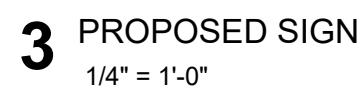




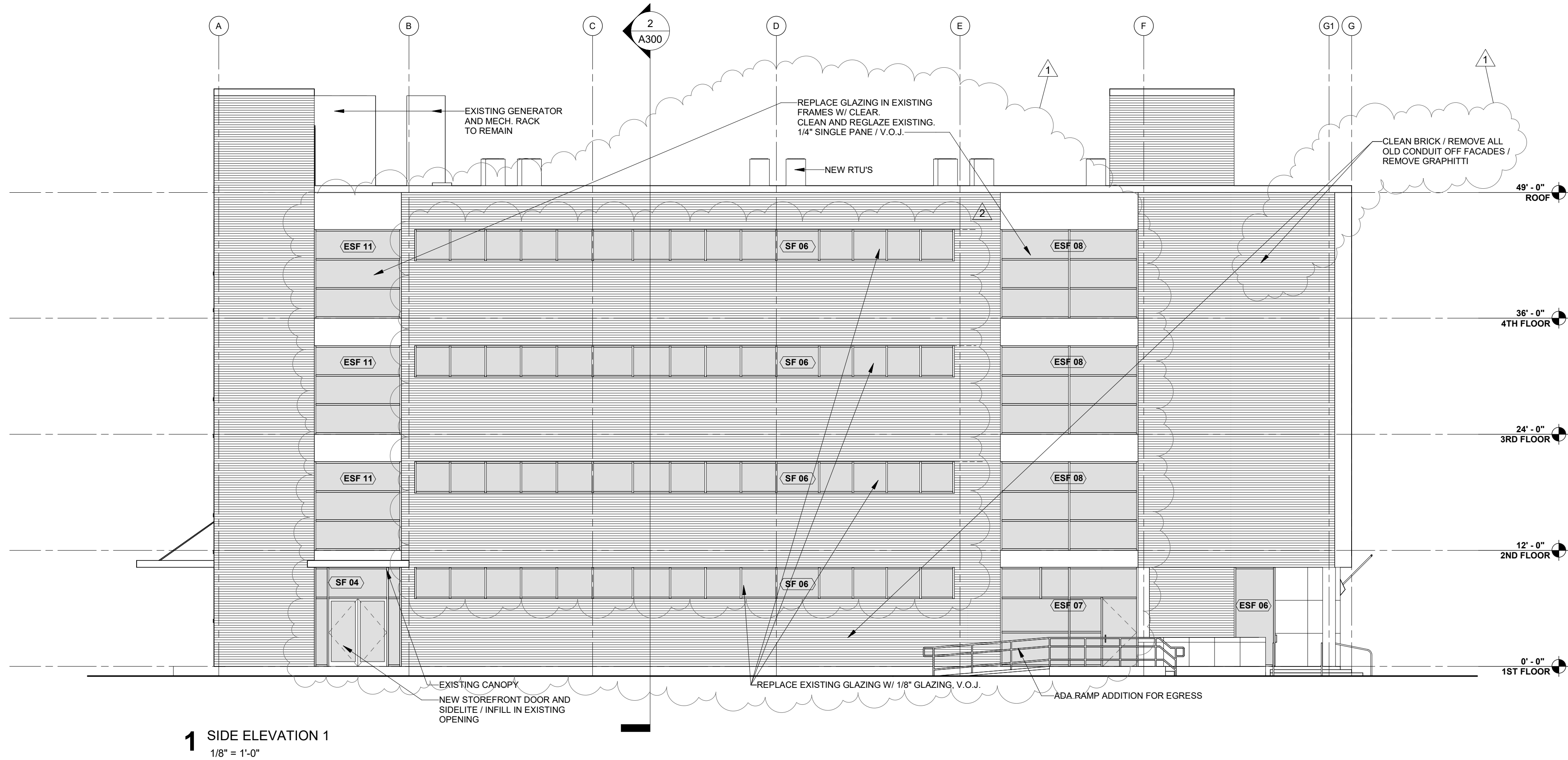
DYKE NELSON ARCHITECTURE 235 SOUTH 14TH ST, BATON ROUGE, LA 70802 DNA-WORKSHOP.COM [225] 224 3363

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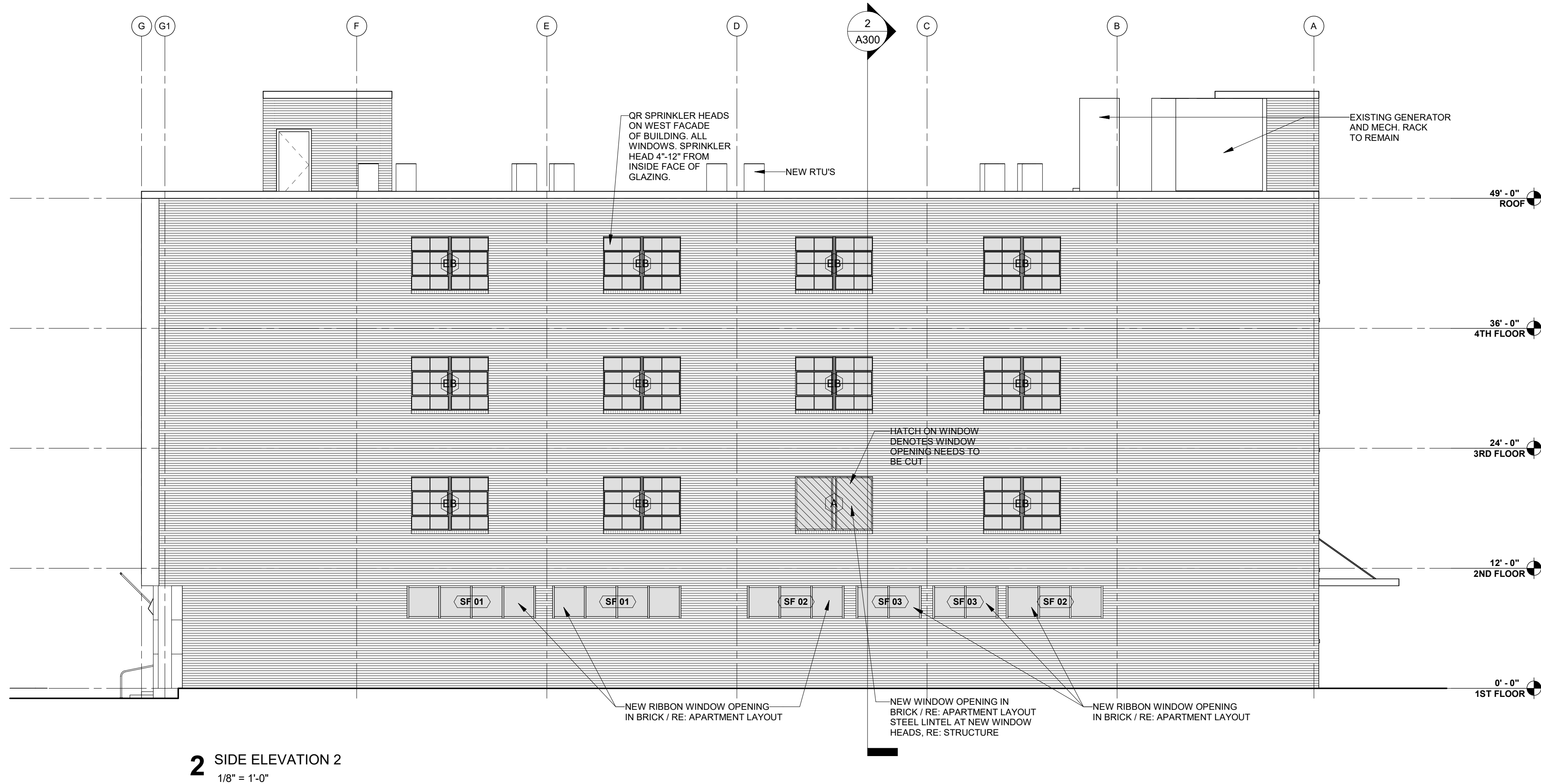
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1 SIDE ELEVATION 1
1/8" = 1'-0"



2 SIDE ELEVATION 2
1/8" = 1'-0"

REVISIONS

1	2/19/25	Addendum 1
2	04/15/25	Addendum 3

JOB NUMBER: 24-036

ISSUED: 12/18/24

ISSUED FOR:

PERMITTING

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NEW BLDG ELEVATIONS

A201

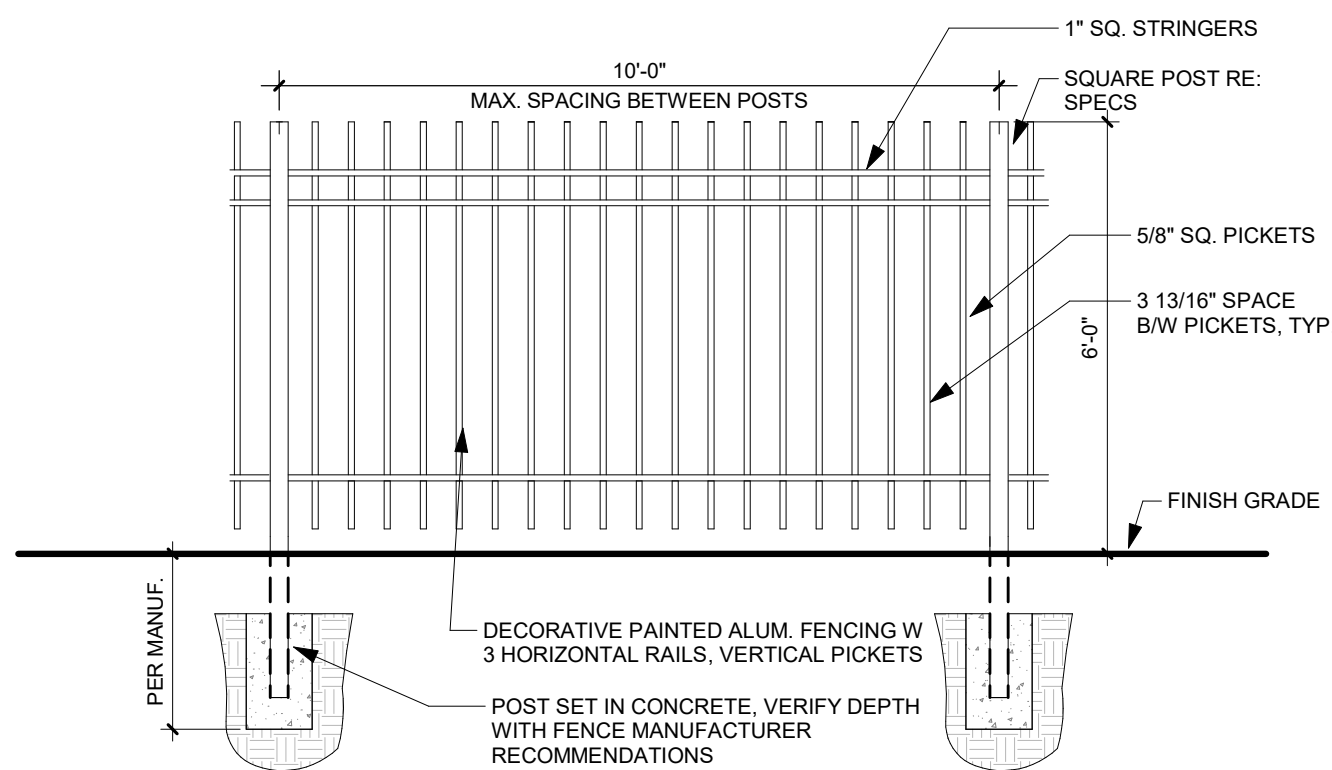
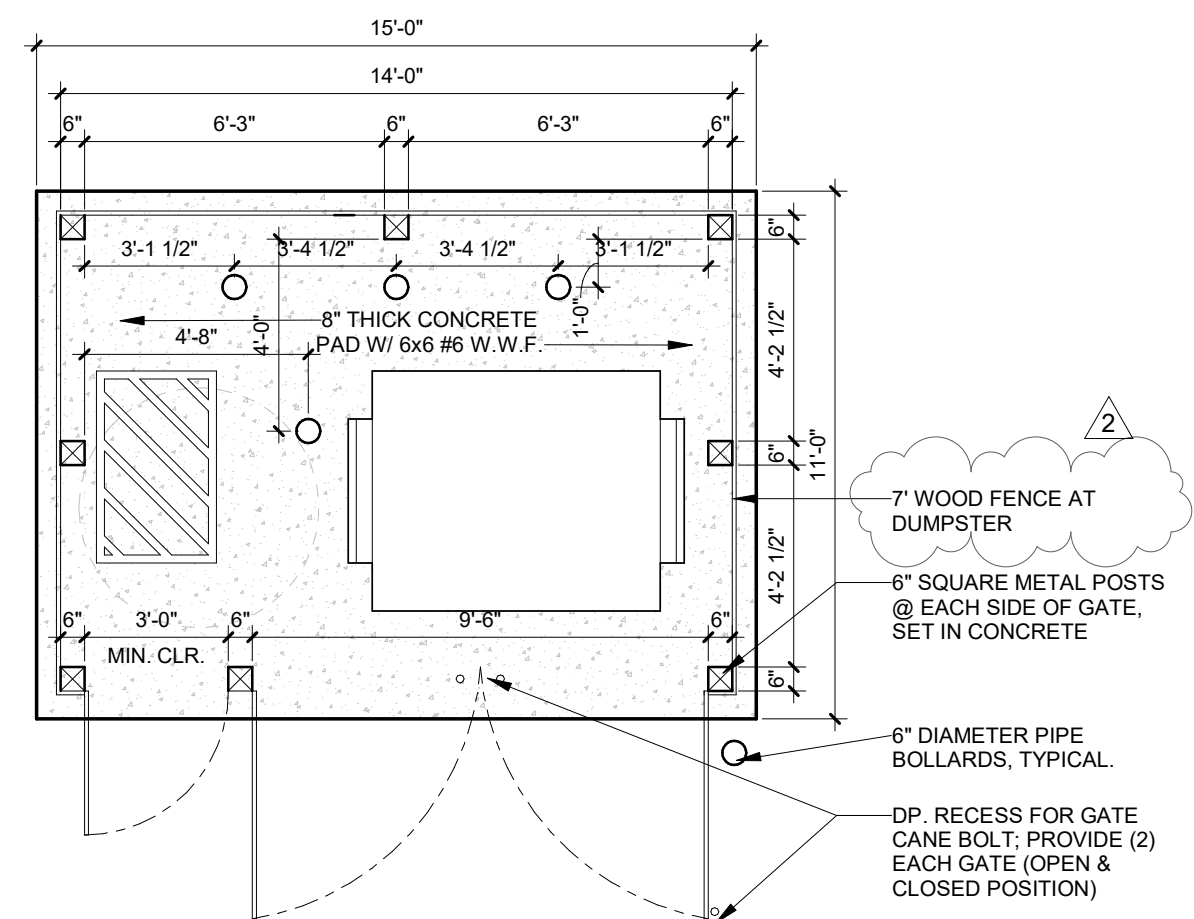
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PHASE: CD



GATE SCHEDULE					
NO.	SIZE	TYPE	FINISH	ELEC. REQ'D	COMMENTS
G1	14'-0"X6'-0"	ALUM.	PAINTED	CARD ACCESS	CALL BOX & KEY PAD
G2	14'-0"X6'-0"	ALUM.	PAINTED	CARD ACCESS	
G3	3'-0"X6'-0"	ALUM.	PAINTED	CARD ACCESS	MAN GATE


$$3/8'' = 1'-0''$$

$$1/4'' = 1'-0''$$

MARK	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	LAMP	
					WATTS	TYPE
F2	LSI	XWM-FT-LED-LED-08L-30-UE-FINISH	WALL PACK	WALL		LED
F2X	LSI	XWM-FT-LED-LED-08L-30-UE-FINISH-CWBB	WALL PACK WITH BATTERY BACKUP	WALL		LED
F3	LSI	MRM-LED-24L-SIL-DIST-UNV-DIM-30-70CRI-FINISH	LOW-PROFILE LED AREA/SITE LIGHT FIXTURE	POLE		LED, 4000K
F4	TBD	TBD	ARCHITECTURAL WALL SCONCE TO BE SELECTED BY OWNER	WALL		
FA	GLOBALUX	RDL-9-18-120D-MCT-FINISH	SURFACE MOUNTED ROUND FIXTURE	CEILING	12W	LED, 4000K
FB	GLOBALUX	RDL-7-15-120D-MCT-FINISH	SURFACE MOUNTED ROUND FIXTURE	CEILING	12W	LED, 4000K
FBX	GLOBALUX	RDL-7-15-120D-MCT-FINISH-EM-RDL-7-WH	SURFACE MOUNTED ROUND FIXTURE WITH BATTERY BACKUP	CEILING	12W	LED, 4000K
FC	HINKLEY	HALSTEAD 52883CM	DECORATIVE VANITY LIGHT	WALL	(3) 10W MED BASE BULB	LED, 4000K
FD	HINKLEY	OASIS 901652FBN-NWA	52" CEILING FAN	CEILING		50W LED
FE	GLOBALUX	LNS-4-26-MVD-830/40/50	LED SURFACE MOUNTED STRIP	SURFACE		LED
FEX	GLOBALUX	LNS-4-26-MVD-830/40/50-EML16	LED SURFACE MOUNTED STRIP WITH BATTERY BACKUP	SURFACE		LED
FF6	HE WILLIAMS	LRX4-F-6-L8-835-DMA-DIM-UNV	6' LINEAR LED SUSPENDED FIXTURE, DIRECT/INDIRECT DIST	CEILING SUSPENDED		LED, 3500K
FF8	HE WILLIAMS	LRX4-F-8-L8-835-DMA-DIM-UNV	8' LINEAR LED SUSPENDED FIXTURE, DIRECT/INDIRECT DIST	CEILING SUSPENDED		LED, 3500K
FF12	HE WILLIAMS	LRX4-F-12-L8-835-DMA-DIM-UNV	12' LINEAR LED SUSPENDED FIXTURE, DIRECT/INDIRECT DIST	CEILING SUSPENDED		LED, 4000K
FJ	GLOBALUX	RDL-7-15-120D-MCT-FINISH	SURFACE MOUNTED ROUND FIXTURE	CEILING	35W	LED, 4000K
X1	ISOLITE	RL-RM-R-U-WH-MTEB-SD	LED EXIT FIXTURE; CHEVRONS AS INDICATED			LED
X2	ISOLITE	RL2LED-2-WH-MTEC	2 HEAD EMERGENCY LIGHT W/ BATTERY BACKUP			LED

A. COLOR TEMPERATURE OF ALL INTERIOR LIGHT FIXTURES SHALL BE 3500K AND HAVE 80+ CRI UNLESS INDICATED OTHERWISE.


B. COLOR TEMPERATURE OF ALL EXTERIOR LIGHT FIXTURES SHALL BE 3000K, AND HAVE 70+ CRI UNLESS INDICATED OTHERWISE.

C. ARCHITECT TO VERIFY ALL FINISHES.

D. ALL BALLASTS, DRIVERS, AND POWER SUPPLIES SHALL BE 120 VOLT UNLESS NOTED OTHERWISE.

E. PROVIDE ALL MOUNTING HARDWARE AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

F. VERIFY LOCATIONS AND MOUNTING HEIGHTS OF WALL MOUNTED AND SUSPENDED FIXTURES WITH ARCHITECTURAL PLANS, SECTION, AND ELEVATIONS PRIOR TO ROUGH-IN.



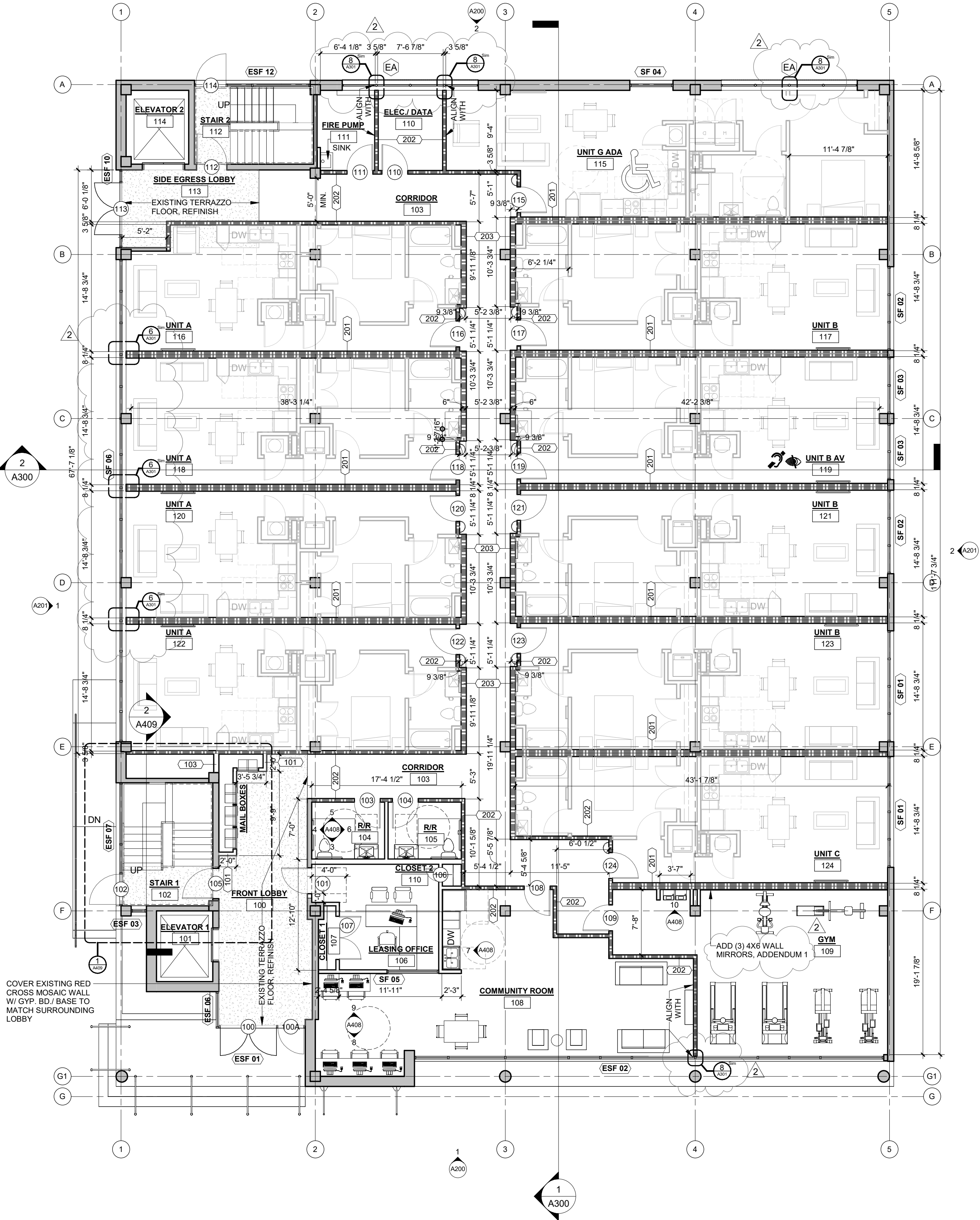
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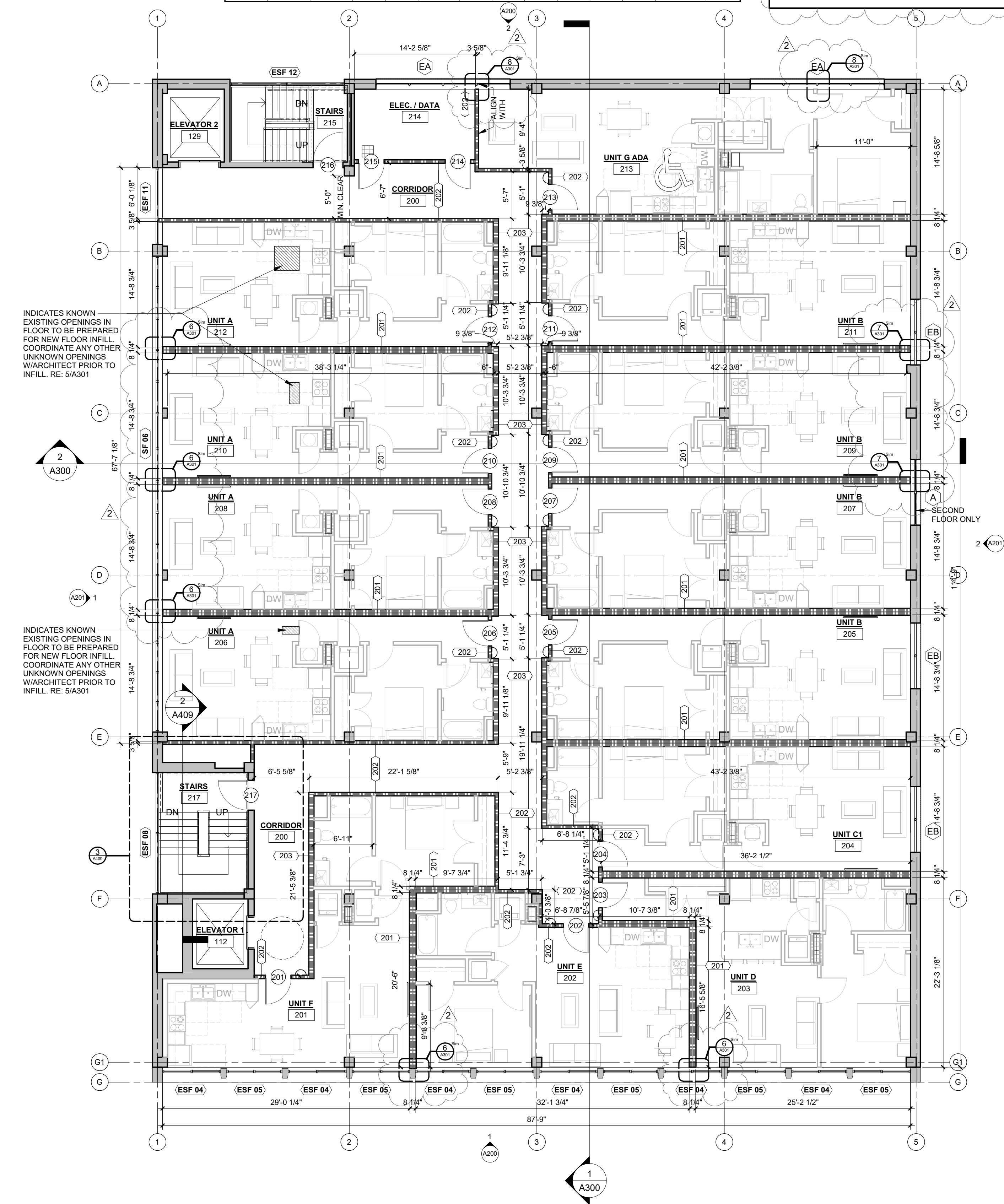


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1 NEW - FIRST FLOOR PLAN
1/8" = 1'-0"



2 NEW - SECOND FLOOR PLAN
1/8" = 1'-0"



2640 CANAL STREET BLDG SUMMARY			UNITS SUMMARY											TOTAL UNITS
			UNIT A	UNIT B	UNIT B AV	UNIT C	UNIT C1	UNIT D	UNIT E	UNIT F	UNIT G	UNIT G ADA		
			1BR1B	1BR1B	1BR1B	1BR1B	1BR1B	1BR1B	1BR1B	1BR1B	1BR1B	1BR1B		
4 STORIES	NSF	559	620	620	565	584	601	572	627	694	694			
	GSF	617	677	677	617	643	713	667	742	797	797			
LEVELS	TOTAL NSF	TOTAL GSF												
1ST	5,975	6,590	4	3	1	1					1	10		
2ND	7,794	8,738	4	3			1	1	1	1		13		
3RD	7,794	8,738	4	4			1	1	1	1		13		
4TH	7,794	8,738	4	4			1	1	1	1	1	13		
TOTAL	29,357	32,804	16	15	1	1	3	3	3	3	1	49		

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL
	EXISTING FLOOR OPENING TO BE INFILLED
	EXISTING SLAB TO BE CUT FOR MECHANICAL CHASE
	NEW 1HRR FIRE RATED WALL
	NEW 2HR FIRE RATED WALL

CANAL CROSSING SENIOR APT.
2640 CANAL ST, NEW ORLEANS, LA 70119

REVISIONS
2 04/15/25 Addendum 3
JOB NUMBER: 24-036
ISSUED: 12/18/24
ISSUED FOR: PERMITTING

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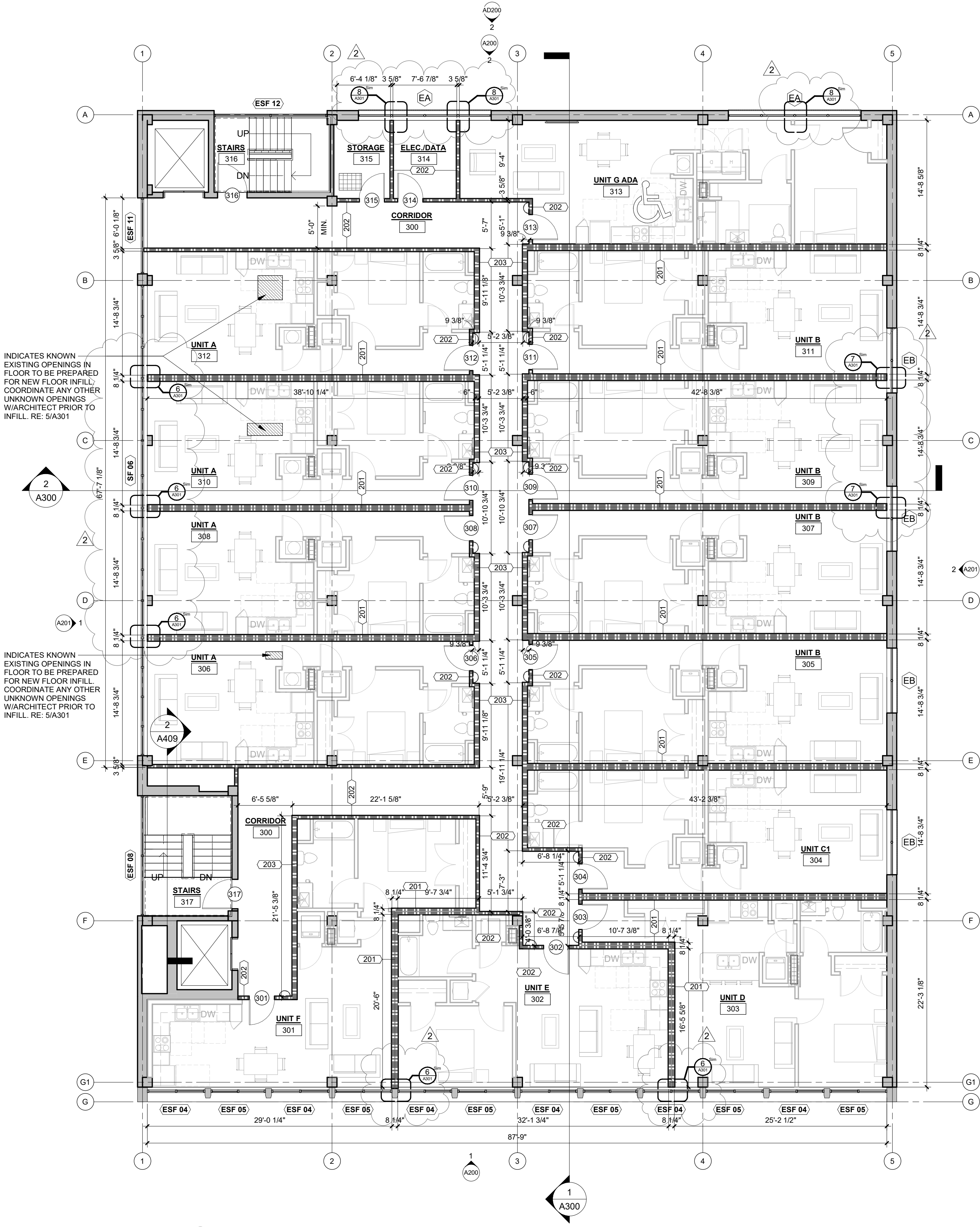
NEW FIRST & SECOND FLOOR PLAN

A101

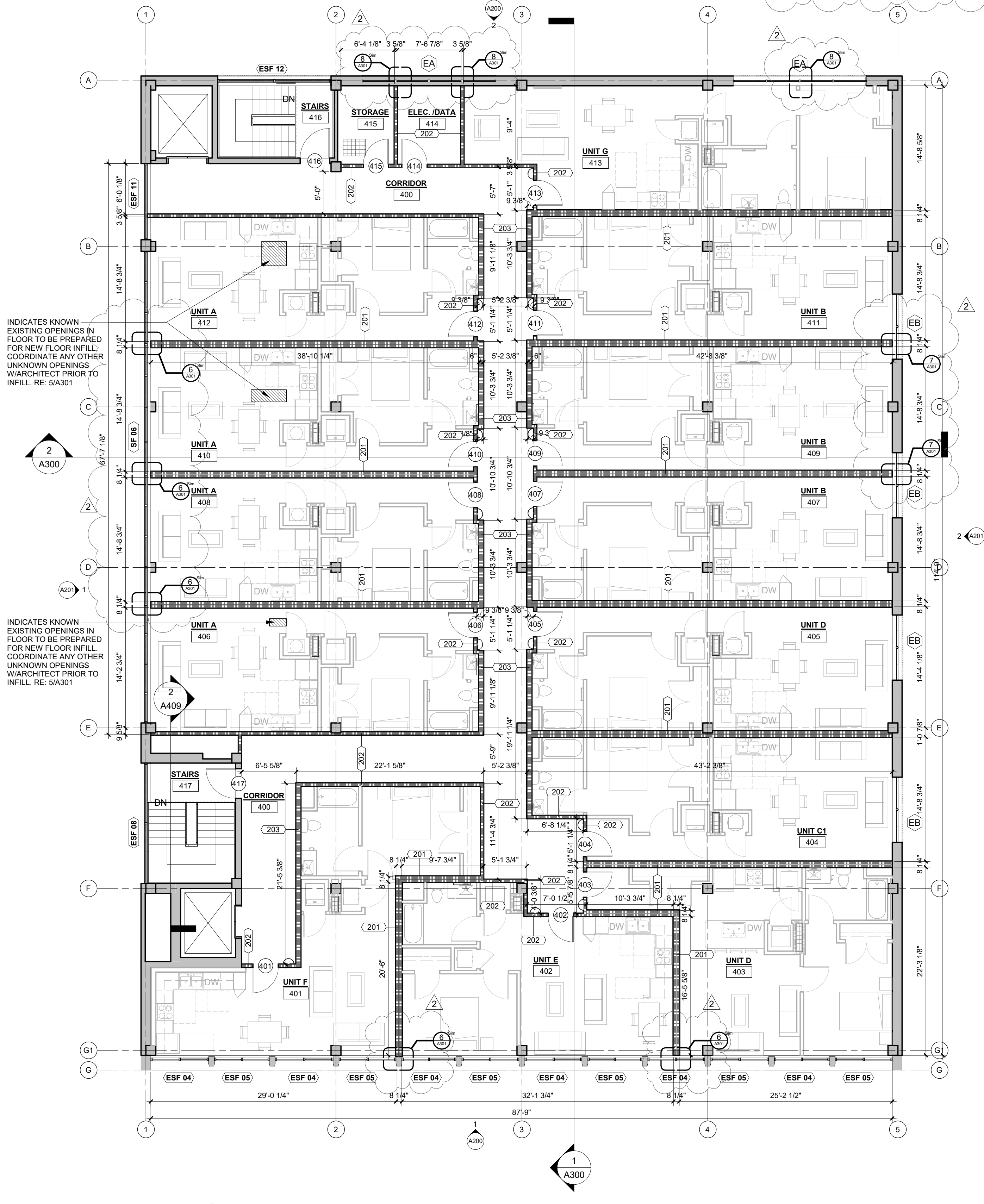
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1 NEW - THIRD FLOOR PLAN
1/8" = 1'-0"



2 NEW - FOURTH FLOOR PLAN
1/8" = 1'-0"



2640 CANAL STREET BLDG SUMMARY				UNITS SUMMARY										TOTAL UNITS
4 STORIES		NSF	GSF	UNIT A 1BR1B	UNIT B 1BR1B	UNIT B AV 1BR1B	UNIT C 1BR1B	UNIT C1 1BR1B	UNIT D 1BR1B	UNIT E 1BR1B	UNIT F 1BR1B	UNIT G 1BR1B	UNIT G ADA 1BR1B	
LEVELS		TOTAL NSF	TOTAL GSF											
1ST		5,975	6,590	4	3	1	1						1	10
2ND		7,794	8,738	4	3			1	1	1	1		1	13
3RD		7,794	8,738	4	4			1	1	1	1		1	13
4TH		7,794	8,738	4	4			1	1	1	1	1		13
TOTAL		29,357	32,804	16	15	1	1	3	3	3	3	1	3	49

WALL LEGEND	
	EXISTING WALL
	DEMOLISHED WALL
	NEW WALL
	EXISTING FLOOR OPENING TO BE INFILLED
	EXISTING SLAB TO BE CUT FOR MECHANICAL CHASE
	NEW 1HR FIRE RATED WALL
	NEW 2HR FIRE RATED WALL

CANAL CROSSING SENIOR APT.
2640 CANAL ST, NEW ORLEANS, LA 70119

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2 04/15/25 Addendum 3

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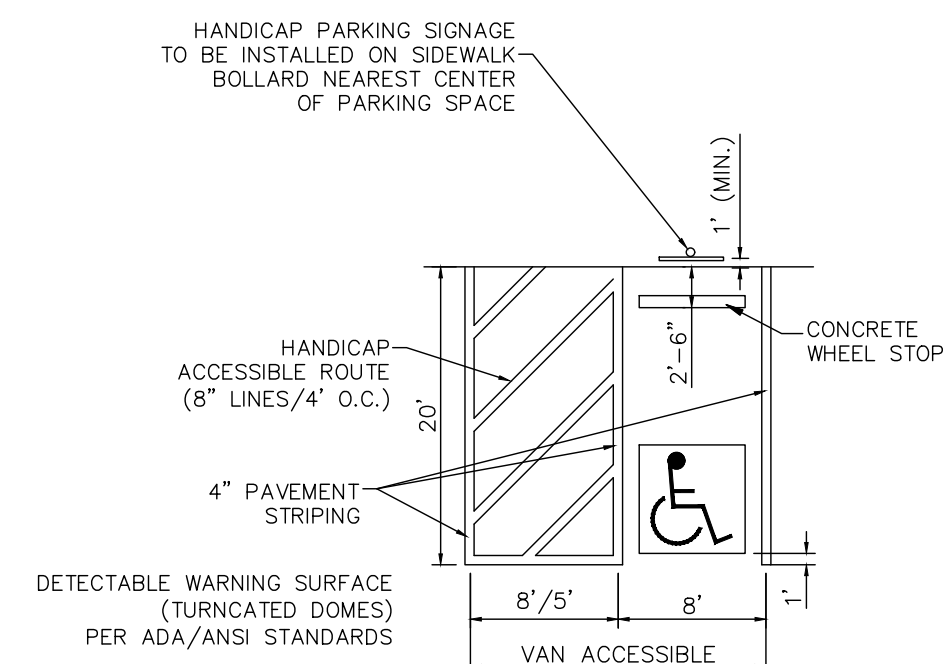
NEW THIRD & FOURTH
FLOOR PLAN

A102

PHASE: CD

1. CONTRACTOR IS RESPONSIBLE TO MEET AND MATCH NEW PAVEMENT WITH EXISTING ADJACENT PAVEMENT AREAS. THE TRANSITION BETWEEN THIS SITE AND ADJACENT SITES MUST BE SMOOTH AND MONOLITHIC.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, SURFACE AREA DIMENSIONS, AND ELEVATIONS. REFERENCE M.E.P. FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE MEASURED FROM EDGE OF PAVEMENT TO BUILDING, UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
5. THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

<i>VEHICLE PARKING REQUIREMENTS:</i>			
USE TYPE	REQ'D SPACES/SF	# OF UNITS	REQ'D SPACES
MULTI-FAMILY	1/DWELLING UNIT	49 DU	49
TOTAL HC SPACES REQ'D			3
TOTAL SPACES PROVIDED			55
TOTAL HC SPACES PROVIDED			3
TOTAL ELECTRIC CHARGING SPACES REQ'D (10%)			5
TOTAL ELECTRIC CHARGING SPACES PROVIDED			5
<i>BICYCLE PARKING REQUIREMENTS:</i>			
USE TYPE	REQ'D SPACES/SF	# OF UNITS	REQ'D SPACES
MULTI-FAMILY	1/5 DWELLING UNIT	49 DU	10
TOTAL SPACES PROVIDED			10
TOTAL PERMANENT COVERED SPACES REQ'D (80%)			8
TOTAL PERMANENT COVERED SPACES PROVIDED			8



NOTES:

1. THE LAYOUT SHOWN HEREON IS A TYPICAL HANDICAPPED PARKING LAYOUT. REFER TO THE GEOMETRIC LAYOUT SHOWN HEREIN FOR EXACT LOCATION OF HANDICAP PARKING.
2. ALL HANDICAPPED PAVEMENT STRIPING AND SYMBOLS SHALL BE BLUE THERMOPLASTIC PAVEMENT MARKINGS.
3. ALL HANDICAPPED PARKING SHALL CONFORM TO CURRENT A.D.A. REQUIREMENTS.

SCALE: NOT TO SCALE.

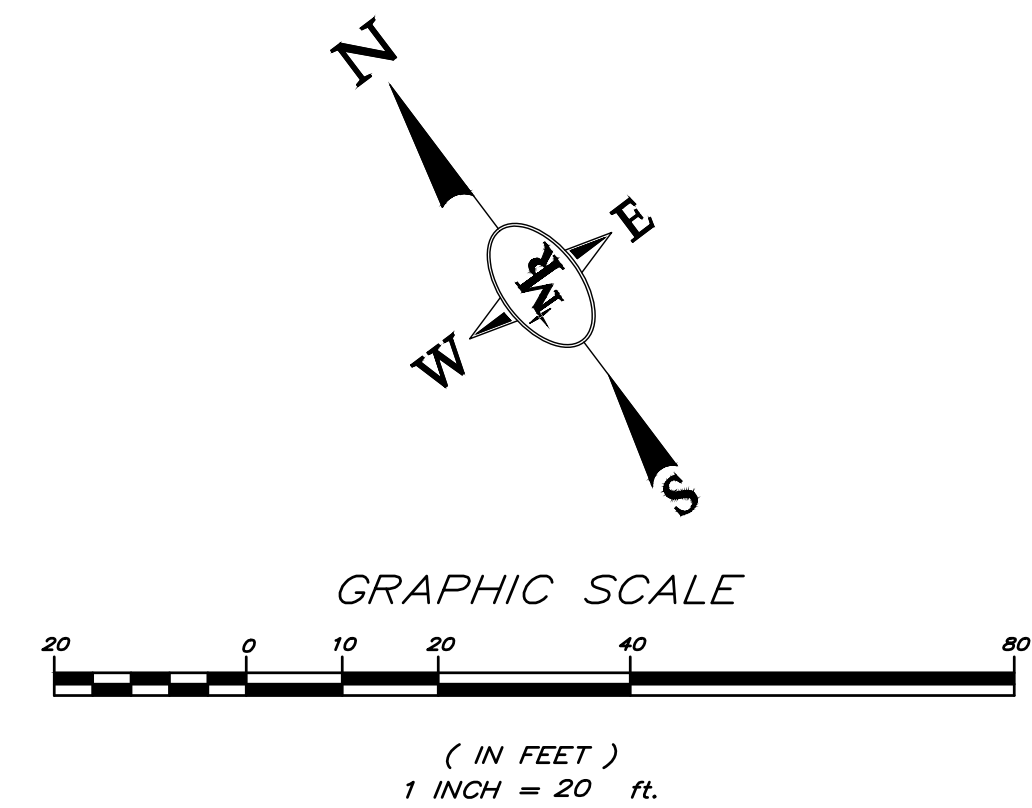
TYPICAL HANDICAPPED PARKING

LAYOUT

SCALE: N.T.S.

- (A) MILL AND OVERLAY EXISTING PAVEMENT
SEE DETAIL 1, SHT C2
- (B) OVERLAY EXISTING PAVEMENT
SEE DETAIL 2, SHT C2
- (C) DUMPSTER PAD
SEE DETAIL 3, SHT C2
- (D) EXISTING DRIVE ACCESS
- (E) HANDICAP PARKING SIGN
SEE DETAIL 4, SHT C2
- (F) HANDICAP PARKING SYMBOL
SEE DETAIL 5, SHT C2
- (G) HANDICAP ACCESS UNLOADING ZONE
SLOPE 2% MAX. EACH WAY (ADA
COMPLIANT) AND STRIPE AS SHOWN, SEE
DETAIL THIS SHEET
- (H) HANDICAP RAMP
SEE ARCH PLANS FOR DETAILS
- (I) STRIPING
PROVIDE 4" WIDE PARKING LOT STRIPING
AS SHOWN. USE HIGHWAY MARKING PAINT
- YELLOW (2 COATS)
- (J) EXISTING CONCRETE SIDEWALK
- (K) BICYCLE PARKING
PROVIDE 2' x 6' SPACES ON EACH SIDE
OF BIKE SUPPORT. COVERED SPACES MUST
HAVE 7" VERTICAL CLEARANCE.

④	VEHICLE PARKING COUNT
⑤	BICYCLE PARKING COUNT
➔	VEHICULAR DIRECTION OF TRAVEL



**Descriptive Narrative****Article 18, Section 18.15.B**

Date: 05/07/2025

Project Number: P6MHW7

Project Name: Canal Crossing Senior Apartments / 2640 Canal St.

From: Architect: DNA Workshop
Georgia LaNasa

To: Haley Webb

This narrative is submitted in support of the EC design standards for the rehabilitation of the existing historic structure located at 2640 Canal Street, New Orleans, Louisiana set forth in Article 18, Section 18.15.B, by incorporating a series of design elements that emphasize pedestrian-friendly infrastructure, urban aesthetics, and contextual harmony with the surrounding neighborhood.

1. *Development shall promote safe, convenient and attractive pedestrian and bicycle access.*
 - Canal Crossing will promote safe & convenient pedestrian and bicycle access. The site will be enhanced and secured with a new 6' metal perimeter fence with secure electric pedestrian and vehicular gate. The bicycle secure area will be located within the secure area adjacent to the building adjacent to the side exit door.
2. *Compact neighborhood centers shall be created at major intersections to the extent possible in order to support transit.*
 - The is not applicable to the historic existing building. Scope of work: Exterior and site layout are existing with interior renovation.
3. *Development shall ensure completability between commercial uses and surrounding residential areas.*
 - The surrounding buildings are a mix of commercial, retail and residential. This is a interior renovation of a historic building changing use from business to senior residential.
4. *The architectural design should be consistent with the context, character, scale and material of structures in the adjacent areas.*
 - The is not applicable to the historic existing building. Exterior materials of building are remaining "as is".
5. *Neon signage is prohibited on the interior or exterior of windows, other than an "open" sign.*
 - The signage will comply with all guidelines. The new entry signage will be pin mounted metal lettering added on the brick veneer adjacent to the front entry door.

Issued By:

Georgia LaNasa
DNA Workshop

GENERAL NOTES:

1. GENERAL CONTRACTOR & LANDSCAPE CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
2. GENERAL CONTRACTOR AND/OR LANDSCAPE CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND/OR APPROVALS PRIOR TO COMMENCING WORK.
3. GENERAL CONTRACTOR & LANDSCAPE CONTRACTOR RESPONSIBLE FOR USING THE MOST UP TO DATE PLANS. DESIGNER IS NOT RESPONSIBLE FOR LANDSCAPE INSTALLATION BASED OFF OF OBSOLETE PLANS.
4. GENERAL CONTRACTOR & LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. LANDSCAPE CONTRACTOR SHALL STAKE OUT PROPOSED SITE IMPROVEMENTS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO START.
6. LANDSCAPE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
7. ANY MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT PRIOR TO EXECUTION.
8. GENERAL CONTRACTOR AND/OR LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. GENERAL CONTRACTOR AND/OR LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN PROPOSED TREE PLANTINGS AND EXISTING OR PROPOSED UTILITIES. ALL ONSITE CONTRACTORS SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES. IN THE EVENT ANY EXISTING UTILITIES ARE UNCOVERED, THE GENERAL CONTRACTOR AND/OR LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER AND/OR LANDSCAPE ARCHITECT. THE AT FAULT CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGES SHALL NO RESULT IN ANY ADDITIONAL EXPENSE TO THE OWNER.
9. LANDSCAPE CONTRACTOR TO PROVIDE DAILY CLEANUP AND MAINTENANCE THROUGH COMPLETION OF PROJECT AND FINAL ACCEPTANCE CERTIFICATION. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC ROADS, AS A RESULT OF LANDSCAPE AND/OR IRRIGATION WORK, SHALL BE CLEANED UP DAILY.
10. THE GENERAL CONTRACTOR AND/OR LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ANY EXISTING BUILDING OR STRUCTURES ON SITE AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED BY HIS OPERATIONS.
11. ALL LANDSCAPE DEVELOPMENT WITHIN ANY PUBLIC SERVITUDE WILL REQUIRE A "HOLD HARMLESS" AGREEMENT OR "LETTER OF NO OBJECTION" BETWEEN ALL UTILITY COMPANIES AND THE OWNERS. IT IS THE RESPONSIBILITY OF THE OWNER TO REQUEST THE AGREEMENT AND PRESENT THEM TO THE CITY'S LANDSCAPE ARCHITECT FOR APPROVAL OF THE LANDSCAPE PLAN.

1. ALL MATERIAL SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL.
2. PLANT LIST QUANTITIES ARE PROVIDED AS AN AID TO BIDDERS ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES OF PLANT MATERIALS, BEDS, MULCH AREAS, SOD, AND HYDROSEED ON PLAN. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE PLAN LIST THE PLAN SHALL RULE. IMPROPER PLANT COUNTS MADE BY THE LANDSCAPE CONTRACTOR SHALL BE NO CAUSE FOR ADDITIONAL COSTS TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COMPLIANCE OF LANDSCAPE PLANS WITH THE CITY-PARISH MINIMUM LANDSCAPE REQUIREMENTS.
4. ALL LANDSCAPE AREAS TO BE MAINTAINED PER LOCAL GOVERNING AUTHORITY'S LANDSCAPE CODE.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL OR ALUMINUM EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. IF REQUIRED, AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. A SEPARATE PLAN WILL BE PROVIDED.

1. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
2. GENERAL CONTRACTOR SHALL PROVIDE (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.
3. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, INSECTS OR ANY OTHER UNDESIRABLE MATERIAL, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
4. GENERAL CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES, UNLESS OTHERWISE SPECIFIED. LANDSCAPE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE FOR ALL BEDS AND PLANT AREAS UNLESS OTHERWISE SPECIFIED.
6. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
7. FINE GRADE AREAS TO ACHIEVE FINE CONTOURS OR ELEVATIONS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN LAWN AREAS.
8. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH APPROVED BY THE ARCHITECT PRIOR TO PLANTING INSTALLATION. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE FINE GRADED AND HYDROSEEDDED, UNLESS OTHERWISE SPECIFIED ON THE PLANS.
9. SOD LAID OVER POORLY GRADED AREAS SHALL CAUSE FOR REMOVING SOD, REGRADING, AND INSTALLING NEW SOD AT NO ADDITIONAL EXPENSE TO THE OWNER, IF GRADE IS NOT TO WITHIN 0.10 FOOT, CONTACT THE LANDSCAPE ARCHITECT.
10. UNLESS OTHERWISE SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE ONLY FOR FINE GRADING OF THE PLANTING AREAS. FINE GRADING SHALL CONSIST OF THE FINAL 0.10 FOOT OF GRADE TO BE ACHIEVED.

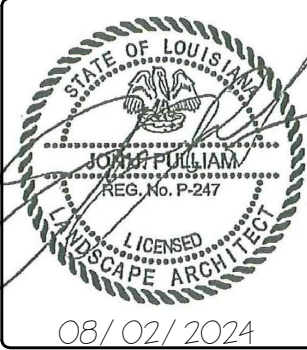
1. ALL LAWN AREAS TO BE SOLID SOD CENTIPEDE, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH COMPOST TO FILL VOIDS.
3. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. FREE FROM UNNATURAL UNDULATIONS.
4. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
5. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
6. LANDSCAPE CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

1. LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND LABOR FOR TWELVE (12) MONTHS AFTER FINAL ACCEPTANCE OF PROJECT FOR MATERIAL EITHER DEAD OR NOT IN HEALTHY CONDITION. LANDSCAPE CONTRACTOR SHALL WATER ALL MATERIAL AS NEEDED TO MAINTAIN THE HEALTH OF PLANT MATERIALS UNTIL FINAL ACCEPTANCE.
2. IT SHALL BE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STRAIGHTEN OR REPLANT ALL PLANTS WHICH ARE DAMAGED DUE TO A LACK OF GUYING OR STAKING. IF UNSTAKED, PLANTS BLOWN OVER BY HIGH WINDS SHALL NOT BE A CAUSE OF ADDITIONAL EXPENSE TO THE OWNER, BUT SHALL BE THE FINANCIAL RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
3. LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE AT ANY TIME TO REPLACE OR HONOR ANY WARRANTY FOR THE LOSS OF ANY TREES, PLANTS, GROUND COVERS, OR SOD CAUSED BY FIRES, FLOODS, FREEZING TEMPERATURES, LIGHTNING, WINDS ABOVE 50 MILES PER HOUR, OR ANY OTHER NATURAL DISASTER. NOR SHALL THE LANDSCAPE CONTRACTOR BE HELD RESPONSIBLE FOR ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.



PRELIMINARY
FOR SITE PLAN REVIEW ONLY

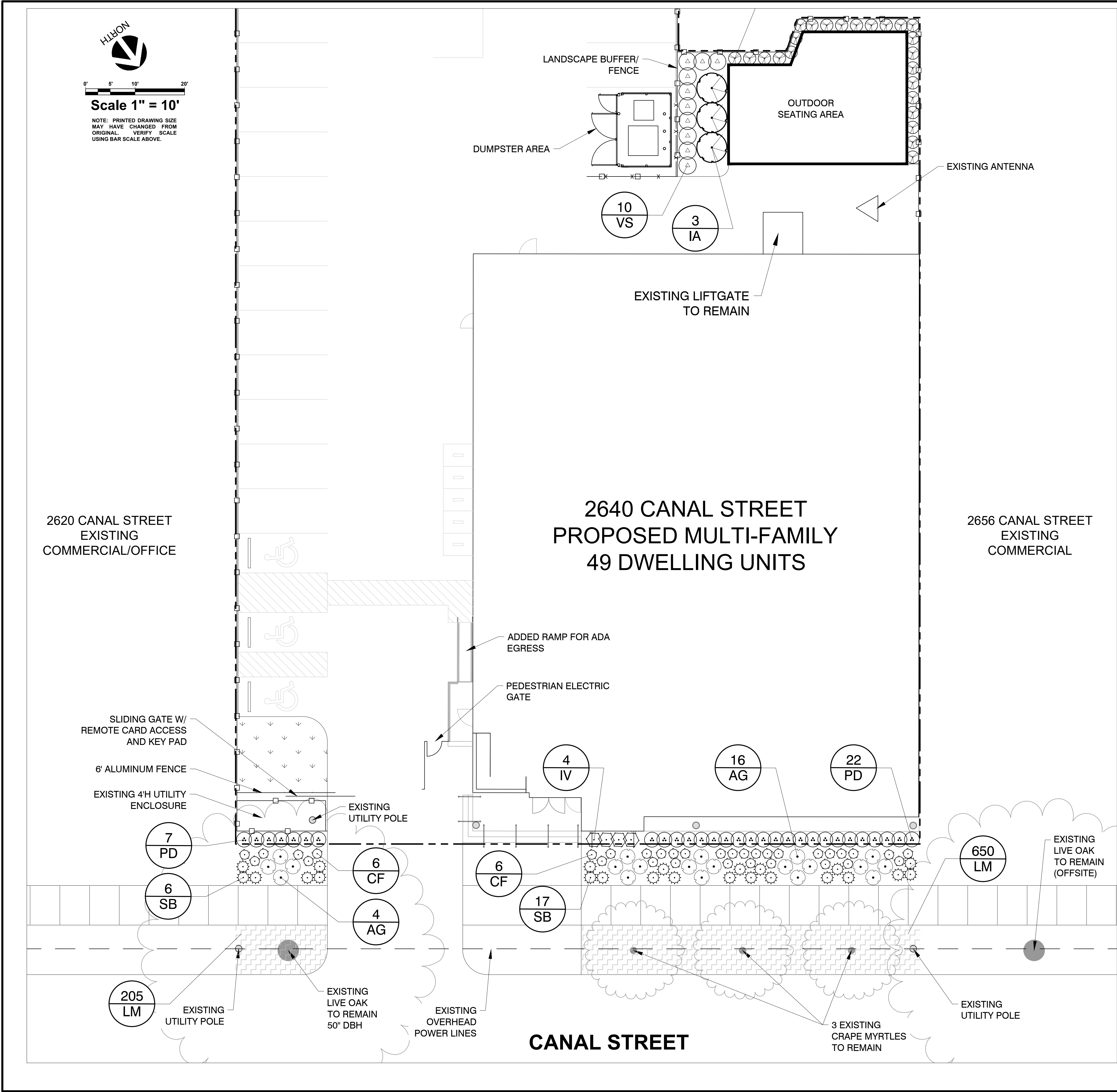
JON J. PULLIAM, PLA
JON J. PULLIAM, LANDSCAPE ARCHITECT, LLC
17524 MCCORRY 1 ROAD
PRAIRIEVILLE, LA 70769



CANAL CROSSING APARTMENTS
2640 CANAL STREET
NEW ORLEANS, LA
ORLEANS PARISH

LANDSCAPE SPECS & DETAILS

[illegible]



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	IA	Ilex x attenuata 'Eagleston'/ Eagleston Holly (Tree Form, Standard)	B & B	2.5" Cal	8'-10'	10
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE		SPACING	QTY
	AG	Agapanthus/ Lilly of the Nile	3 gal		Per Plan	20
	CF	Cyrtomium falcatum/ Holly Fern	3 gal		Per Plan	33
	CG	Distylium 'PIDIST-V' PP27631 / 'Cinnamon Girl' Distylium 18" min. at the time of planting	5 gal		36" o.c.	42
	IC	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly 18" min. at the time of planting	5 gal		36" o.c.	22
	IV	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire 18" min. at the time of planting	5 gal		30" o.c.	4
	MS	Miscanthus sinensis 'Adagio' / Adagio Maiden Grass	3 gal		Per Plan	2
	PD	Podocarpus macrophyllus 'Pringles Dwf' / Japanese Yew 18" min. at the time of planting	5 gal		30" o.c.	29
	SB	Selaginella braunii / Arborvitae Fern	3 gal		Per Plan	23
	VS	Viburnum odoratissimum/ Sweet Viburnum 36" min. at the time of planting	5 gal		36" o.c.	10
SOD/SEED	CODE	BOTANICAL NAME / COMMON NAME	CONT		SPACING	QTY
	LM	Liriope muscari / Liriope	4" Pot		12" O.C.	1,025
	SG	Stenotaphrum secundatum / St. Augustine Grass	sod			630 sf

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	36,595 SF
BUILDING FOUNDATION LANDSCAPING 1 SHRUB EVERY 36" O.C.	PROVIDED
FRONTYARD LANDSCAPE CLEVELAND AVE. - 1 UNIT (UNIT D) PER 100 LF 90 LF = .9 D UNITS = 2 SHADE TREES/2 EVERGREEN TREES/ 4 EVERGREEN TREES / 34 SHRUBS	5 EVERGREEN TREES & 40 SHRUBS PROVIDED
PARKING LOT LANDSCAPING N/A DUE TO THIS BEING AN EXISTING PARKING LOT	
INTERIOR PARKING LOT N/A DUE TO THIS BEING AN EXISTING PARKING LOT	

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PRARIEVILLE, LA 70769

JJP

STATE OF LOUISIANA
JON J. PULLIAM
LANDSCAPE ARCHITECT
EXPIRES: 08/02/2024

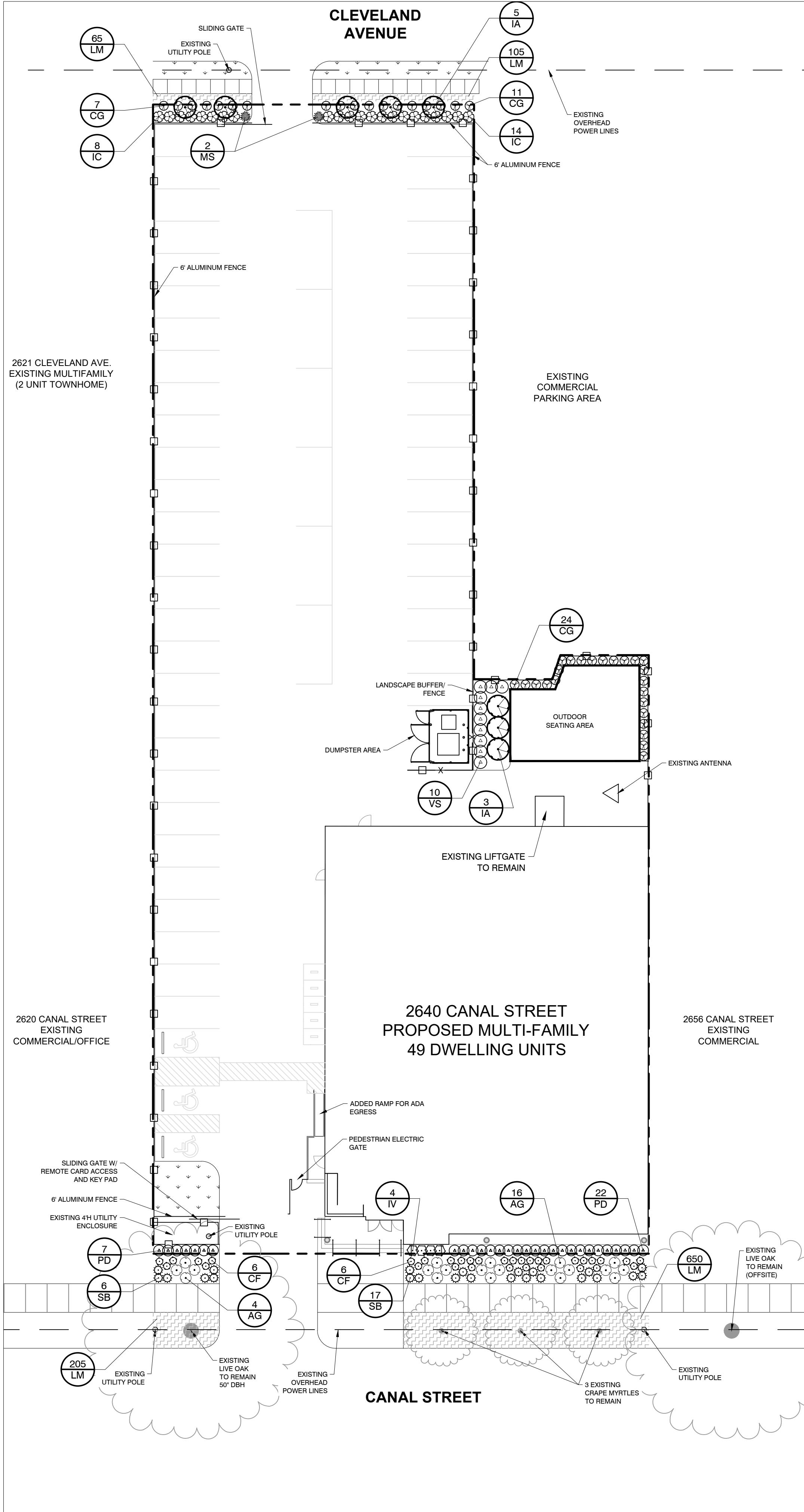
Louisiana 811
LA ONE CALL- CALL BEFORE YOU DIG- THE CONTRACTOR SHALL CALL 811 TO REQUEST THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES. THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

CANAL CROSSING APARTMENTS
2640 CANAL STREET
NEW ORLEANS, LA
ORLEANS PARISH











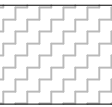
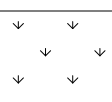
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OF

BY
REVISION DATE
REVISION DESCRIPTION

SHEET NUMBER
LP-2



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	IA	Ilex x attenuata 'Eagleston'/ Eagleston Holly (Tree Form, Standard)	B & B	2.5"Cal	8'-10'	10
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PARKING LOT LANDSCAPING N/A DUE TO THIS BEING AN EXISTING PARKING LOT	
INTERIOR PARKING LOT N/A DUE TO THIS BEING AN EXISTING PARKING LOT	

LANDSCAPE STANDARDS

- ALL PLANTS MATERIALS SHALL BE TRUE TO NAME, VARIETY, AND SIZE. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. ALL PLANT MATERIALS TO MEET ANSI Z.60 STANDARDS, LATEST EDITION.
- THE LANDSCAPE CONTRACTOR SHALL MEET OR EXCEED BOTH THE CONTAINER SIZE AS WELL AS HEIGHT AND SPREAD SPECIFICATIONS ON ALL PLANT MATERIAL. CALIPER SIZES SHALL BE MEASURED SIX INCHES (6") ABOVE GROUND LEVEL.
- PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, AND OBTAINED FROM THE SAME SOURCE.
- LANDSCAPE ARCHITECT MAY REJECT ANY MATERIALS THAT DO NOT MEET THE REQUIREMENTS OF THE PLANT LIST, DRAWINGS OR NOTES. REJECTED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER. IN THE EVENT THAT THE MATERIALS ARE REJECTED, THE LANDSCAPE CONTRACTOR SHALL PURSUE AND EXAMINE OTHER SOURCES OF MATERIALS UNTIL ACCEPTABLE SPECIMENS ARE FOUND. SUCH A CHANGE WILL NOT CONSTITUTE AND INCREASE IN COST TO THE OWNER.
- CLASS A TREES:
 - SINGLE TRUNK CLASS A TREES: ALL SINGLE TRUNK CLASS A TREES SHALL HAVE A MINIMUM 2" CALIPER IMMEDIATELY AFTER PLANTING. SINGLE TRUNK TREES MUST MEASURE A MINIMUM HEIGHT OF 8' TALL IMMEDIATELY AFTER PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
 - MULTI-TRUNK CLASS A TREES: ALL MULTI TRUNK CLASS A TREES SHALL HAVE MAIN STEMS WITH A MINIMUM OF 1-1/2" CALIPER PER TRUNK, A MINIMUM OF 3 MAIN STEMS, AND MEASURE A MINIMUM OF 10' TALL AT TIME OF PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
- CLASS B TREES:
 - SINGLE TRUNK CLASS B TREES: ALL SINGLE TRUNK CLASS B TREES SHALL HAVE A MINIMUM 1.5" CALIPER IMMEDIATELY AFTER PLANTING. SINGLE TRUNK CLASS B TREES MUST MEASURE A MINIMUM HEIGHT OF 8' TALL IMMEDIATELY AFTER PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
 - MULTI-TRUNK CLASS B TREES: ALL MULTI TRUNK CLASS B TREES SHALL HAVE MAIN STEMS WITH A MINIMUM OF 1" CALIPER PER TRUNK, A MINIMUM OF 3 MAIN STEMS, AND MEASURE A MINIMUM OF 8' TALL AT TIME OF PLANTING. ALL TREE HEIGHTS SHOULD BE MEASURED FROM TOP OF ROOTBALL TO TIP OF HIGHEST BRANCH.
- TREE PLANTING: EXCAVATE 3 TIMES GREATER THAN BALL DIAMETER. ALL TREE PITS MUST BE LOOSENEED TO A DEPTH THAT ANY HARDPAN HAS BEEN BROKEN AND MOISTURE IS ALLOWED TO MOVE THROUGH FREELY. THE TREE MUST BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TREE'S ORIGINAL GRADE IN NURSERY OR BE SLIGHTLY ABOVE (NO MORE THEN ONE AND ONE HALF INCHES) FINISHED GRADE. TREE SHALL SET ON UNDISTURBED SUBGRADE. TREES THAT ARE PLANTED TOO LOW OR THAT SETTLE BELOW FINISHED GRADE OR THAT ARE PLANTED TOO HIGH SHALL BE REPLANTED AT THE LANDSCAPE CONTRACTOR'S EXPENSE. BACK FILL THE HOLE WITH A MIX OF 1/2 TOPSOIL AND 1/2 NATIVE SOIL FROM THE HOLE AND FERTILIZE. PROVIDE A 4" WATERING RING AND ADD A 4" LAYER OF SHREDDED PINE BARK MULCH OR PROCESSED HARDWOOD MULCH AND STAKE OR GUY AS SHOWN IF REQUIRED. (SEE DETAIL) WATER TREE TO THE POINT OF SATURATION.
- SHRUB PLANTING: ALL SHRUBS SHALL BE A MINIMUM OF 24" IN HEIGHT IN A MINIMUM 3 GALLON CONTAINER UNLESS OTHERWISE SPECIFIED.
- GROUND COVER / SHRUB BEDS: MIX 1/2 TOP SOIL AND 1/2 APPROVED GARDEN SOIL TO A DEPTH OF 8"-10", WITH A GENERAL (SLOW RELEASE PREFERRED), (14/14/14) FERTILIZER, (OR APPROVED EQUAL), AT A RECOMMENDED RATE AND TILL TO A MIN. DEPTH OF 10"-14". PROVIDE L.A. SAMPLE OF SOIL MIX FOR APPROVAL BEFORE STARTING BED PREP.
- HEDGES: PLANTS SHALL BE PLANTED ON CENTER AS CALL FOR ON THE PLAN. TRIMMING INTO HEDGE SHAPE SHALL OCCUR FOLLOWING PLANTING. PLANTS SHALL HAVE BRANCHES TOUCHING SO AS TO FORM A HEDGE.
- ALL TOP DRESS MULCHES SHALL BE SPECIFIED IN THE PLANT SPECIFICATIONS LIST. LANDSCAPE CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH SAMPLE FOR APPROVAL PRIOR TO MULCHING BEDS. APPROVED MULCHES INCLUDE:
 - PROCESSED HARDWOOD MULCH
 - SHREDDED PINE BARK MULCH
 - CRUSHED PINE NEEDLES--LANDSCAPE SHRUB BEDS
 - BALED PINE STRAW--STAND ALONE TREESTHE TYPE OF MULCH WILL VARY DEPENDING ON THE PLANTING CONDITIONS AND THE PLANT VARIETY.
- LAWNS: AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1" IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES. ROLLS OF SOD ARE ACCEPTABLE. (WHERE APPLICABLE).
- SEEDED AREA: ALL AREA DISTURBED BY CONSTRUCTION SHALL BE SEEDED WITH COMMON BERMUDA/RYE GRASS MIX. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR RATES, ETC.
- ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN 2 WEEKS OF HYDROMULCHING SHALL BE RE-HYDROMULCHED AS DIRECTED UNTIL A SATISFACTORY LAWN HAS BEEN ESTABLISHED.
- FERTILIZER: FERTILIZER SHALL BE A SLOW RELEASE 14-14-14 OR OTHER APPROVED BLEND, APPLIED AT THE RATE RECOMMENDED BY THE MANUFACTURER. ANY FERTILIZER THAT BECOMES WET, CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE WILL NOT BE ACCEPTED.
- WATERING AT TIME OF PLANTING: INITIALLY, WATER THE PLANT MATERIAL TO DEVELOP UNIFORM COVERAGE AND DEEP WATER PENETRATION OF AT LEAST 6". AVOID EROSION, PUDDLING, AND WASHING SOIL AWAY FROM PLANT ROOTS.
- IRRIGATION AND WATERING: IF REQUIRED, HOSE BIBS SHALL BE PLACED WITHIN THE SPECIFIED DISTANCE OF ALL PLANTING BEDS, OR A PERMANENT IN-GROUND IRRIGATION SYSTEM SHALL BE PROVIDED.
- FINAL ACCEPTANCE: ACCEPTANCE BY LANDSCAPE ARCHITECT WILL BE MADE ONLY IF ALL TREES ARE IN PLACE, LIVING AND ARE IN CONFORMANCE WITH THE DRAWING, PLANT LIST AND NOTES.
- EXISTING TREE AND VEGETATION PROTECTION: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION (WITH PHYSICAL BARRIERS) AND MAINTENANCE OF EXISTING AND TRANSPLANTED TREES DURING CONSTRUCTION (WHERE APPLICABLE, SEE TREE PROTECTION PLAN AND/OR DETAILS).
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL PLANTS AND LANDSCAPE MATERIALS ON SITE THAT ARE NOT DESIGNATED FOR REMOVAL. THE AT-FAULT CONTRACTOR SHALL REPLACE ANY DAMAGED LANDSCAPING TO MATCH EXISTING IN SIZE AND SPECIES UNLESS OTHERWISE APPROVED BY LANDSCAPE ARCHITECT.
- ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THESE PLANS ARE CORRECT, THE OWNER/GENERAL CONTRACTOR IS TO VERIFY ALL DETAILS AND DIMENSIONS. ON-SITE SUPERVISION IS UNABLE TO BE PROVIDED BY THE LANDSCAPE ARCHITECT/DESIGNER AND AS SUCH THE LANDSCAPE ARCHITECT/DESIGNER HAS NO CONTROL OVER THE INTERPRETATION AND CONSTRUCTION OF THE PROJECT. THEREFORE THERE IS NO WARRANTY WRITTEN, IMPLIED OR PROVIDED FOR THE USE OF THESE PLANS.

PRELIMINARY
FOR SITE PLAN REVIEW ONLY

JON J. PULLIAM, PLA
JON J. PULLIAM, LANDSCAPE ARCHITECT, LLC
17524 MCCORRY ROAD
PRARIEVILLE, LA 70769

08/02/2024

LA ONE CALL - CALL BEFORE YOU DIG
FOR A FREE SERVICE CALL TO LOCATE UTILITIES
FOR YOUR PROJECT. CALL 811 OR VISIT
WWW.LAONECALL.COM. THE STATE OF LOUISIANA
PARISH DEPARTMENT OF PUBLIC WORKS TO HAVE UTILITIES
LOCATED FOR YOUR PROJECT. THE LOCATION OF THE UTILITIES
FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES
FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES
THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

CANAL CROSSING APARTMENTS
2640 CANAL STREET
NEW ORLEANS, LA
ORLEANS PARISH
LANDSCAPE PLAN

DESIGNED	CHECKED	DATE	BY
DETAILED	CHECKED	DATE	BY
REVISION	DATE	DESCRIPTION	

SHEET NUMBER
LP-1



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: • Design Review

Interim Zoning Districts Appeal

Moratorium Appeal

Property Location _____

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name _____

Applicant Address _____

City _____ State _____ Zip _____

Applicant Contact Number _____ Email _____

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name _____

Property Owner Address _____

City _____ State _____ Zip _____

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

This project involves the redevelopment of a 41,860-square-foot space within the historic IBM Building on Canal Street into a new multi-family residential community. The development will include the construction of 49 new residential units along with shared amenity spaces such as a fitness center, community room, and leasing office.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- University Area Design Overlay
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use _____ Proposed Use _____

Square Number _____ Lot Number _____ Permeable Open Space (sf) _____

New Development? Yes • No Addition? Yes • No Tenant Width _____

Existing Structure(s)? Yes • No Renovations? Yes • No Building Width _____

Change in Use? Yes • No Existing Signs? Yes • No Lot Width (sf) _____

New Sign(s)? Yes • No Lot Area (sf) _____ Building Area (sf) _____



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

North arrow, scale, and date of plan
Location, dimensions, and area of permeable open space
Name, address of the professional who prepared the plan
Legend of symbols, patterns, and abbreviations used
The entire lot(s), including area and property lines dimensioned (including gross area of the site)
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
Location and dimensions of buildings and structures, including total floor area and distance from property lines
Location of adjacent buildings
Location of refuse storage locations
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
Fence location, height, and materials

2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development
Room use
Location of all walls, doors, and windows
Location of all plumbing fixtures
Location of major appliances/mechanical equipment
Stairway location
Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls
Types, style, height, and the number of fixtures
Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials
Building Elevation (including building width and height)
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
All landscape plans shall meet the minimum requirements of site plans
Legend defining all symbols, patterns, and abbreviations used
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
Description of all tree preservation measures on-site and in the public right-of-way
Width, depth, and area of landscaped area(s)
Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

Photographs of the subject site and/or building

8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

Additional submittal requirements for the University Area Design Overlay

FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000