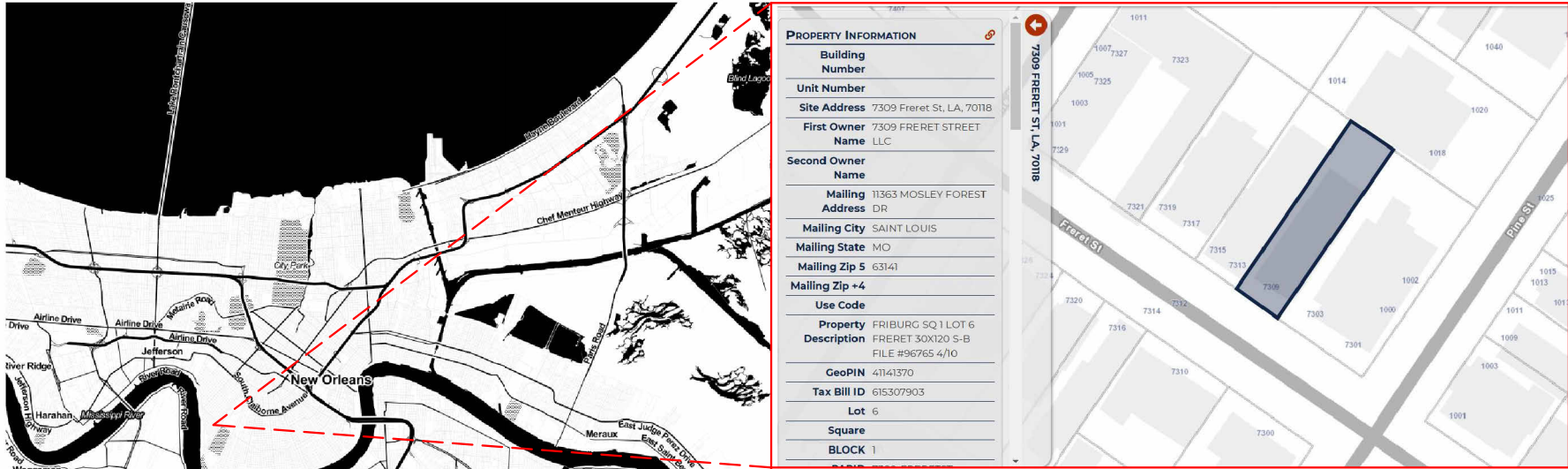


SCHEMATIC DESIGN DRAWINGS

SMALL MULTI-FAMILY AFFORDABLE

7309 FRERET ST.
NEW ORLEANS, LA 70118



KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	NEW ARCHITECTURAL SHINGLE ROOF OVER WEATHER BARRIER AND SHEATHING. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-01.1	STANDING SEAM METAL ROOF OVER SHEATHING AND WEATHER BARRIER W/ RIGID INSULATION. RE: DETAILS / ASSEMBLIES.
N-09	NEW GRADING/SOD AS REQ'D.
N-10	NEW WOOD FENCE. RE: SITE DETAILS. COORDINATE HARDWARE SELECTION WITH OWNER. (HDLG DETAILING IF REQUIRED)
N-12	6" ALUMINUM BAKED HALF-ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW, TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-16	A/C CONDENSERS AT OR ABOVE B.F.E.; CONTRACTOR TO COORDINATE HVAC STRATEGY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. FLASH AS REQ'D. INSTALLER TO PROVIDE NECESSARY CLEARANCES AROUND MACHINE AS REQUIRED BY CODE. (MOUNT A/C ON PLATFORM OR ON ROOF. RE: SITE DETAILS)
N-17.1	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. RE: DETAILS / STRUCT.
N-17.2	EXTERIOR CONCRETE SLAB. SLOPE TO DRAIN
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS, TYP.

Energy Code Compliance Summary IECC 2021		PARISH	CLIMATE ZONE 2A FOR ORLEANS
COMPLIANCE METHOD		CHECK	
PRESCRIPTIVE		✓	
RESCHECK (http://www.energycodes.gov/rescheck)			
COMCHECK (http://www.energycodes.gov/comcheck)			
BUILDING AREA		VALUE	
TOTAL AREA (SQ FT) OF CONDITIONED SPACE		ENTER R VALUE	
INSULATION VALUES (R402)			
CEILING/ROOF		R-38	
WALLS		R-13	
BASEMENT		/	
FLOOR		R-13	
SLAB		/	
CRAWLSPACE		/	
HEATING EQUIPMENT		EFFICIENCY (BTU\$/RATING)	
ELECTRIC		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS		TBD. SEE GENERAL NOTE 1 BELOW.	
COOLING EQUIPMENT		EFFICIENCY (BTU\$/SEER)	
ELECTRIC		TBD. SEE GENERAL NOTE 1 BELOW.	
GAS		TBD. SEE GENERAL NOTE 1 BELOW.	
FENESTRATION U VALUE		U-VALUE	
40 MAX			
FENESTRATION SHGC		SHGC	
25 MAX			
SKYLIGHT U VALUE		U-VALUE	
NA			

GENERAL NOTES:
1. Heating information regarding A/C and heating equipment and efficiency to be determined by sub-contractor according to Heat Load Manual J calculations (to be submitted prior to mechanical inspection.)

GENERAL NOTES - PROJECT

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, CENTER OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE THE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.

PROJECT / CONTRACT INFORMATION

PROJECT DESCRIPTION
DEMOLITION OF EXISTING BUILDING IN ITS ENTIRETY.
CONSTRUCTION OF A NEW TWO STORY, AFFORDABLE MULTI-FAMILY RESIDENTIAL BUILDING WITH 4 UNITS, TOTAL OF 10 BEDROOMS AND 4 BATHROOMS.
FIRST FLOOR UNITS TO ADHERE TO FHA CONSTRUCTION STANDARDS.

PERMIT TYPE

DEMOLITION
NEW CONSTRUCTION

SFM, LEVEL OF ALTERATION

NEW CONSTRUCTION

OWNER:

JAMES SPALT
JS@NDVRPARTNERS.COM

ARCHITECT

ZACH SMITH CONSULTING & DESIGN
1000 S NORMAN C FRANCIS PKWY
NEW ORLEANS, LA 70125
504-383-3748
ZACH@ZACHSMITHCONSULTING.COM

MEP ENGINEER

TBD

PROJECT INFORMATION

ZONING/CODE INFORMATION

ZONING DISTRICT: HU-RD2
OVERLAY DISTRICT:
• UNIVERSITY AREA OFF STREET PARKING OVERLAY
• B&B IZD
• COMMERCIAL STR IZD
• BUILDING WITH 4 UNITS, TOTAL OF 10 BEDROOMS AND 4 BATHROOMS.
• NON-COMMERCIAL STR IZD
HDLG DISTRICT: UPTOWN - PARTIAL NHDLC

PROPOSED DEVELOPMENT:

PROJECT SQUARE FOOTAGE (TOTAL): 4460 SQ. FT.
2115 SF INTERIOR + 115 SF PORCH FIRST FLOOR
2115 SF INTERIOR + 115 SF PORCH SECOND FLOOR

NO. OF STORIES: 2

PROJECT ON FLOOR: 1+2

BUILDING HEIGHT: 28'-4"

CONSTRUCTION TYPE:

IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-B V (000) UNPROTECTED COMBUSTIBLE

OCCUPANCY TYPE:

IBC: RESIDENTIAL (R-2)
NFPA: RESIDENTIAL (R-2), GROSS SF: 4460 SQ. FT.

SPRINKLERED / FIRE ALARM:

YES (13R) / YES

APPLICABLE CODES:

- 2021 IBC WITH NEW ORLEANS CODE ADOPTIONS
- (BUILDINGS, STRUCTURES, APPURTENANCES AND PARTS THEREOF BE DESIGNED TO WITHSTAND A BASIC (NOMINAL) WIND SPEED OF 130 MPH, EXPOSURE B, IN ACCORDANCE WITH 2021 IBC, SECTION 1609)
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 LOUISIANA STATE PLUMBING CODE
- NFPA 70, 2020 NATIONAL ELECTRIC CODE
- 2021 INTERNATIONAL FUEL CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 FHA GUIDELINES

SMALL MULTI-FAMILY AFFORDABLE
7309 FRERET ST.
NEW ORLEANS, LA 70118

TITLE SHEET

PROJECT STATUS

Date 03/20/25

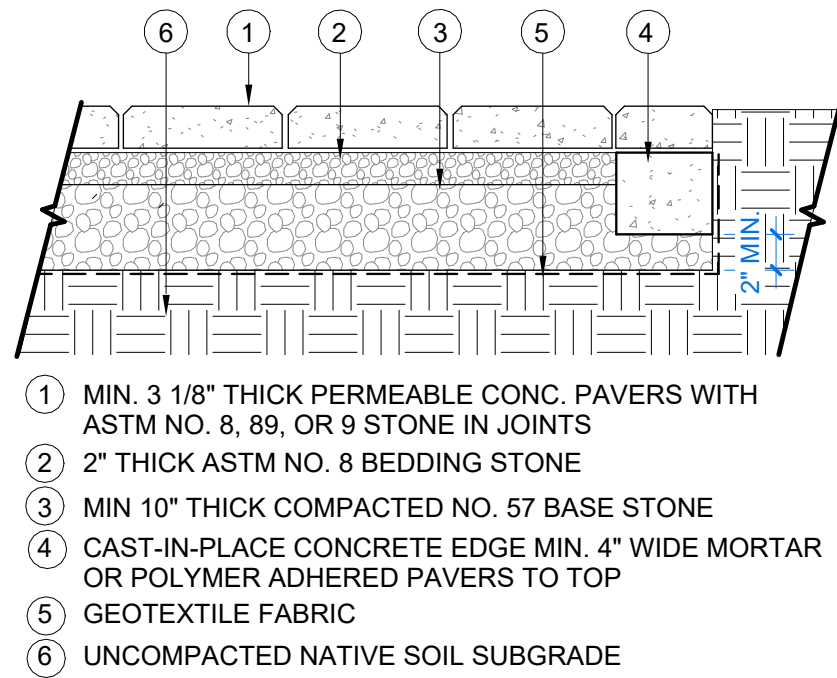
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ZACH SMITH
CONSULTING & DESIGN

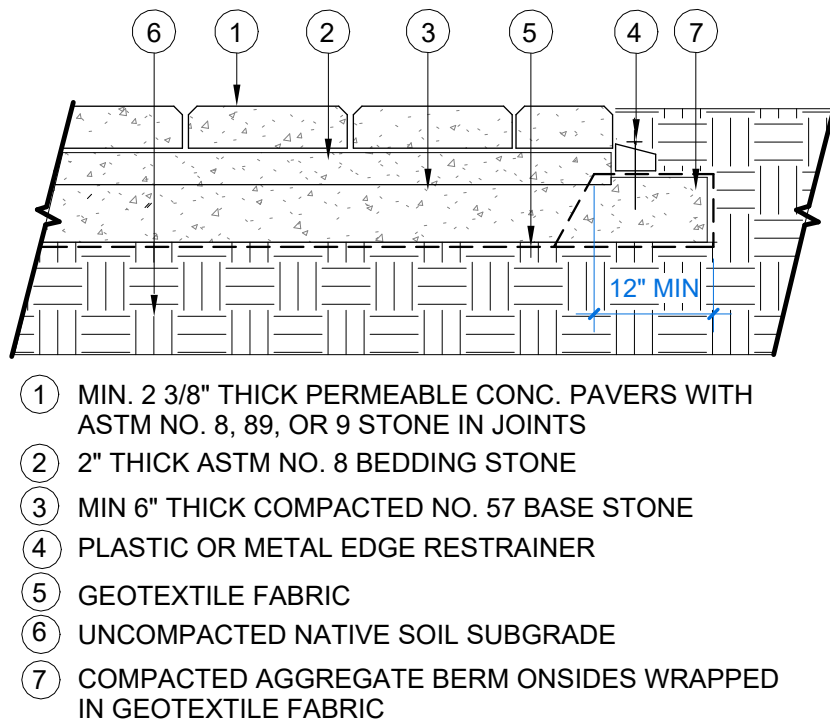
1000 S Norman C Francis Parkway 2nd Floor
New Orleans, LA 70125
zach@zachsmithconsulting.com
+1 (504) 383-3748

NOT FOR
CONSTRUCTION

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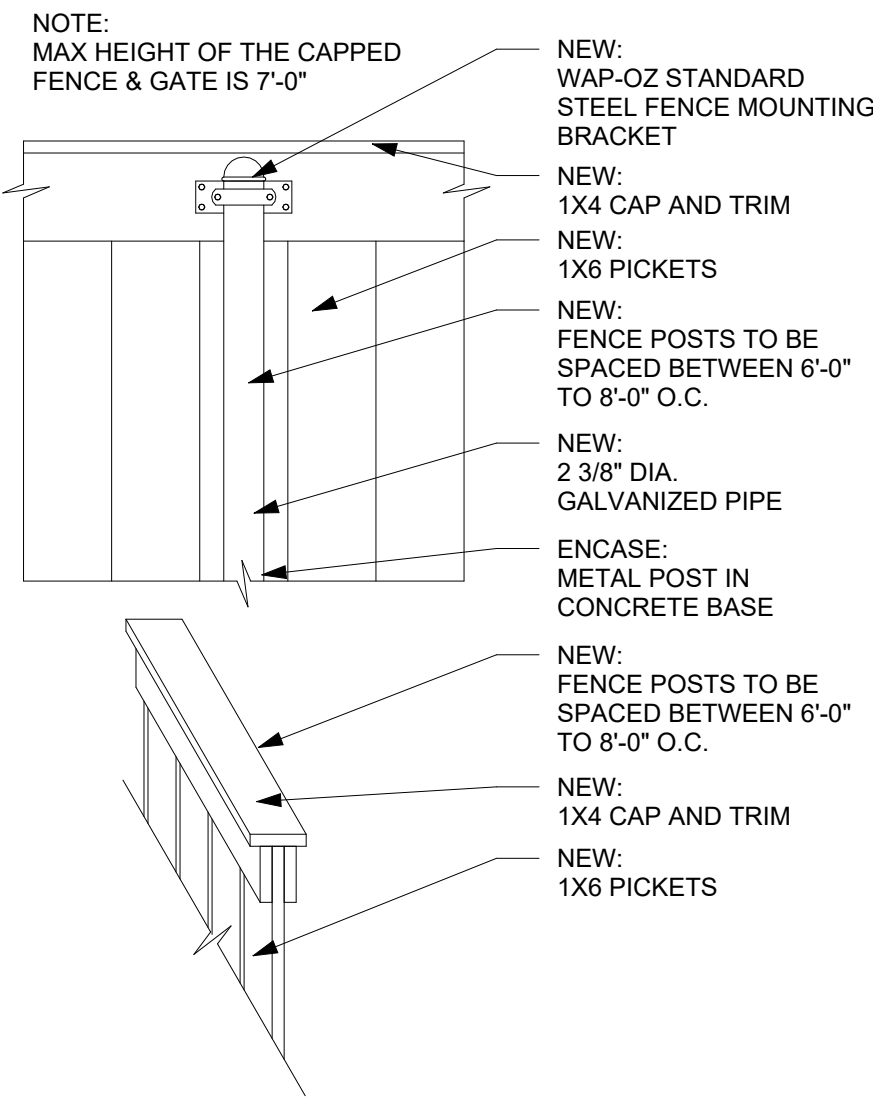


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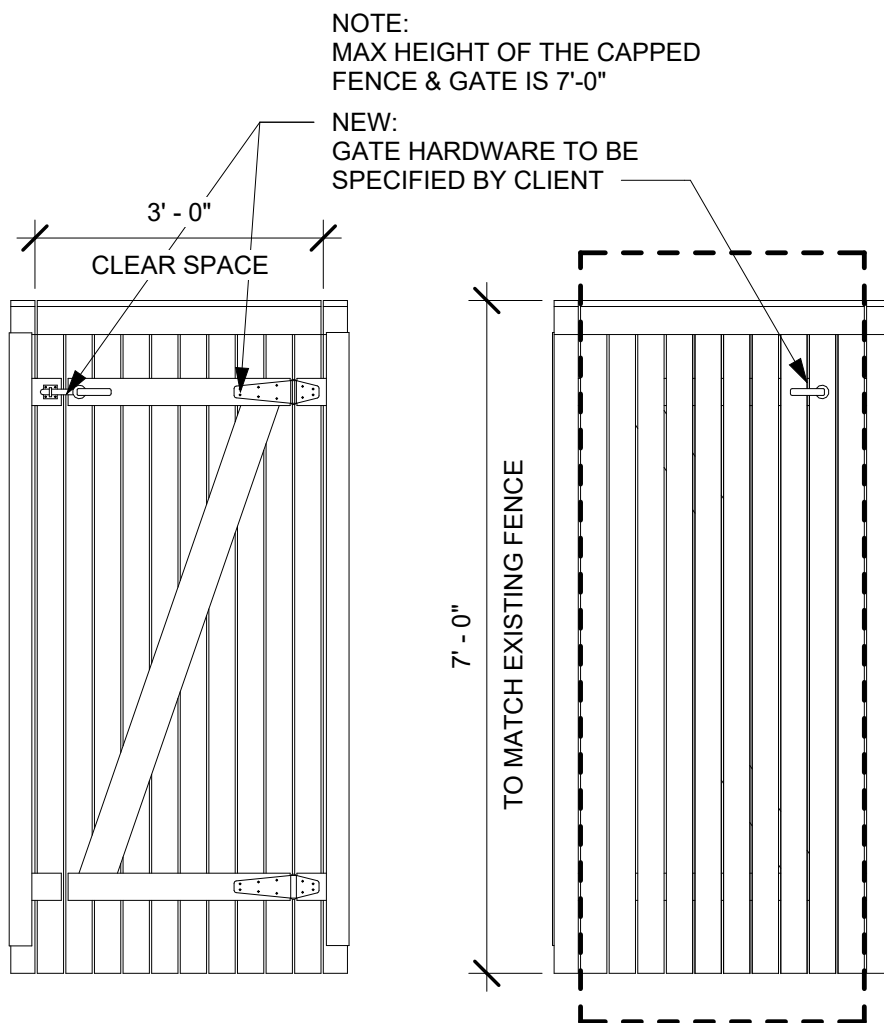


PAVING SECTION

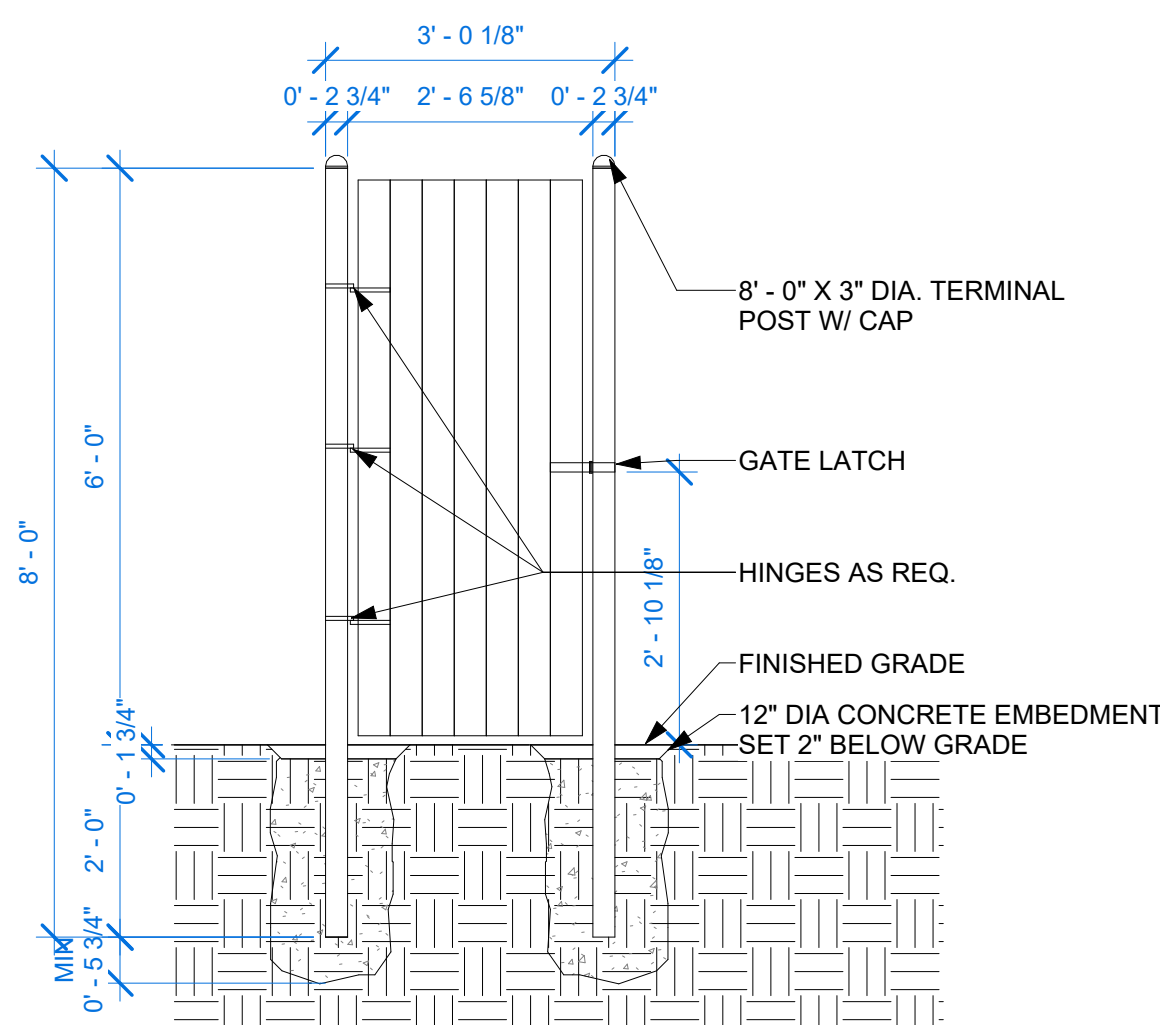
PERMEABLE PAVING DETAILS



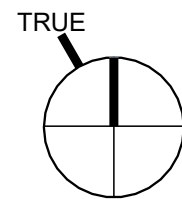
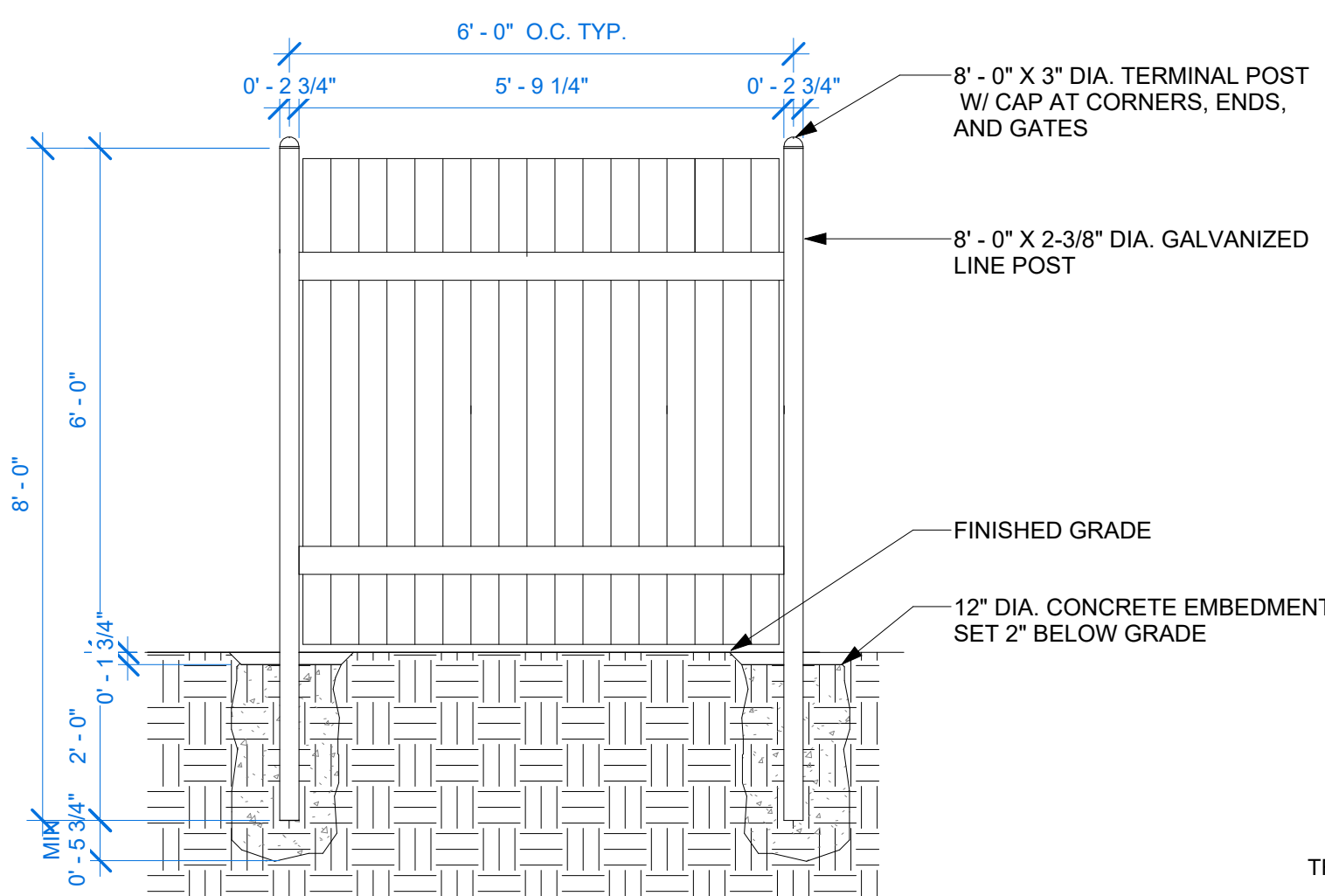
4 | DETAIL - WOOD FENCE - VERT.
1" = 1'-0"



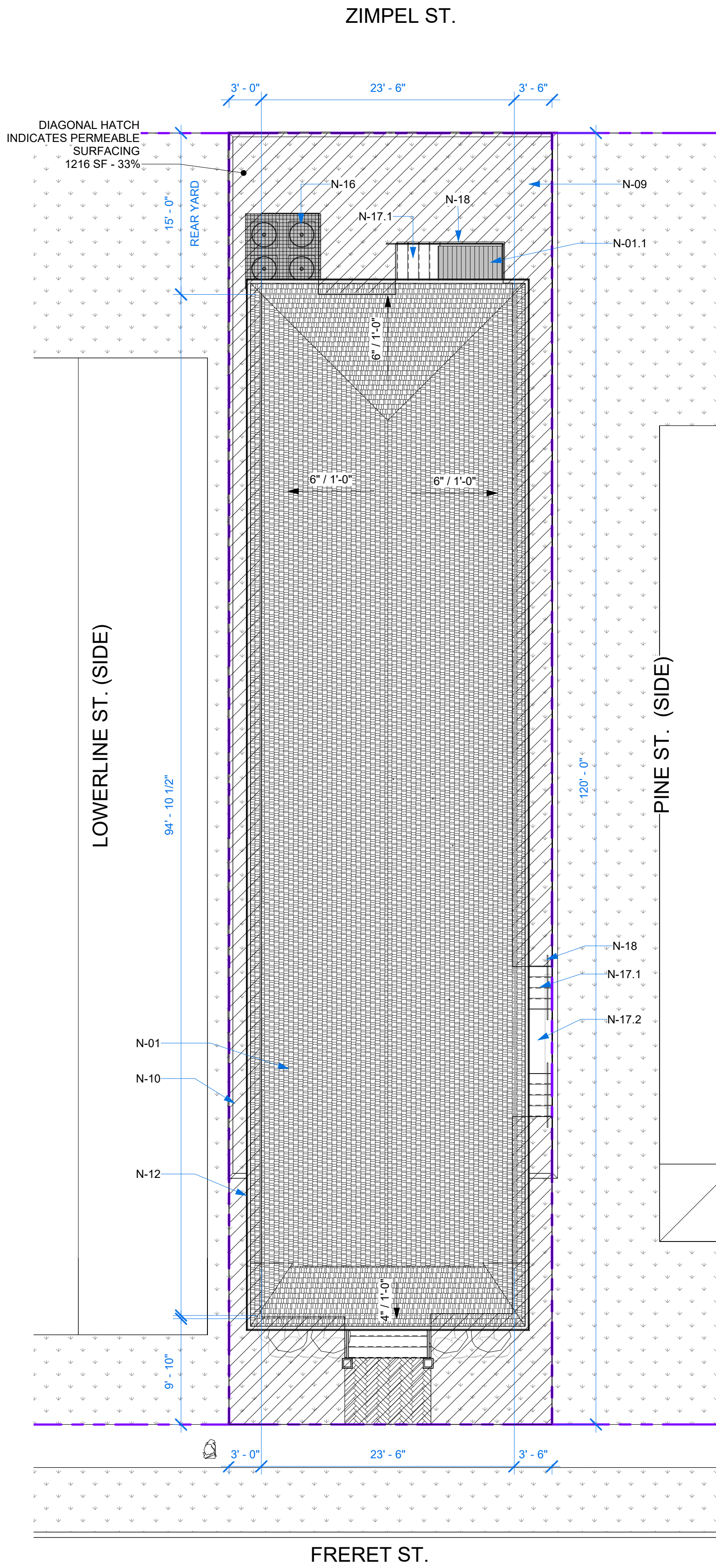
5 | DETAIL - WOOD GATE - VERT.
1/2" = 1'-0"



6 | SITE FENCE DETAIL
1/2" = 1'-0"



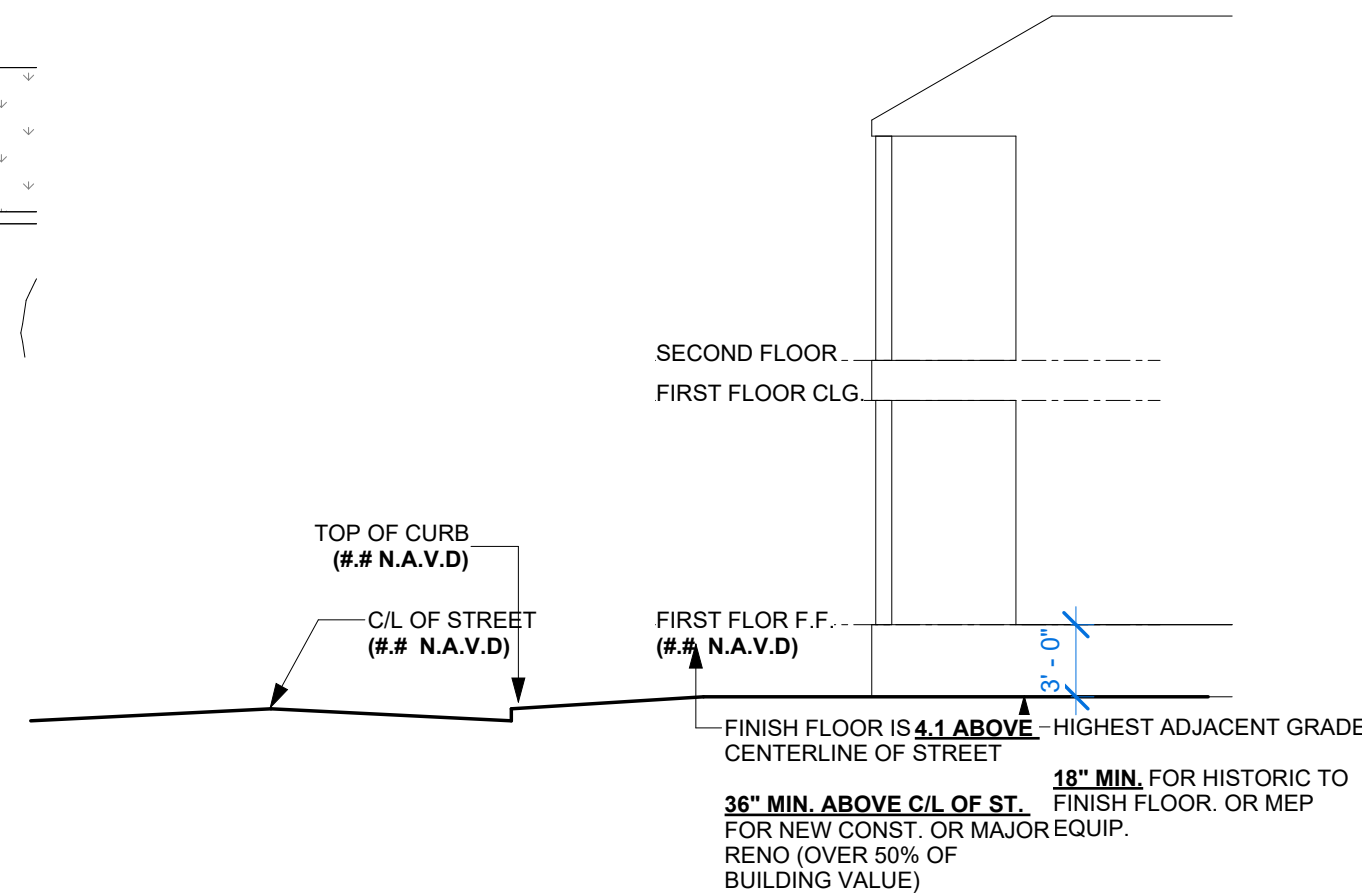
1 | SITE PLAN
1/8" = 1'-0"



ELEVATION CONVERSION N.A.V.D. TO C.D. subtract 20.43 from NAVD

TOP OF 1ST FLOOR STRUCTURE

0'-0" = 9.04' NAVD = 29.47



2 | BASE FLOOD ELEVATION - SITE SECTION
1/8" = 1'-0"

KEYNOTES - SHEET	
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N-17.2	EXTERIOR CONCRETE SLAB. SLOPE TO DRAIN.
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SMALL MULTI-FAMILY AFFORDABLE
7309 FRERET ST.
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No.	Description	Date

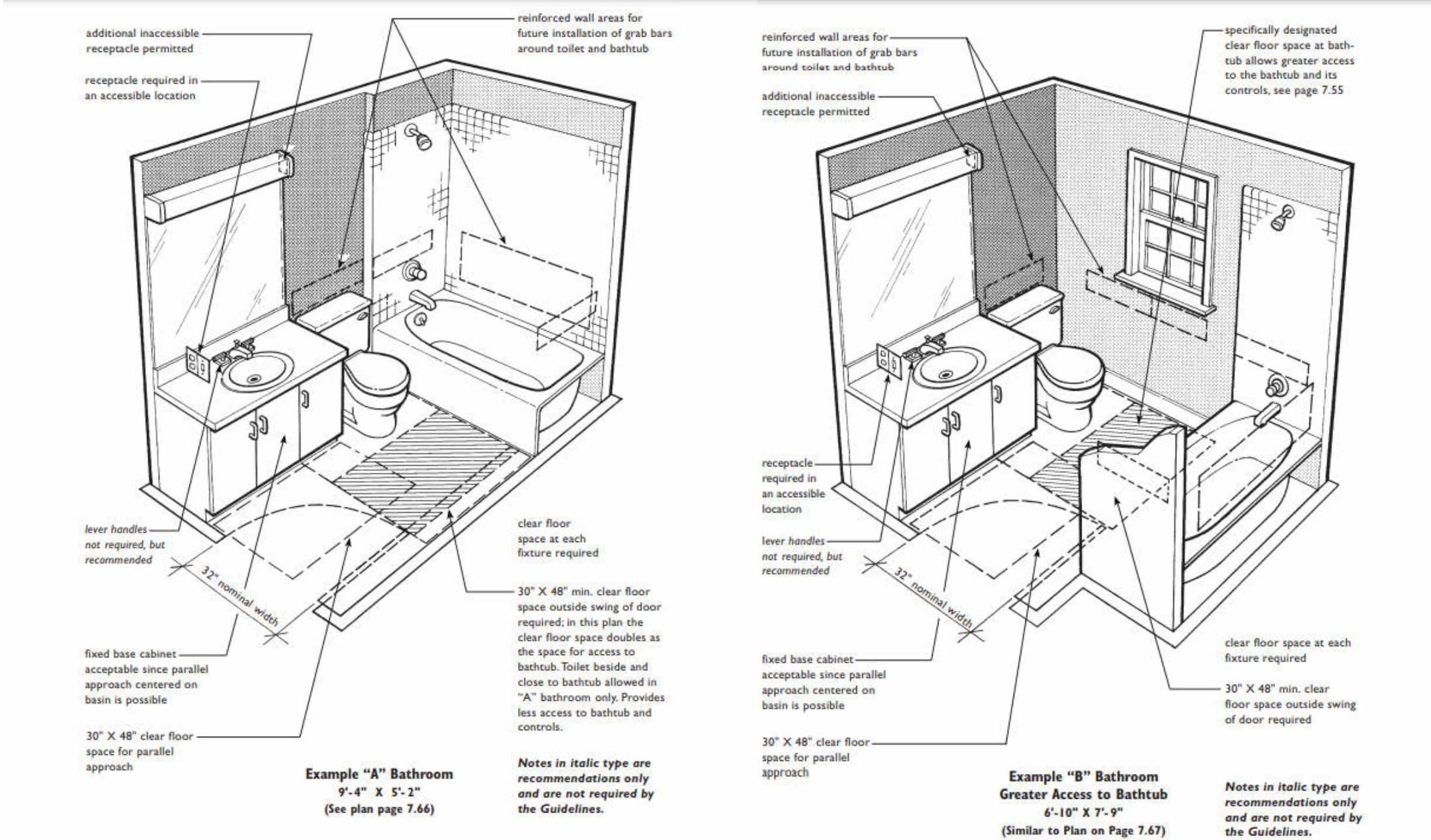
NOT FOR
CONSTRUCTION

SITE PLAN / DETAILS

PROJECT STATUS	
Date	03/20/25

A1.1

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FHA BATHROOM FIXTURE CLEARANCE REQUIREMENTS - FIRST FLOOR

FHA GUIDELINES FOR TUB/TOILET BLOCKING AT ADAPTABLE BATHROOMS (APPLIES TO ALL UNITS ON FIRST FLOOR)

Reinforcing at Back Wall

Reinforcing on the bathtub back wall should be positioned at 6-inches maximum above the tub rim and 38-inches minimum above the room floor. The reinforcing should extend at least 48-inches along the back wall and be separated 6-inches maximum from the sides of the tub walls. Note that the reinforcing on the back wall is larger than the conventional reinforcement to accommodate two grab bars per the ANSI configuration.

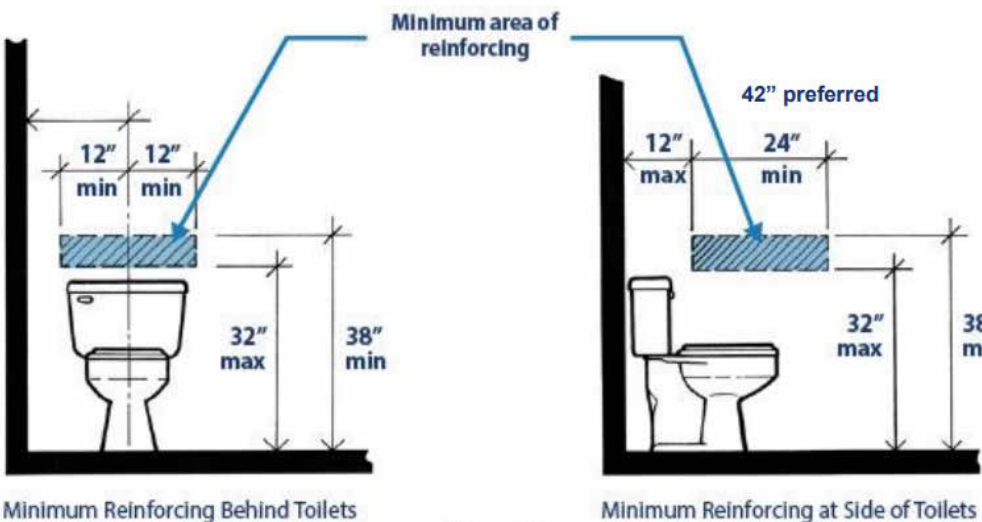
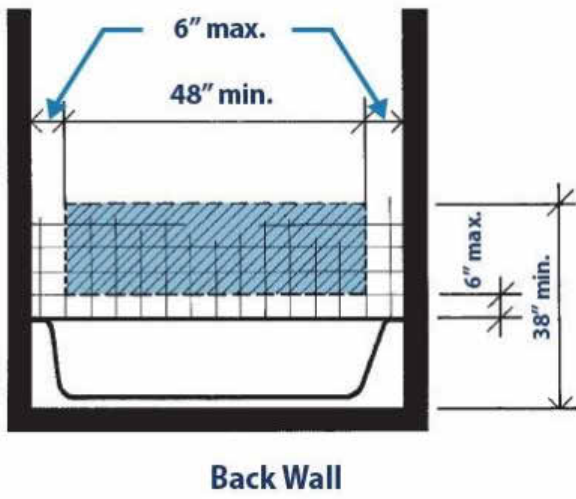
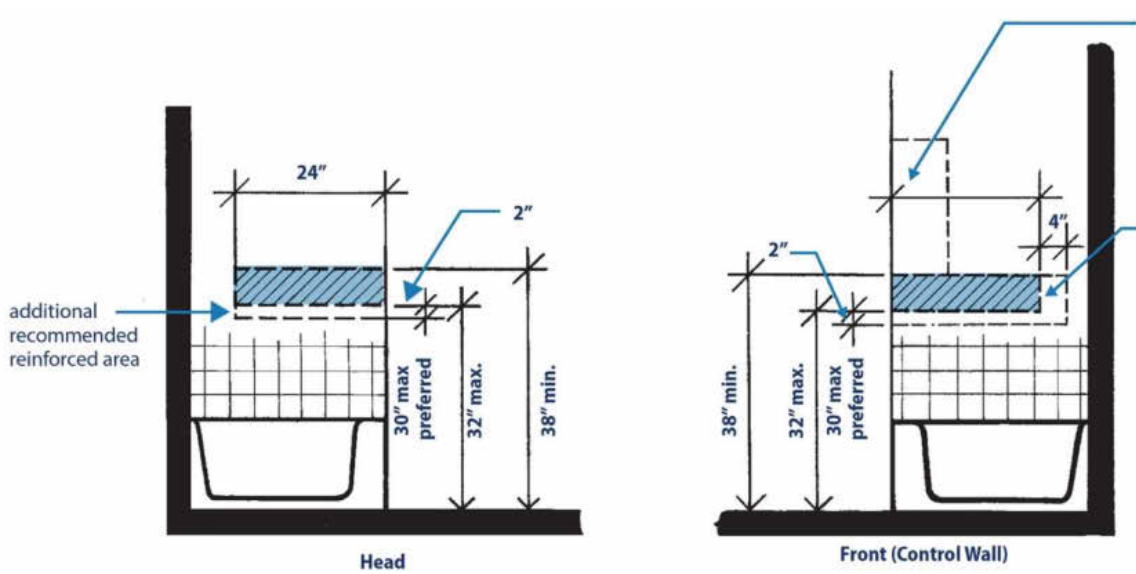
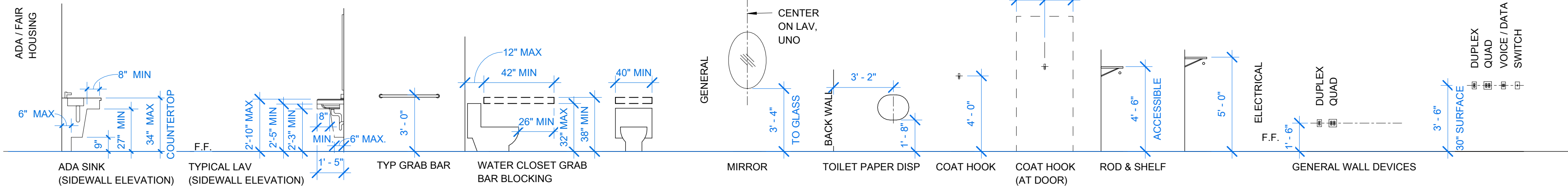


Figure 3 Water Closets in Adaptable Bathrooms



TYPICAL MOUNTING HEIGHTS: MOUNT ITEMS AT HEIGHTS ABOVE FLOOR LEVEL AS SHOWN ON THIS SHEET, UNLESS OTHERWISE NOTED ON INTERIOR ELEVATIONS OR OTHER DRAWINGS. NOTIFY ARCHITECT OF POTENTIAL CONFLICTS PRIOR TO PURCHASE OR INSTALLATION.



MOUNTING HEIGHTS - COMMERCIAL

- CONTRACT DRAWINGS MAY VARY FROM ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL CORRECT DIMENSIONS OF ALL MATERIALS TO CARRY OUT THE INTENT OF THE CONTRACT DRAWINGS. VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD BEFORE ORDERING ANY MATERIALS. CONTRACTOR SHALL NOTIFY ARCHITECT PROMPTLY OF ANY CRITICAL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
 - FIELD VERIFY SIZE AND LOCATION OF ALL MECHANICAL UNITS, ROOF CURBS, ROOF DRAINS, SCUPPERS, SKYLIGHTS AS WELL AS ANY AND ALL OTHER PENETRATIONS OR ROOF ACCESSORIES AND INSTALL NEW ROOF AS REQUIRED TO ACCOMMODATE ACCESSORIES AND CREATE A WATER TIGHT SEAL OVER ENTIRE ROOF.
 - LOCATIONS OF NEW ROOFING AND CRACKING ARE SHOWN FOR DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRECISE LOCATION AND PROVIDE THESE ELEMENTS AS REQUIRED TO PROVIDE A PROPERLY SLOPED AND WATER TIGHT SYSTEM IN WHICH WATER IS NOT RETAINED ON THE ROOF.
 - COORDINATE LOCATION AND QUANTITY OF DOWNSPOUTS, ROOF DRAINS AND OVERFLOW SCUPPERS.
- BASIS OF DESIGN FOR ROOFING SYSTEMS:
ICE AND WATER SHIELD UNDERLAYMENT - GRACE ICE WATER SHIELD OR EQUAL
SLATE ROOFING TILE - 6x12 SLATE TO BE ATTACHED WITH COPPER NAILS
SINGLE PLY TPO ROOFING MEMBRANE - FIRESTONE ULTRAPLY FLEX ADHERED ARCHITECTURAL SHINGLE

GENERAL NOTES - ROOF

FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.

- INTERIOR WALLS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- CEILING:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT CEILING ABOVE SHOWER ENCLOSURE:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- TRIM AND DOORS:
PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

ROOFING:

- GLASS-FIBER-REINFORCED ASPHALT SHINGLES BEARING A LIMITED LIFETIME WARRANTY SHALL BE INSTALLED OVER A WARRANTABLE ROOF UNDERLAYMENT COVERING FOR THE ENTIRETY OF THE ROOF SLOPE(S) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS RECOMMENDED BY THE ARMA'S "RESIDENTIAL ASPHALT ROOFING MANUAL" AND THE NRCA'S "THE NRCA ROOFING AND WATERPROOFING MANUAL." PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE. MUST CONFORM TO ASTM D 7158G (130 MPH) RATING.
- UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 10 INCHES. DISTORTIONS OF THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET (FROM ICC 2018)

EXTERIOR SHEATHING:

- WALL SHEATHING WITH INTEGRAL WATER-RESISTIVE BARRIER AND AIR BARRIER.
HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 7/16" THICK SHEATHING (GREEN IN COLOR)
EDGE PROFILE: [SQUARE EDGE] [SELF-SPACING]
FACER: MEDIUM-DENSITY, PHENOLIC-IMPREGNATED SHEET MATERIAL QUALIFYING AS A GRADE D WEATHER-RESISTIVE BARRIER IN ACCORDANCE WITH ICC AC308.
- ROOF SHEATHING WITH INTEGRAL ROOF UNDERLAYMENT
HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 1/2" THICK SHEATHING (RED IN COLOR).
EDGE PROFILE: [SQUARE EDGE]

WINDOWS:

- ALL BEDROOM WINDOWS TO BE EGRESS SIZED APPROVED BY MANUFACTURER
- WINDOWS TO HAVE A U-FACTOR OF EQUAL OR LESS THAN .40 & A SHGC EQUAL OR LESS THAN .25

EXTERIOR FINISHES:

- SOFFITS: FIBER-CEMENT SIDING PANELS BEARING A 10-YEAR MATERIAL AND WORKMANSHIP WARRANTY WITH PROFILES AS INDICATED BELOW SHALL BE INSTALLED OVER WEATHER BARRIER AT UNDER SIDE OF EXTERIOR SOFFITS. PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE.
A. PANEL: 48-INCH WIDE SHEETS WITH SMOOTH TEXTURE.
WALLS & TRIM - CEMENTITIOUS FIBER BOARD TRIM & SIDING. SIDING TO BE 6" WIDE WITH SMOOTH PATTERN.
- PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS BEARING A 10-YEAR FINISH WARRANTY SHALL BE INSTALLED AT HORIZONTAL ROOF EDGES AS INDICATED ON THE DRAWINGS. LOCATE DOWNSPOUTS TO ALIGN WITH EXPOSED PILES OR SCREENING SUPPORT FOR ADEQUATE BRACING. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT DISCHARGE LOCATIONS.
- SHEET METAL FLASHING AND TRIM: FABRICATE FLASHING AND TRIM TO COMPLY WITH MANUFACTURER 'S STANDARD PROCEDURES AND PROCESSES. AS NECESSARY TO FULFILL INDICATED PERFORMANCE REQUIREMENTS DEMONSTRATED BY LABORATORY TESTING. COMPLY WITH INDICATED PROFILES AND WITH DIMENSIONAL REQUIREMENTS.
A. STAINLESS STEEL: 26 GA.
PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
- INTERIOR WALLS:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- CEILING:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT CEILING ABOVE SHOWER ENCLOSURE:
A. PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
- TRIM AND DOORS:
A. PRIMER: SHERWIN WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
B. TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
- FIBER/ENGINEERED WOOD SIDING (PRE-PRIMED FROM FACTORY):
A. 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
B. PREP-CAULK SHALL BE A MINIMUM OF 60 YEAR PAINTABLE SILICONIZED ACRYLIC. NAIL HOLES AND BLEMISHES TO BE FILLED WITH APPROPRIATE WOOD FILLER. APPLY PAINT BY BRUSH, ROLLER, OR SPRAY. SAND BETWEEN COATS AS NECESSARY
- CAULKING, SEALING AND INSULATION
A. SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL). SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO APPLYING INTERIOR TRIM.
- EXTERIOR PORCH DECKING AND RELATED STAIRS TO BE SEALED WITH A THOMPSONS WATER SEAL OR EQUIVALENT.

GENERAL NOTES - THERMAL ENVELOPE

INSULATION R-VALUE REQUIREMENTS: 1) CEILING: R-38, 2) WALLS: R-13, 3) FLOORS: R-13

- BATT INSTALLATION GUIDELINES: GRADE 1 - MINOR DEFECTS: OCCASIONAL VERY SMALL GAPS ARE ALLOWED. VOIDS CAN'T EXTEND FROM THE INTERIOR TO THE EXTERIOR (I.E. THE FULL WIDTH OF A WALL CAVITY). THE PRODUCT IS INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION AND CUT TO FIT AROUND ELECTRICAL JUNCTION BOXES AND IS SPLIT AROUND WIRES AND PIPES. COMPRESSION OR INCOMPLETE FILL AMOUNTING TO 2% OR LESS, IF THE EMPTY SPACES ARE LESS THAN 30% OF THE INTENDED FILL THICKNESS, ARE ACCEPTABLE FOR GRADE 1.
- CLOSED-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN FLOOR FRAMING JOISTS AND AS DETAILED. IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE =13.
A. TYPE II. MINIMUM DENSITY OF 1.5 IB/CU. FT. (24 KG/CU. M.)
- OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY BETWEEN EXTERIOR STUDS AND AS DETAILED. IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS, TO A THICKNESS PRODUCING AN R-VALUE = 13.
A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU. M.)
- OPEN-CELL SPRAY POLYURETHANE FOAM OF TYPE INDICATED BELOW SHALL BE INSTALLED CONTINUOUSLY. BETWEEN ROOF FRAMING MEMBERS AND AS DETAILED IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS TO A THICKNESS PRODUCING AN R-VALUE = 30.
A. MINIMUM DENSITY OF 0.4 IB/CU. FT. (6.4 KG/CU. M.)

- RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING ENVELOPE SHALL BE AIR SEALED
- RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED WITH INSULATION
- EAVE Baffle: FOR AIR-PERMEABLE INSULATION IN VENTED ATTICS, A Baffle SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. Baffles SHALL MAINTAIN AN OPENING EQUAL TO OR GREATER THAN THE SIZE OF THE VENT. THE Baffle SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE Baffle SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.
- ALL ACCESS HATCHES AND DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE INSULATED TO THE SAME R-VALUE REQUIRED FOR THE WALL OR CEILING IN WHICH THEY ARE INSTALLED. THE 'LOUISIANA INSULATION CERTIFICATE' SHALL BE PERMANENTLY POSTED IN A UTILITY AREA:

State of Louisiana Insulation Certificate
(Permanently attach this certificate in a utility area near the Energy Efficiency Certificate)

Date Installed Permit Number					
Area Insulated	Total R-value	Installed Thickness (3.5, 5.5, etc.)	Spray Foam Density (lbs./ft. ³)	Ignition Barrier Provided (Y/N)	Thermal Barrier (Y/N)
Attic roofline (under sheathing)	at	inches			
Attic floor (above ceilings)	at	inches			
Cathedral ceiling	at	inches			
Exterior Walls	at	inches			
Knee walls	at	inches			
Band joint (between levels)	at	inches			
Under first floor (in crawl space)	at	inches			
Basement/crawl space walls	at	inches			

Jobsite Address	
General Contractor License No.	
Insulation Contractor (firm)	
Installer/Applicator Name	
Product Manufacturer(s)	
Product Name(s) & batch no.	

Supplemental Packet Contents:	Uploaded to permitting office (X)	Copy to General Contractor (X)	Copy to Homeowner (X or No Owner)
Insulation Certificate (copy)			
Insulation MSDS or Finished Foam Safety Data Sheets (SDS)			
Product Technical Data Sheets			
Spray Foam Applicator's Training Certificate (from manufacturer or SSPA)			
Performance Testing Report (blower door) with name of 3 rd party provider			

GENERAL NOTES - INSULATION

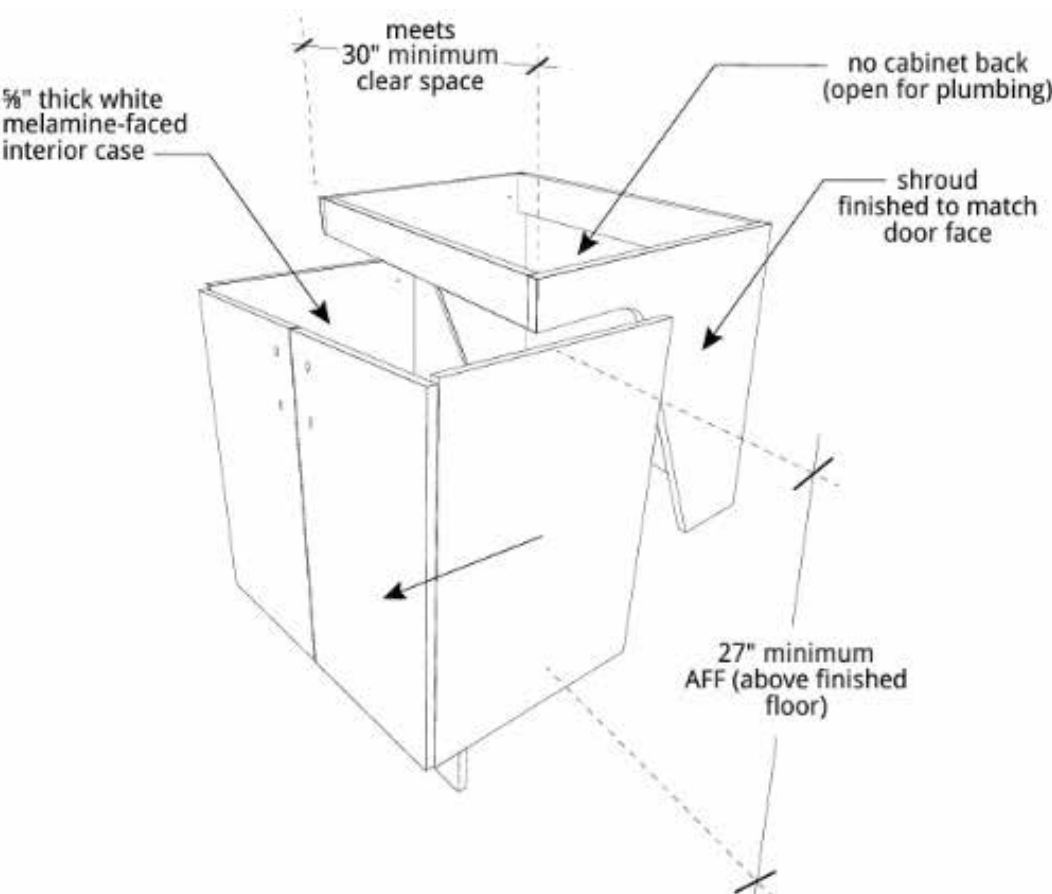
- CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL.
- ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING
- INSTALLATION
- TYPICAL WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION. REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
- REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISIBLE TO PRIMARY SCALED PLANS.
- REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

- ALL BEDROOM CLOSETS TO RECEIVE HANGING ROD AND UPPER WOODEN SHELF. SHOULD THE CLOSET ALLOW FOR A 2 SIDED INSTALL, PROVIDED ROD AND SHELF ON 2 SIDES.
- ALL PANTRIES TO BE PROVIDED WITH 4 WOOD SHELVES ON ADJUSTABLE SHELF BRACKETS RUNNING THE VERTICAL DIMENSION OF THE REAR WALL
- PROVIDED WOOD BLOCKING OR METAL SHEETING FOR INSTALLATION OF FUTURE GRAB BARS AS SHOWN IN THE MOUNTING HEIGHT AND BLOCKING DIAGRAMS FOR BATHROOMS.

GENERAL NOTES - MISC WOOD

FHA GUIDELINES FOR REMOVEABLE CABINET AT ADAPTABLE KITCHENS - SINK AREAS (APPLIES TO ALL UNITS ON FIRST FLOOR)

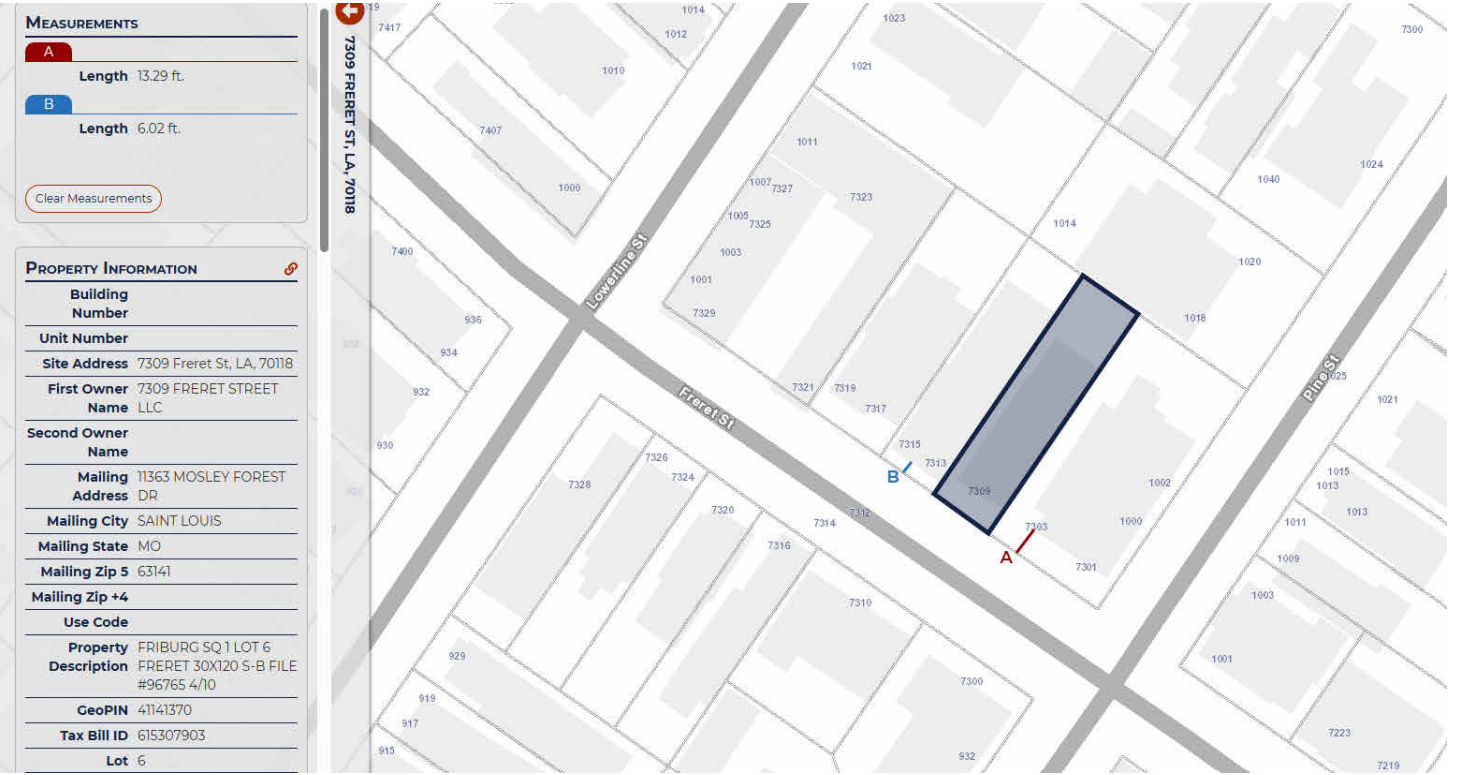


NOTES

PROJECT STATUS	
Date	03/20/25

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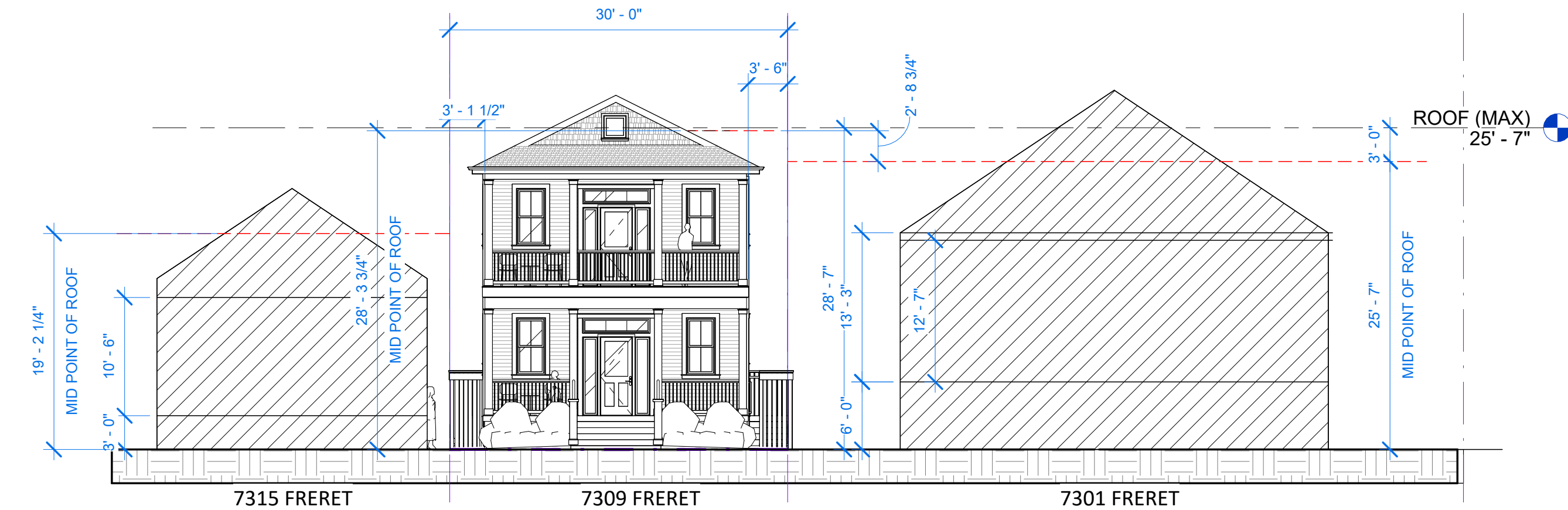
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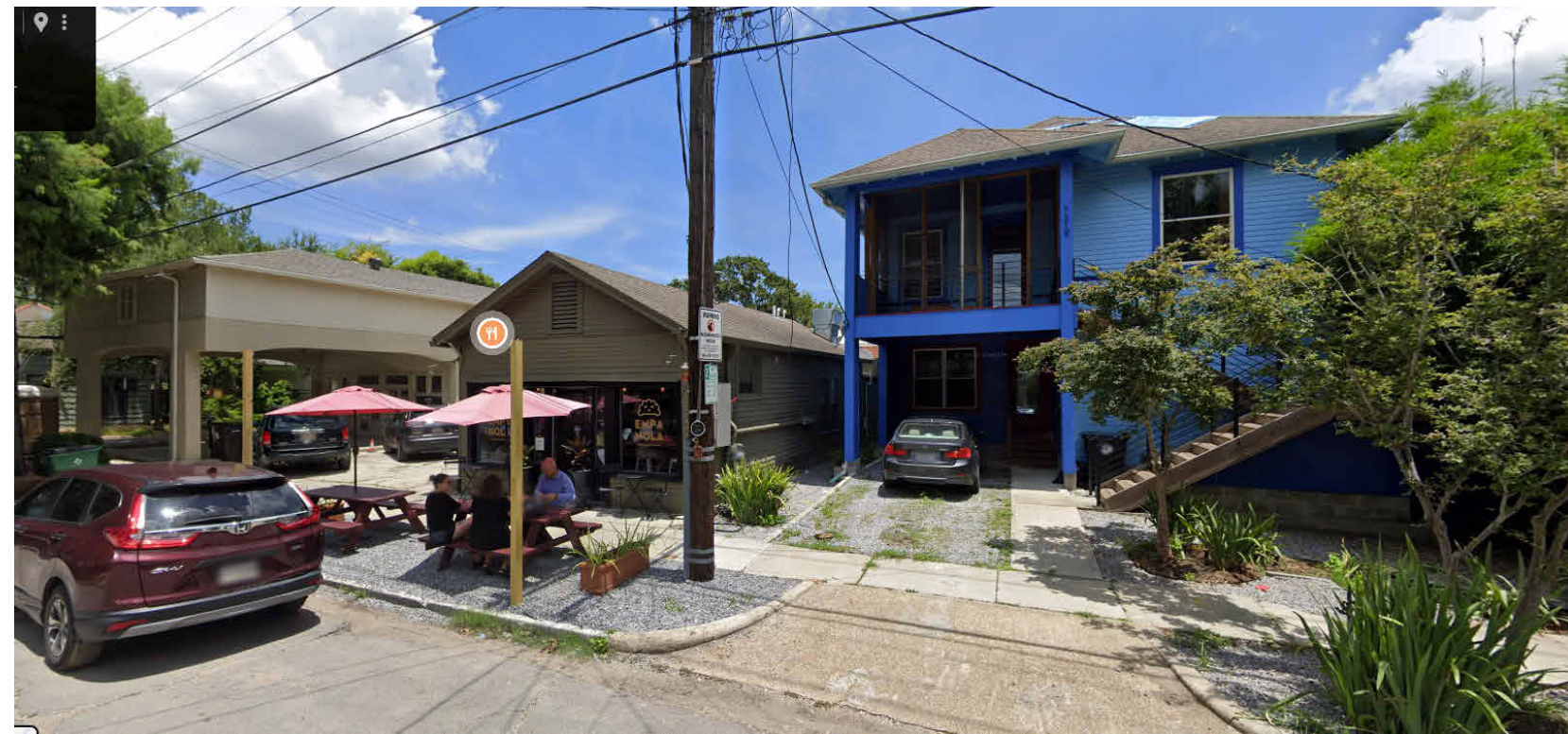
ESTIMATED FRONT YARD SETBACKS (7315 / 7309 / 7301 FRERET)



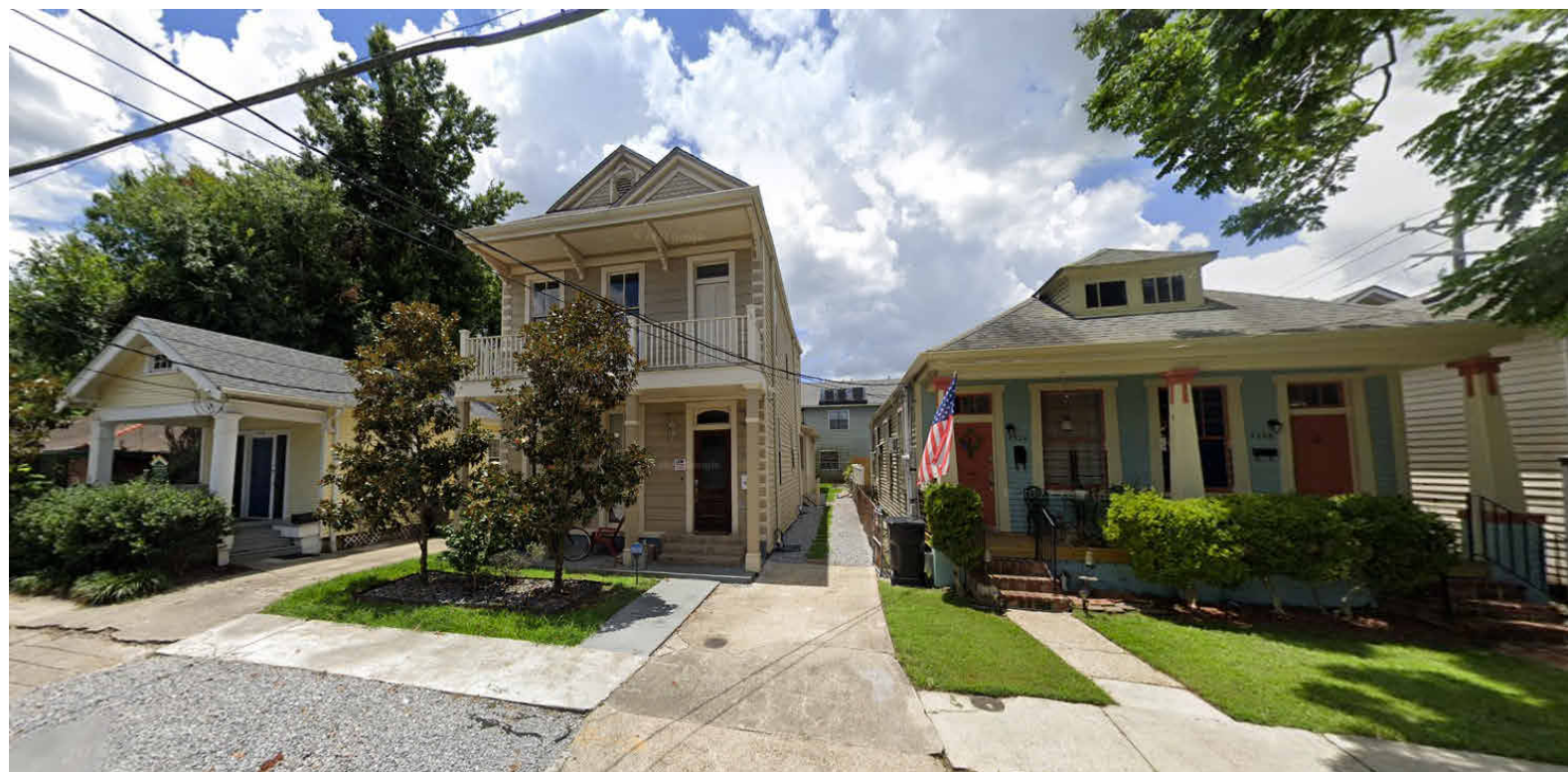
EXISTING STREET VIEW (7315 / 7309 / 7301 FRERET)



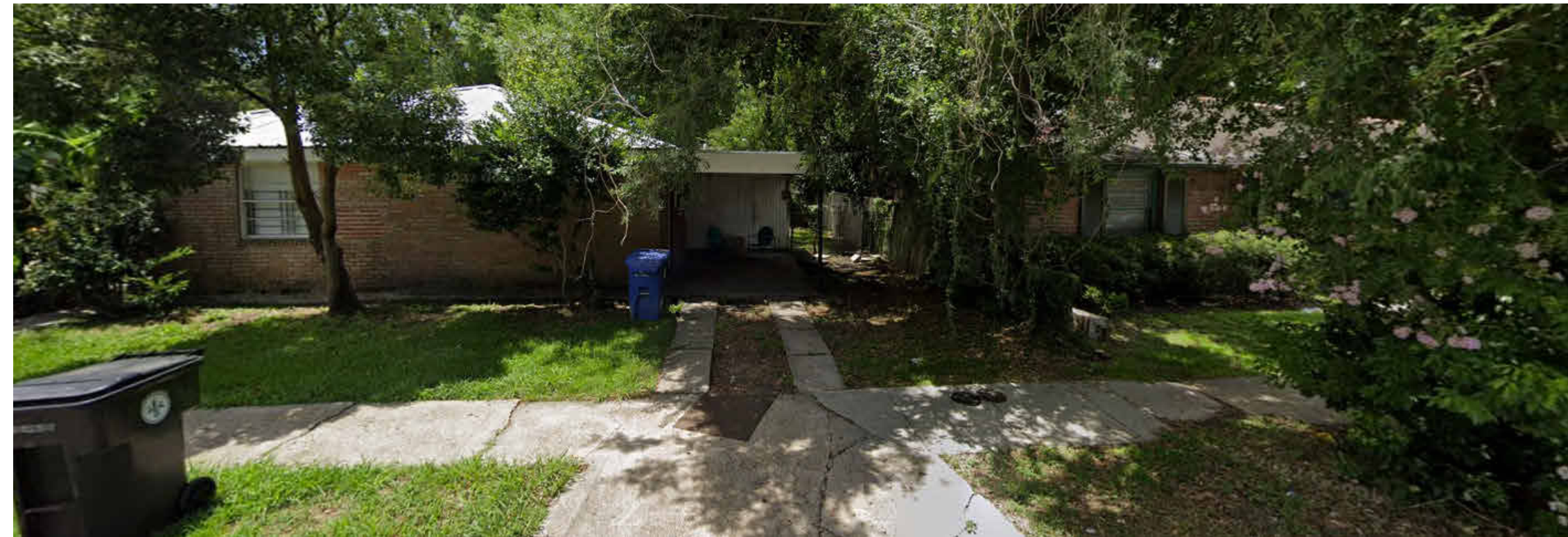
2 FRONT ELEVATION STREET VIEW
1" = 10'-0"



EXISTING STREET VIEW (7316 FRERET) - LEFT OF HOUSE



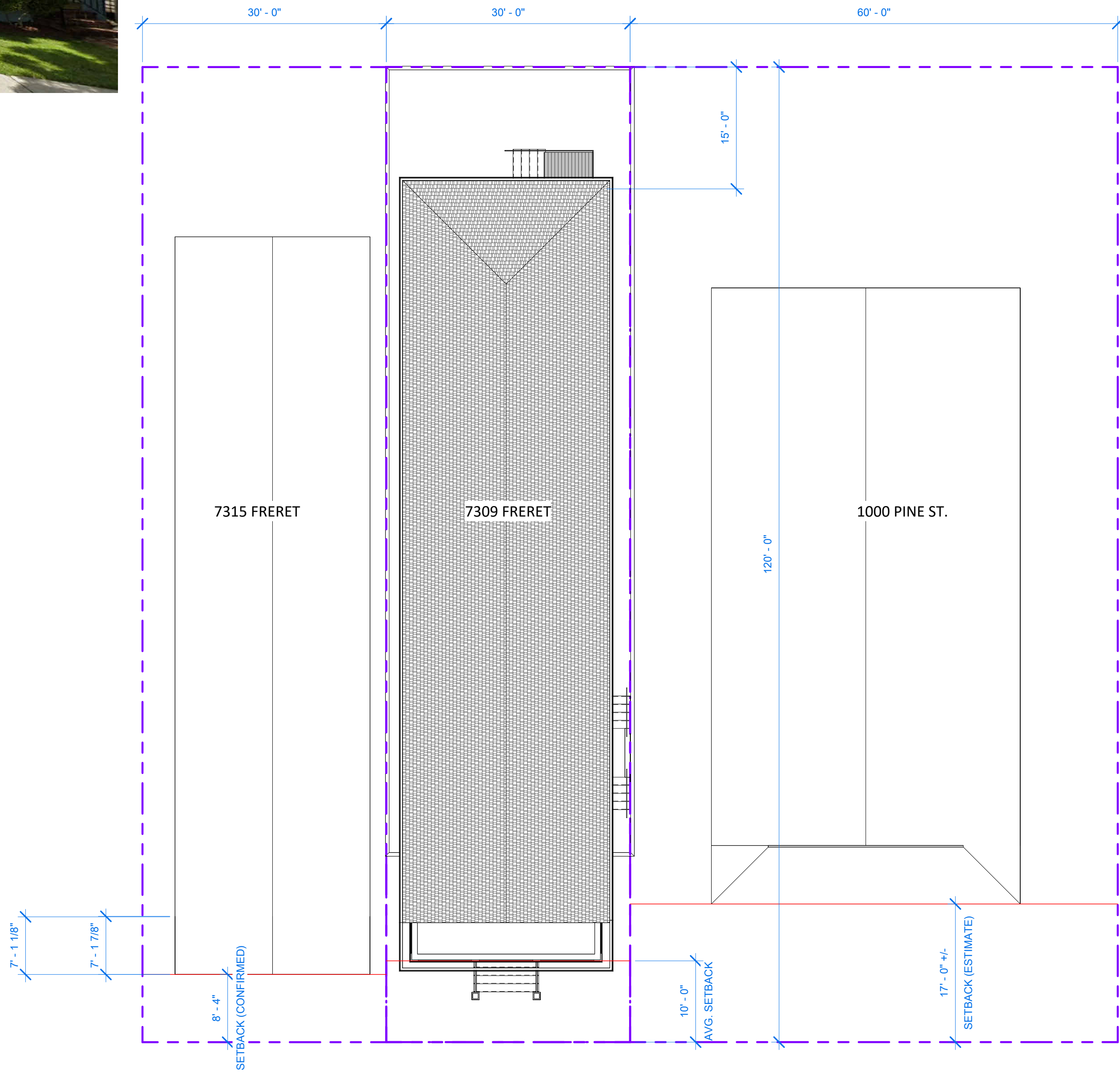
EXISTING STREET VIEW (7302 FRERET) - ACROSS STREET



EXISTING STREET VIEW (7310 FRERET) - ACROSS STREET



EXISTING STREET VIEW (7310 FRERET) - ACROSS STREET



1 ZONING SITE PLAN
1" = 10'-0"

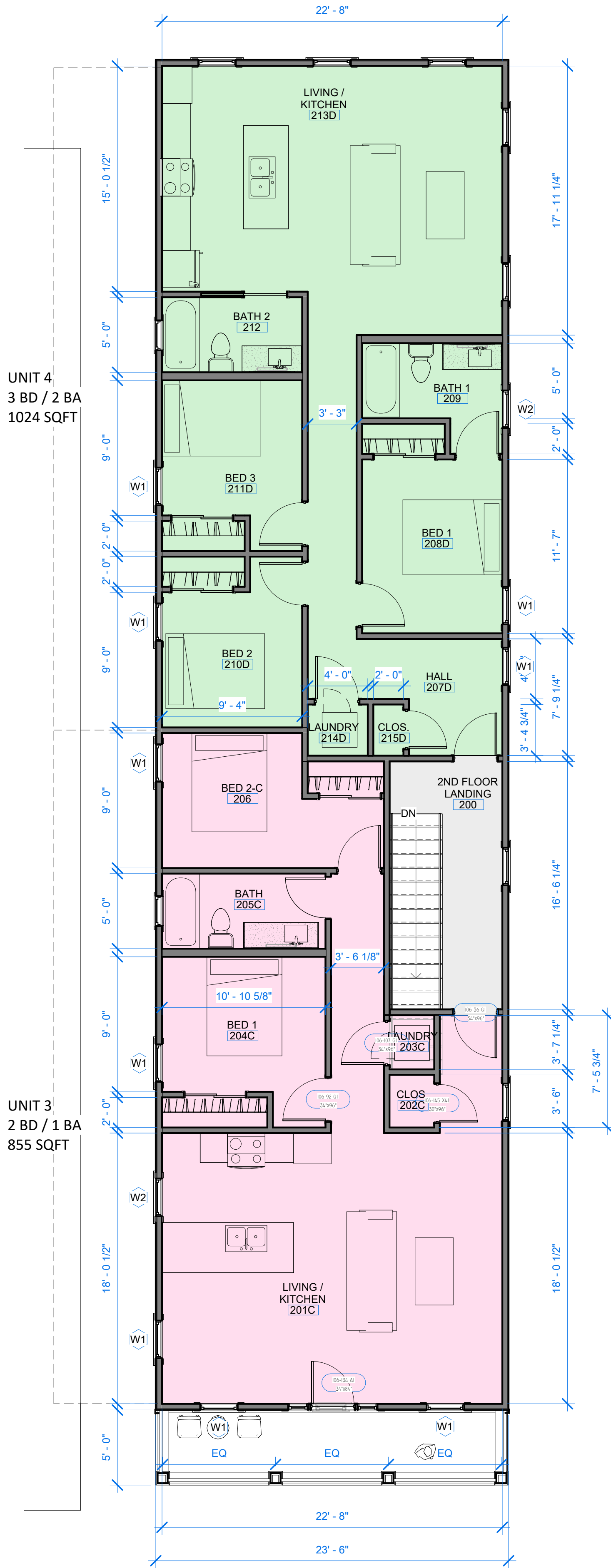
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CONSTRUCTION

SETBACKS AND
HEIGHT
REQUIREMENTS

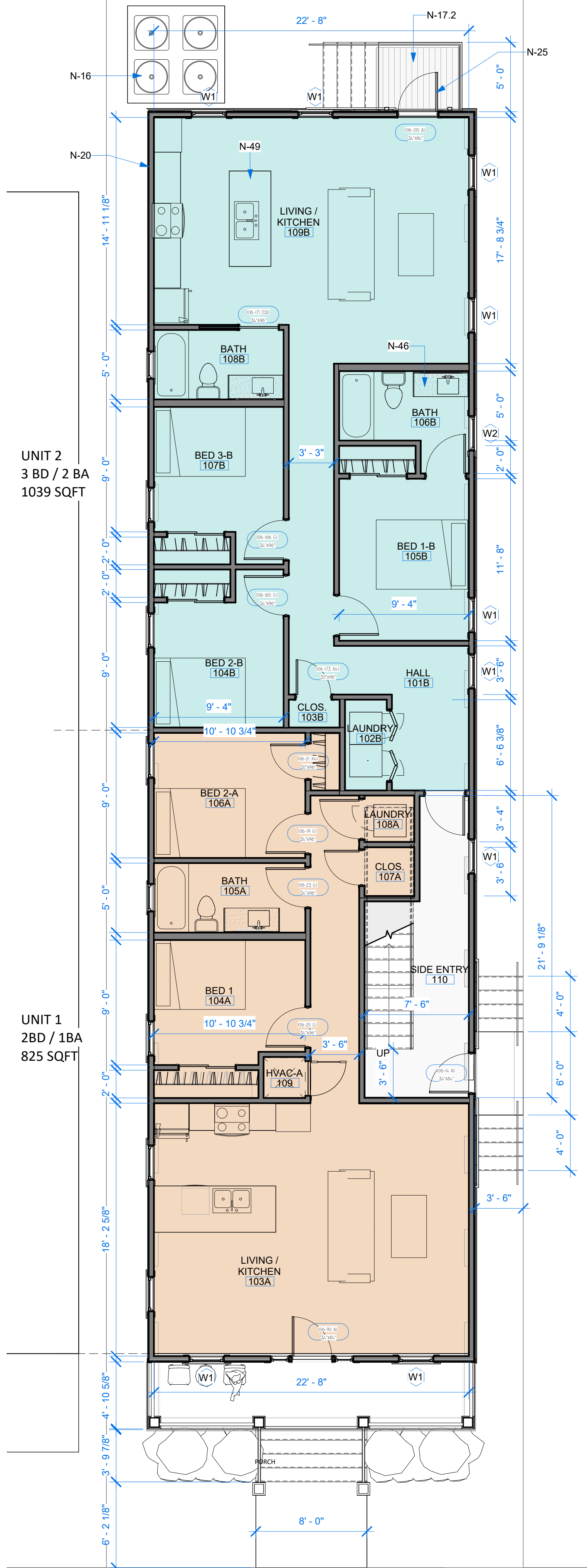
PROJECT STATUS	
Date	03/20/25

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2ND FLOOR

2 | 2ND FLOOR PLAN
3/16" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN
3/16" = 1'-0"

KEYNOTES - SHEET	
Key Value	Keynote Text
N-16	A/C CONDENSERS AT OR ABOVE B.F.E.; CONTRACTOR TO COORDINATE HVAC STRATEGY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. FLASH AS REQ'D. INSTALLER TO PROVIDE NECESSARY CLEARANCES AROUND MACHINE AS REQUIRED BY CODE. (MOUNT A/C ON PLATFORM OR ON ROOF. RE: SITE DETAILS)
N-17.2	EXTERIOR CONCRETE SLAB. SLOPE TO DRAIN
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION, GYP. INTERIOR, EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-46	VANITY, SINK, TUB, TOILET, AND , PLUMBING FIXTURES TO BE CHOSEN BY OWNER; CONTRACTOR TO COORDINATE WITH OWNER / FIXTURE PROVIDER. CONTRACTOR TO LAYOUT WORK AND MAKE OWNER AWARE OF ANY CLEARANCE ISSUES PRIOR TO INSTALL.
N-49	COUNTER-TOP. COORDINATE SELECTION WITH OWNER.

4 UNIT MULTI FAMILY AFFORDABLE RESIDENTIAL

UNIT 1 : 2B / 1BA 825 SQFT
UNIT 2: 3B / 2BA 1039 SQFT
UNIT 3: 2B / 2BA 855 SQFT
UNIT 4: 3B / 2BA 1024 SQFT

TOTAL LIVING: 3,966 SQFT

SECTION 114000 - KITCHEN APPLIANCES

1. GENERAL

1.1 SUMMARY: PROVIDE AND INSTALL KITCHEN APPLIANCES AS SPECIFIED AND SHOWN ON THE DRAWINGS.

1.2 SUBMITTALS: SUBMIT PRODUCT DATA SHEETS FOR EACH APPLIANCE, INCLUDING MANUFACTURER, MODEL NUMBER, AND PERFORMANCE SPECIFICATIONS. PROVIDE INSTALLATION INSTRUCTIONS AND WARRANTY INFORMATION FOR OWNER APPROVAL PRIOR TO PURCHASING.

1.3 QUALITY ASSURANCE: APPLIANCES TO BE FROM MANUFACTURERS WITH A MINIMUM OF 5 YEARS OF INDUSTRY EXPERIENCE AND POSITIVE REVIEWS. ENSURE APPLIANCES COMPLY WITH RELEVANT SAFETY AND ENERGY STANDARDS, INCLUDING UL, ETL, AND ENERGY STAR® RATINGS.

2. PRODUCTS: SEE INDIVIDUAL KEY NOTES FOR PRODUCTS

2.1 PERFORMANCE CRITERIA

ENERGY EFFICIENCY: ALL APPLIANCES TO MEET OR EXCEED [INSERT SPECIFIC ENERGY EFFICIENCY STANDARDS, E.G., ENERGY STAR®] TO MINIMIZE ENERGY CONSUMPTION AND OPERATIONAL COSTS. DURABILITY: APPLIANCES TO BE CONSTRUCTED OF HIGH-QUALITY MATERIALS FOR LONG-TERM RELIABILITY AND RESISTANCE TO TYPICAL WEAR AND TEAR.

NOISE LEVELS: APPLIANCES TO OPERATE WITHIN ACCEPTABLE NOISE LEVELS, ENSURING MINIMAL DISTURBANCE IN APARTMENT SETTINGS. [INSERT SPECIFIC NOISE LEVELS IF APPLICABLE, E.G., DISHWASHERS ≤ 50 DBA]

EASE OF USE: APPLIANCES TO FEATURE USER-FRIENDLY CONTROLS AND INTERFACES, ENSURING EASE OF OPERATION FOR ALL RESIDENTS.

3. EXECUTION

3.1 INSTALLATION: INSTALL APPLIANCES ACCORDING TO MANUFACTURERS INSTRUCTIONS AND LOCAL CODES. VERIFY PROPER OPERATION AND ADJUST SETTINGS AS NEEDED. ALL POWER/WATER CONNECTORS TO BE PROVIDED.

3.2 TESTING: TEST ALL APPLIANCES TO ENSURE THEY ARE OPERATING CORRECTLY AND EFFICIENTLY.

PRODUCT BASIS OF DESIGN (B.O.D.) SELECTIONS

SMALL MULTI-FAMILY AFFORDABLE
7309 FRERET ST.
NEW ORLEANS, LA 70118

No.	Description	Date

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CONSTRUCTION

FLOOR PLANS -
PROPOSED

PROJECT STATUS	
Date	03/20/25

A2.1

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KEYNOTES - SHEET	
Key Value	Keynote Text
N-01	NEW ARCHITECTURAL SHINGLE ROOF OVER WEATHER BARRIER AND SHEATHING. PROVIDE BATT INSULATION AT ATTIC CEILING AND CONDITION ATTIC AS REQ'D FOR IECC REQUIREMENTS. RE: MEP.
N-01.1	STANDING SEAM METAL ROOF OVER SHEATHING AND WEATHER BARRIER W/ RIGID INSULATION. RE: DETAILS / ASSEMBLIES.
N-12	6" ALUMINUM BAKED HALF ROUND STYLE GUTTERS CONNECTED TO ALUMINUM ENAMEL BAKED 4" CIRCULAR DOWNSPOUTS BELOW. TYP. FOR ALL INSTANCES. TYP. FOR ALL INSTANCES. PROVIDE SPLASH-BLOCK OR DOWNSPOUT BOOT AS REQ'D.
N-16	A/C CONDENSERS AT OR ABOVE B.F.E.; CONTRACTOR TO COORDINATE HVAC STRATEGY WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. FLASH AS REQ'D. INSTALLER TO PROVIDE NECESSARY CLEARANCES AROUND MACHINE AS REQUIRED BY CODE. (MOUNT A/C ON PLATFORM OR ON ROOF. RE: SITE DETAILS)
N-17.1	EXTERIOR CONCRETE STAIR. SLOPE TO DRAIN. RE: DETAILS / STRUCT.
N-18	EXTERIOR METAL GUARDRAIL @ 42" A.F.F. PROVIDE BLOCKING (OR DRILL AND EPOXY AT CONCRETE) AS REQ'D FOR MOUNT. PROVIDE HANDRAIL AT 34" AT STAIRS. TYP.
N-18.2	TREATED WD. NEWELL POST / COLUMN. TYP. (COORDINATE APPROVAL WITH HDLC IF REQ'D)
N-20	NEW EXTERIOR WALL. 2X STUDS W/ BATT INSULATION. GYP. INTERIOR. EXTERIOR SHEATHING AND WEATHER BARRIER. PROVIDE 2X HEADERS AND FLASHING AT ALL OPENINGS PER WINDOW/DOOR MANUF. RE: WALL TYPES & STRUCTURAL. RE: ELEVATIONS FOR FINISH MATERIAL (HARDIE SIDING, WOOD SIDING, STUCCO, METAL PANEL, ETC.)
N-21	NEW WOOD CLAD COLUMN W/ TREATED FURRING AS REQ'D. HURRICANE CLIPS AT STRUCTURAL CONNECTIONS. TYP. RE: STRUCT.
N-23	NEW WOOD CLAD BEAM W/ TREATED FURRING AS REQ'D. HURRICANE CLIPS AT STRUCTURAL CONNECTIONS. TYP. RE: STRUCT.
N-24	NEW WINDOW. RE: WINDOW SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD) PROVIDE WIND BORN DEBRIS PROTECTION AS REQUIRED BY CODE.
N-25	NEW DOOR. RE: DOOR SCHEDULE. (COORDINATE APPROVAL WITH HDLC IF IN HDLC NEIGHBORHOOD)
N-34	FOUNDATION (CMU PIER / GRADE BEAM / SPREAD FOOTING). SEE STRUCTURAL FOR FRAMING AND CONSTRUCTION DETAILS. PROVIDE STUCCO FINISH ON CMU PIERS OR CHAIN WALLS. TYP. FLOOD VENTS IF REQ'D. (COORDINATE APPROVAL WITH HDLC IF REQ'D)

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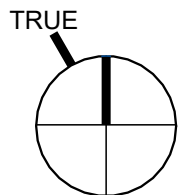
No.	Description	Date

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CONSTRUCTION

EXTERIOR
ELEVATIONS

PROJECT STATUS	
Date	03/20/25

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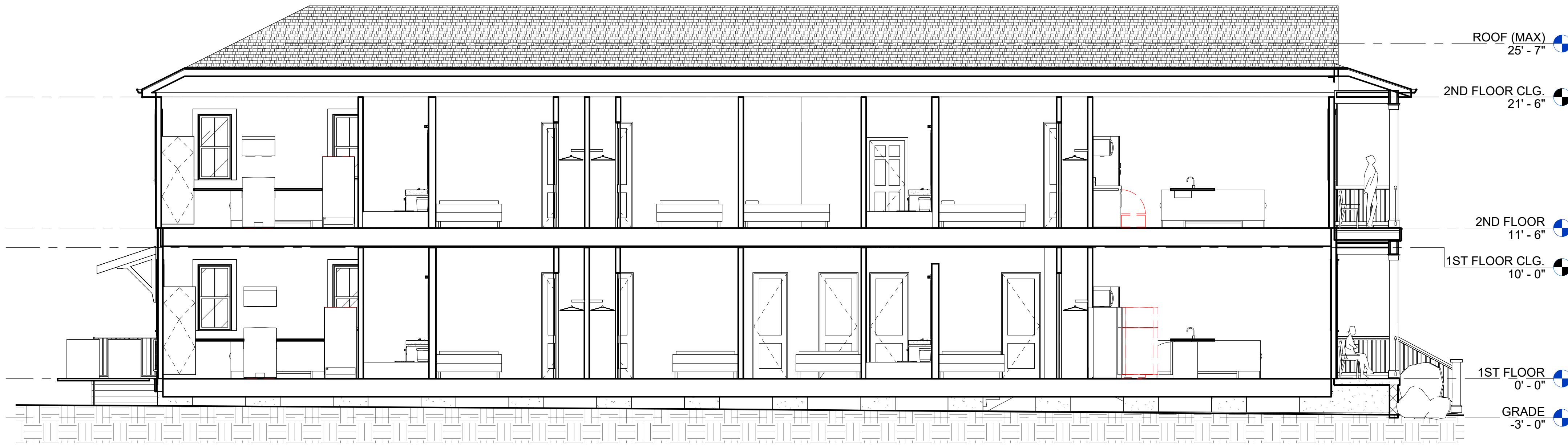


KEY PLAN - ELEVATION

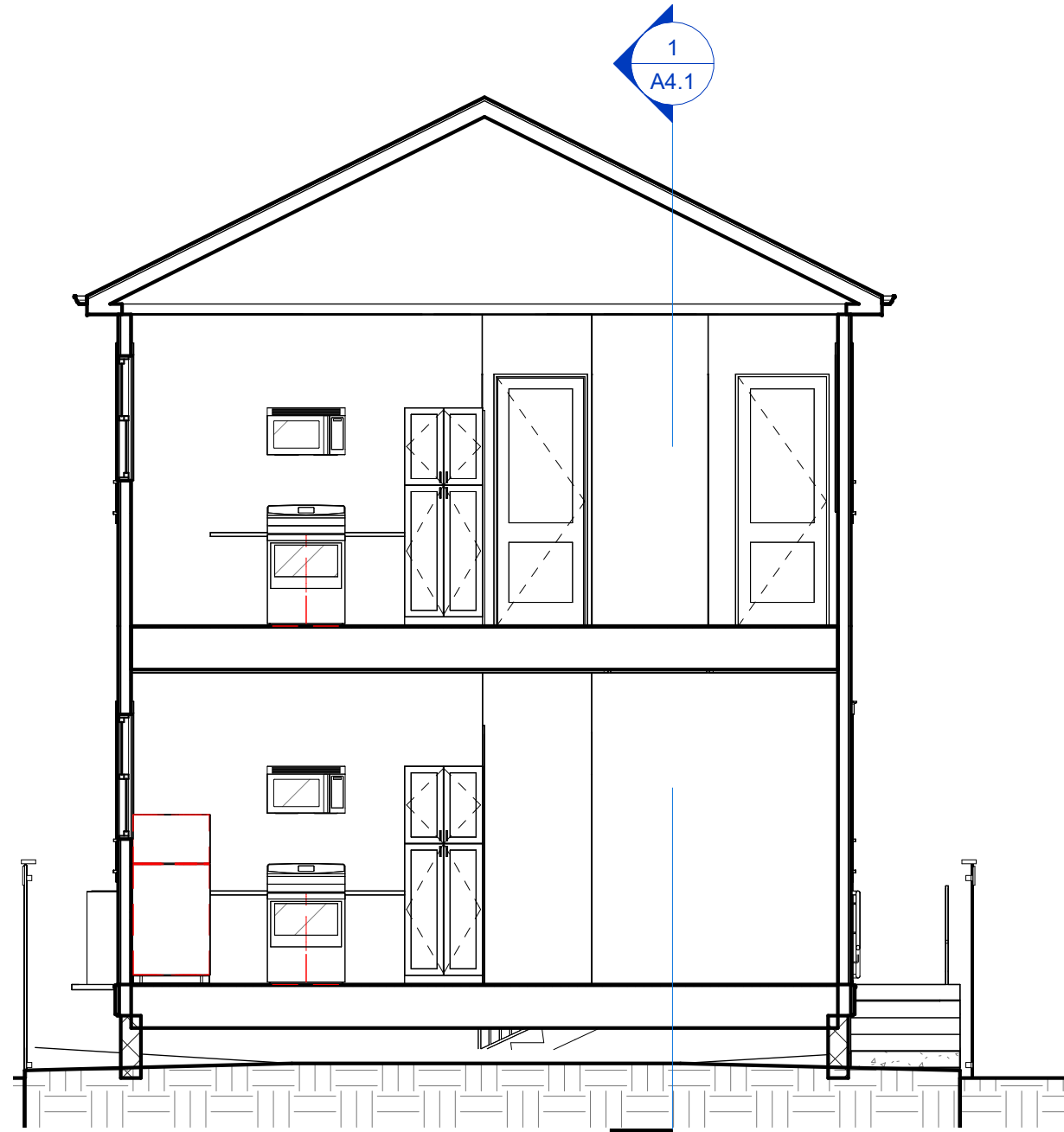
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1 Section 1
3/16" = 1'-0"



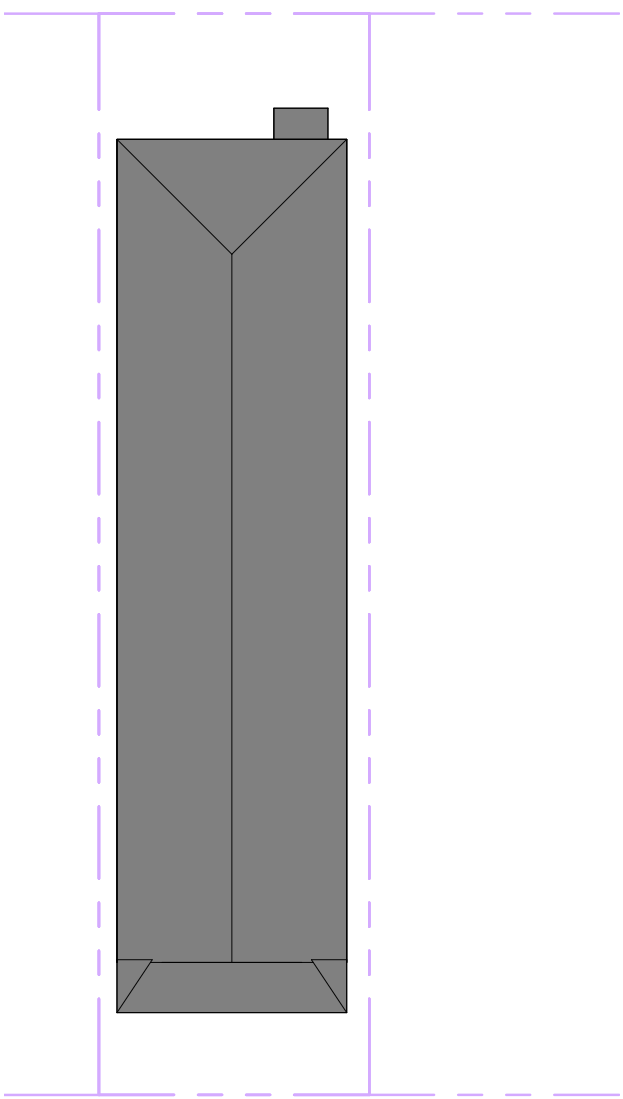
3 Section 2
3/16" = 1'-0"



4 Section 3
3/16" = 1'-0"

- SECTION:
- PLYWOOD
 - BATT INSULATION
 - SPRAY INSULATION - CLOSED CELL
 - SPRAY INSULATION - OPEN CELL
 - CONCRETE
 - STEEL
 - GYPSUM BOARD

LEGEND - SECTION HATCH



KEY PLAN - SECTION

KEYNOTES - SHEET	
Key Value	Keynote Text

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No.	Description	Date

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CONSTRUCTION

BUILDING SECTIONS

PROJECT STATUS	
Date	03/20/25