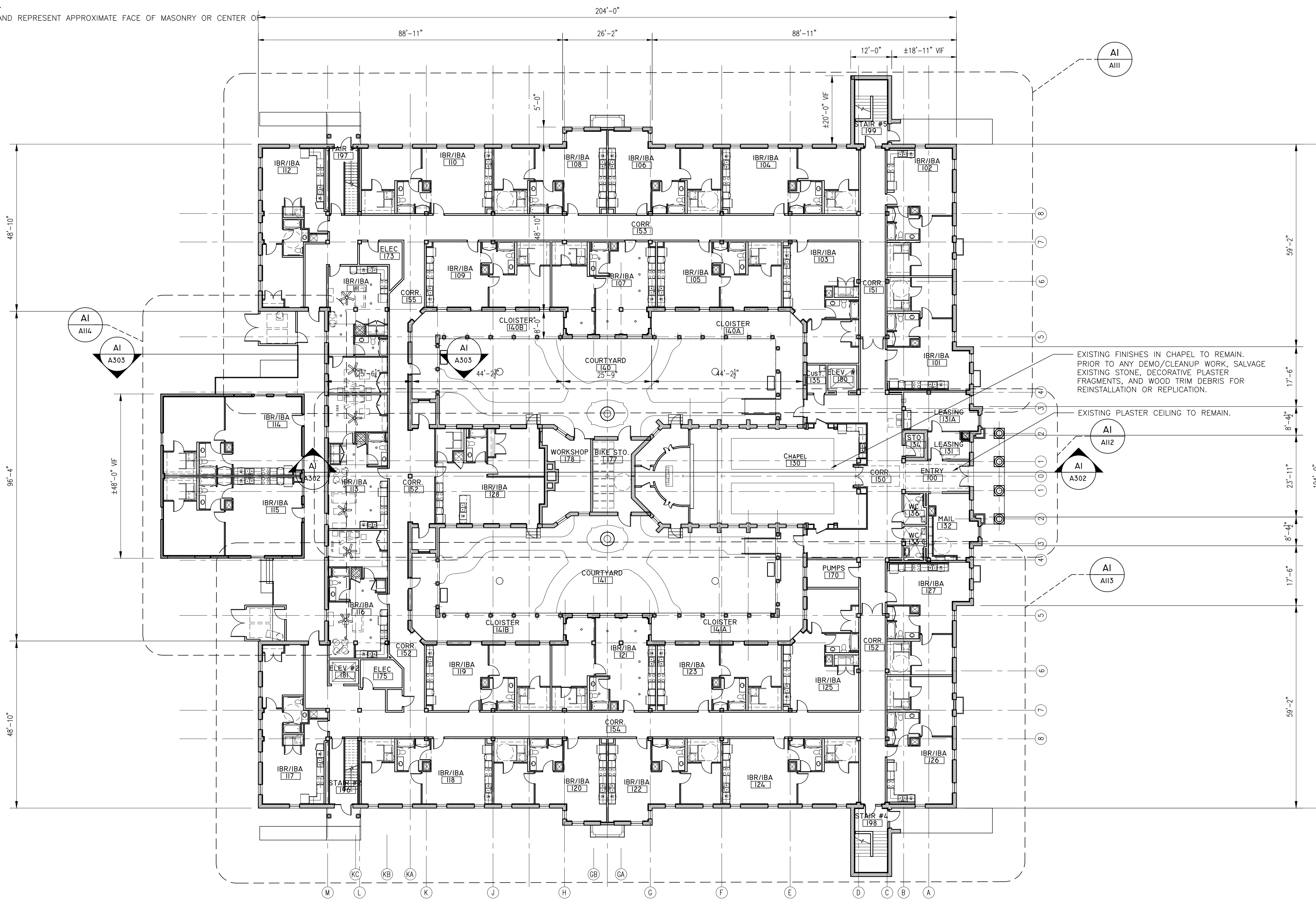






1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, OR CENTER OF STRUCTURAL MEMBER UNLESS NOTED OTHERWISE.
2. SEE A111-A114 FOR  $\frac{1}{4}$ " FLOOR PLANS.
3. SEE A601 FOR PARTITION TYPES
4. ENSURE THAT ALL VERTICAL CHASES ARE SEALED AIRTIGHT.
5. EXISTING MASONRY WALLS ARE NOT STRAIGHT OR PLUMB AND SHOULD NOT BE ASSUMED TO HAVE PARALLEL OR PERPENDICULAR RELATIONSHIPS TO ONE ANOTHER.
6. CONTROL LINES ARE PROVIDED FOR REFERENCE AND REPRESENT APPROXIMATE FACE OF MASONRY OR CENTER OF STRUCTURE AT 1ST FLOOR SLAB LEVEL.

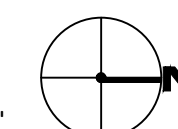
1 XXX  
2



— EXISTING FINISHES IN CHAPEL TO REMAIN.  
PRIOR TO ANY DEMO/CLEANUP WORK, SALVAGE  
EXISTING STONE, DECORATIVE PLASTER  
FRAGMENTS, AND WOOD TRIM DEBRIS FOR  
REINSTALLATION OR REPLICATION.

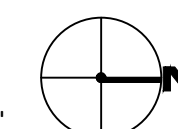
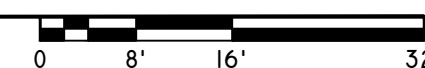
— EXISTING PLASTER CEILING TO REMAIN.

AI 1ST FLOOR PLAN- PROPOSED  
AI01 SCALE: 1/16" = 1'-0"



1. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, OR CENTER OF STRUCTURAL MEMBER UNLESS NOTED OTHERWISE.
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1 XXX  
2



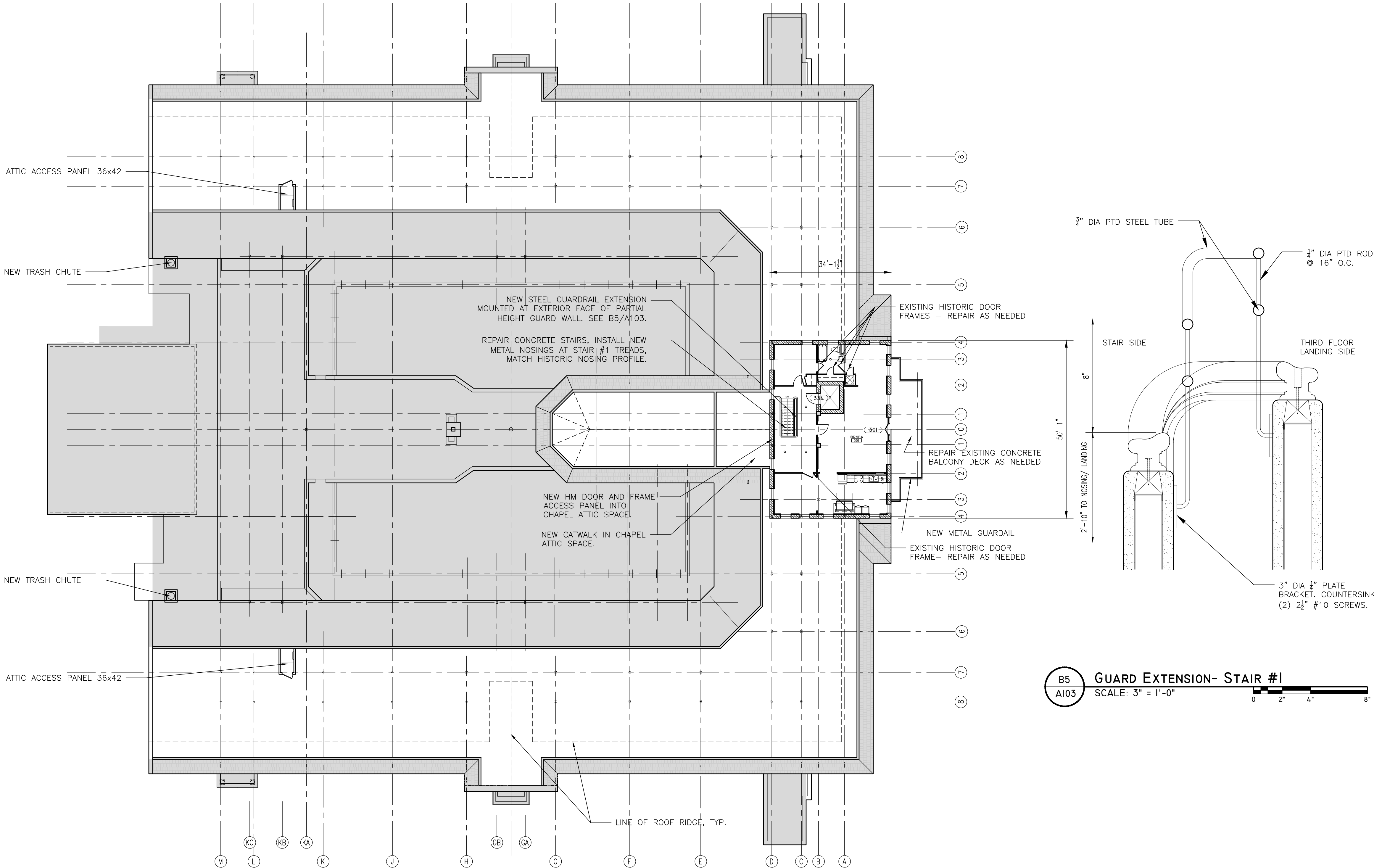
HCI0000 - TOURS-SHAKESPEARE/CAULFIELD/CAULFIELD.DWG TUESDAY, JAN 26, 2021 3:55:56 PM MONITOR

GENERAL PLAN NOTES:

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PLAN KEYNOTES:

- ① xxx  
②



B5  
A103

**GUARD EXTENSION- STAIR #1**  
SCALE: 3" = 1'-0"

0 2' 4' 8'

AI  
A103

**3RD FLOOR/ ATTIC PLAN- PROPOSED**  
SCALE: 1/16" = 1'-0"

0 8' 16' 32'

N

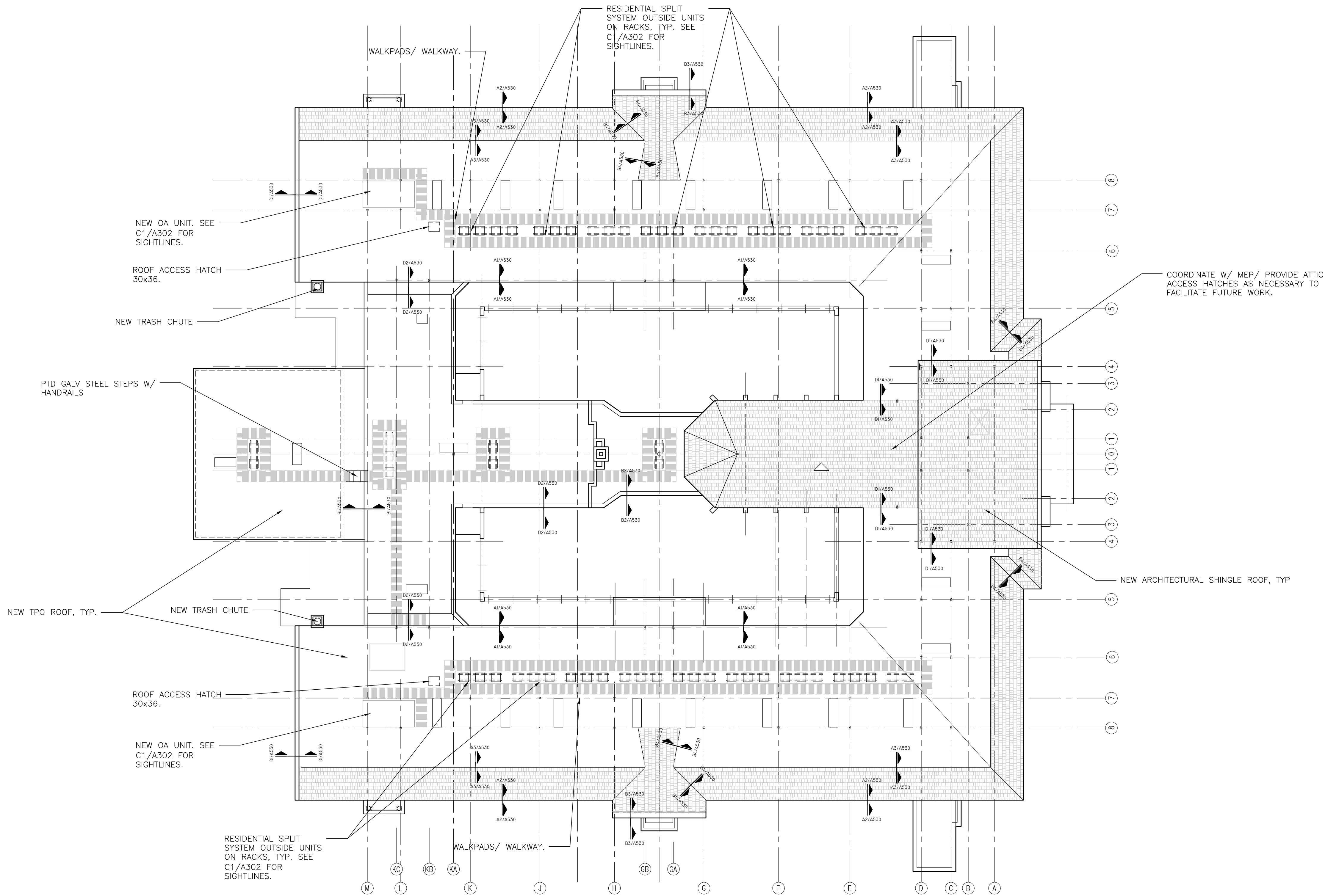
11/10/2024 - 1:08PM - SHAKESPEARE/CA/2024/0524/01 - TYPICAL - JAN 22, 2025 - SCALE: 1/16" = 1'-0"

ROOFING GENERAL NOTES:

1. ALL NEW ROOFING SYSTEMS TO MEET FORTIFIED MULTIFAMILY STANDARD.
2. ASPHALT SHINGLE AREAS TO RECEIVE CONTINUOUS LAYER OF SELF-ADHERED SHEET UNDERLAYMENT WITH FELT BOND-BREAKER.
3. NEW METAL GUTTERS, DOWNSPOUTS, AND COLLECTOR HEADS TO MEET FORTIFIED STANDARD. ASSUME NO EXISTING GUTTERS OR DOWNSPOUTS REMAIN.
  - 3.1. PHASE 1: NEW METAL GUTTERS AND TEMPORARY PVC DOWNSPOUTS.
  - 3.2. PHASE 2: NEW METAL DOWNSPOUTS.
4. COORDINATE W/ MEP/ PROVIDE ATTIC ACCESS HATCHES AS NECESSARY TO FACILITATE FUTURE WORK.

ROOFING KEYNOTES:

- 1 XXX
- 2





11/2024 - TOUR SHAKESPEARE HOME CONSTRUCTION DRAWING - TOWN OF NEW ORLEANS PER MANDATORY

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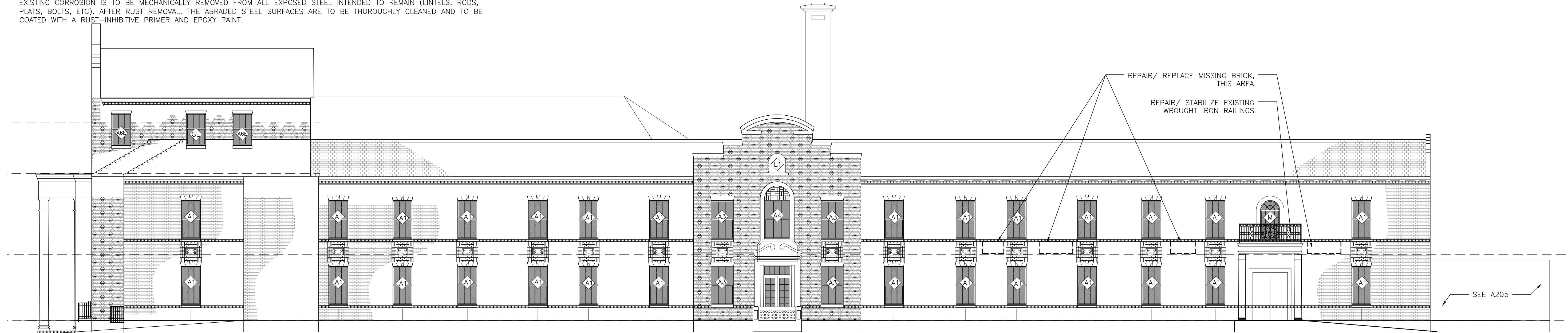
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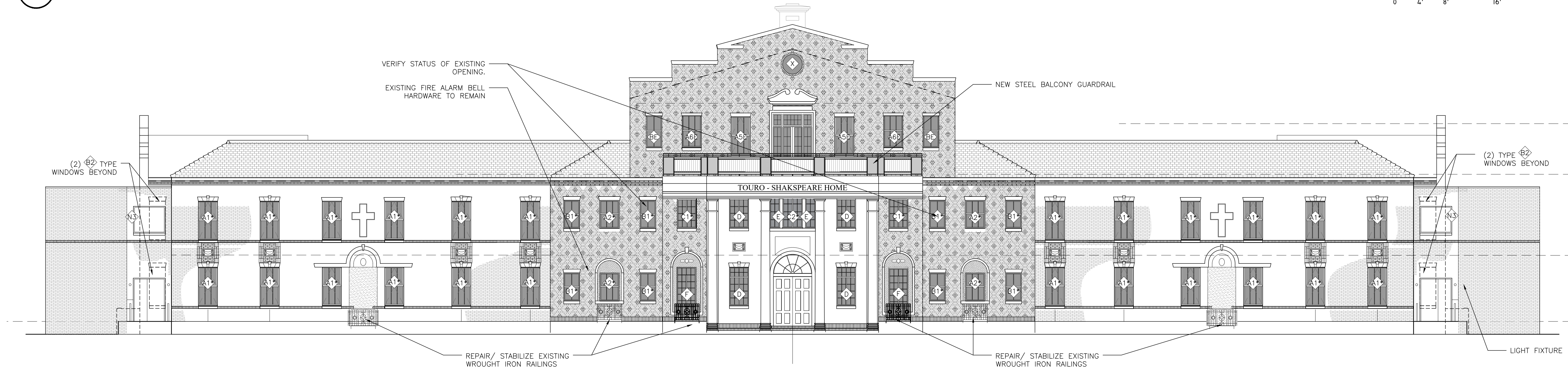
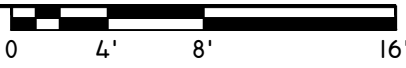
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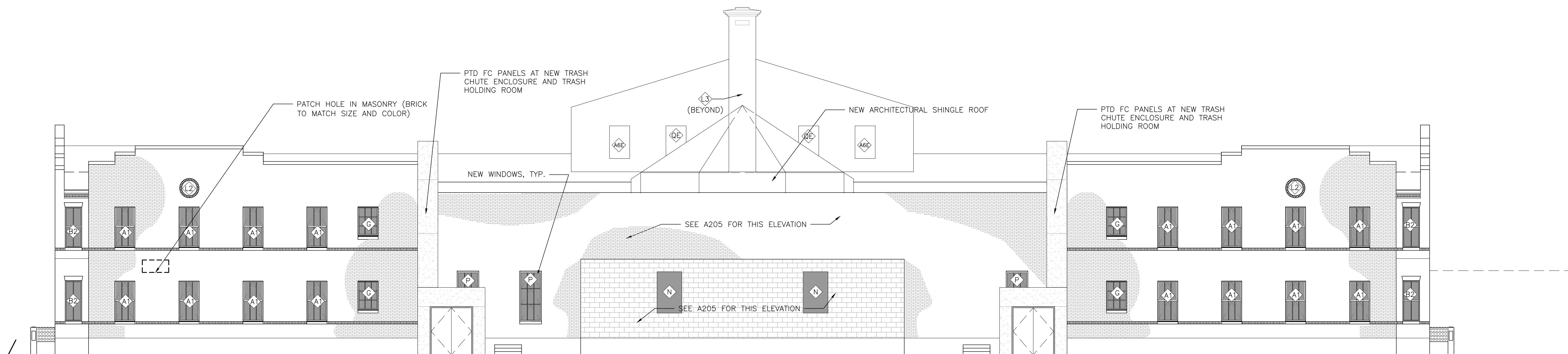
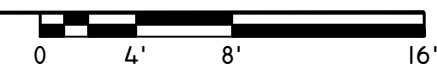
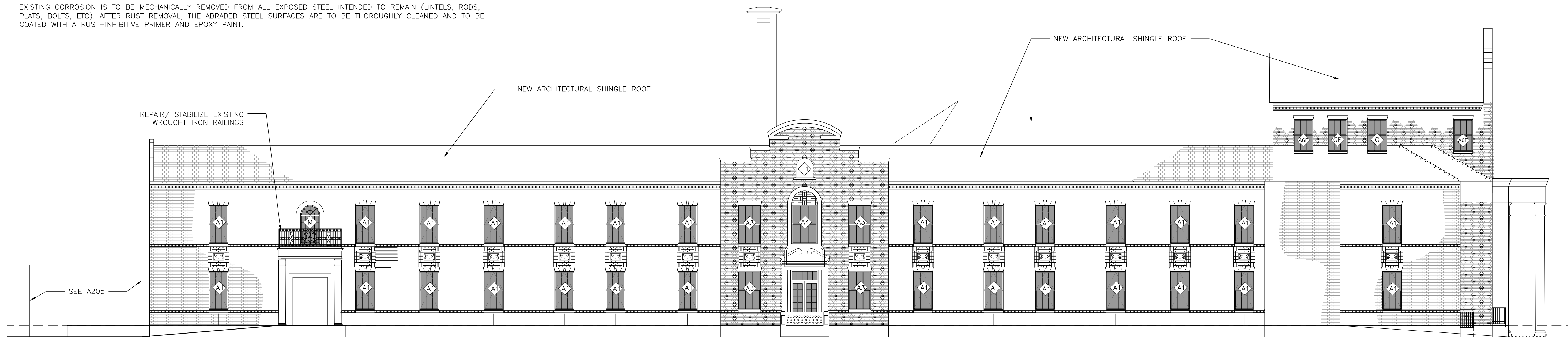


CI WEST ELEVATION (DEBORAH STREET SIDE)- PROPOSED  
A201 SCALE: 1/8" = 1'-0"



AI NORTH ELEVATION (GENERAL MEYER AVENUE)- PROPOSED  
A201 SCALE: 1/8" = 1'-0"







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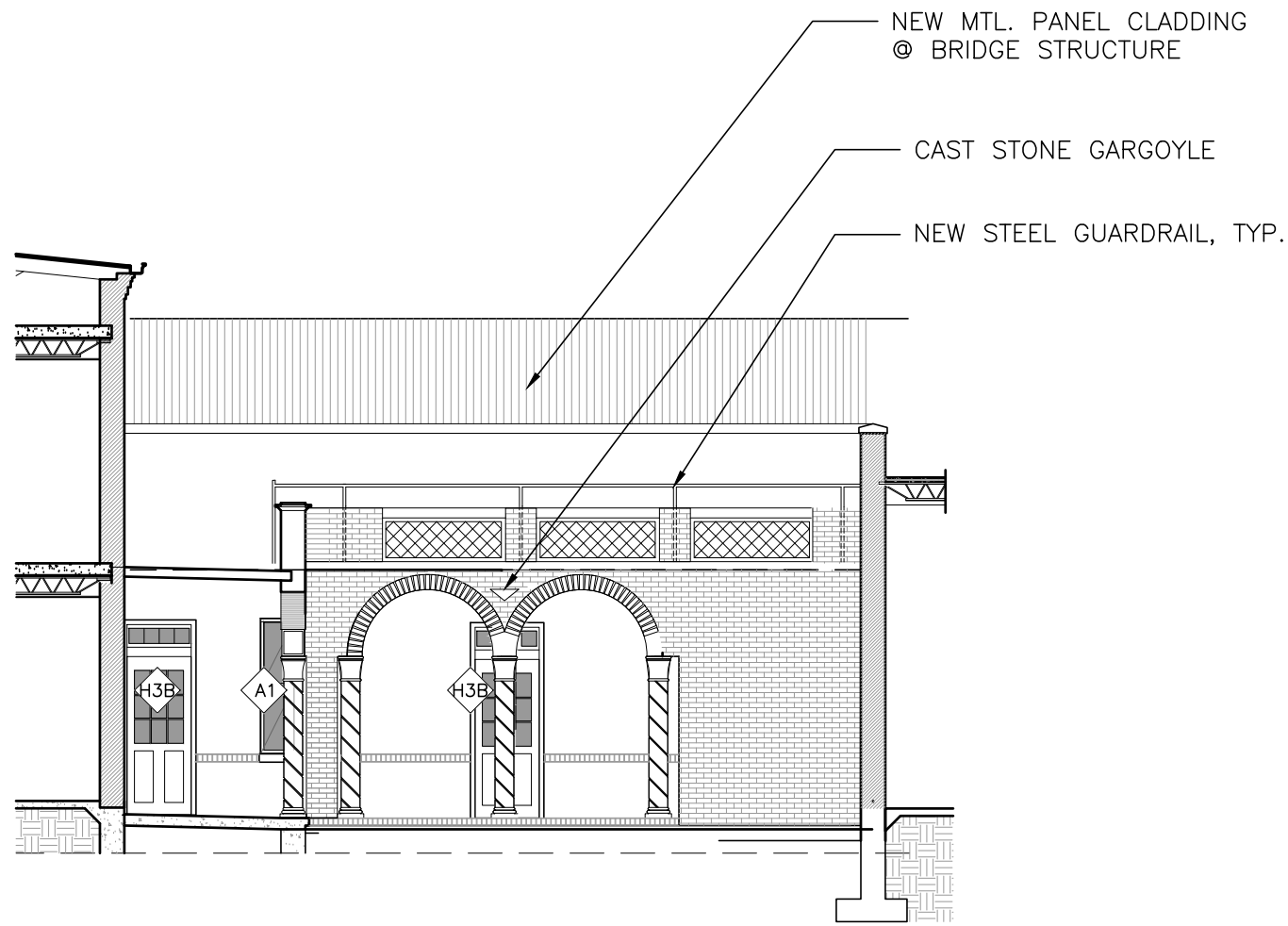
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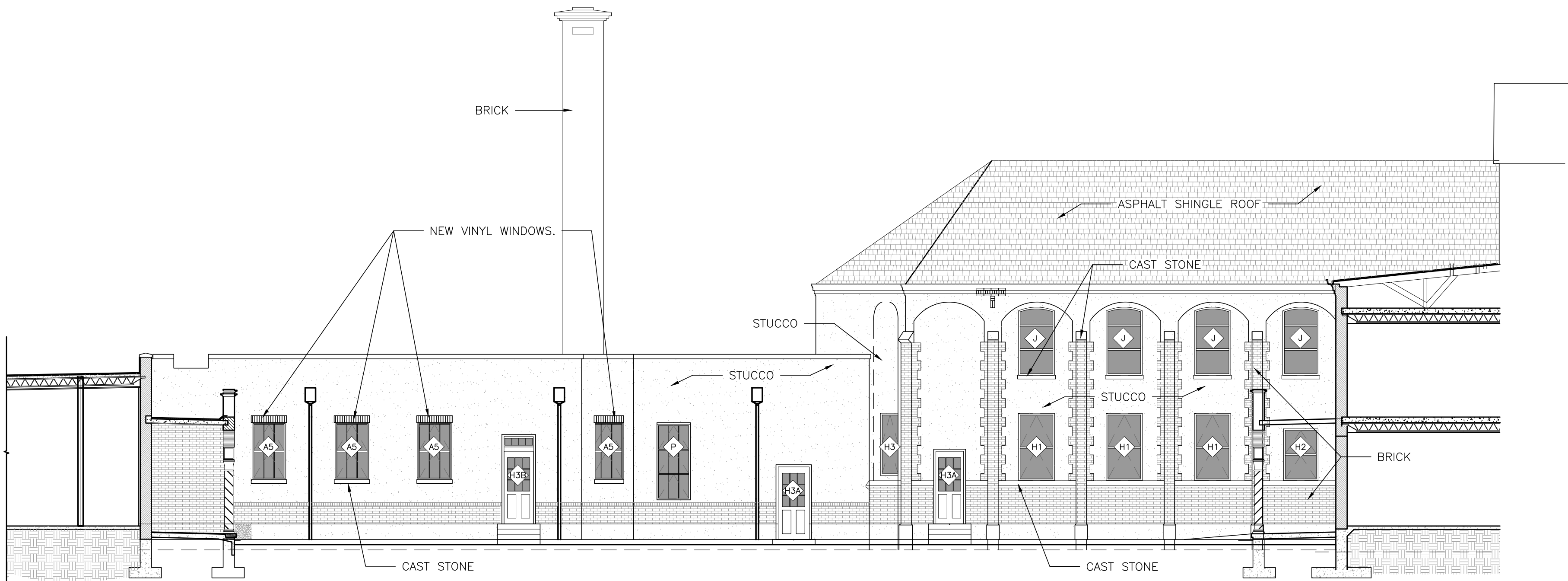
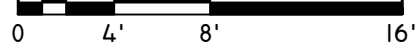
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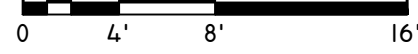
CHAPEL WINDOWS TO BE OBSCURE GLAZING.



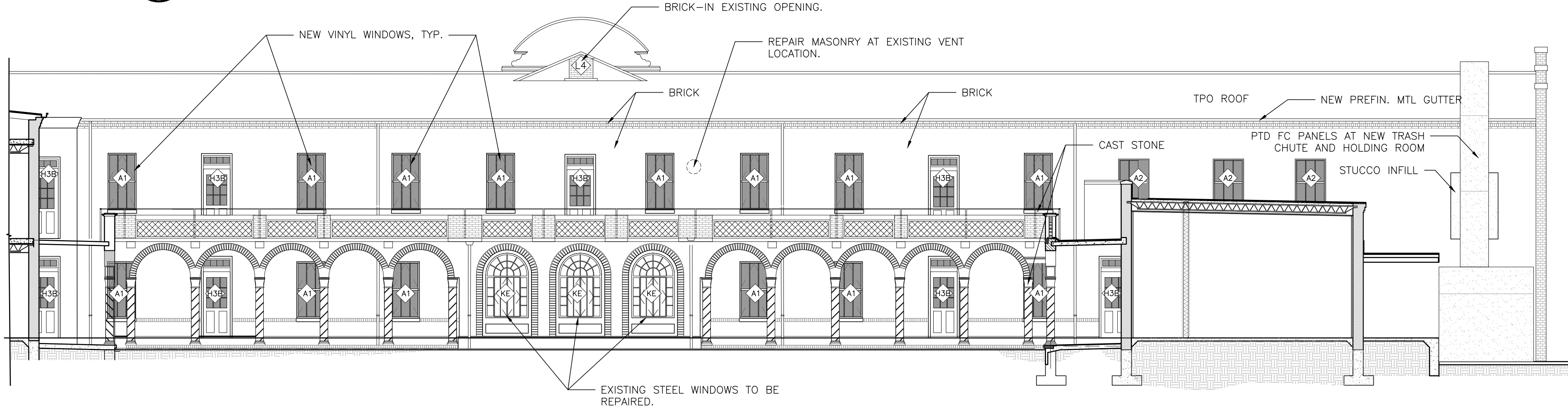
B1 EAST COURTYARD ELEVATION, SOUTH- PROPOSED  
A203 SCALE: 1/8" = 1'-0"



B3 EAST COURTYARD ELEVATION, WEST- PROPOSED  
A203 SCALE: 1/8" = 1'-0"



A1 EAST COURTYARD ELEVATION, NORTH- PROPOSED  
A203 SCALE: 1/8" = 1'-0"



A3 EAST COURTYARD ELEVATION, EAST- PROPOSED  
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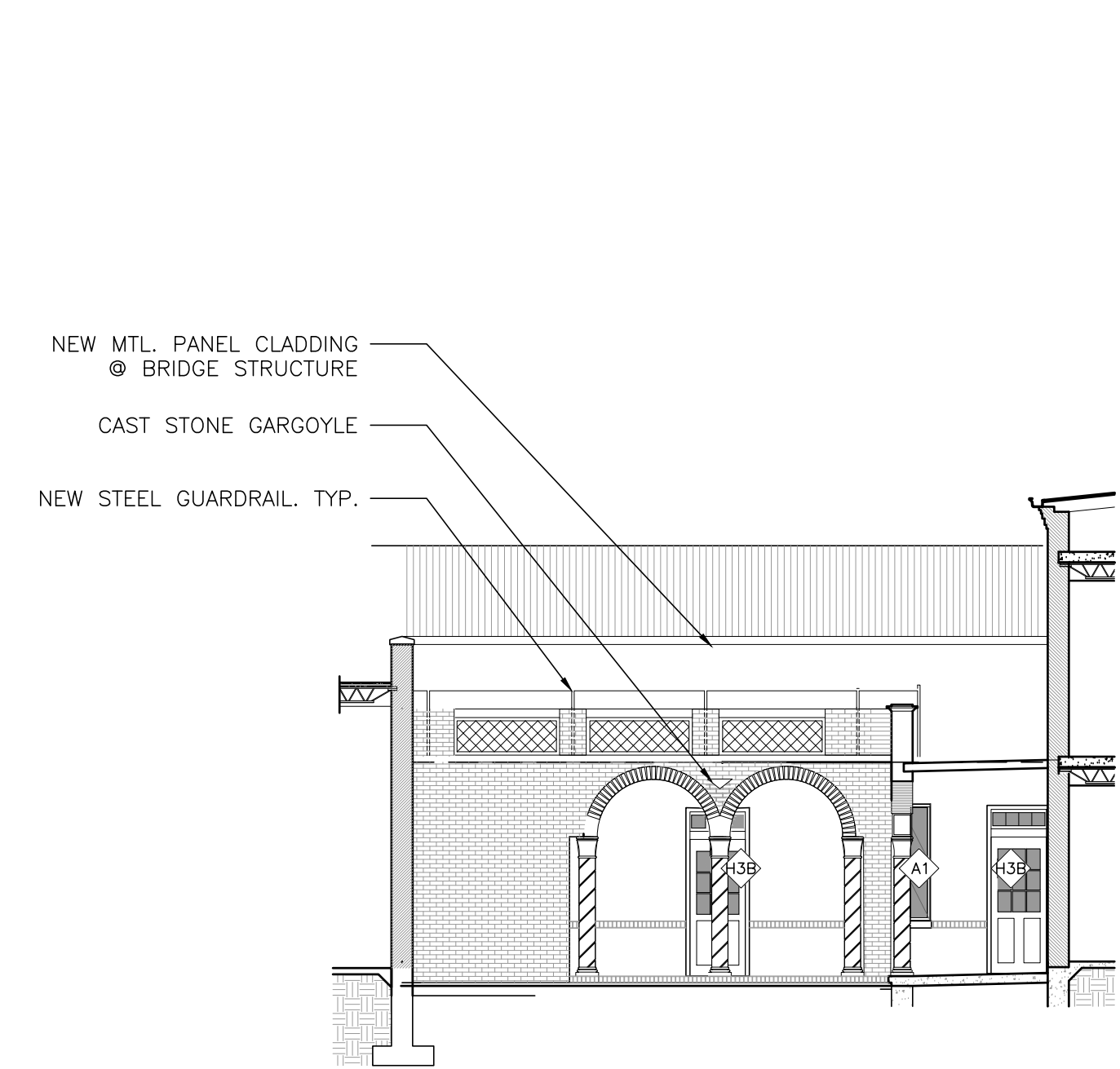
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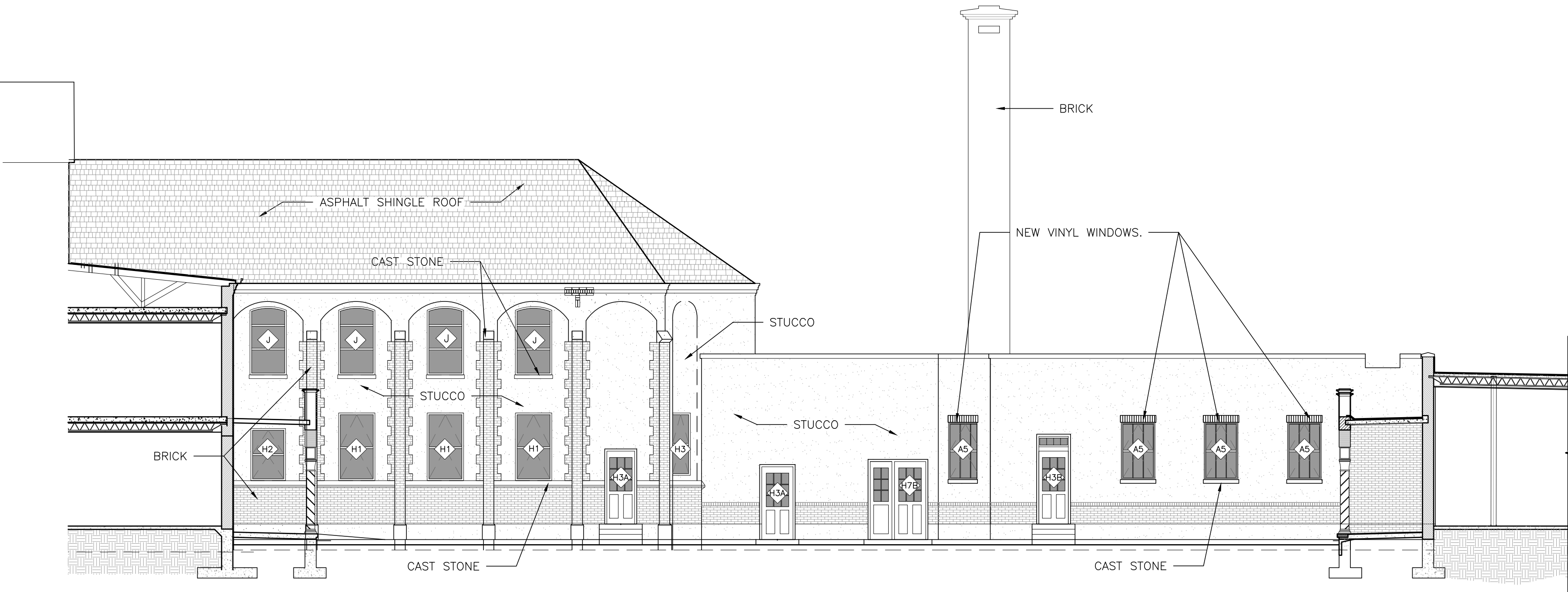
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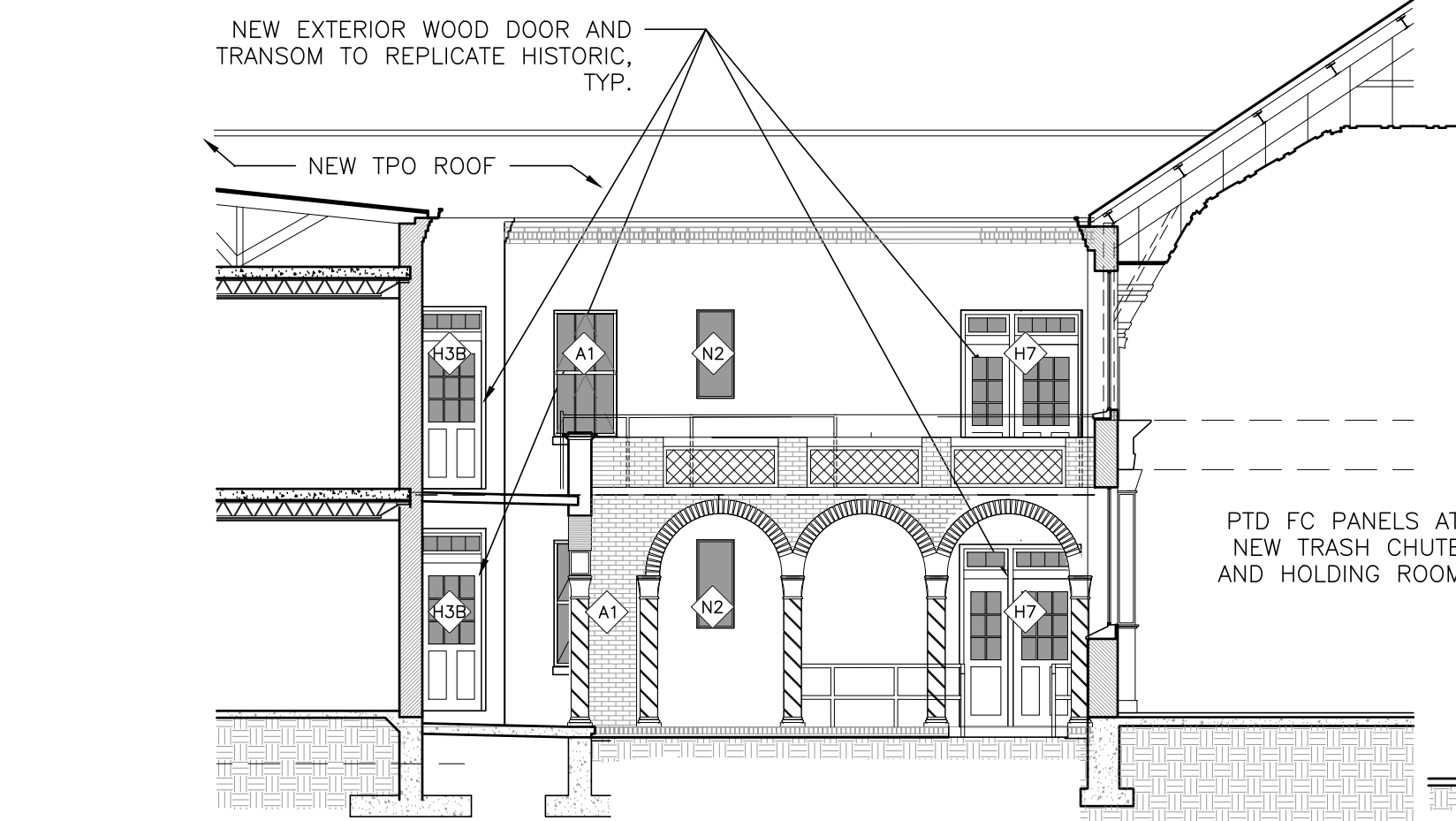
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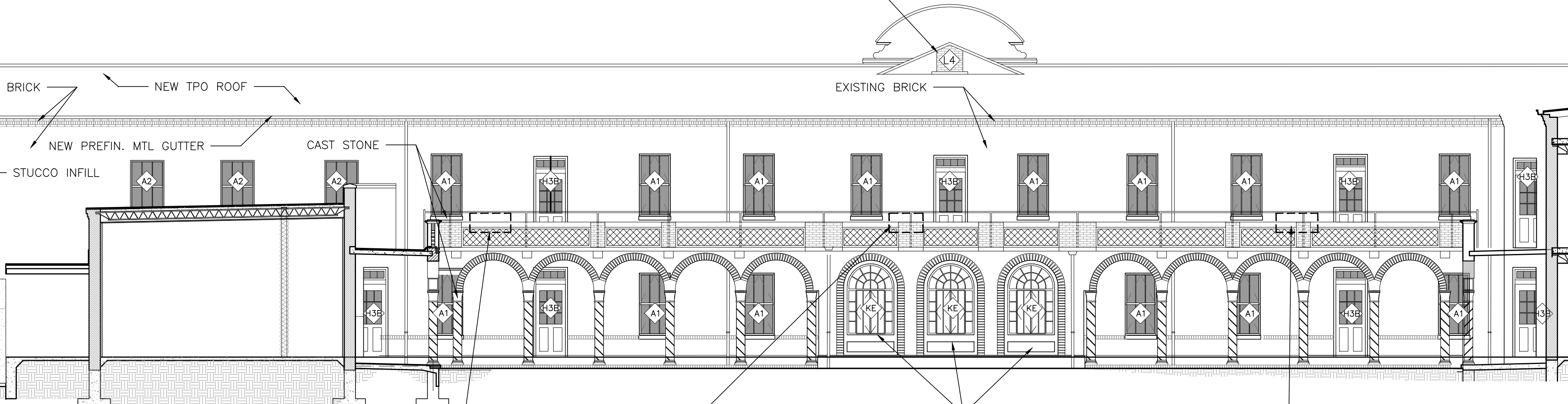
B1 WEST COURTYARD ELEVATION, SOUTH- PROPOSED  
A204 SCALE: 1/8" = 1'-0"



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A204 SCALE: 1/8" = 1'-0"



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HAUSMAN - TOURO-SHAKESPEARE HOME ELEVATIONS - 2024 - MAY 2025 - 1/8" = 1'-0" - 1/4" = 1'-0" - 1/8" = 1'-0"

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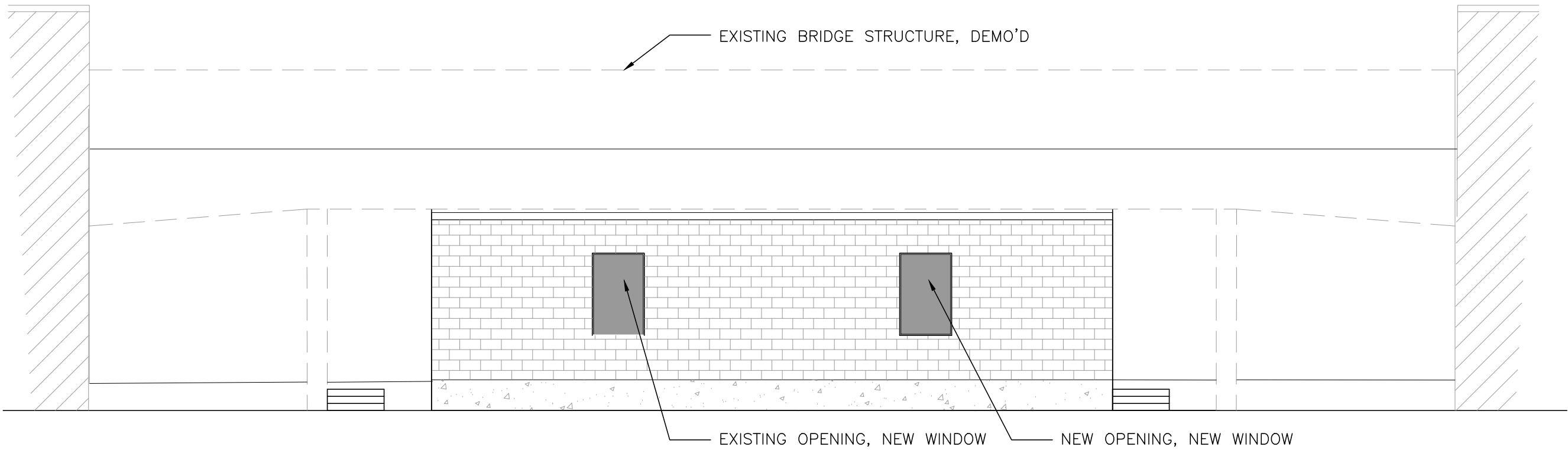
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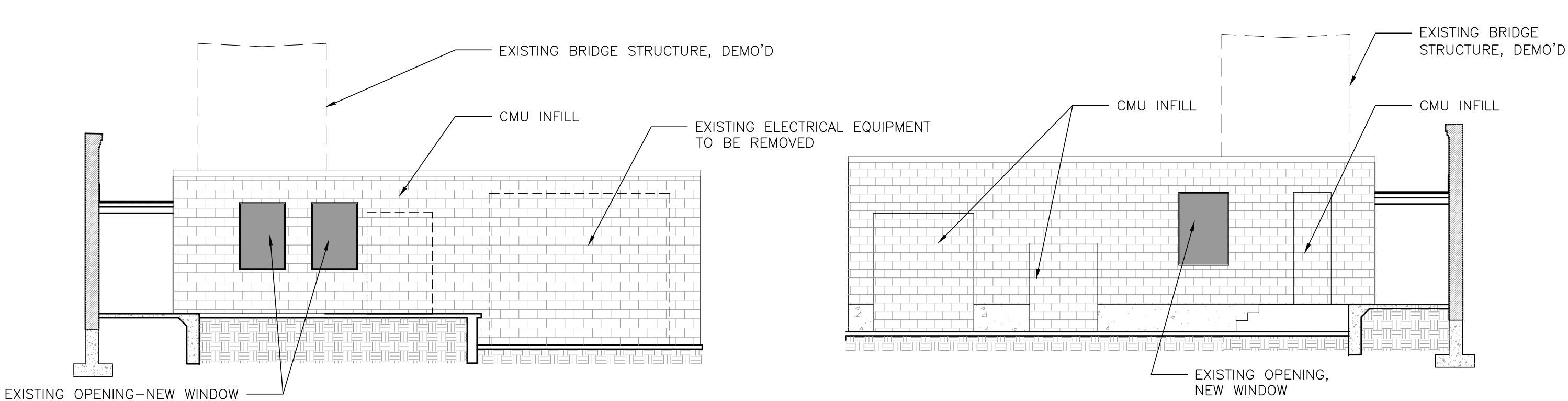
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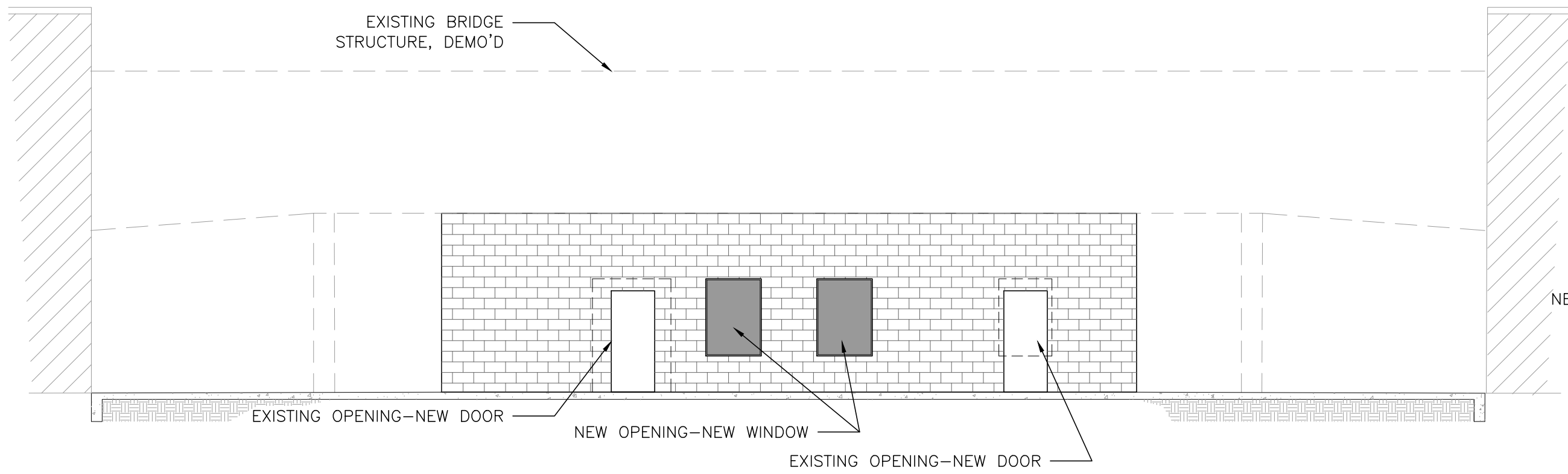


CI  
A205  
UTILITY BUILDING, SOUTH WALL  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

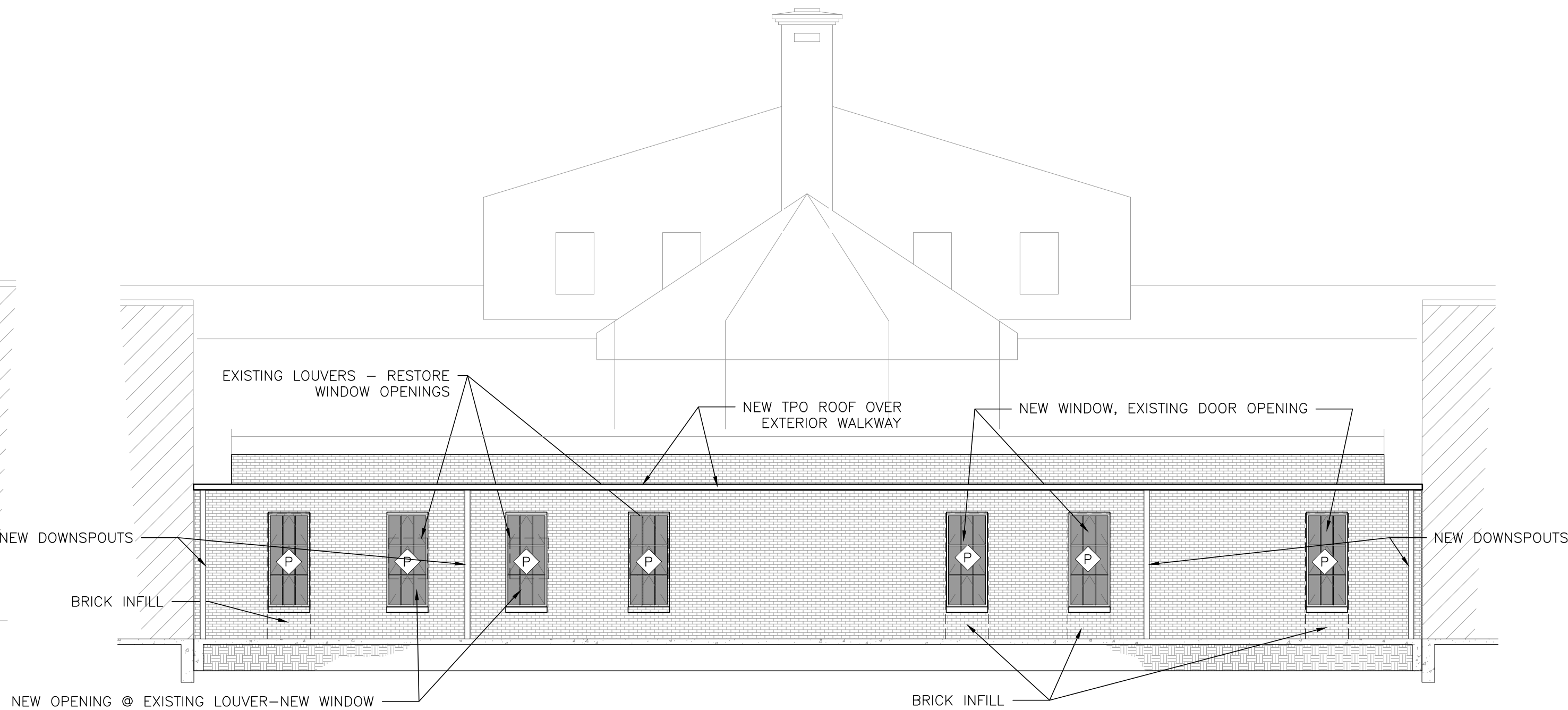


C3  
A205  
UTILITY BUILDING, WEST WALL  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'

C4  
A205  
UTILITY BUILDING, EAST WALL  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



AI  
A205  
UTILITY BUILDING, NORTH ENTRANCE  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



A3  
A205  
SOUTH ELEVATION (BEYOND)- PROPOSED  
SCALE: 1/8" = 1'-0"  
0 4' 8' 16'



1. ALL EXISTING SURFACE AND SUBSURFACE UTILITIES ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO CALL "LOUISIANA ONE CALL" AT 1-800-272-3020 AT LEAST SEVEN BUSINESS DAYS BEFORE SCHEDULED DIGGING IN ORDER TO HAVE UNDERGROUND UTILITIES AND FACILITIES MARKED.
  - 2.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES.
  - 2.2. CONTRACTOR SHALL ALLOW ADEQUATE TIME IN THE CONSTRUCTION SCHEDULE FOR FIELD VERIFICATION AND POTENTIAL DESIGN REVISIONS.
3. SURVEY IS PROVIDED TO THE CONTRACTOR FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BEAR THE FULL RESPONSIBILITY IN VERIFYING LOCATIONS OF EXISTING SITE UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AT NOT ADDITIONAL COST TO THE OWNER.
4. ALL SOD AND PLANT MATERIAL DISTURBED ON CITY OWNED PROPERTY DURING CONSTRUCTION TO BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION OR BETTER.
  - 4.1. REFER TO PARKS & PARKWAYS WRITTEN SPECIFICATIONS SECTION 32 92 23 FOR SODDING REQUIREMENTS
5. DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR IS REQUIRED TO MOW THE SITE WITHIN THE LIMITS OF WORK REGULARLY TO KEEP THE GRASS AT A MAXIMUM HEIGHT OF 3 INCHES.
6. CONTRACTOR SHALL KEEP ALL CONSTRUCTION AREA OF THE PROJECT SITE CLEAN AND HAZARD FREE AT ALL TIMES. THE PROJECT SHOULD BE CLOSED TO PUBLIC USE DURING CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION IS ISSUED.
7. QUANTITIES ARE GIVEN FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AN INDEPENDENT QUANTITIES TAKE-OFF TO DETERMINE QUANTITIES THAT MEET SPECIFIED SPACING, COVERAGE, AND THE DESIGN INTENT.
8. CONTRACTOR SHALL REPORT ANY PLAN DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO NEWLY INSTALLED WORK OR EXISTING SITE ELEMENTS THAT ARE CALLED TO REMAIN AS A RESULT OF HIS/HER WORK. REPAIRS AND/OR REPLACEMENT SHALL BE MADE AT NO EXPENSE TO THE OWNER OR LANDSCAPE ARCHITECT. ALL REPAIRS SHALL MEET OR EXCEED THE ORIGINAL CONDITION OF DAMAGED AREA(S) AND SHALL BE SUBJECT TO APPROVAL BY THE OWNER.

1. REFER TO THE FOLLOWING NEW ORLEANS PARKS AND PARKWAYS SPECIFICATION FOR ALL LANDSCAPED AREAS WITHIN THE CITY RIGHT-OF-WAY & ON CITY OWNED PROPERTY:
  - 1.1. TEMPORARY TREE PROTECTION AND PLANT PROTECTION - 01 56 39
  - 1.2. SODDING - 32 92 23
2. CONTRACTOR SHALL STAKE THE LAYOUT OF ALL TREES AND BED LINES FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - 2.1. SHRUBS SHALL BE LAID OUT ON SITE FOR LANDSCAPE ARCHITECT TO REVIEW AND APPROVAL PRIOR TO THEIR INSTALLATION.

1. CONTRACTOR RESPONSIBLE FOR MAINTAINING AND WATERING PLANT MATERIAL AT DELIVERY, PRIOR TO INSTALLATION, ONCE INSTALLED, AND THROUGHOUT CONSTRUCTION.
2. REFER TO FOLLOWING SPECIFICATION SECTIONS FOR FURTHER DETAILS:
  - 2.1. 32 92 00 - TURF & GRASSES
  - 2.2. 32 93 00 - PLANTS

1. THE CONTRACTOR AND SUB-CONTRACTORS SHALL TAKE EVERY MEASURE TO PROTECT AND PRESERVE EXISTING TREES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- 1.1. CONTRACTOR SHALL DIRECT ALL QUESTIONS REGARDING TREE PROTECTION TO THE LANDSCAPE ARCHITECT.
2. THE CONTRACTOR WILL BE HELD ACCOUNTABLE FOR ANY DETRIMENTAL ACTIVITIES OCCURRING WITHIN TREE PROTECTION ZONES AND WILL BE REQUIRED TO RETAIN A LOUISIANA LICENSED ARBORIST, TO MAKE NECESSARY REPARATIVE/RESTORATIVE MEASURES AS SEEN FIT BY LANDSCAPE ARCHITECT AND THE DEPARTMENT OF PARKS AND PARKWAYS.
3. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL ESTABLISH THE TREE PROTECTION AREA AND SHALL BE APPROVED, IN WRITING, BY LANDSCAPE ARCHITECT.
4. FOR CONSTRUCTION WALKWAY IMPROVEMENTS THAT ENTER THE CRZ, THE CONTRACTOR MUST HAVE THE ENTIRE TREE AIR SPADED BY A LOUISIANA LICENSED ARBORIST. THE AIR SPADED CRZ WILL BE BACKFILLED WITH SPECIFIED SOIL.
- 4.1. REFER TO THE FOLLOWING NEW ORLEANS PARKS AND PARKWAYS SPECIFICATION FOR SOIL PREPARATION - 32 91 13.
- 4.2. THE AIR SPADED SHALL BE PERFORMED AFTER CONSTRUCTION WITHIN THE CRZ BUT PRIOR TO SUBSTANTIAL COMPLETION.
- 4.3. THE LOUISIANA LICENSED ARBORIST MUST PROVIDE DOCUMENTATION DEMONSTRATING SUCCESSFUL COMPLETION OF AIR SPADED PROJECTS OF SIMILAR TO THE SCOPE OF WORK TO THIS PROJECT.
5. CONTRACTOR TO RETAIN A LOUISIANA LICENSED ARBORIST THROUGHOUT CONSTRUCTION. ARBORIST SHALL OBTAIN AS MANY PERMITS FROM PARKS AND PARKWAYS AS REQUIRED DURING CONSTRUCTION TO COMPLETE THE WORK REQUIRED.
6. ALL PROTECTED AND PRESERVED TREES TO RECEIVE CROWN CLEANING, CROWN RAISING, FERTILIZATION, AND MULCHING. ALL WORK TO BE DONE BY A LOUISIANA LICENSED ARBORIST.







REQUIRED PARKWAY TREE  
ALTERNATE

1. SEE LANDSCAPE NOTES ON SHEET L000

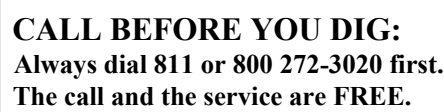


PLOT DATE	21-MAY-2025
PROJECT NO.	2410
DRAWING FILE	2410_PERMIT SET_PN2.DWG

## PLANTING PLAN

201

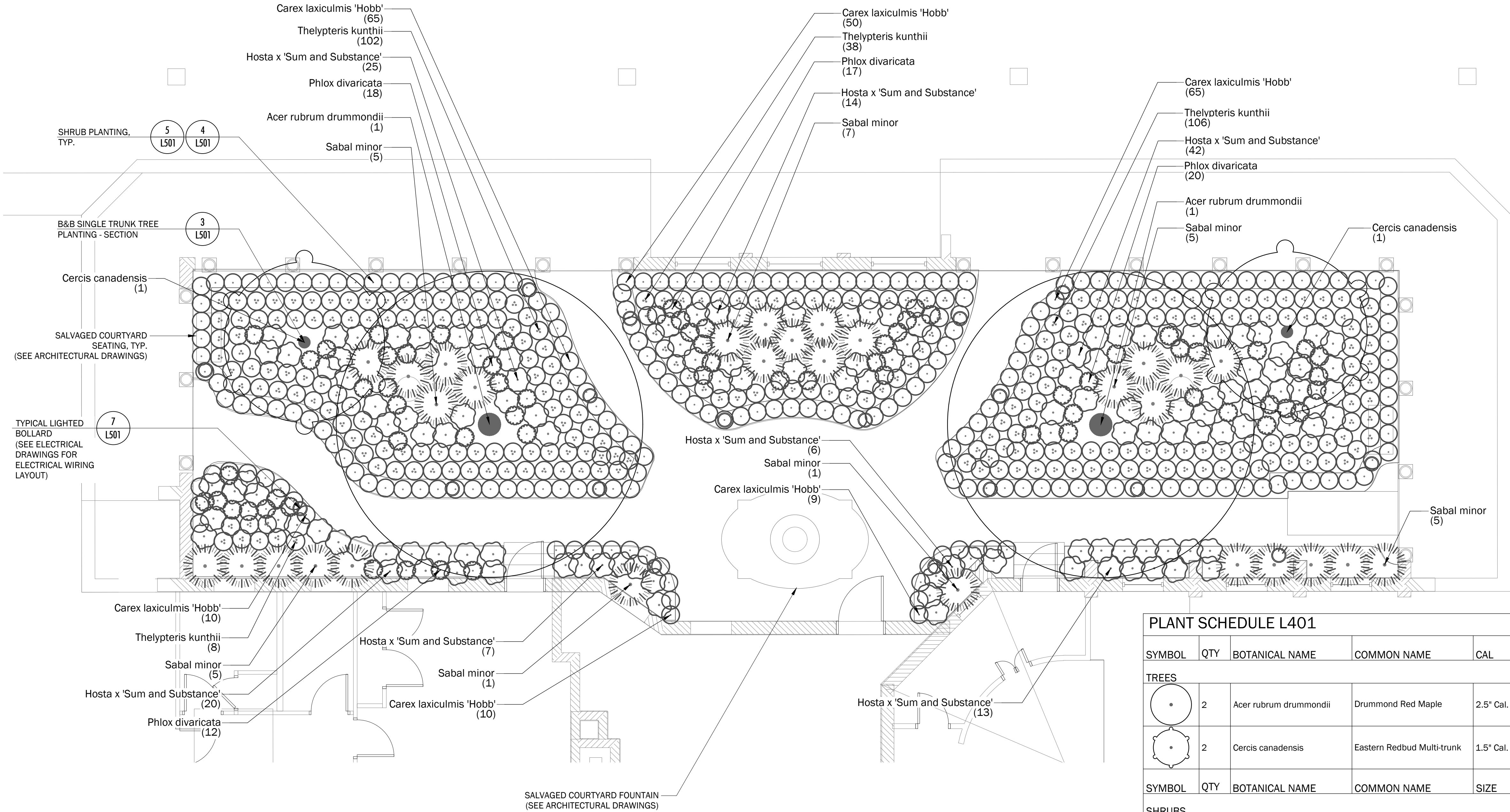
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PROJECT: PROJECT TOUR SHAKESPEARE HOME, 2621 GENERAL MEYER AVE., NEW ORLEANS, LA 70114  
DATE: 21-MAY-2025  
DRAWING NO.: 2410  
DRAWING FILE: RC  
REV: 01  
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PLANT SCHEDULE L401							
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT	HT	REMARKS
TREES							
	2	Acer rubrum drummondii	Drummond Red Maple	2.5" Cal.	B&B	12' Min. Ht	
	2	Cercis canadensis	Eastern Redbud Multi-trunk	1.5" Cal.	B&B	8' Min. Ht	
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	MIN. HT	REMARKS
SHRUBS							
	209	Carex laxiculmis 'Hobb'	Bunny Blue Spreading Sedge	1 gal.	Pot	18"	
	133	Hosta x 'Sum and Substance'	Sum and Substance Hosta	3 gal.	Pot	18"	
	67	Phlox divaricata	Woodland Phlox	3 gal.	Pot	18"	
	29	Sabal minor	Dwarf Palmetto	3 gal.	Pot	24" min.	
	254	Thelypteris kunthii	Southern Shield Fern	3 gal.	Pot	18"	

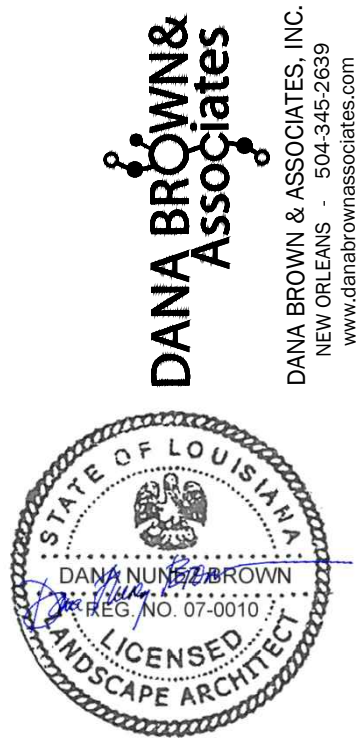
PLANTING LEGEND

GENERAL NOTES:

1. SEE LANDSCAPE NOTES ON SHEET L000.



CALL BEFORE YOU DIG:  
Always dial 811 or 800 272-3020 first.  
The call and the service are FREE.



TOURO-SHAKESPEARE HOME  
2621 GENERAL MEYER AVE. NEW ORLEANS, LA 70114

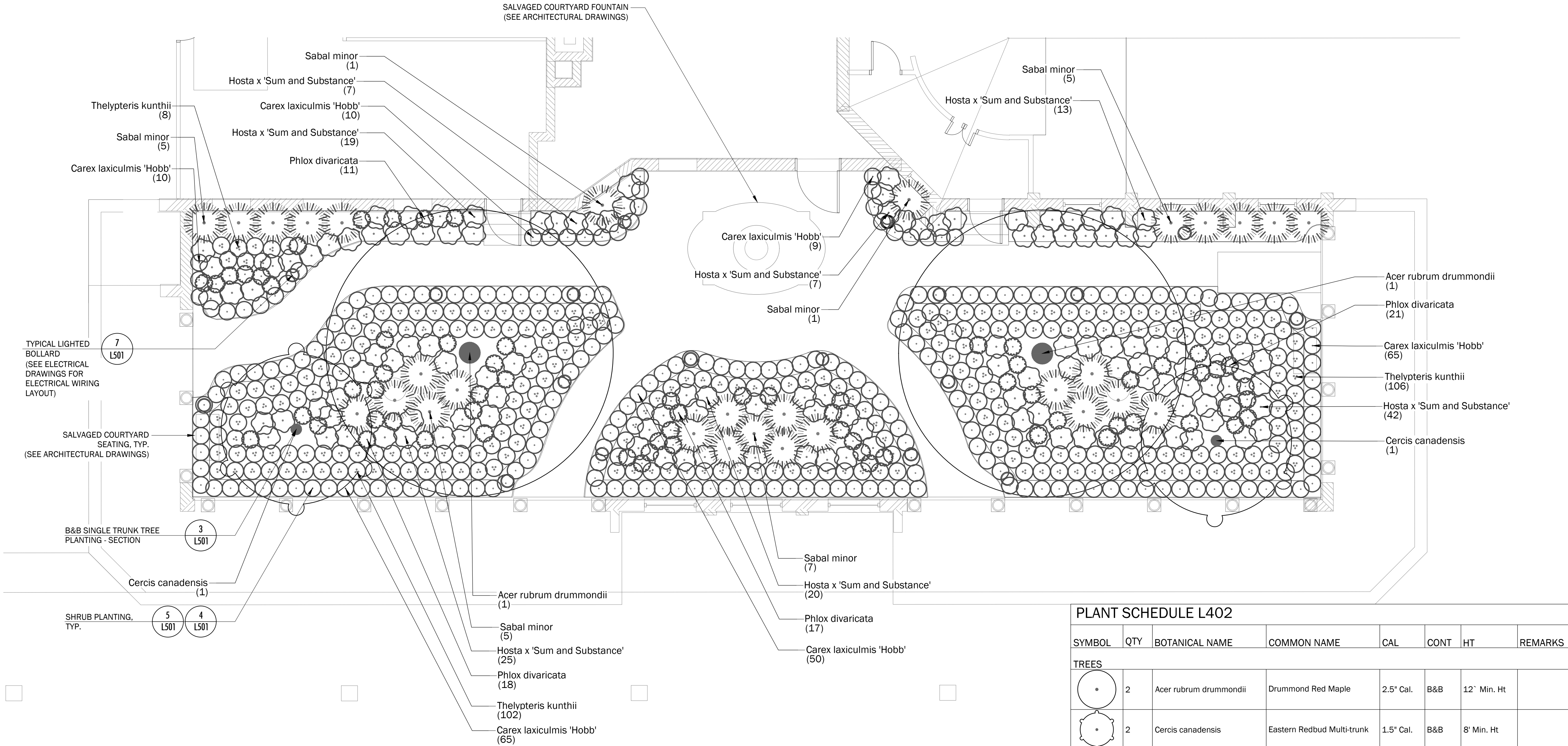
PLANTING PLAN -  
ENLARGEMENT A

L401  
P E R M I T S E T



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PROJECT: PROJECT TOURS SHAKESPEARE ENLARGEMENT B (SEE CONSTRUCTION DOCUMENTS) LOCATION: 2621 GENERAL MEYER AVENUE, NEW ORLEANS, LA 70114 DATE: 2025-05-01 BY: KLM

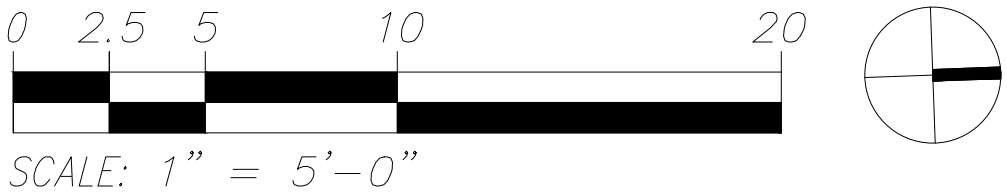


PLANTING LEGEND

GENERAL NOTES:  
1. SEE LANDSCAPE NOTES ON SHEET L000.

PLANT SCHEDULE L402							
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CAL	CONT	HT	REMARKS
TREES							
	2	Acer rubrum drummondii	Drummond Red Maple	2.5" Cal.	B&B	12' Min. Ht	
	2	Cercis canadensis	Eastern Redbud Multi-trunk	1.5" Cal.	B&B	8' Min. Ht	
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	MIN. HT	REMARKS
SHRUBS							
	209	Carex laxiculmis 'Hobb'	Bunny Blue Spreading Sedge	1 gal.	Pot	18"	
	133	Hosta x 'Sum and Substance'	Sum and Substance Hosta	3 gal.	Pot	18"	
	67	Phlox divaricata	Woodland Phlox	3 gal.	Pot	18"	
	29	Sabal minor	Dwarf Palmetto	3 gal.	Pot	24" min.	
	254	Thelypteris kunthii	Southern Shield Fern	3 gal.	Pot	18"	

1 PLANTING PLAN - ENLARGEMENT B  
scale: 1" = 5' - 0"



CALL BEFORE YOU DIG:  
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The call and the service are FREE.

TOURO-SHAKESPEARE HOME  
2621 GENERAL MEYER AVE. NEW ORLEANS, LA 70114

PLANTING PLAN - ENLARGEMENT B

L402

P E R M I T S E T

STATE OF LOUISIANA  
DANA BROWN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECT  
REG. NO. 07-0010

DANA BROWN & ASSOCIATES, INC.  
NEW ORLEANS, LA 70114  
504-345-2639  
www.danabrownandassociates.com











Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

North arrow, scale, and date of plan  
Location, dimensions, and area of permeable open space  
Name, address of the professional who prepared the plan  
Legend of symbols, patterns, and abbreviations used  
The entire lot(s), including area and property lines dimensioned (including gross area of the site)  
Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)  
Location and dimensions of buildings and structures, including total floor area and distance from property lines  
Location of adjacent buildings  
Location of refuse storage locations  
Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways  
Fence location, height, and materials

#### 2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development  
Room use  
Location of all walls, doors, and windows  
Location of all plumbing fixtures  
Location of major appliances/mechanical equipment  
Stairway location  
Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls  
Types, style, height, and the number of fixtures  
Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials  
Building Elevation (including building width and height)  
Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

Name and address of professional who prepared the plan.  
Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission  
All landscape plans shall meet the minimum requirements of site plans  
Legend defining all symbols, patterns, and abbreviations used  
Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.  
Description of all tree preservation measures on-site and in the public right-of-way  
Width, depth, and area of landscaped area(s)  
Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

Photographs of the subject site and/or building

#### 8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

#### 10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

Additional submittal requirements for the University Area Design Overlay

### FEES

Design Review	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000