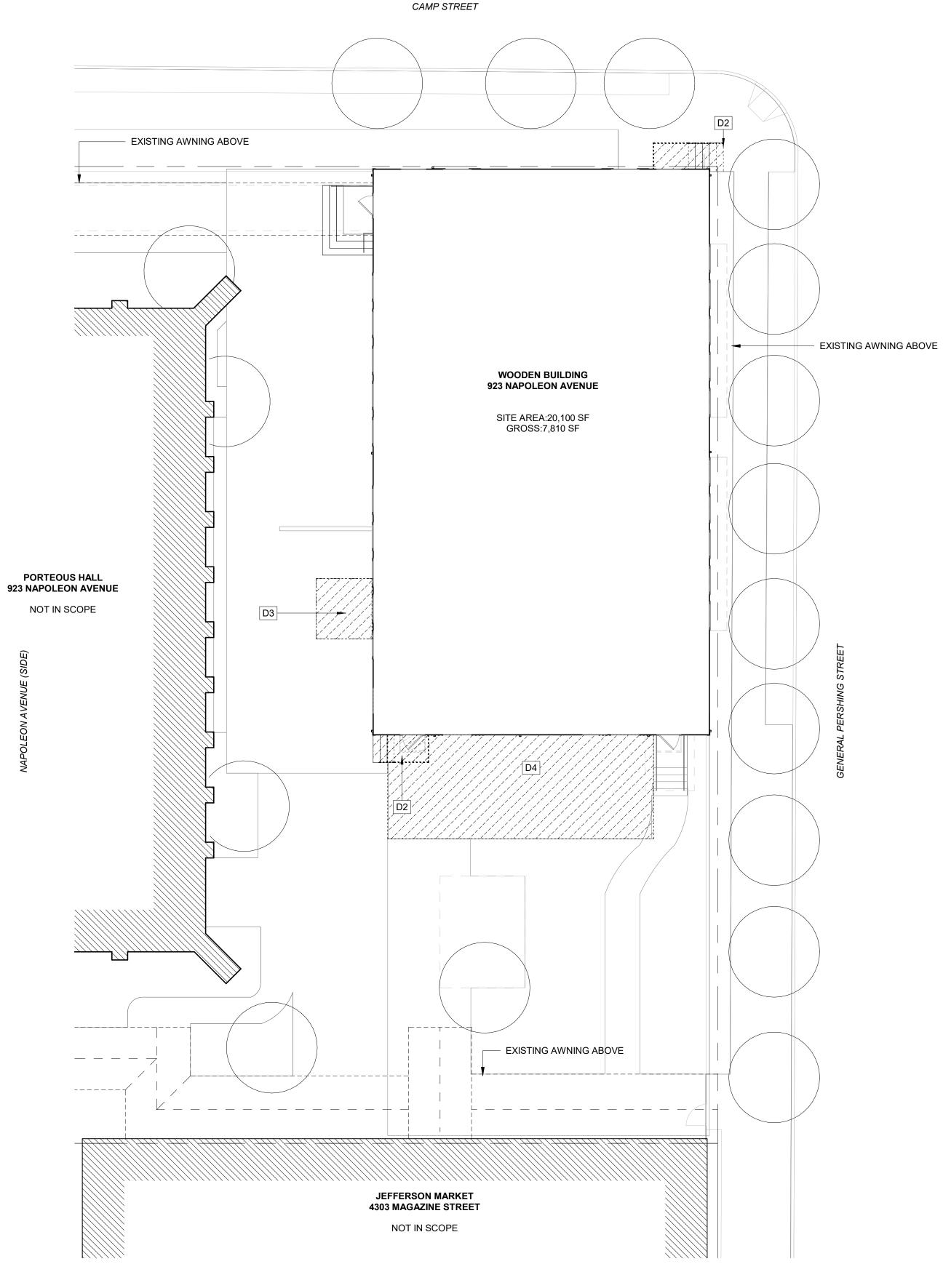
ST. GEORGE'S EPISCOPAL SCHOOL - WOODEN BUILDING

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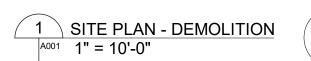


ISSUE DATE | 17 FEBRUARY 2025 DESIGN DEVELOPMENT REVISIONS

SITE PLAN



MAGAZINE STREET (SIDE)





STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC RENOVATION LEGEND

EXISTING WALLS TO REMAINNEW WALLSEXISTING ELEMENTS TO BE DEMOLISHEDPORTION OF AREA TO BE DEMOLISHEDNOT IN SCOPE, CAMPUS BUILDING

GENERAL NOTES PERTAINING TO DEMOLITION

- 1. GENERAL CONTRACTOR IS TO PAY FOR DUMPSTER PERMITS AS NECESSARY. ALL DEMOLITION DEBRIS SHALL BE TAKEN TO A LICENSED LANDFILL WITH PROOF PROVIDED TO THE OWNER. TRASH RECEPTACLES SHALL NOT BLOCK ENTRANCES OR PUBLIC RIGHT-OF-WAY.
- 2. GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR PARKING AND STAGING ARRANGEMENTS. IF PUBLIC RIGHT-OF-WAY IS TO BE CLOSED FOR ANY REASON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY STREET CLOSURE PERMITS.

CLARIFICATION OF REFERENCE DESIGNATIONS

- REMOVE SECTION OF EXISTING MASONRY STEPS D2 AND PREPARE FOR NEW WALKWAY AS PART OF NEW WORK.
- REMOVE PORTION OF EXISTING WALKWAY. D3 PREPARE FOR NEW RAMP INSTALLATION IN NEW WORK.
- REMOVE PORTION OF EXISTING BRICK PAVERS AND D4 PREPARE FOR BUILDING ADDITION AS PART OF NEW WORK.

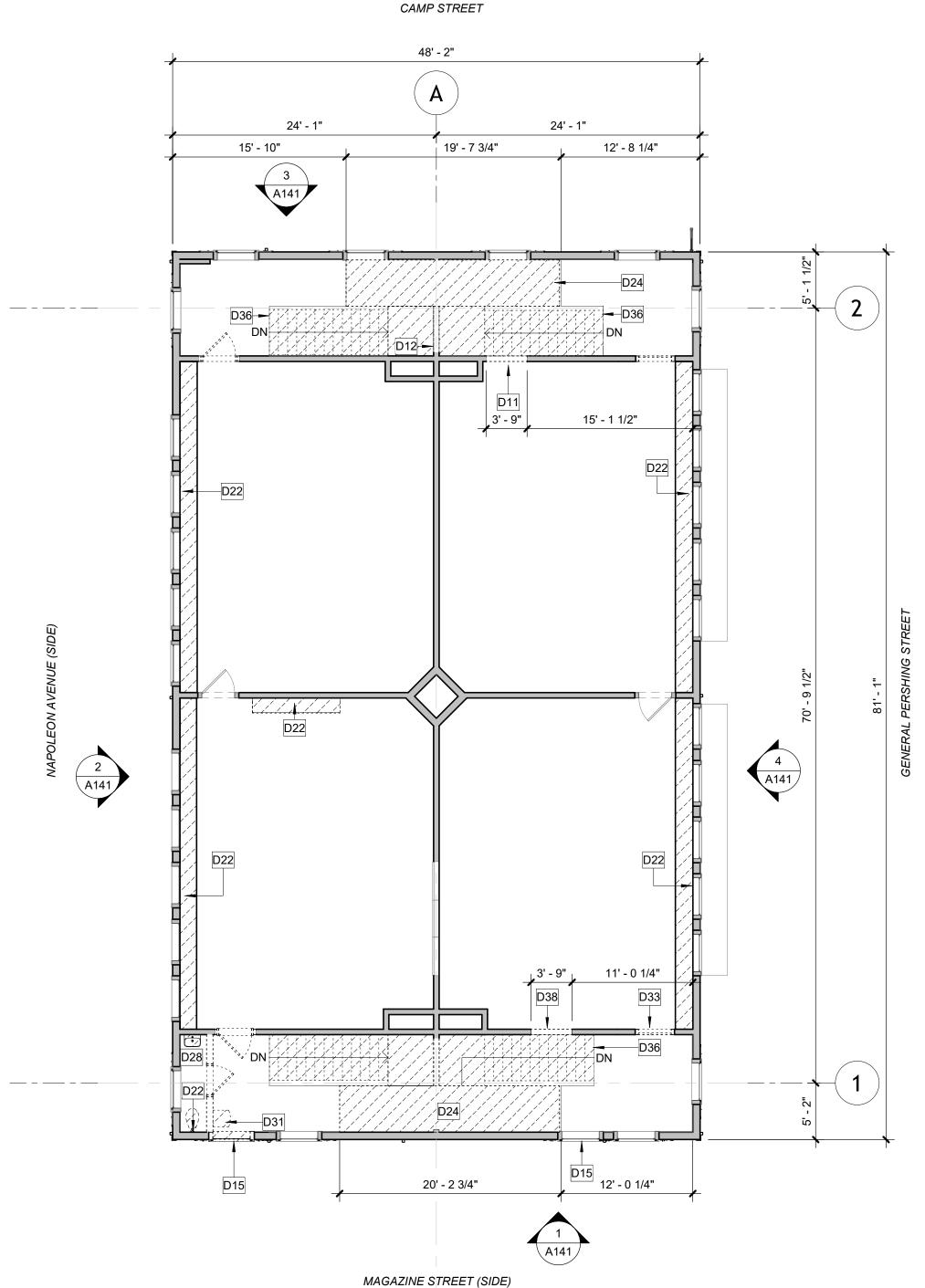
ST. GEORGE'S EPISCOPAL SCHOOL - WOODEN BUILDING

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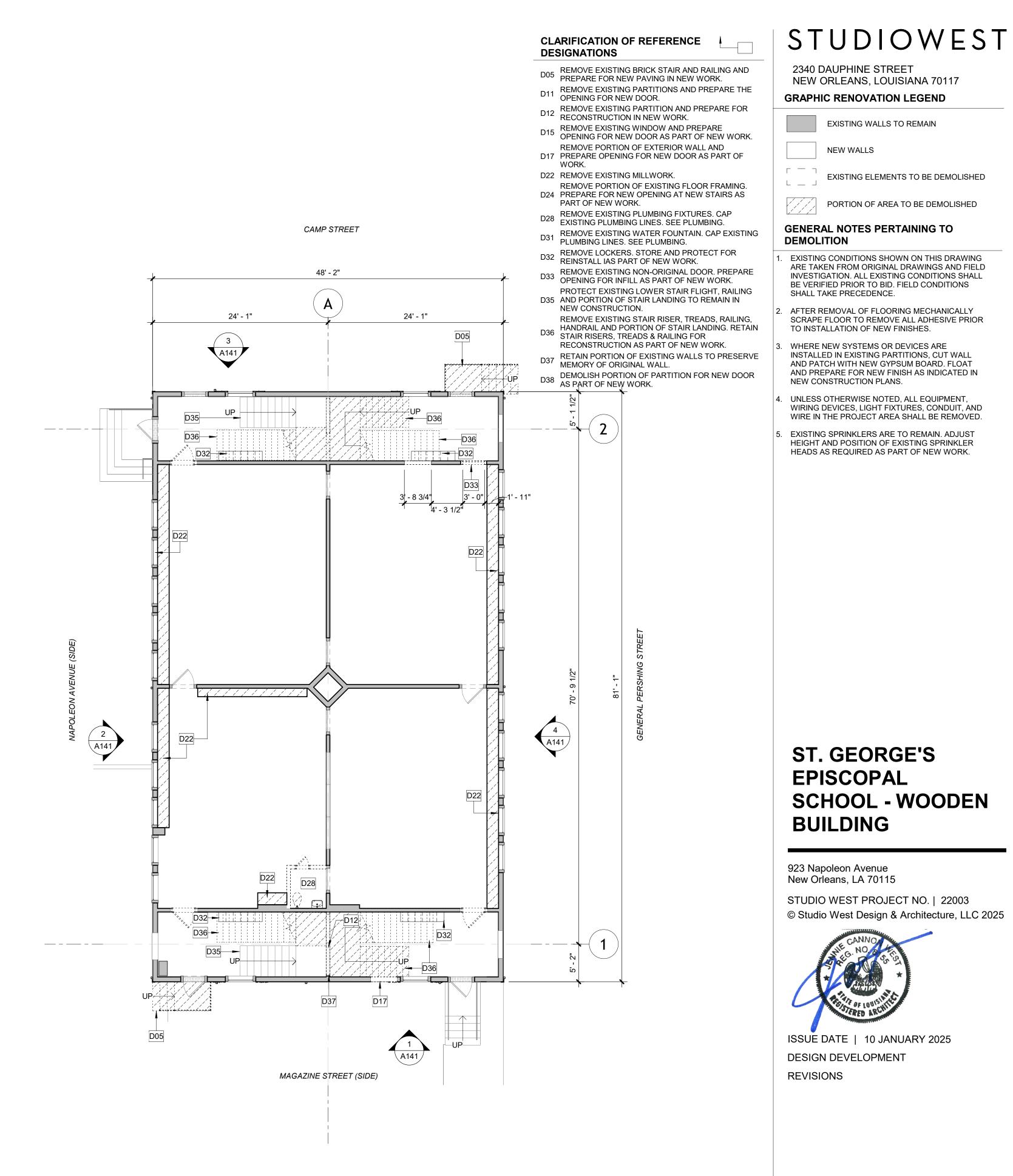


ISSUE DATE | 10 JANUARY 2025 DESIGN DEVELOPMENT REVISIONS

SITE PLAN - DEMOLITION



2 A141

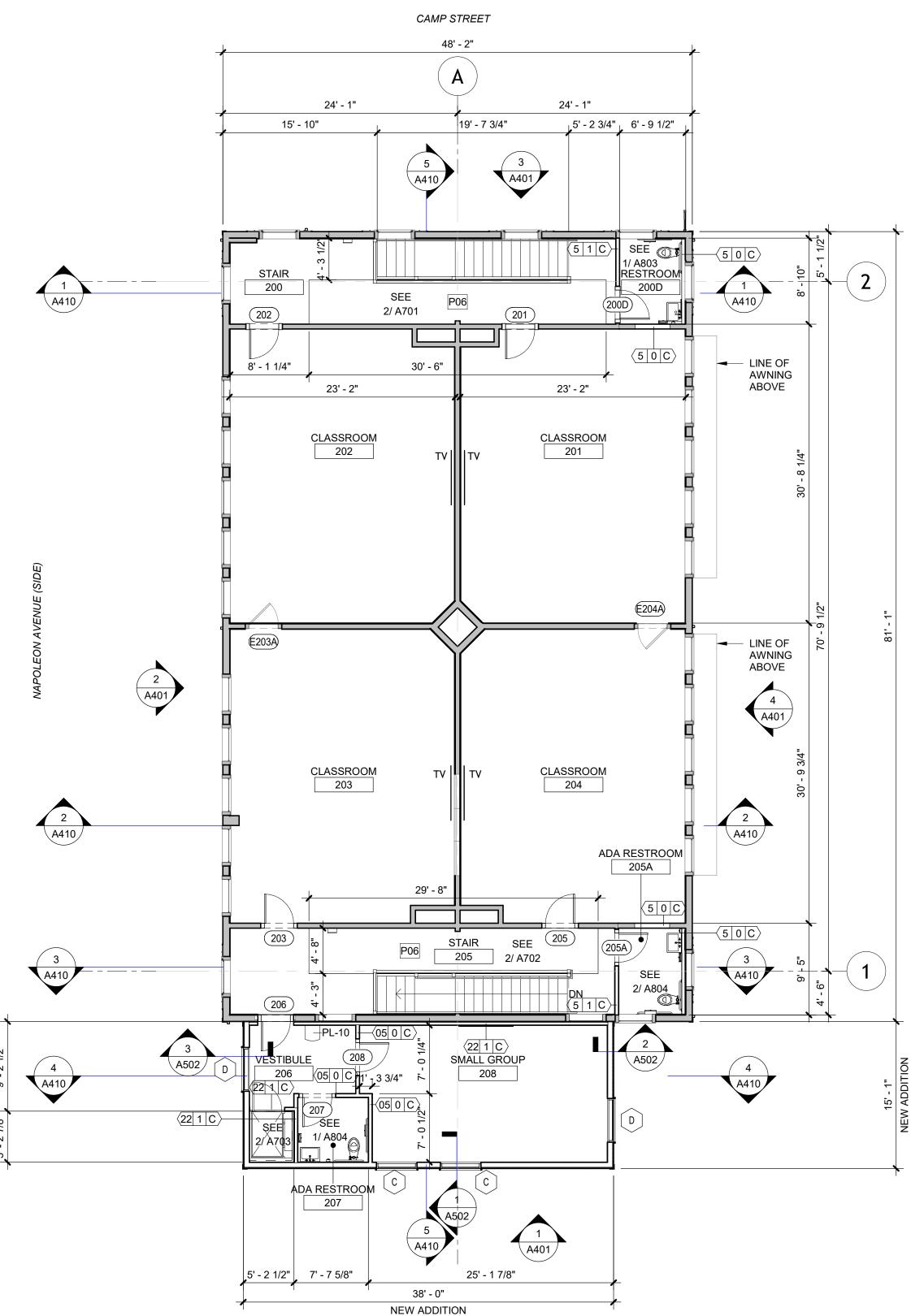


2 SECOND FLOOR PLAN - DEMOLITION A101 1/8" = 1'-0"

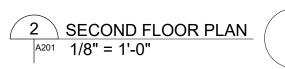


1FIRST FLOOR PLAN - DEMOLITIONA1011/8" = 1'-0"

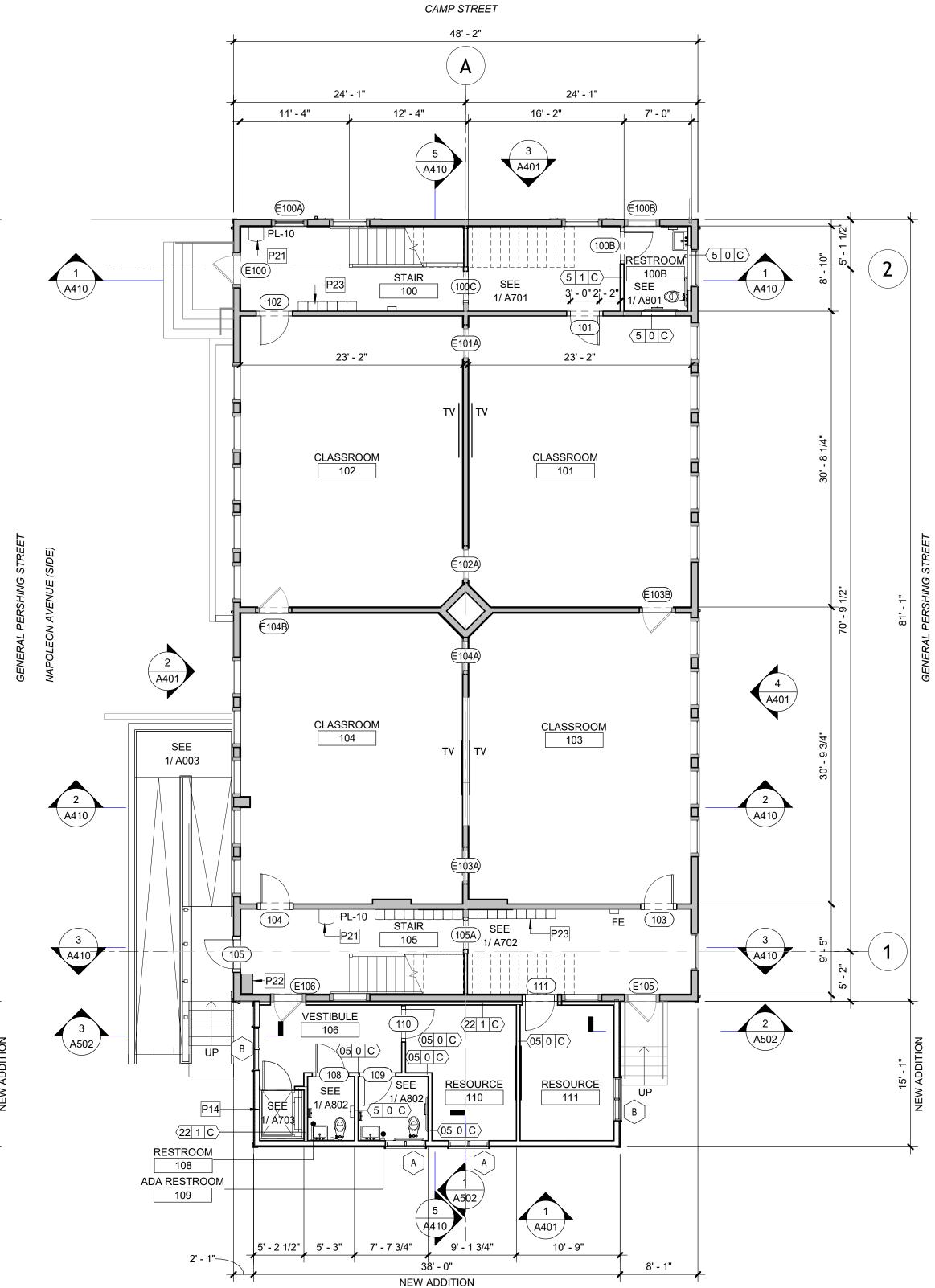
FIRST AND SECOND FLOOR PLANS - DEMOLITION



MAGAZINE STREET (SIDE)







MAGAZINE STREET (SIDE)

1 FIRST FLOOR PLAN A201 1/8" = 1'-0"



STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC RENOVATION LEGEND

- EXISTING WALLS TO REMAIN NEW WALLS г — EXISTING ELEMENTS TO BE DEMOLISHED L __ _ PORTION OF AREA TO BE DEMOLISHED GENERAL NOTES 1. UNLESS OTHERWISE INDICATED, ALL INTERIOR PARTITION DIMENSIONS ARE FACE TO FACE TO FINISH SURFACES. 2. UNLESS OTHERWISE INDICATED ON FLOOR PLANS(S) OR REFLECTED CEILING PLAN(S), ALL CEILING HEIGHTS ARE 8'-0" 3. FOR ROOM FINISH SCHEDULE, FRAME AND DOOR SCHEDULE, CLARIFICATION OF REFERENCE DESIGNATION FOR INTERIOR PARTITIONS, REFER TO SHEET A603. 4. ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE. CLARIFICATION OF REFERENCE DESIGNATIONS
- P06 INFILL EXISTING FLOOR OPENING WITH NEW WOOD JOIST AND WOOD PLANK FLOORING TO MATCH EXISTING. REFINISH EXISTING WOOD FLOORING. SEE STRUCTRAL.
- P14 PROVIDE NEW WHEELCHAIR LIFT FOR ACCESSIBILITY.
- P21 PROVIDE NEW WATER FOUNTAIN. INSTALL IN NEW WORK.
- P22 EXISTING SERVER CLOSET TO REMAIN. REPAINT IN NEW WORK.
- P23 EXISTING LOCKERS TO BE REINSTALLED IN NEW LOCATION.

ST. GEORGE'S EPISCOPAL **SCHOOL - WOODEN** BUILDING

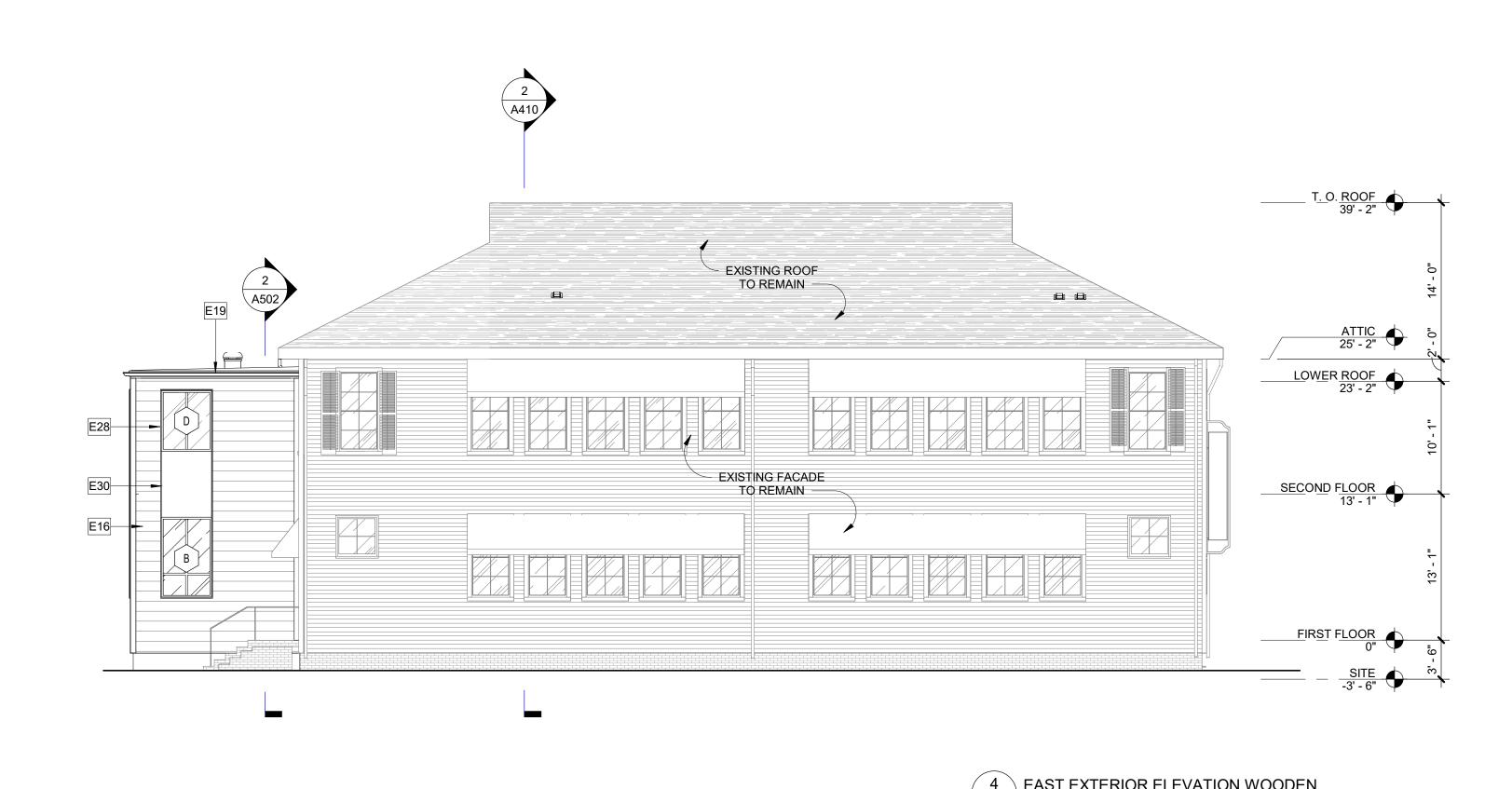
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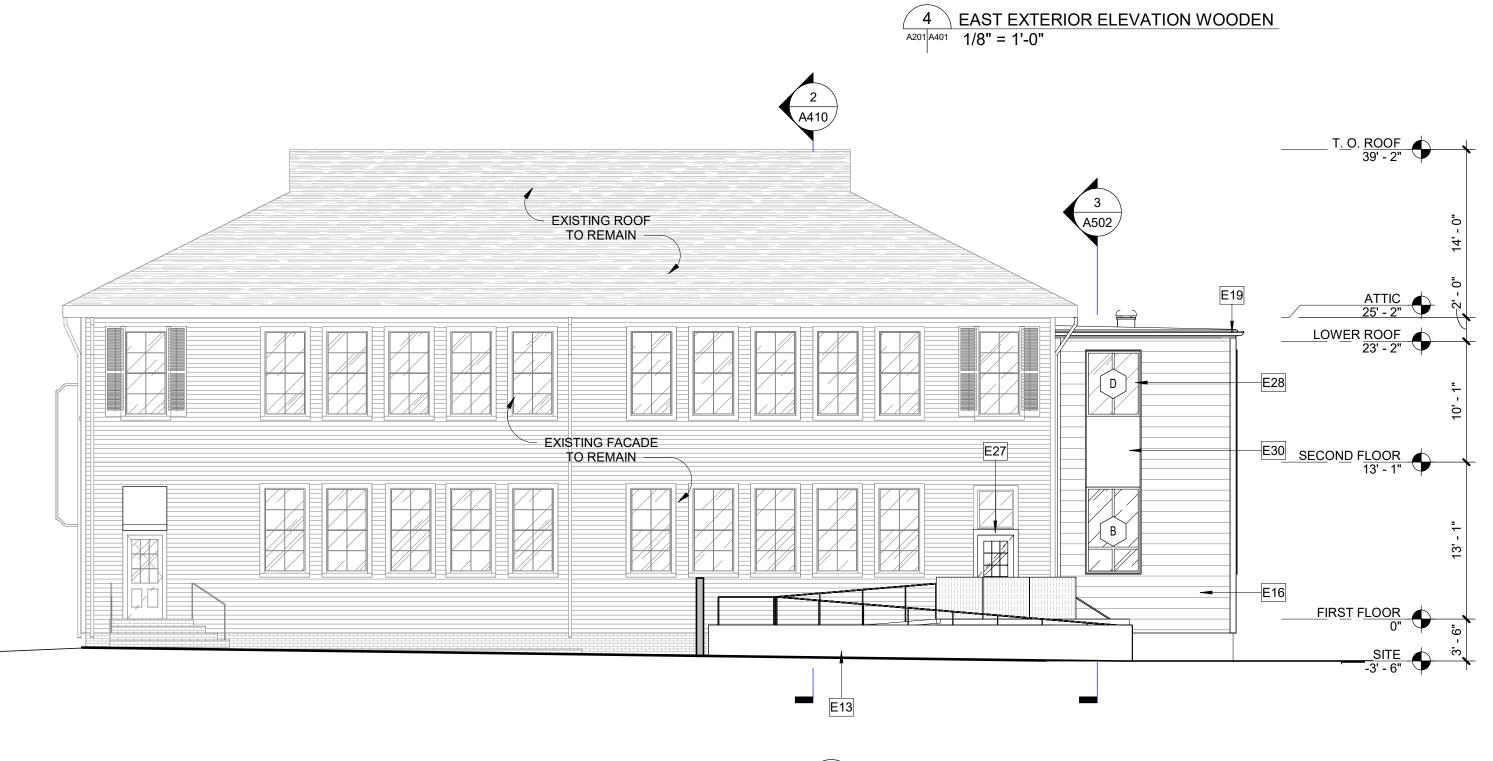
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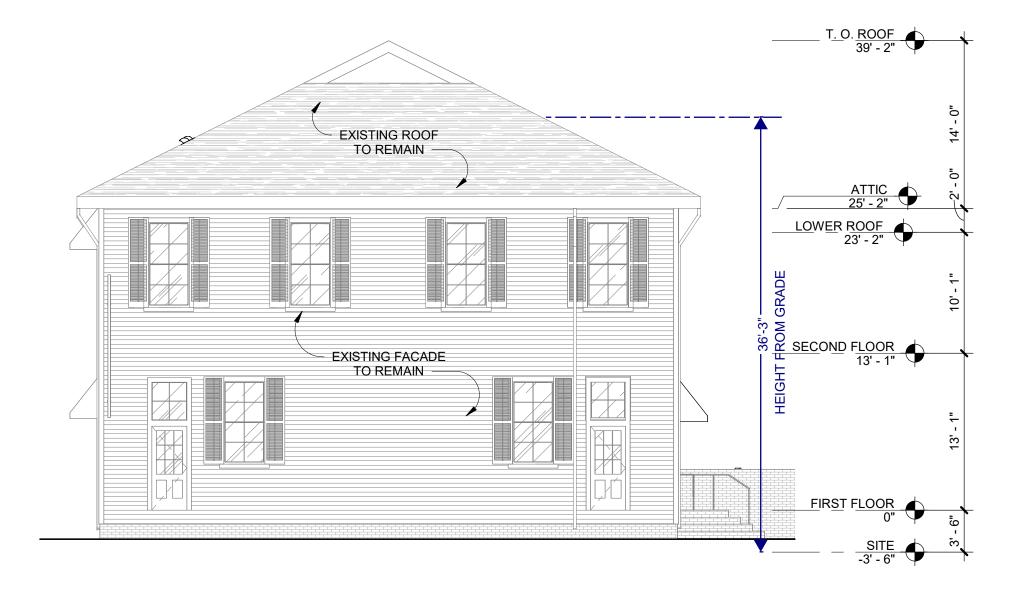


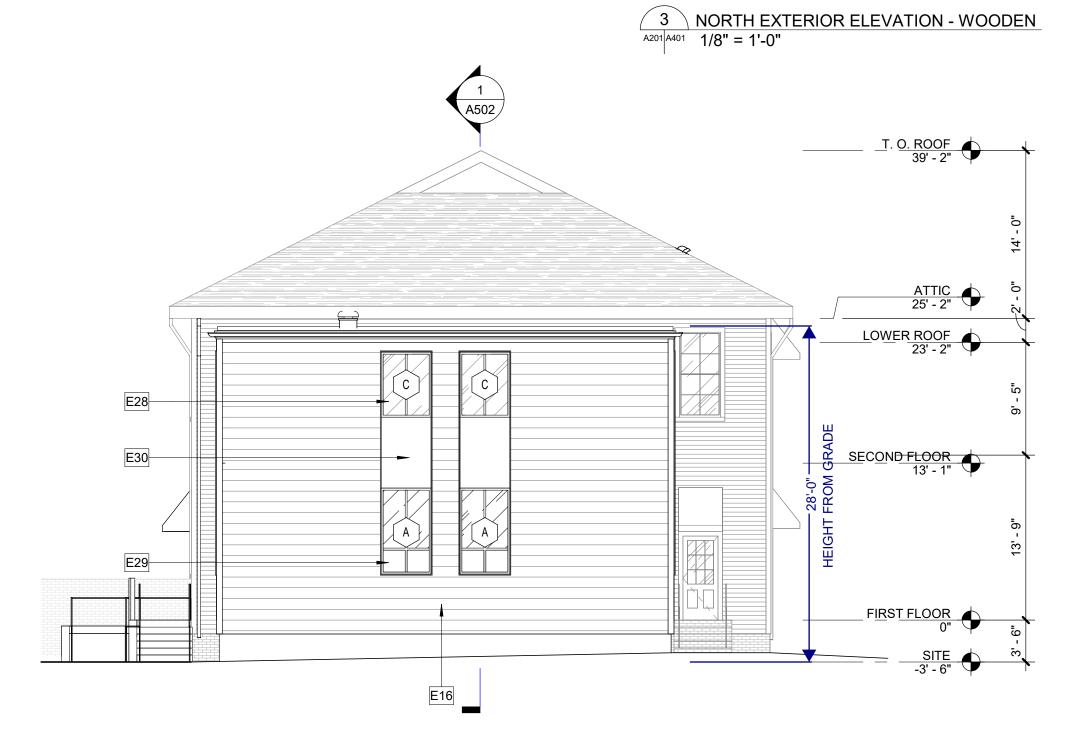
ISSUE DATE | 10 JANUARY 2025 DESIGN DEVELOPMENT REVISIONS

FIRST AND SECOND FLOOR PLANS









2 WEST EXTERIOR ELEVATION - WOODENA201 A401 1/8" = 1'-0"

1SOUTH EXTERIOR ELEVATION - WOODENA201A4011/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC RENOVATION LEGEND

CLARIFI DESIGN/	CATION OF REFERENCE
	PORTION OF AREA TO BE DEMOLISHED
г — ¬ L _ J	EXISTING ELEMENTS TO BE DEMOLISHED
	NEW WALLS
	EXISTING WALLS TO REMAIN

- PROVIDE NEW CONCRETE ADA RAMP AND E13 LANDING FOR ACCESSIBILITY. SEE NPS PRESERVATION BRIEF 32.
- E16 PROVIDE NEW HARDIEBOARD SIDING FOR NEW ADDITION.
- E19 PROVIDE LOW-SLOPE ROOFING OVERHEAD FOR NEW ADDITION.
- E27 PROVIDE NEW DOOR TO MATCH EXISTING.
- E28 PROVIDE NEW FIXED WOOD WINDOWS.
- E29 PROVIDE SOLID PANELS WITHIN LOWER LITES OF WINDOW FOR PRIVACY.
- E30 PROVIDE NEW HARDI PANELS.

ST. GEORGE'S EPISCOPAL SCHOOL - WOODEN BUILDING

923 Napoleon Avenue New Orleans, LA 70115

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EXTERIOR ELEVATIONS

DRAFTING SYMBOLS

· · ·	SECTION OR DETAIL NUMBER		,
	- DIRECTION OF CUTTING PLANE		—(
	- SHEET NUMBER ON WHICH SECTION OR DETAIL IS DRAWN		N R
	DIRECTION OF CUTTING PLANE		
	LONGITUDINAL OR TRANSVERSE BUILDING SECTION NUMBER	2/6.2	l S
A401/	SHEET NUMBER ON WHICH LONGITUDINAL OR TRANSVERSE BUILDING SECTION IS DRAWN	QQ	٧
		(1585A 	
	ELEVATION NUMBER		
	SURFACE SHOWN IN ELEVATION	(AN-01)	
(A801 -	SHEET NUMBER ON WHICH ELEVATION IS DRAWN		
	DETAIL NUMBER		
	AREA OF DETAIL		F
	SHEET NUMBER ON WHICH ENLARGED DETAIL IS DRAWN		
1 View Name	SECTION OR DETAIL NUMBER		l' I E F
A102 A101 1/8" = 1'-0"		(09 22 16)	
	INDICATES SCALE		(
	SHEET NUMBER ON WHICH THIS SECTION OR DETAIL IS CUT OR REFERENCED (ONE SHEET ONLY)		(
			l F
Room Name -	- ROOM NAME - ROOM NUMBER	36.5'•	١
		36.5'	E
		16	

DRONE PHOTO



A A A A A A A A A A A A A A A A A A A	PROJECT ADDRI 923 NAPOLEON A NEW ORLEANS, I PROJECT DESCE INTERIOR RENO BUILDING AND N RAMP.
INDICATES SECTION OR DETAIL NO. 2 APPEARING ON THE SHEET NO. 6.2	LEGAL DESCRIP SQ 230 PT LOT 6 CAMP 150X134 P BLDG EXEMPT F
WINDOW TYPE / LOUVER TYPE	BOUNDING STRE
- DOOR OR OPENING NUMBER	CAMP STREET, N GENERAL PERSI MAGAZINE STRE
- FINISH	BUILDING AREA
 PARTITION TYPE SMOKE PARTITION / FIRE RATING (HOURS). "S" INDICATES SMOKE PARTITION. 	FIRST FLOOR SECOND FLOOR <u>THIRD FLOOR</u> TOTAL
- PARTITION MODIFIER	MAJOR APPLICA (NOT LIMITED TC
REFERENCE NUMBER FOR EQUIPMENT, CONSTRUCTION, ETC. OR ANY INFORMATION TO BE CONVEYED WHICH IS REPETITIVE OR AVAILABLE SPACE PROHIBITS A WRITTEN DESCRIPTION 0F ANY ITEM	NFPA 101 LIFE S/ INTERNATIONAL INTERNATIONAL INTERNATIONAL INTERNATIONAL
ITEMS NOT IN CONTRACT / FURNISHED BY OWNER / INSTALLED BY OWNER / INSTALLED UNDER THIS CONTRACT, ETC. (SEE CLARIFICATION OF THIS SYMBOL FOR ITS USE IN REGARD TO THIS PROJECT)	NATIONAL ELEC COMMERCIAL BU CONSERVAT AMERICANS WIT ADA-ABA ST/
SPECIFICATION REFERENCE (FOUND IN PROJECT MANUAL)	ZONING CLASSIF ZONING DISTRIC
SPECIFICATION REFERENCES ARE INDICATED FOR THE CONTRACTOR'S CONVENIENCE, LACK OF REFERENCE OR MISREFERENCE DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE THAT MATERIAL	FUTURE LAND U
NEW OR REQUIRED POINT ELEVATION	OVERLAY DISTR
EXISTING POINT ELEVATION	
INDICATES FOOD SERVICE EQUIPMENT	
	HISTORIC DISTRI

BUILDING INFORMATION

DRESS N AVENUE S, LA 70115

<u>SCRIPTION</u> NOVATION ON THREE-STORY SCHOOL D NEW EXTERIOR ADA-COMPLIANT ENTRY

RIPTION T 6 LOTS 7 THRU 10 GEN PERSHING AND 4 PORTEOUS HALL AND LOWER SCHOOL FILE #48935

TREETS T, NAPOLEON AVENUE, RSHING STREET (SIDE), REET (SIDE)

BUILDING AREA	EXISTING	RENOVATED	NEW
FIRST FLOOR	6,317 SF	6,073 SF	0 SF
SECOND FLOOR	6,041 SF	5,797 SF	0 SF
THIRD FLOOR	5,800 SF	5,800 SF	0 SF
TOTAL	18,158 SF	17,670 SF	0 SF

CABLE CODES AND REGULATIONS TO THE FOLLOWING)

(NOT LIMITED TO THE FOL	LOWING)	
INTERNATIONAL BUILDING CODE2INTERNATIONAL EXISTING BUILDING CODE2INTERNATIONAL MECHANICAL CODE2INTERNATIONAL PLUMBING CODE2NATIONAL ELECTRICAL CODE2COMMERCIAL BUILDING ENERGY2CONSERVATION CODE (ASHRAE 90.1)2AMERICANS WITH DISABILITIES ACT2		2021 2021 2021 2021 2021 2021 2020 2021 2021
ZONING CLASSIFICATION ZONING DISTRICT	HU-RD2, HISTORIC TWO-FAMILY RESI DISTRIC	
FUTURE LAND USE	RLD-PRE, RESIDEN DENSITY PRE-WAR	
OVERLAY DISTRICT	CPC CHARACTER PRESERVATION CO DESIGN OVERLAY	
	MAGAZINE STREE RESTRICTION OVE DISTRICT	-
	BED AND BREAKFA	
	COMMERCIAL SHO RENTAL INTERIM Z DISTRICT	
	NON-COMMERCIAI TERM RENTAL INT ZONING DISTRICT	-
HISTORIC DISTRICT	UPTOWN NEW OR	LEANS

W

UPTOWN NEW ORLEANS HISTORIC DISTRICT (PARTIAL)

HISTORIC LANDMARK HDLC LANDMARKS



PROPOSED USES EDUCATIONAL FACILITY

FLOOD ZONES ZONE X +6.8 FIRM PANEL: 22071C0236F

OCCUPANCY CLASSIFICATION EDUCATIONAL PER IBC 305.1; NFPA 6.1.3

20,100 SF

51' - 2"

CONSTRUCTION TYPE (IBC) TYPE III-B (NFPA 220) TYPE III (211)

(
FIRE PROTECTION	
STRUCTURAL FRAME	0 HR
BEARING WALLS	
EXTERIOR	2 HR
INTERIOR	0 HR
NONBEARING WALLS AND PARTITIONS	
EXTERIOR	1 HR
INTERIOR FLOOR CONSTRUCTION	0 HR 0 HR
ROOF CONSTRUCTION	0 HR
ROOF CONSTRUCTION	
FIRE WALLS	3 HR
HAZARD OF CONTENTS	ORDI
FIRE SUPRESSION SYSTEM NOT REQU (PER IBC 903.2.3 FOR GROUP "E" OCCUPA	
(I EITIDO 303.2.31 OIT GITOUF E OCCOPA	

FIRE ALARM SYSTEM EXISTING TO BE MODIFIED

SITE MAP



INDEX OF DRAWINGS G001 INFORMATION SHEET SITE PLAN - DEMOLITION A001 A002 SITE PLAN FIRST AND SECOND FLOOR DEMOLITION PLANS A101 THIRD FLOOR & ROOF DEMOLITION PLAN A102 A201 FIRST AND SECOND FLOOR PLANS A202 THIRD FLOOR PLAN AND ATTIC PLAN

EXTERIOR ELEVATIONS A401

R (X ≤ 10')

DINARY ES)

PROJECT DIRECTORY

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STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

ST. GEORGE'S EPISCOPAL SCHOOL - PORTEOUS HALL

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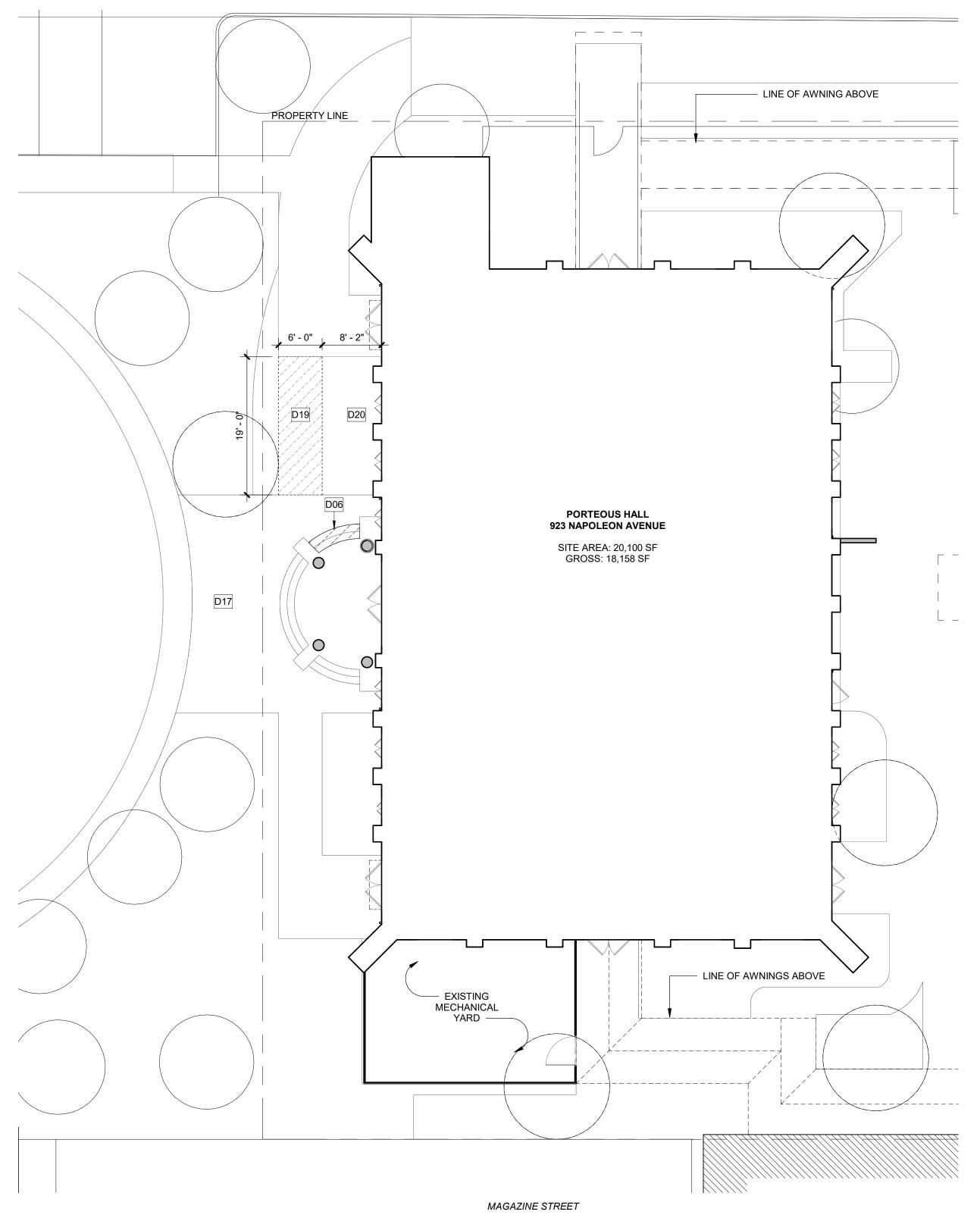


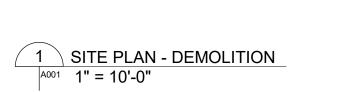
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INFORMATION SHEET

G001

CAMP STREET





0

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC RENOVATION LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS
г — Л L _ J	EXISTING ELEMENTS TO BE DEMOLISHED
	PORTION OF AREA TO BE DEMOLISHED
	NOT IN SCOPE, CAMPUS BUILDING
GENERAL NOTES PERTAINING TO DEMOLITION	

- 1. GENERAL CONTRACTOR IS TO PAY FOR DUMPSTER PERMITS AS NECESSARY. ALL DEMOLITION DEBRIS SHALL BE TAKEN TO A LICENSED LANDFILL WITH PROOF PROVIDED TO THE OWNER. TRASH RECEPTACLES SHALL NOT BLOCK ENTRANCES OR PUBLIC RIGHT-OF-WAY. 2. GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR PARKING AND STAGING ARRANGEMENTS. IF PUBLIC RIGHT-OF-WAY IS TO BE CLOSED FOR ANY REASON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY STREET CLOSURE PERMITS. CLARIFICATION OF REFERENCE DESIGNATIONS
- REMOVE SECTION OF EXISTING MASONRY STEPS. D06 PREPARE FOR NEW RAMP INSTALLATION IN NEW WORK.
- D17 BRICK PAVERS AND WALKWAYS TO REMAIN.
- REMOVE PORTION OF EXISTING WALKWAY. STORE D19 AND PROTECT BRICK PAVERS FOR RETRANSLATION AS PART OF NEW WORK.
- D20 REMOVE EXISTING PLANTING BED AND PLANTS. PREPARE FOR NEW PLANTS IN NEW WORK.



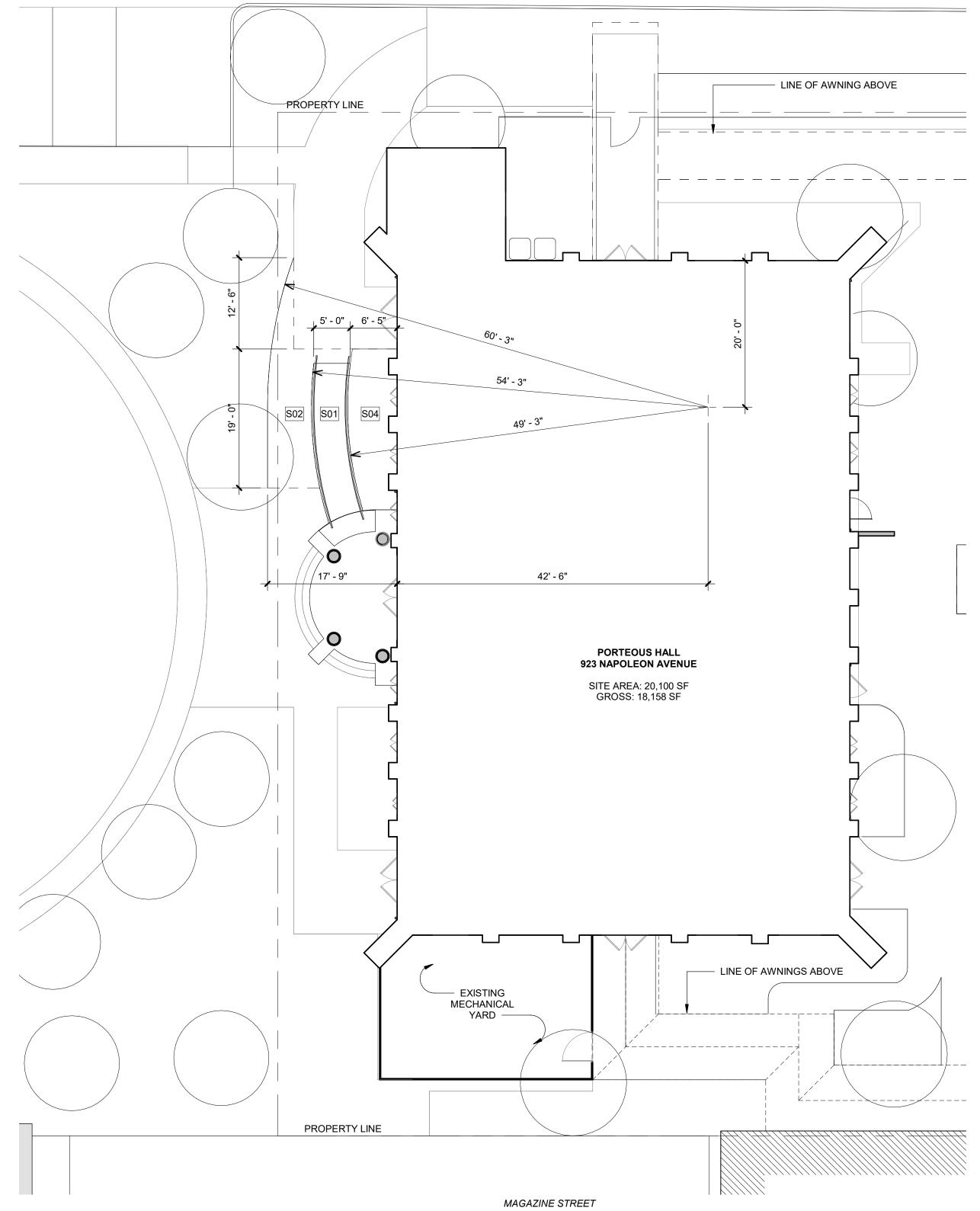
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SITE PLAN - DEMOLITION

CAMP STREET



STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117

GRAPHIC	RENOVATION	LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS
г — Л L _ J	EXISTING ELEMENTS TO BE DEMOLISHED
	PORTION OF AREA TO BE DEMOLISHED
	NOT IN SCOPE, CAMPUS BUILDING
GENERA TO NEW	AL NOTES PERTAINING / WORK
	E POSITIVE DRAINAGE AWAY FROM WALL ONS (FINAL GRADE SLOPES AWAY AT 5%

MIN). 2. NEW SIDEWALKS SHALL BE MIN. 4" THICK 3,000 PSI, REINFORCED WITH 6X6-W2.9X2.9 WWF. PROVIDE CONTROL JOINTS AT 5'-0" O.C. MAX. PROVIDE EXPANSION JONTS AT ALL INTERSECTIONS WITH EXISTING SIDEWALKS AND AT MAX. 70'-0" O.C.

CLARIFICATION OF REFERENCE	▲
DESIGNATIONS	

S01 PROVIDE NEW CONCRETE RAMP AND HANDRAILS. S02 PROVIDE NEW BRICK PAVING TO MATCH EXISTING. S04 PROVIDE NEW PLANTING BED.

ST. GEORGE'S EPISCOPAL SCHOOL - PORTEOUS HALL

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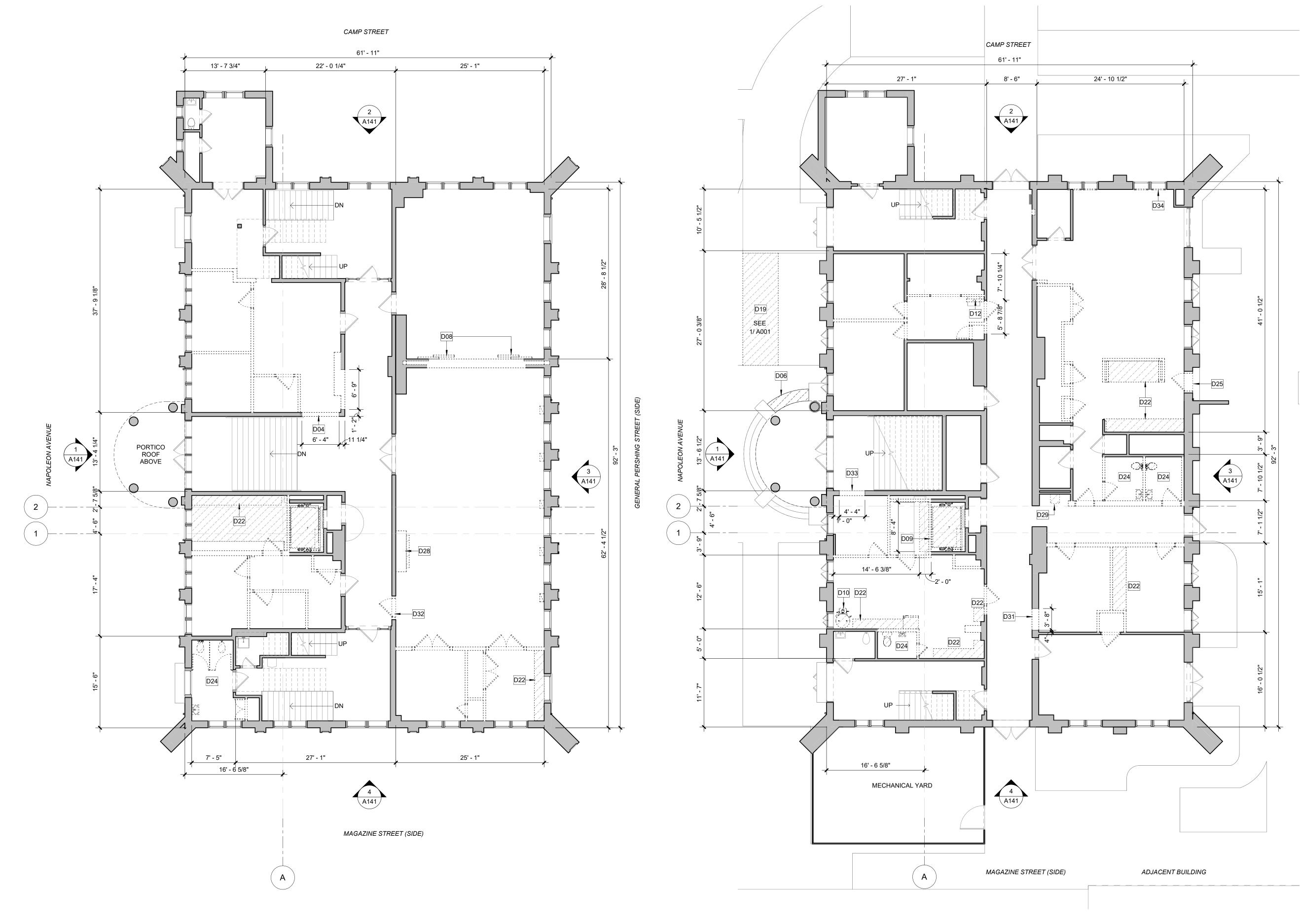
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1 SITE PLAN A002 1" = 10'-0"

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SITE PLAN





2 SECOND FLOOR PLAN - DEMOLITION A101 1/8" = 1'-0"

1FIRST FLOOR PLAN - DEMOLITIONA1011/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117 **GRAPHIC RENOVATION LEGEND**

EXISTING WALLS TO REMAIN

NEW WALLS

EXISTING ELEMENTS TO BE DEMOLISHED L __ _

PORTION OF AREA TO BE DEMOLISHED

GENERAL NOTES PERTAINING TO

- DEMOLITION
- 1. EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS AND FIELD INVESTIGATION. ALL EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO BID. FIELD CONDITIONS
- SHALL TAKE PRECEDENCE. 2. AFTER REMOVAL OF FLOORING MECHANICALLY SCRAPE FLOOR TO REMOVE ALL ADHESIVE PRIOR TO INSTALLATION OF NEW FINISHES.
- 3. WHERE NEW SYSTEMS OR DEVICES ARE INSTALLED IN EXISTING PARTITIONS, CUT WALL AND PATCH WITH NEW GYPSUM BOARD. FLOAT AND PREPARE FOR NEW FINISH AS INDICATED IN NEW CONSTRUCTION PLANS. . UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING
- DEVICES, LIGHT FIXTURES, CONDUIT, AND WIRE IN THE PROJECT AREA SHALL BE REMOVED. . PATCH. REPAIR OR REPLACE ANY EXISTING
- MATERIALS, FIXTURES OR SURFACES SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. REPAIRS OR REPLACEMENTS MUST MATCH THE EXISTING MATERIAL IN TEXTURE, PROFILE, DIMENSION AND
- WHERE APPROPRIATE, SPECIES. CLARIFICATION OF REFERENCE DESIGNATIONS
- D04 REMOVE PORTION OF EXISTING PARTITION. PREPARE FOR NEW WINDOWS AS PART OF NEW WORK. REMOVE SECTION OF EXISTING MASONRY STEPS. D06 PREPARE FOR NEW RAMP INSTALLATION IN NEW
- WORK. REMOVE EXISTING NON-ORIGINAL SLIDING DOORS.
- D08 PREPARE FOR NEW DOORS AS PART OF NEW WORK. REMOVE EXISTING ELEVATOR SHAFT WALL,
- D09 ELEVATOR CAB AND PORTION OF FLOOR FRAMING. PREPARE FOR NEW ELEVATOR CAB. REMOVE EXISTING HOT WATER HEATER. SEE D10 REIVIOVE
- D12 REMOVE EXISTING I/T CABINETS.
- REMOVE PORTION OF EXISTING WALKWAY. STORE D19 AND PROTECT BRICK PAVERS FOR RETRANSLATION AS PART OF NEW WORK.
- D22 REMOVE EXISTING MILLWORK.
- REMOVE EXISTING PLUMBING FIXTURES. CAP D24 EXISTING PLUMBING LINES. SEE PLUMBING.
- REMOVE EXISTING EXTERIOR DOOR. PREPARE TO D25 REMOVE LAGING LA
- D28 REMOVE EXISTING FAUX, NON-ORIGINAL FIREPLACE. REMOVE EXISTING DRINKING FOUNTAIN. STORE AND D29 PROTECT FOR REINSTALL AS PART OF NEW WORK.
- REMOVE PORTION OF EXISTING PARTITION. PREPARE D31 FOR NEW DOOR AS PART OF NEW WORK.
- REMOVE AND STORE EXISTING DOOR. FLIP DOOR D32 SWING AS PART OF NEW WORK.
- D33 REMOVE PORTION OF INTERIOR PARTITION. PREPARE FOR NEW CASED OPENING.
- D34 REMOVE EXISTING INTERIOR SHUTTERS.

ST. GEORGE'S EPISCOPAL SCHOOL - PORTEOUS HALL

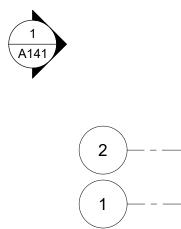
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FIRST AND SECOND FLOOR **DEMOLITION PLANS**



CAMP STREET



EXISTING ROOF

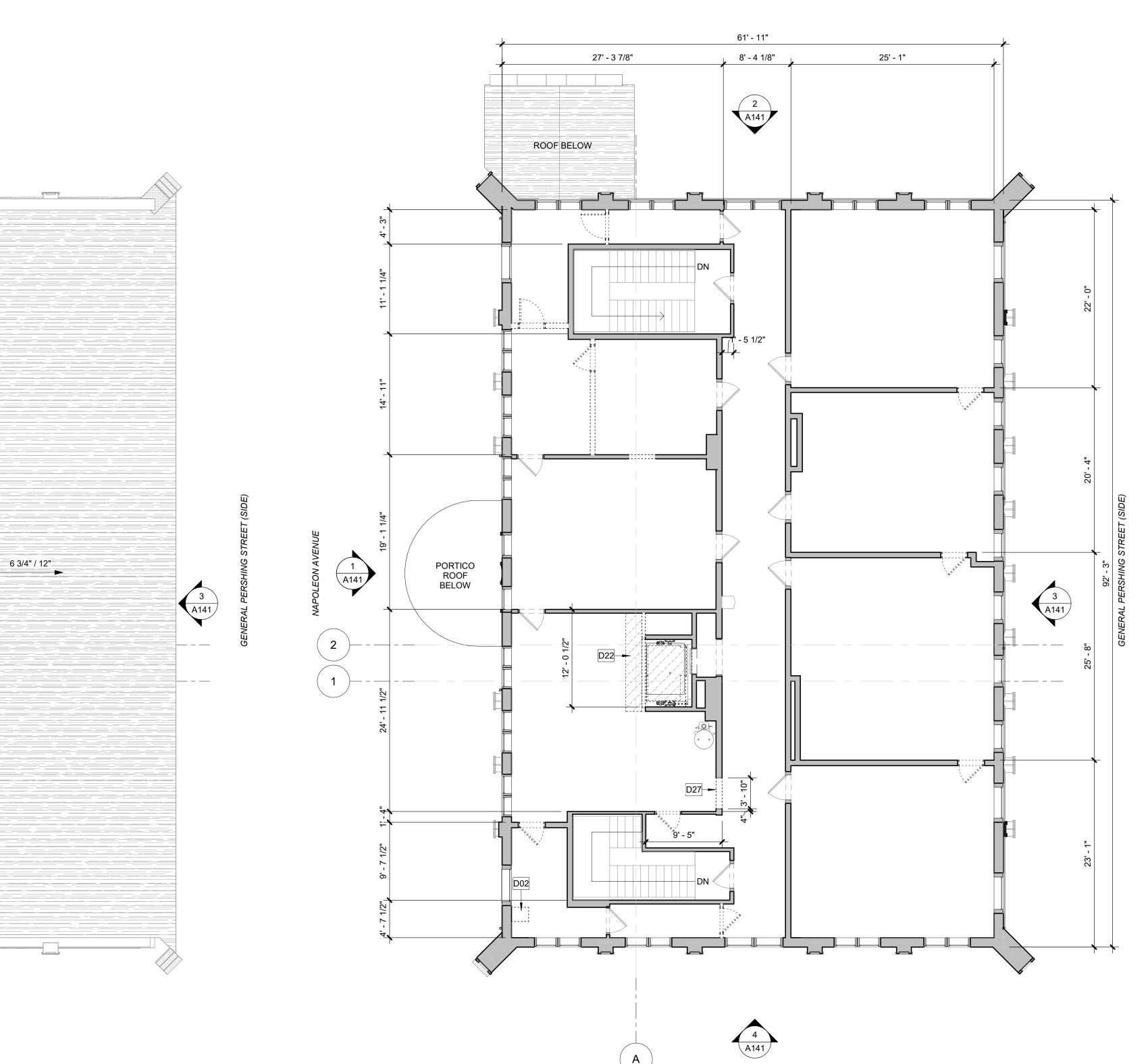
TO REMAIN -

A

6 3/4" / 12" ◀



CAMP STREET



MAGAZINE STREET (SIDE)

2 ROOF PLAN - DEMOLITION A102 1/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117 **GRAPHIC RENOVATION LEGEND**

	EXISTING WALLS TO REMAIN
	NEW WALLS
г — ¬ ∟	EXISTING ELEMENTS TO BE DEMOLISHED
	PORTION OF AREA TO BE DEMOLISHED
GENER DEMOL	AL NOTES PERTAINING TO ITION
ARE TAK INVESTIO BE VERII SHALL T AFTER R	G CONDITIONS SHOWN ON THIS DRAWING EN FROM ORIGINAL DRAWINGS AND FIELD GATION. ALL EXISTING CONDITIONS SHALL FIED PRIOR TO BID. FIELD CONDITIONS AKE PRECEDENCE. REMOVAL OF FLOORING MECHANICALLY FLOOR TO REMOVE ALL ADHESIVE PRIOR

- 3. WHERE NEW SYSTEMS OR DEVICES ARE INSTALLED IN EXISTING PARTITIONS, CUT WALL AND PATCH WITH
- NEW GYPSUM BOARD. FLOAT AND PREPARE FOR NEW FINISH AS INDICATED IN NEW CONSTRUCTION PLANS. 4. UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING
- UNLESS OTHERWISE NOTED, ALL EQUIPMENT, WIRING DEVICES, LIGHT FIXTURES, CONDUIT, AND WIRE IN THE PROJECT AREA SHALL BE REMOVED.
 PATCH, REPAIR OR REPLACE ANY EXISTING MATERIALS, FIXTURES OR SURFACES SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. REPAIRS OR REPLACEMENTS MUST MATCH THE EXISTING MATERIAL IN TEXTURE, PROFILE, DIMENSION AND

WHERE APPROPRIATE, SPECIES. CLARIFICATION OF REFERENCE DESIGNATIONS

D02 REMOVE EXISTING PARTITIONS.

- D22 REMOVE EXISTING MILLWORK.
- D27 REMOVE PORTION OF EXISTING WALL. PREPARE TO INSTALL NEW DOOR.



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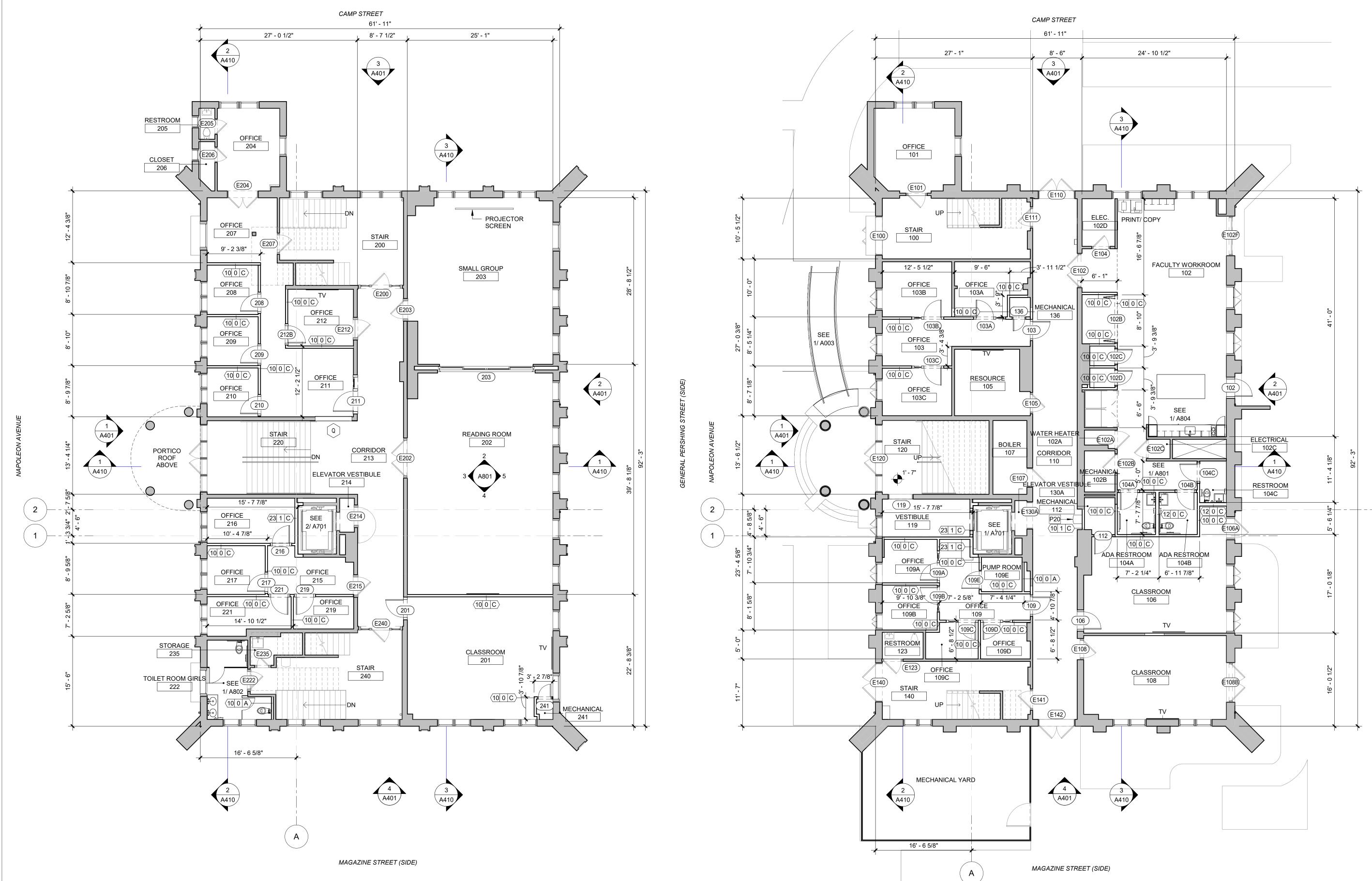
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THIRD FLOOR & ROOF **DEMOLITION PLAN**

1 THIRD FLOOR PLAN - DEMOLITION A102 1/8" = 1'-0"







2 SECOND FLOOR PLAN A201 1/8" = 1'-0"

1 FIRST FLOOR PLAN A201 1/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117 **GRAPHIC RENOVATION LEGEND**

EXISTING WALLS TO REMAIN NEW WALLS Г — EXISTING ELEMENTS TO BE DEMOLISHED L __ J



A603.

PORTION OF AREA TO BE DEMOLISHED

GENERAL NOTES PERTANING TO NEW WORK

1. DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS AS SHOWN IN THE DOCUMENTS. IF A DIMENSION NEEDS TO BE VERIFIED, COORDINATE WITH ARCHITECT.

2. DIMENSIONS INDICATED ON THE DRAWINGS ARE TAKEN FROM FACE OF FINISH WALL SURFACE, EXCLUDING THINSET TILE, TO THE FACE OF DOORS AND WINDOW OPENINGS, U.N.O. (UNLESS NOTED OTHERWISE).

3. ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS PR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.

4. THE CONTRACTOR SHALL BRING ALL DISCREPANCIES THAT MAY OCCUR IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIVE WORK REQUIRED DUE TO PROCEEDING WITHOUT CLARIFICATION FROM THE ARCHITECT.

5. FOR ROOM FINISH SCHEDULE, REFER TO SHEET A600. 6. FOR FRAME AND DOOR SCHEDULE, REFER TO SHEET

7. FOR CLARIFICATION OF REFERENCE DESIGNATION FOR INTERIOR PARTITIONS, REFER TO SHEET A604.

CLARIFICATION OF REFERENCE DESIGNATIONS

P20 RELOCATE EXISTING DRINKING FOUNTAIN TO NEW LOCATION AS INDICATED.

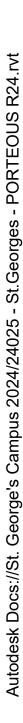
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FIRST AND SECOND FLOOR PLANS







2 ATTIC FLOOR PLAN A202 1/8" = 1'-0"

1 THIRD FLOOR PLAN A202 1/8" = 1'-0"

STUDIOWEST

2340 DAUPHINE STREET NEW ORLEANS, LOUISIANA 70117 **GRAPHIC RENOVATION LEGEND**

EXISTING WALLS TO REMAIN

NEW WALLS



A603.

EXISTING ELEMENTS TO BE DEMOLISHED

PORTION OF AREA TO BE DEMOLISHED

GENERAL NOTES PERTANING **TO NEW WORK**

1. DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS AS SHOWN IN THE DOCUMENTS. IF A DIMENSION NEEDS TO BE VERIFIED, COORDINATE WITH ARCHITECT.

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7. FOR CLARIFICATION OF REFERENCE DESIGNATION FOR INTERIOR PARTITIONS, REFER TO SHEET A604.

CLARIFICATION OF REFERENCE DESIGNATIONS

P18 PROVIDE NEW WATER HEATER, SEE PLUMBING

ST. GEORGE'S EPISCOPAL SCHOOL - PORTEOUS HALL

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THIRD FLOOR PLAN AND ATTIC PLAN

ST. GEORGE'S EPISCOPAL SCHOOL 923 NAPOLEON AVENUE



Figure 1 View of Porteous Hall along Napoleon Avenue

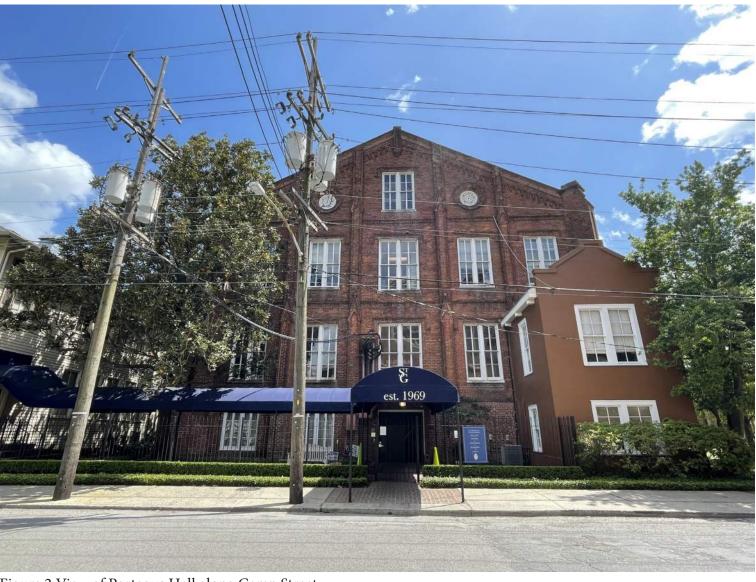


Figure 2 View of Porteous Hall along Camp Street

STUDIOWEST

2340 Dauphine Street New Orleans, LA 70117



Figure 3 View of Porteous Hall from the Corner of Camp Street and General Pershing Street



Figure 4 View of Porteous Hall from the Corner of General Pershing Street and Magazine Street

STUDIOWEST

2340 Dauphine Street New Orleans, LA 70117



Figure 5 View of Wooden Building from Camp Street

Figure 6 View of Wooden Building Facing General Pershing Street

STUDIOWEST

2340 Dauphine Street New Orleans, LA 70117



Figure 7 View of Wooden Building From Camp Street

Figure 8 View of Wooden along General Pershing Street

923 Napoleon Ave 4300 Camp St CZO Analysis February 17, 2025

Project Address

923 Napoleon Ave and 4300 Camp St New Orleans, Louisiana 70115

Site Requirements

- Legal Description SQ 230 PT LOT 6 LOTS 7 THRU 10 GEN PERSHING AND CAMP 150X134
- PORTEOUS HALL AND LOWER SCHOOL BLDG EXEMPT FILE #48935
- Bounding Streets Camp Street, General Pershing Street, Magazine Street (Side), Napoleon Ave (Side).
- Site Area 20,100 sf
- Historic District HDLC New Orleans, Uptown, Partial Control
 - Historic Landmark 923 Napoleon Ave is Landmarked under Full Control. 4300 Camp St is not.
- Overlays and IZDs CPC Character Preservation Corridor Overlay District

• See commentary below, Article 4 and Article 18.

- Magazine Street Use Restriction Overlay
- Not applicable

Bed and Breakfast Interim Zoning District

Not applicable

Commercial Short Term Rental Interim Zoning District

Not applicable

Non-Commercial Short Term Rental Special Exception Interim Zoning District

Not applicable

Zoning Requirements – New Orleans CZO

Article 4 – Applications & Approvals

4.5 Development Plan and Design Review

- 4.5.B.4
 - CPC Character Preservation Corridor Design Overlay District requires review by Executive Director of the City Planning Commission and Design Advisory Committee.
- 4.5.B.11
 - When a property is located within the Vieux Carré Historic District or within the Historic Districts Landmark Commission's full control Historic Districts, those developments are exempt from site plan and design review, but are subject to the review procedures of the Vieux Carré Commission or Historic Districts Landmark Commission, as applicable. Properties within full control local historic districts are <u>not exempt from design review of site design by the City Planning</u> <u>Commission Executive Director</u> or Design Advisory Committee. Properties within partial control local historic districts are not exempt from design review. Properties with the RIV Riverfront Design Overlay District are not exempt.

Article 11 – Historic Urban Neighborhoods Residential Districts

- 11.1 General Zoning Information
 - Zoning District HU-RD2, Historic Urban Two-Family Residential District
 - Future Land Use RLD-PRE, Residential Low Density Pre-War
- 11.2 Permitted and Conditional Uses (Table 11-1)
 - Permitted Use Existing, Non-conforming Educational Facility, Primary. • See Commentary on Article 25, Nonconformities
- 11.3.A.1 Bulk and Yard Regulations (Table 11-2A)
 - Minimum Lot Area 10,000 SF Complies
 - Minimum Lot Width 50 ft Complies
 - Minimum Lot Depth 90 ft Complies •
 - Maximum Height 35 ft •

EXISTING LANDMARK BLDG HEIGHT IS 52'-10" TO MID-LINE OF RIDGE EXISTING 4300 CAMP ST HEIGHT IS 36'-3" TO MID-LINE OF RIDTE NEW ADDITION BUILDING HEIGHT IS 28'-0".

11.3.A.2.a.i

Min Permeable **Open Space** 30% of lot area, or 6,030 sf

6,618 SF PROVIDED

- Maximum • Impervious Surface Front Yard 40% Required. Required front yard is 0 ft, therefore 0% required. 0 ft (existing structure)
- Front Yard .
- Interior Side Yard 5 ft ٠
- Corner Side Yard 10 ft •
- Rear Yard 15 ft
- 11.3.B Building Design Standards
 - 1. Standards for all sites:
 - a. All buildings shall provide a clearly identifiable entry from the public sidewalk at the front (primary street) elevation. COMPLY. THE EXISTING PRIMARY ENTRANCE TO THE PROPERTY IS AT CENTER OF BLOCK ALONG CAMP STREET.
 - b. All buildings shall be oriented towards a public or private street in terms of architectural interest and building access. BUILDINGS OPERATE AS ONE STRUCTURE WITH THE ORIENTATION TOWARD A PUBLIC STREET (CAMP STREET).
 - c. To avoid the appearance of blank walls facing the street, when the side walls of a dwelling face a street, building facades shall be designed with multiple windows of a size matching those on the front elevation. NOT APPLICABLE - NOT A DWELLING.
 - 2. Standards for sites under Development Plan and Design Review
 - d. Large, flat facades facing the street shall be avoided. Form-giving elements such as, but not limited to galleries, balconies, projected entrances, and overhangs are required on the streetfacing façade. COMPLY.
 - e. Roof planes shall be consistent in slope, material, and detail to those typical in the area. COMPLY. NEW ADDITION ROOF SIMILAR to flat roofs present on both sides of General Pershing Street.
 - f. All shutters shall be operational and sized to fit windows. COMPLY. EXISTING SHUTTERS OPERATIONAL.
 - g. Facades shall be designed to be viewed from multiple directions with consistent materials and treatments that wraps around all facades. There shall be a unifying architectural theme for an entire multi-family or townhouse development, utilizing a common vocabulary of architectural forms, elements, materials, and colors around the entire structure. COMPLY.

4.a. Prohibited Materials

a. EIFS, Stuccato Board and Vinyl are prohibited exterior materials. COMPLY.

<u>Article 18 – Overlay Zoning Districts</u>.

18.14 CPC Character Preservation Corridor Design Overlay District

- 18.14.B Additional Design Review Approval Standards
 - 1. Design shall be compatible in scale, materials, street level uses, and spatial relationships with existing development in historic districts that retain unique character. COMPLY
 - 2. Design shall preserve the rhythm of the street, doorways, and windows, although minor variations to add interest are allowed. COMPLY
 - 3. Street façades shall be articulated with no blank walls along the street. COMPLY
 - 4. All sides and areas of structures visible to the public shall be treated with materials, finishes and architectural details appropriate to primary street-facing façades. COMPLY
- 18.14.C.1 CPC-1 Magazine Street Sub-District
 - Entire block located at Magazine Street and Napoleon Ave subject to development plan and design review.

<u> Article 20 – Use Standards</u>

20.3.Z Educational Facility

• Requirements for CPC review apply to new construction building permits only.

Article 21 - On-Site Development Standards

- 21.2 Adequate Public Facilities
 - COMPLY; EXISTING DEVELOPED AREA
- 21.2 Environmental Performance Standards
 - COMPLY; EXISTING SCHOOL CAMPUS
- 21.4 Use of Land and Structures
- 21.4.A Number of Principal Buildings on a Lot (Table 21-1)
 - Multiple Permitted if historically multiple existed (21.4.A.4) COMPLY; TWO EXISTING HISTORIC BUILDINGS ON SITE.
- 21.4.B All Activities within an Enclosed Structure
 - Business with outdoor seating exempt. COMPLY
- 21.4.C Frontage on a Public or Private Street
 - COMPLY
- 21.4.D Applicability of Bulk and Yard Requirements
 - COMPLY; SEE ARTICLE 11 SUMMARY
- 21.4.E Applicability of Use Restrictions
 - COMPLY; SEE ARTICLE 11 SUMMARY
- 21.4.F Lots with Multiple Zoning District Designations
- NOT APPLICABLE
- 21.4.G View Obstruction
 - EXISTING CONDITION COMPLIES WITH 20' VIEW TRIANGLE
- 21.5 Lighting
- 21.5.A Light Trespass and Distraction
 - 1 fc at non-residential and 0.5 fc at non-residential property line or public right-of-way. No glare COMPLY; ALL EXTERIOR LIGHTING CONTAINED WITHIN SITE BOUNDARIES AND NO LIGHT PROJECTED PAST PROPERTY LINE.
- 21.5.B Unshielded Lighting
 - COMPLY ALL LIGHT SHIELDED
- 21.5.C Light Pole and Building-Mounted Lighting Heights
 - Max pole height 18 ft
 - Max building-mounted light 15 ft COMPLY; NO POLE-MOUNTED LIGHTING. EXTERIOR LIGHT MOUNTING FIXTURE HEIGHT IS

15 FT FROM GRADE

- $21.6 \ \ \text{Accessory Structures and Uses}$
 - NO ACCESSORY STRUCTURES AS PART OF PROJECT
- 21.7 Permitted Encroachments into Required Yards
 - EXISTING APPROVED AWNINGS AND CANOPIES ENCROACH ON RIGHT-OF-WAY
 - ACCESSIBILITY RAMP FOR 923 NAPOLEON AVE IS A PERMITTED ENCROACHMENT INTO REAR YARD (21.6.B).
 - NO OTHER NEW ENCROACHMENTS PROPOSED.
- 21.8 Temporary Uses
 - NO TEMPORARY USES PROPSOED

Article 22 – Off-Street Parking and Loading

22.2.C Increase in Intensity of Use

- No additional vehicle and bicycle parking spaces are required if the increase would result in an increase of spaces of less than ten percent (10%).
 NO INCREASE IN NUMBER OF CLASROOMS OR OFFICE SPACE (REQUIRED PARKING IS 4 PER CLASSROOM OR 1 PER 500 SF GFA OF OFFICE). THE SPACES ADDED ARE TWO RESOURCE DEVELOPMENT ROOMS AND A SMALL GROUP ROOM THAT SUPPLEMENT INSTRUCTION FROM EXISTING CLASSROOMS. OTHER USES IN EXPANSION ARE ACCESSIBLE LIFT AND RESTROOMS.
- 22.7 Required Off-Street Loading Spaces
 - Loading Zones: Not required in Historic Core per 22.7.C

Article 23 – Landscape & Screening

EXISTING LANDSCAPING TO REMAIN AND BE RE-ESTABLISHED AT FOUNDATION OF NEW ADDITION.

23.6.A Building Foundation Landscape

- Front yard and Corner Side Yard required to comply
- 1 shrub every 36" o.c., except at paved entrances COMPLY
- Remainder planted with vegetative cover COMPLY
- Plantings may be supplemented with trees and perennials COMPLY IN CORNER SIDE YARD
- 23.13.A Refuse Disposal Dumpsters, Recycling Containers, and Refuse Storage Areas
 - 7 ft tall solid wood fence required on three sides with gate. EXISTING FENCE PROVIDED AT SOUTHWEST CORNER OF SITE

<u>Article 24 – Signs</u>

24.4 Sign Permit Required

• Separate permit will be applied for building signage NO NEW SIGNAGE PROPOSED AS PART OF PROJECT

Article 25 – Nonconformities

25.3 Nonconforming Use

USE OF LOT AS A SCHOOL HAS BEEN CONTINUOUS SINCE 1875.

- 25.3.G.4.a Expansion of Certain Public and Semipublic Facilities
 - Existing railroad facilities, public and governmental uses, public and private educational facilities, child care center and colleges and universities may continue to be operated and maintained in any residential, mixed-use, business, commercial, medical, life science, industrial or open space districts and may be expanded provided such expansion is within the existing boundaries; and
 - Meets the applicable district regulations; or COMPLY, SEE ANALYSIS OF ARTICLE 11 ABOVE AND NONCONFORMING STRUCTURES BELOW.

- Where variances are necessary, such expansion is authorized by the Board of Zoning Adjustments VARIANCES NOT REQUIRED
- 25.4 Nonconforming Structures
- 25.4.D Additions and Enlargements
 - Structures which are nonconforming as to height, floor area ratio, yard, lot area, lot width, lot depth, or parking may be enlarged (i.e., increased in cubical content), provided such enlargement does not further increase the extent of the nonconformity or permit an increase in the number of dwelling units. (See Figure 25-1: Permitted Expansions of Nonconforming Structures EXISTING BUILDINGS CONTAIN NON-CONFORMING ENCROACHMENT ON EXISTING CORNER SIDE YARD (4300 CAMP ST) AND EXISTING CORNER SIDE YARD AND REAR YARD (923 NAPOLEON AVE).

NONE OF THESE NON-CONFORMITIES ARE BEING EXPANDED AS PART OF THE PROJECT.



Building/Construction Related Permit Date _____

Tracking Number

_____ Received by__

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Des	sign Review	🕽 Interim Zoning Districts Appeal	OMoratorium Appeal
Property Location 923 Na	poleon Ave and 4300 Ca	mp St	
APPLICANT INFO	RMATION		
Applicant Identity: Applicant Name Jason Ri	O Property Owner	Agent	
Applicant Address 2340 D			
City New Orleans	State LA	A z	_{ip} _70117
Applicant Contact Number	504.380.9880	Email jason@studiow	est.design
PROPERTY OWN	ER INFORMATION	SAME AS ABOVE	
Property Owner Name St.	George's Episcopal Sch	ool	
Property Owner Address	923 Napoleon Ave		
City New Orleans	State LA	Α Ζ	_{ip} _70115
Property Owner Contact N	umber 504.891.5509	Email joe.kreutziger@	ostgnola.org

PROJECT DESCRIPTION

Renovations affecting the exterior of two existing primary educational buildings on a single lot. Expansion of existing building at 4300 Camp Street with an addition on the south side of the property; addition of an ADA accessible ramp on the west side of the property within the lot. Addition of an ADA accessible ramp on the west side of the building at 923 Napoleon Ave. 923 Napoleon Ave is an HDLC Landmark Building. 4300 Camp St is not a landmark building.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- University Area Design Overlay
- Corridor Transformation
- Greenway Corridor
- Others as required

- Non-Design Overlay District Review
 Development over 40,000 sf
- CBD FAR Bonus
- Wireless Antenna/Tower

Changes to Approved Plans
 DAC Review of Public Projects
 Others as Required

ADDITIONAL INFORMATION

Current UseEducational Facility, Primary (existing non-conforming)		Proposed Use	No change in use		
Square Number 230			Lot Number 6	-	Permeable Open Space (sf) 6,618 SF
New Development?	Yes 🔿	No 🔴	Addition?	Yes No 🔿	Tenant Width
Existing Structure(s)?	Yes 🔴	NoO	Renovations?	Yes 🕘 No 🔿	Building Width
Change in Use?	Yes 🔿	No	Existing Signs?	Yes 🔿 No 🔴	Lot Width (sf)
New Sign(s)?	Yes 🛈	No	Lot Area (sf)	20,100	BuildingArea (sf) 22,064



Building/Construction Related Permit



_____ Received by_

Tracking Number

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- O Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- n/a OCurb cuts, interior streets, driveways, and parking and
 - loading areas with dimensions and total area (sf)
 - Location and dimensions of buildings and structures, including total floor area and distance from property lines
 - Location of adjacent buildings
 - Location of refuse storage locations
- n/a O Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
 - Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location

n/a O Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

n/a 4. LIGHTING PLAN existing fixtures to remain

- O Location of all exterior lighting, including those mounted on poles and walls
- O Types, style, height, and the number of fixtures
- O Manufacturer's illustrations and specifications of fixtures

n/a 5. SIGNAGE PLAN no signage proposed

- O Proposed Signage with overall height, width, and materials
- O Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

n/a 6. LANDSCAPE PLAN existing landscaping to remain

- OName and address of professional who prepared the plan. Chandscape plans shall be prepared by a registered landscape
- architect licensed by the Louisiana Horticulture Commission
- OAII landscape plans shall meet the minimum requirements of site plans
- OLegend defining all symbols, patterns, and abbreviations used
- OLocation, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ODescription of all tree preservation measures on-site and in the public right-of-way
- OWidth, depth, and area of landscaped area(s)
- OProposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

•Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

•Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY) n/a

n/a OAdditional submittal requirements for the University Area Design Overlay

FEES			
Design Review	\$225		
CBD Demolitions	\$500		
Moratorium Appeals	\$1,000		