

-PRIVATE RESIDENCE-  
DEMOLITION OF A ONE-STORY SINGLE FAMILY RESIDENCE FOR NEW CONSTRUCTION OF A TWO-STORY DOUBLE  
1 1 2 8 L O W E R L I N E S T R E E T , N E W O R L E A N S , L A 7 0 1 1 8  
-ISSUED FOR DESIGN DEVELOPMENT - 07.21.2026-

SUBMITTED FOR  
DESIGN REVIEW  
ONLY

DOB STAMP

| NO. | REVISIONS/SUBMISSIONS | DATE     |
|-----|-----------------------|----------|
|     | FOR DESIGN REVIEW     | 07/21/26 |
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|     |                       |          |
|     |                       |          |
|     |                       |          |

DRAWN BY: KJ

SEAL

ENGINEER

LOCATION:  
TWO-FAMILY DWELLING  
1128 LOWERLINE STREET  
NEW ORLEANS, LA 70118

LOCATION:

SITE PLAN

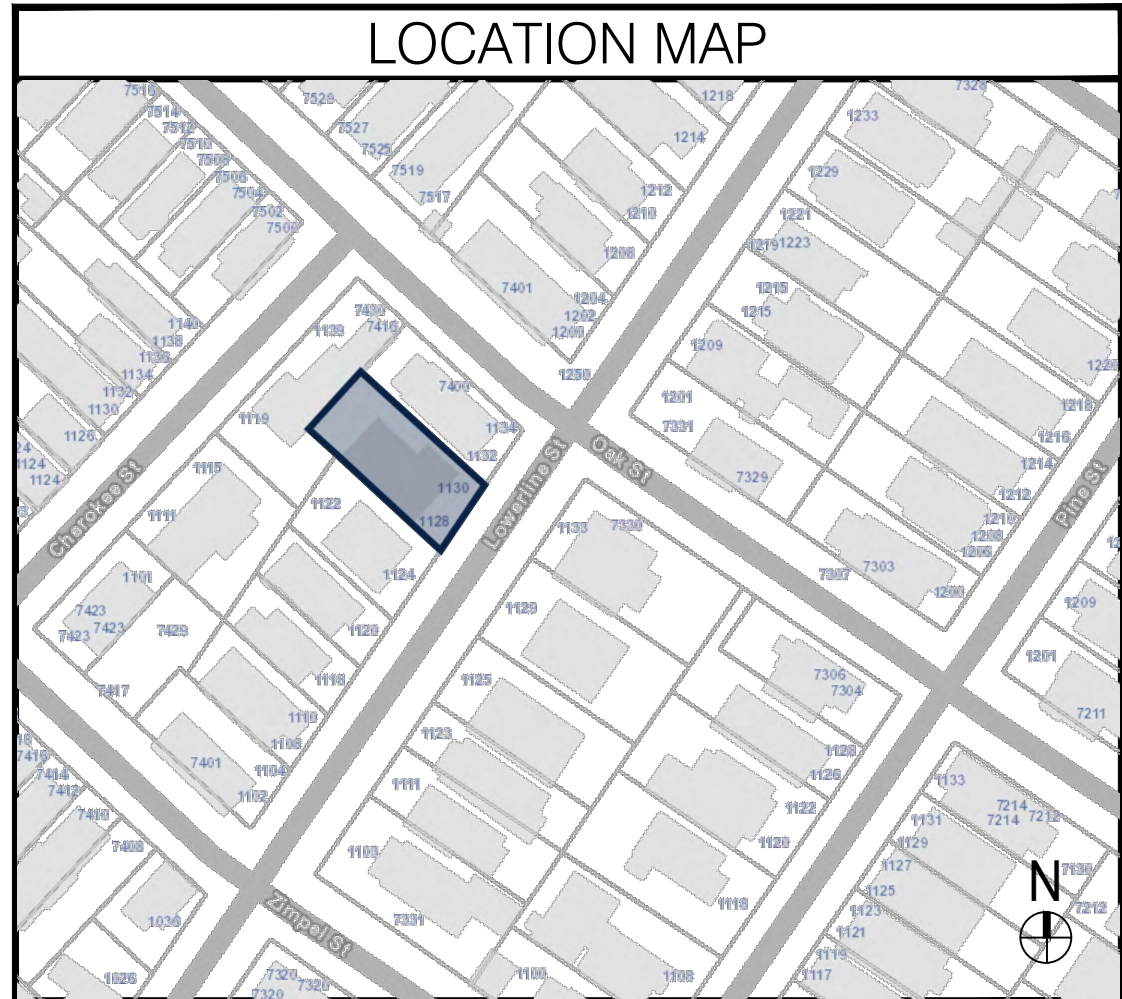
DRAWING TITLE:

PROJECT: 25-R-23

DESIGN REVIEW

A100

SHEET



DRAWING INDEX

A100 PROJECT INFORMATION, SURVEY & SITE PLAN  
A101 CONTEXT PHOTOS  
A102 CONTEXT ELEVATIONS & SETBACKS  
A103 COMPATIBILITY PHOTOS

A200 PROPOSED FLOOR PLANS  
A201 PROPOSED ELEVATIONS

BUILDING/SITE INFORMATION

- BUILDING DESCRIPTION:
  - EXISTING: ONE-STORY RESIDENTIAL
  - PROPOSED: TWO-STORY RESIDENTIAL TYPE V (WOOD)
- PROPOSED BUILDING EXTERIOR: WOOD
- OCCUPANCY TYPE:
  - EXISTING: R-3 (SINGLE-FAMILY)
  - PROPOSED: R-3 (TWO-FAMILY)
- NO. OF FLOORS:
  - EXISTING: 1
  - PROPOSED: 2

- SCOPE OF WORK:  
DEMOLITION OF A ONE-STORY SINGLE-FAMILY RESIDENCE FOR NEW CONSTRUCTION OF A TWO-STORY DOUBLE.

- BUILDING AREA:
  - 1ST FLOOR LIVING AREA: 1,360 S.F.
  - 2ND FLOOR LIVING AREA: 1,360 S.F.
  - TOTAL S.F. LIVING AREA: 2,720 S.F.

- STRUCTURE:
  - 1ST FLOOR STRUCTURE: 1,450 S.F.
  - 2ND FLOOR STRUCTURE: 1,450 S.F.
  - COVERED PORCHES: 340 S.F.
  - TOTAL S.F. UNDER ROOF: 3,240 S.F.

- BUILDING FOOTPRINT: 1,620 S.F.

- HISTORIC DISTRICT: CARROLLTON (PARTIAL CONTROL)
- ZONING DISTRICT: HU-RD2 (HISTORIC URBAN 2 FAMILY RESIDENTIAL)

ZONING INFORMATION

LOT DIMENSIONS: 49/50X113/106 (EXISTING, NO CHANGE)  
LOT AREA: 5,366 S.F.

PROPERTY DESCRIPTION: BSO 127 LOWERLINE ST LOT F 49/50 X 113/106 1128-30 LOWERLINE ST

REGULATIONS FOR TWO-FAMILY IN (HU-RD2):

- MINIMUM LOT AREA: 1,800 S.F./D.U.
- MINIMUM LOT WIDTH: 30'-0"
- MINIMUM LOT DEPTH: 90'-0"
- MAXIMUM BUILDING HEIGHT: 35'-0"
- MINIMUM FRONT YARD: AVERAGE OF ADJACENT
- MIN. INTERIOR SIDE YARD: 3'-0"
- MIN. CORNER SIDE YARD: NA
- MINIMUM REAR YARD: 20% LOT DEPTH OR 15'-0" (WHICHEVER IS LESS)

PERMEABILITY REQUIREMENTS

HU-RD2:

MINIMUM LOT PERMEABILITY: 30% OF LOT  
LOT AREA: 5,366 S.F.  
30% OF LOT: 5,366 S.F. x 0.3 = 1,610 S.F.

MAXIMUM IMPERVIOUS SURFACE IN FRONT YARD: 40%  
FRONT YARD AREA: 40% OF 1,025 S.F. = 410 S.F.  
FRONT YARD IMPERVIOUS SURFACE AREA: 337 S.F.

FRONT YARD PERMEABLE SURFACE: 685 S.F.  
SIDE YARD 1 PERMEABLE SURFACE: 95 S.F.  
REAR YARD PERMEABLE SURFACE: 1,430 S.F.  
SIDE YARD 2 PERMEABLE SURFACE: 96 S.F.  
TOTAL LOT PERMEABLE SURFACE: 2,306 S.F.

337 S.F. < 410 S.F. ALLOWED MAXIMUM

2,306 S.F. > 1,610 S.F. REQUIRED

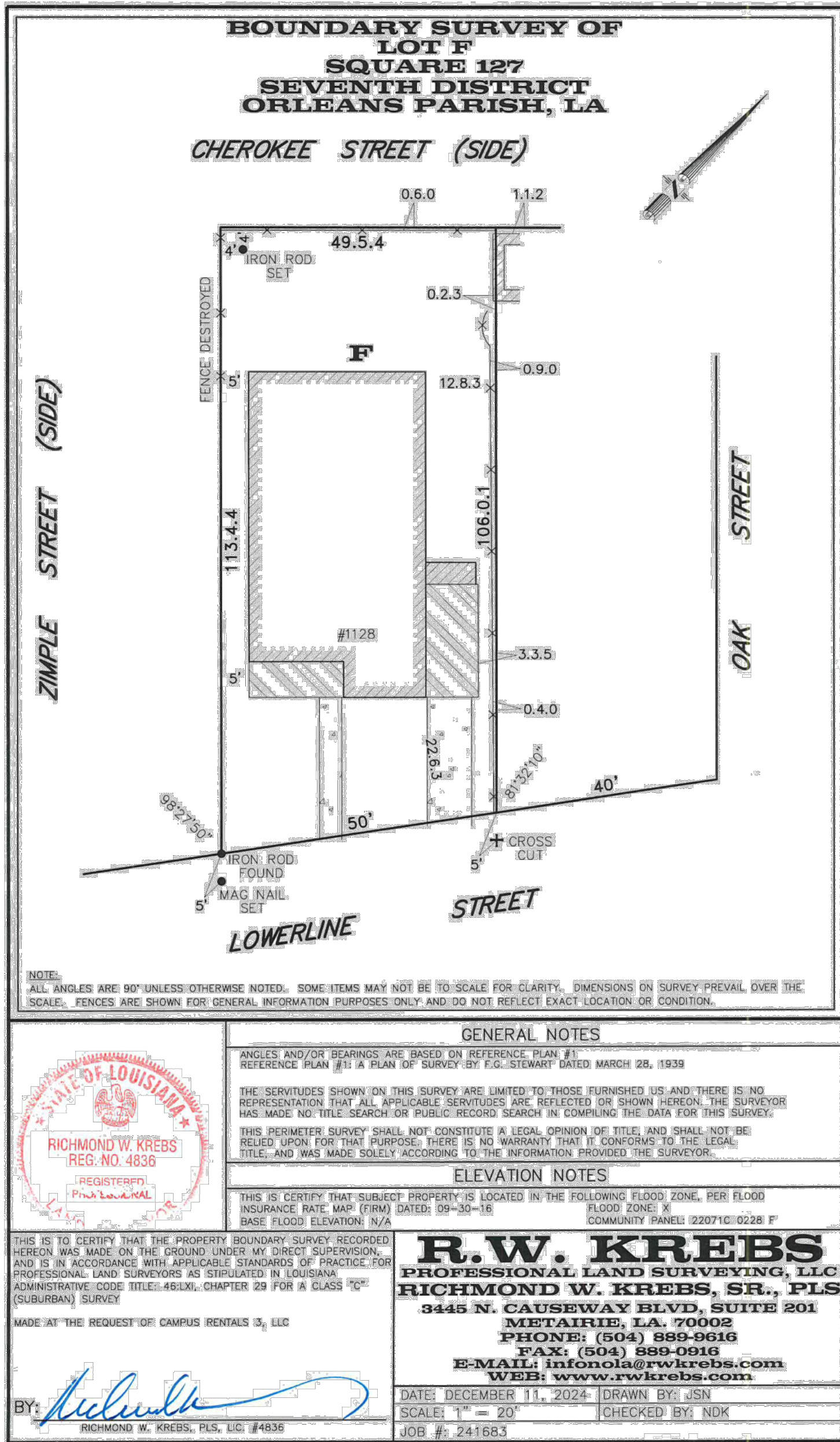
OFF-STREET PARKING REQUIREMENTS

UNIVERSITY AREA OFF-STREET PARKING OVERLAY DISTRICT:

UNIT 1 PROPOSED BEDROOMS: 3  
UNIT 1 PROPOSED BATHROOMS: 2  
UNIT 2 PROPOSED BEDROOMS: 2  
UNIT 2 PROPOSED BATHROOMS: 2

REQUIRED PARKING:  
-1 PER DWELLING UNIT: 2  
-1 PER BEDROOM OVER 3 BEDROOMS PER D.U.: 0

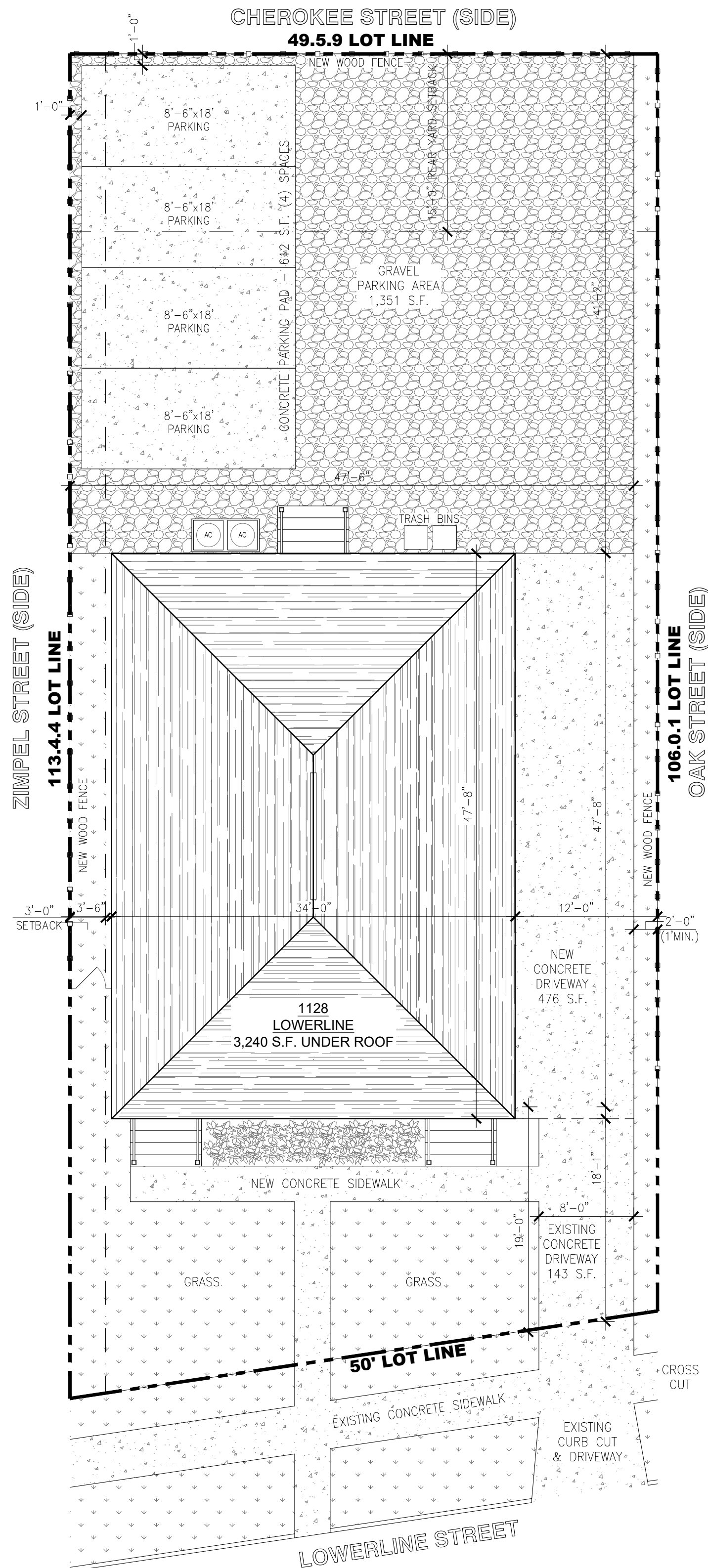
TOTAL OFF-STREET PARKING PROVIDED: 4 SPACES > 2 REQUIRED  
(SEE SHEET A100 SITE PLAN)



DEMOLITION PERMIT FOR EXISTING STRUCTURE PENDING APPROVAL OF NEW  
CONSTRUCTION PERMIT BY SAFETY & PERMITS. REF CODE C5FP21.

EXISTING SURVEY

KKJOHNSON ARCHITECTURE AND THEIR CONSULTANTS ARE NOT RESPONSIBLE FOR THE INFORMATION PRESENTED IN THE SURVEY ABOVE. THE CONTRACTOR & SUBCONTRACTORS SHALL OBTAIN ORIGINAL COPIES OF THE INFORMATION FROM THE ORIGINAL SURVEY COMPANY OR OWNER.



PROPOSED SITE PLAN/ROOF PLAN

SEE A102 FOR ADJACENT STRUCTURES AND SETBACKS  
LOT DIMENSIONS: 49/50X113/106 (NO CHANGE)  
LOT AREA: 5,366 S.F.

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ENGINEER

LOCATION:  
TWO-FAMILY DWELLING  
1128 LOWERLINE STREET  
NEW ORLEANS, LA 70118

KKJOHNSON ARCHITECTURE & DESIGN, LLC  
4618 Camp Street, New Orleans, LA 70115  
p. 504.327.9717 e. kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:  
CONTEXT PHOTOS

KK | JOHNSON  
ARCHITECTURE

PROJECT:  
25-R-23

DESIGN REVIEW

A101

SHEET



← TOWARDS RIVER      1128 LOWERLINE - PROJECT SITE  
EXISTING STRUCTURE  
TO BE DEMOLISHED      TOWARDS LAKE →

1 SOUTH-EAST FACING SIDE OF LOWERLINE STREET



← TOWARDS LAKE      ACROSS STREET LOCATION      TOWARDS RIVER →

2 NORTH-WEST FACING SIDE OF LOWERLINE STREET

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DRAWING TITLE:  
CONTEXT ELEVATIONS  
& SETBACKS

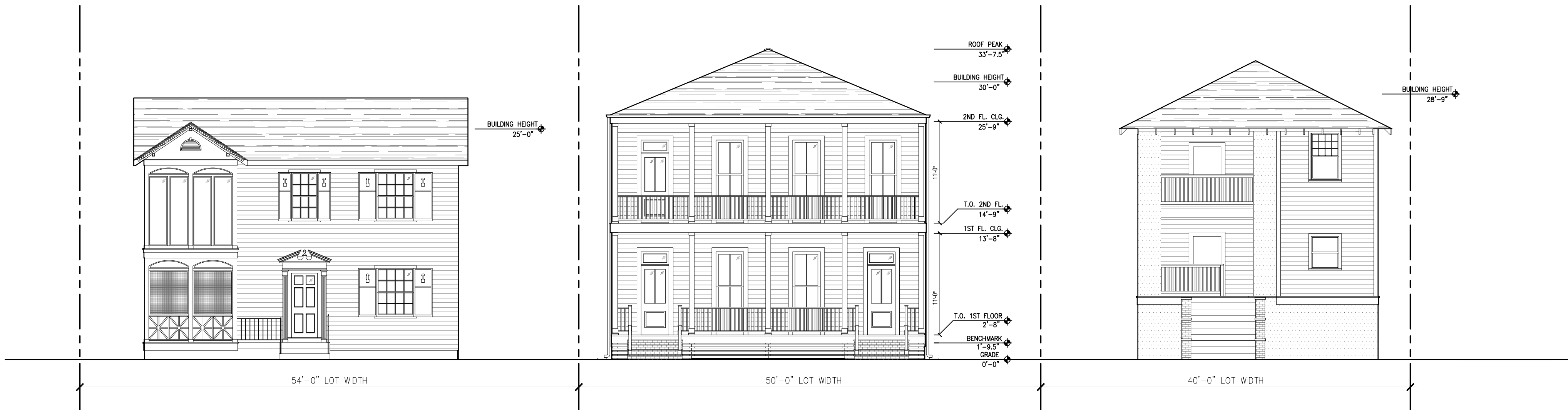
KK | JOHNSON  
ARCHITECTURE

PROJECT:  
25-R-23

DESIGN REVIEW

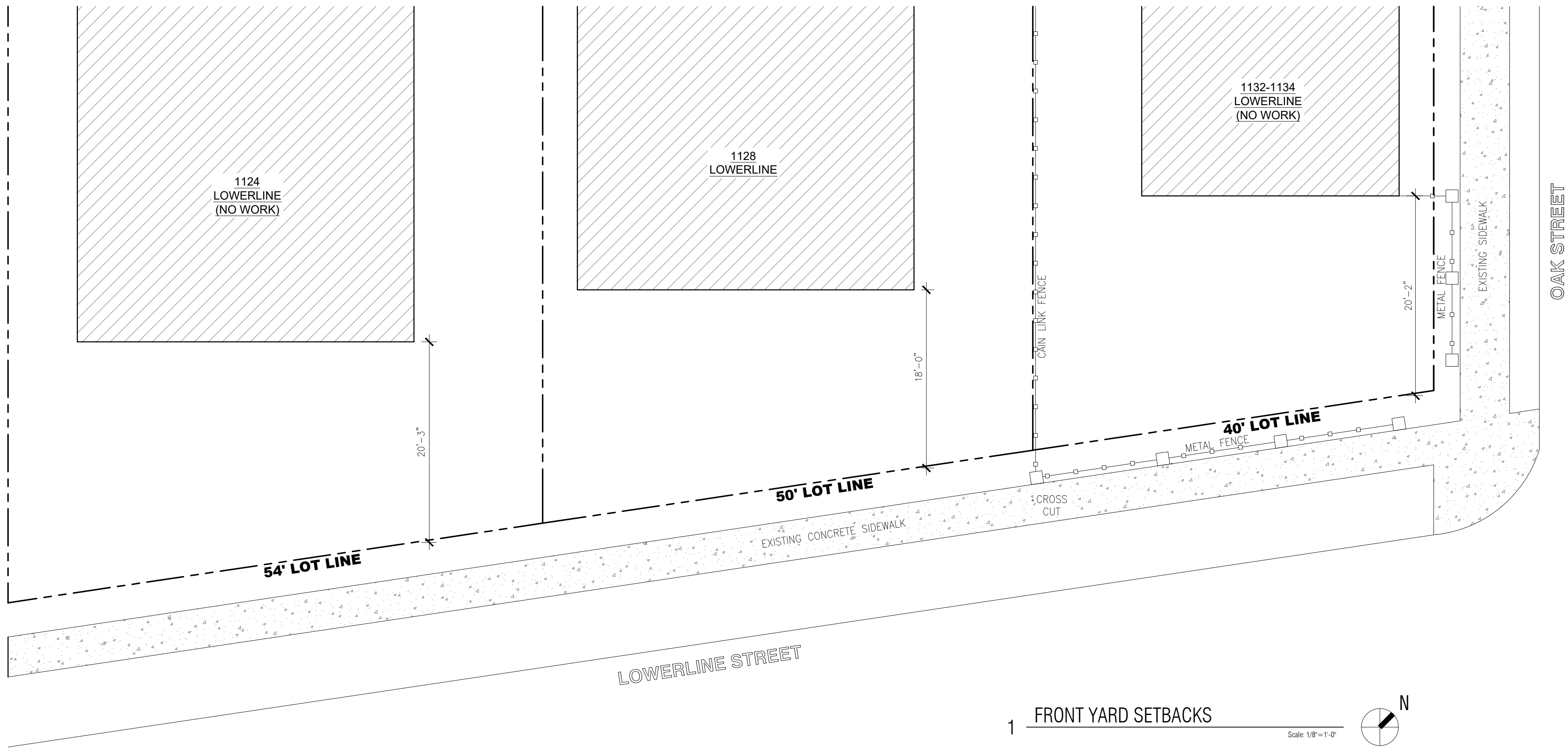
A102

SHEET



1 FRONT ELEVATIONS

Scale: 1/8"=1'-0"



1 FRONT YARD SETBACKS

Scale: 1/8"=1'-0"



2115 CALHOUN STREET



937 BURDETTE STREET



2136-2138 BROADWAY



7622 PLUM STREET



1320 LOWERLINE STREET



1301 PINE STREET



2533 CALHOUN STREET



933 BURDETTE STREET



7299-7926 SYCAMORE STREET



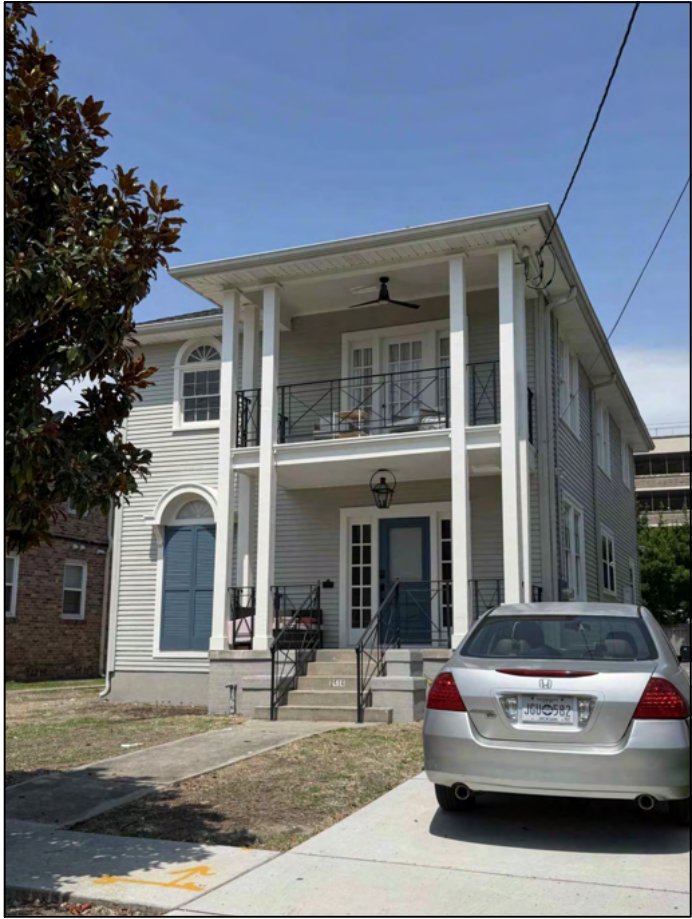
7726 JEANNETTE STREET



1527-1529 LOWERLINE STREET



836 PINE STREET



2616 CALHOUN STREET



1524 BURDETTE STREET



7633 HAMPSON STREET



2201 S. CARROLLTON AVE.



1523 LOWERLINE STREET



802 PINE STREET



823 LOWERLINE STREET



2104 BRAODWAY



7518-7520 PLUM STREET



54 NERON PLACE



1500-1502 PINE STREET



636 PINE STREET

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LOCATION:  
**TWO-FAMILY DWELLING**  
1128 LOWERLINE STREET  
NEW ORLEANS, LA 70118

DRAWING TITLE:  
**CONTEXTUAL  
COMPATIBILITY PHOTOS**

PROJECT: **25-R-23**

**DESIGN REVIEW**

**A103**  
SHEET

KKJOHNSON ARCHITECTURE & DESIGN, LLC  
4618 Camp Street, New Orleans, LA 70115  
p. 504.327.9717 e. kjohnson@kjohnsonarchitecture.com

**KK | JOHNSON**  
ARCHITECTURE

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LOCATION:  
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1128 LOWERLINE STREET  
NEW ORLEANS, LA 70118

KKJOHNSON ARCHITECTURE & DESIGN, LLC  
4618 Camp Street, New Orleans, LA 70115  
p. 504.327.9717 e. kjohnson@kjohnsonarchitecture.com

DRAWING TITLE:  
**PROPOSED FLOOR PLANS**

KKJOHNSON  
ARCHITECTURE

PROJECT:  
**25-R-23**

DESIGN REVIEW

A200

SHEET

WALL KEY

- NEW WOOD STUD EXTERIOR WALL W/ SIDING
- NEW WOOD FRAMED WALL W. DRYWALL BOTH SIDES
- NEW 1-HOUR RATED WOOD STUD WALL W. DRYWALL BOTH SIDES

1ST FLOOR LIVING AREA: 1,360 S.F.  
2ND FLOOR LIVING AREA: 1,360 S.F.  
TOTAL S.F. LIVING AREA: 2,720 S.F.

1ST FLOOR STRUCTURE: 1,450 S.F.  
2ND FLOOR STRUCTURE: 1,450 S.F.  
COVERED PORCHES: 340 S.F.  
TOTAL S.F. UNDER ROOF: 3,240 S.F.

BUILDING FOOTPRINT: 1,620 S.F.

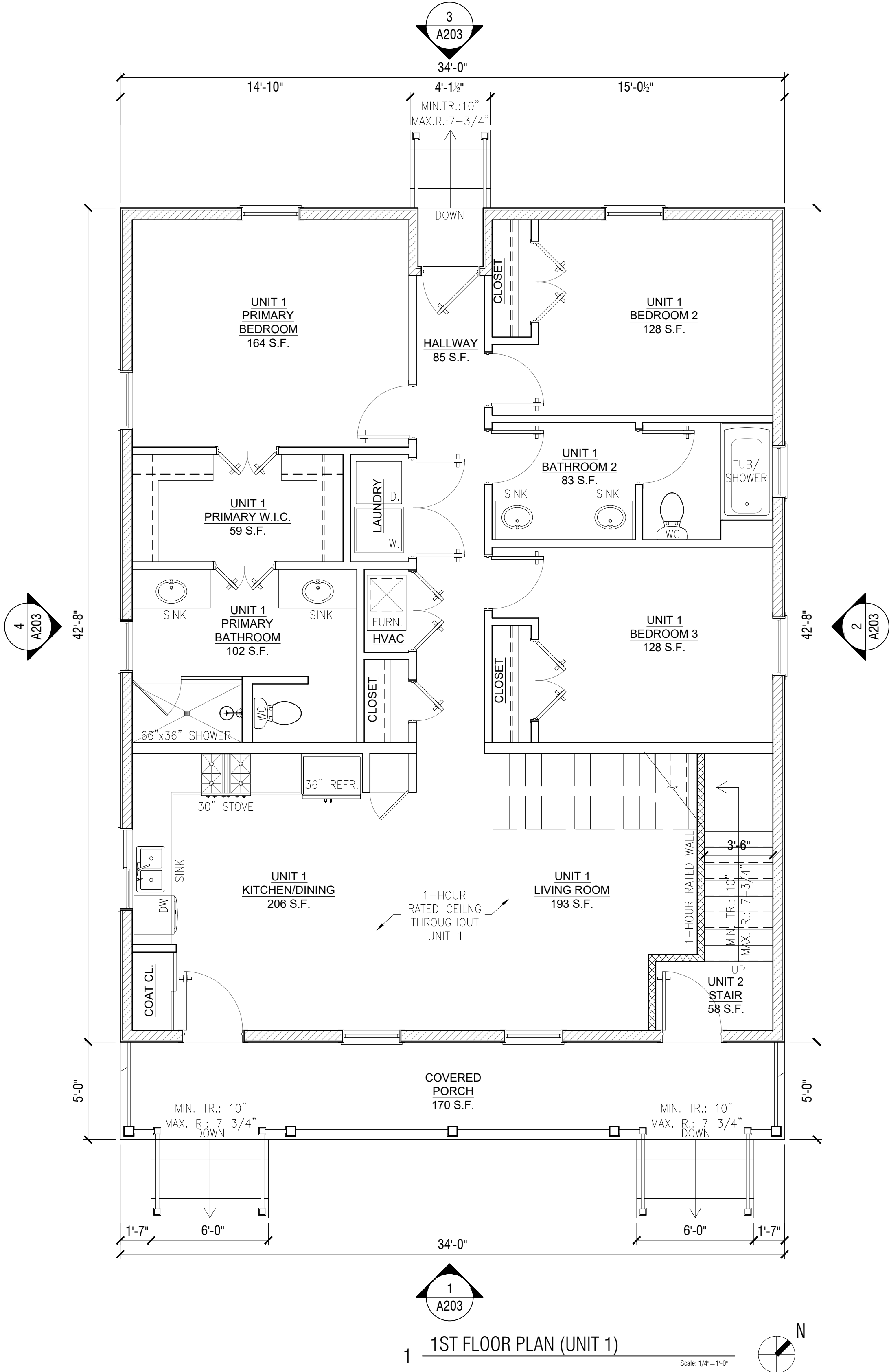
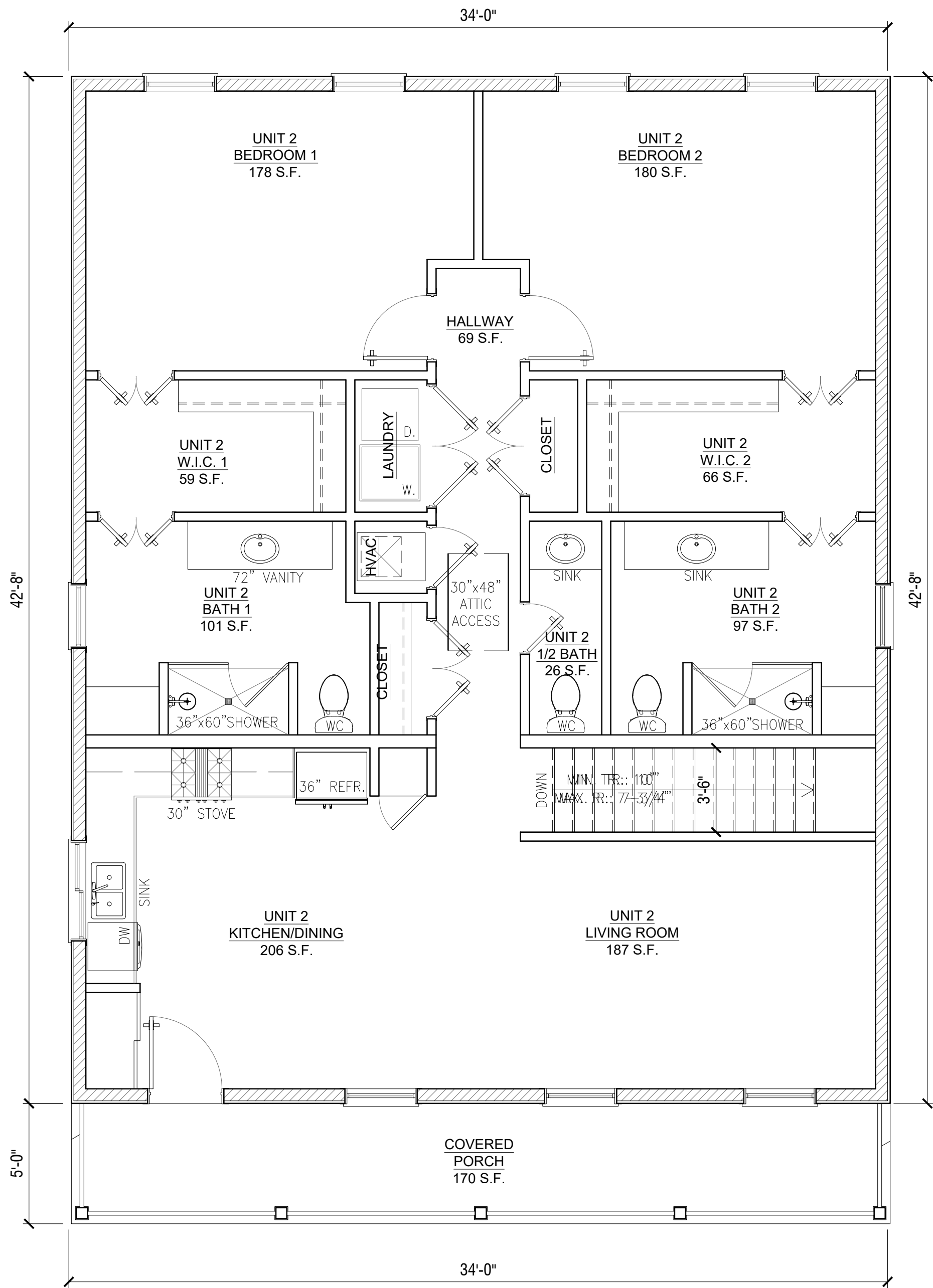
UNIVERSITY AREA OFF-STREET  
PARKING OVERLAY DISTRICT :

UNIT 1 PROPOSED BEDROOMS: 3  
UNIT 1 PROPOSED BATHROOMS: 2

UNIT 2 PROPOSED BEDROOMS: 2  
UNIT 2 PROPOSED BATHROOMS: 2

REQUIRED PARKING:  
-1 PER DWELLING UNIT: 2  
-1 PER BEDROOM OVER 3 BEDROOMS PER D.U.: 0

TOTAL OFF-STREET PARKING PROVIDED: 4 SPACES > 2 REQUIRED  
(SEE SHEET A100 SITE PLAN)



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1128 LOWERLINE STREET  
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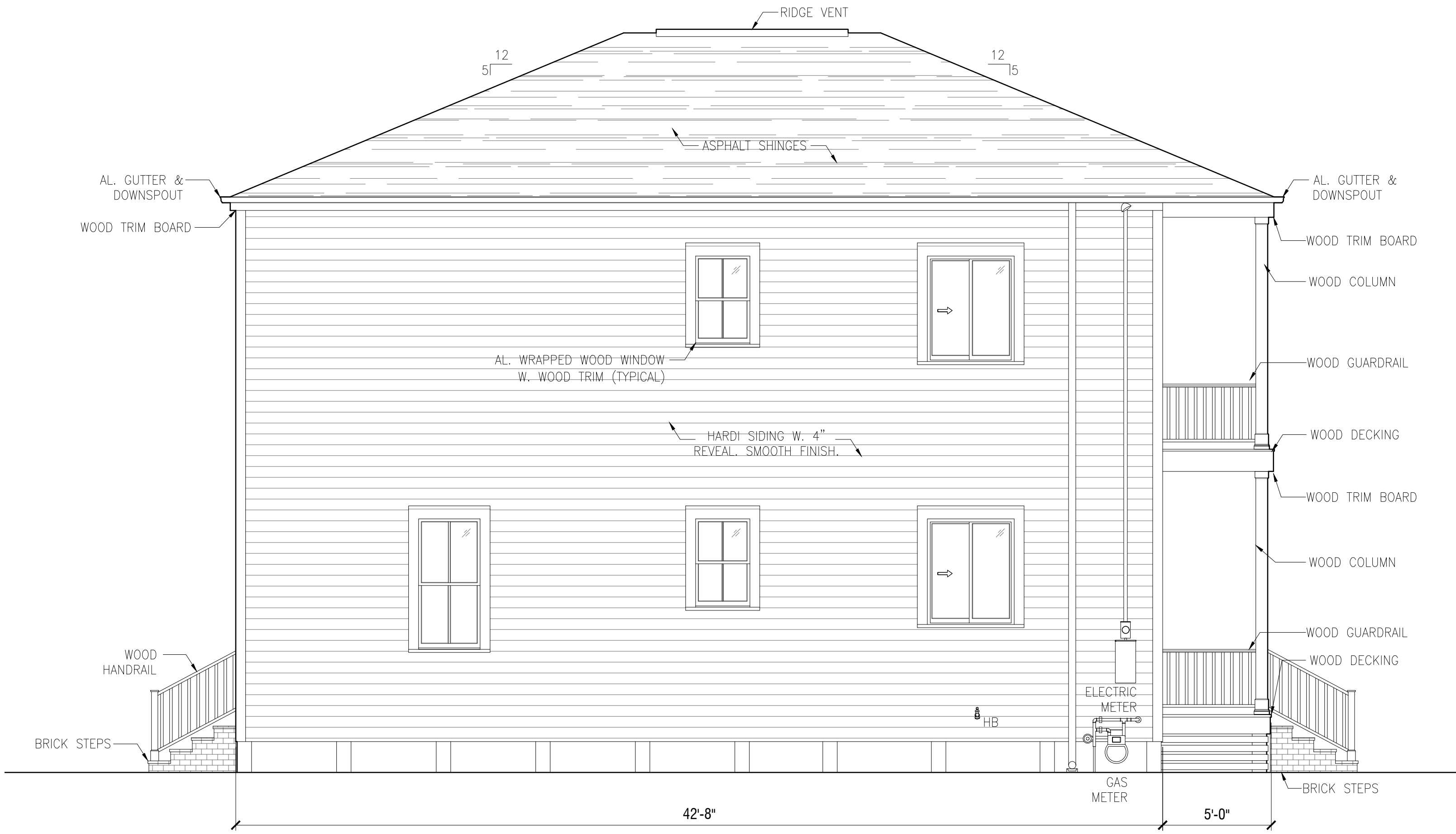
DRAWING TITLE:  
**PROPOSED ELEVATIONS**

PROJECT:  
**25-R-23**

DESIGN REVIEW

A201

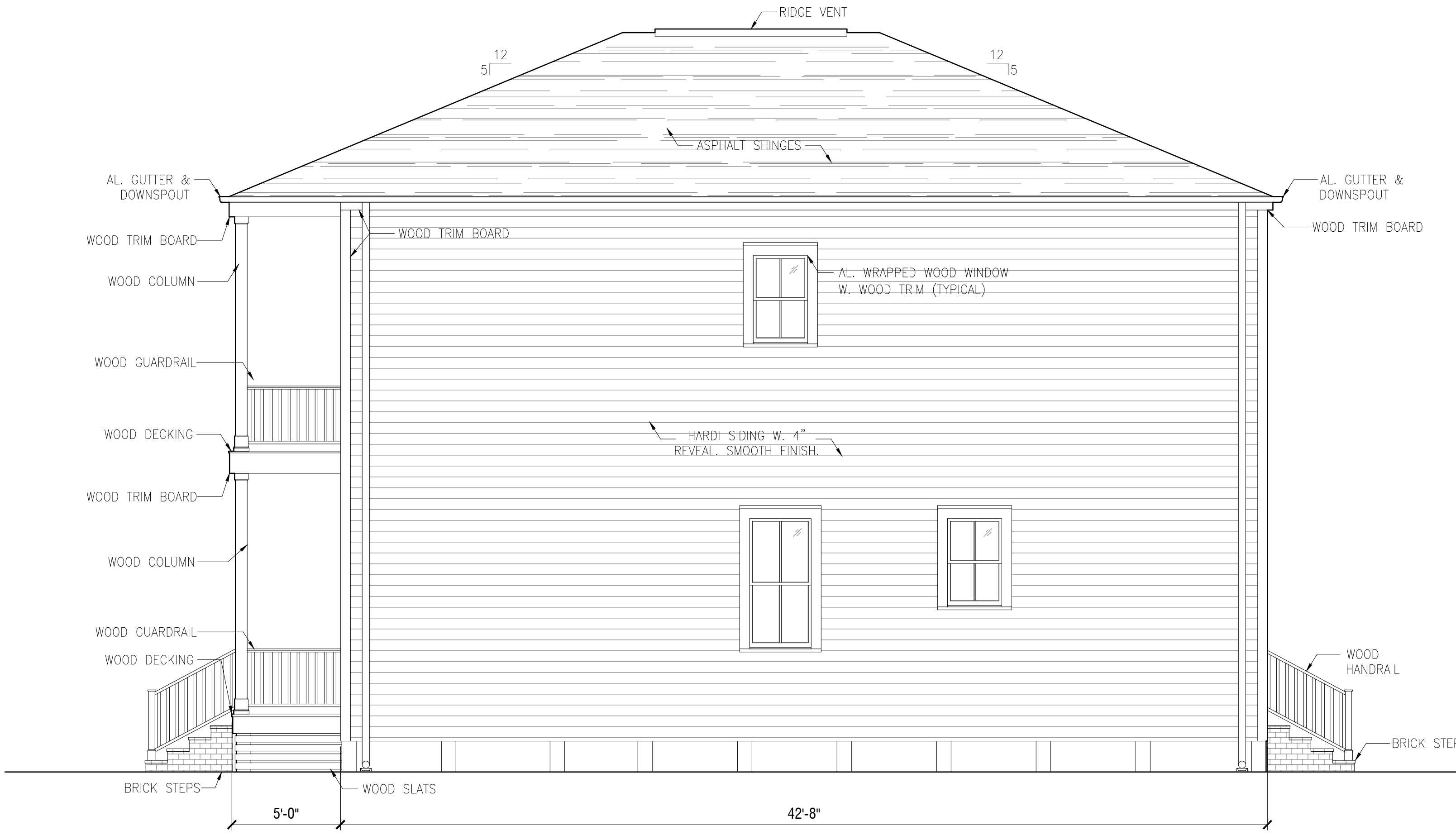
SHEET



4 PROPOSED LEFT SIDE ELEVATION(OAK SIDE)  
Scale: 1/4"=1'-0"



3 PROPOSED REAR ELEVATION(CHEROKEE SIDE)  
Scale: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION(ZIMPLE SIDE)  
Scale: 1/4"=1'-0"



1 PROPOSED FRONT ELEVATION(LOWERLINE)  
Scale: 1/4"=1'-0"

21 July 2026

**RE: 1128 Lowerline Design Review Narrative**

Per the approval standards in Article 4, Section 4.5.E of the New Orleans Comprehensive Zoning Ordinance, the following have been considered:

1. Degree of conformity with the regulations of this Ordinance.

**The building design is within the rules and regulations of the CZO for height, setbacks, area, permeability, parking, etc.**

2. Degree of conformity with all applicable regulations within the City Code, and the goals and policies of the Master Plan.

**The building design is within the rules and regulations of the CZO for height, setbacks, area, permeability, parking, etc. and has received approval from HDLC.**

3. The location, arrangement, size, design, and general site compatibility of buildings, lighting, and signs, including:
  - a. Compatibility with, and mitigation of, any potential impact upon, adjacent property.

**The project maintains a height that is consistent with the adjacent properties and elsewhere within the neighborhood. Proposed setbacks are more than the minimum requirements so the structure will have no impact on adjacent properties.**

- b. Site illumination designed and installed to minimize adverse impact on adjacent properties.

**There is no proposed illumination that is directed towards adjacent properties or the surrounding right of ways.**

4. Landscape and the arrangement of open space or natural features on the site shall:
  - a. Create a desirable and functional environment for motorists, pedestrians, bicyclists, and occupants of residential dwellings, business owners, and employees. To achieve such an environment, landscape may take advantage of open space design features such as bike paths, running paths, and outdoor relaxation areas.

**Landscaping will be on either side of the front steps only and therefore will not encroach in any of the existing open spaces or pathways for motorists, pedestrians, bicyclists or occupants of other residential dwellings.**

- b. Preserve unique natural resources, including measures to preserve and protect existing healthy, mature trees.

**The scope of work does not require tree removal on the site.**

PH: 504-327-9717 EMAIL: KJOHNSON@KKJOHNSONARCHITECTURE.COM

- c. Protect natural resources and landscape on adjacent sites.

**No elements on the site will disturb the existing open spaces or encroach on adjacent properties.**

- d. Design drainage facilities to promote the use and preservation of natural watercourses and patterns of drainage.

**The majority of the rear and front yards will be grass or gravel which allows more than the required amount of permeable yard space.**

- e. Utilize plant materials suitable to withstand the climatic conditions of New Orleans and microclimate of the site. The use of native species is encouraged.

**Native plantings will be used along the front of the dwelling. The rear yard will not be landscaped in order to leave ample room for parking and circulation.**

- f. Screening to buffer the impact of the development on adjacent uses and enhance the appearance and image of the City by screening incompatible uses and certain site elements, and creating a logical transition to adjoining lots and developments.

**A standard 7-foot wood fence will enclose the sides and rear of the property. The front yard will remain unenclosed which is common along the street**

- 5. Circulation systems and off-street parking shall be designed to:

- a. Provide adequate and safe access to the site for motor vehicles as well as alternate modes of transportation, including pedestrians, bicyclists, and public transit.

**The existing driveway will be reused.**

- b. Minimize potentially dangerous traffic movements.

**The existing driveway will be reused and extended to the parking area in the rear. The ability for automobiles to turn around in the rear parking area allows cars to pull forward into the street rather than backing into it as previously required.**

- c. Separate pedestrian and auto circulation and provide for bicycle parking or storage where required.

**A walkway from the street sidewalk to the front porch will separate pedestrian access to the residence from automobile access.**

- d. Minimize curb cuts by using cross-access servitudes and shared parking.

**The existing driveway will be reused. No new curb cuts are required.**

- e. Design off-street parking lots or garages to minimize adverse impacts on adjacent properties, particularly through the use of perimeter and interior landscape, and promote logical and safe parking and internal circulation.

**The project provides double the number of off-street parking spaces required by the CZO. Parking is located behind the structure and will have no adverse impacts on adjacent properties or residents.**

- f. Clearly define pedestrian access from the parking area to the building(s). A clearly defined visible and identifiable network of pedestrian connections should be provided in and between parking lots, street sidewalks, open spaces, buildings, and public transit.

**A walkway from the street sidewalk to the front porch will separate pedestrian access to the residence from automobile access.**

- 6. Building design that enhances the design quality and character of the surrounding community through strategies such as:
  - a. Maintaining existing development patterns reflected in the intent of the Master Plan or other adopted plans, or reflecting changes proposed within the Master Plan or other adopted plans.

**The proposed structure follows the guidelines of and has received approval from HDLC.**

- b. Providing a visible transition in height and bulk between higher and lower density development.

**The project maintains a height that is consistent with the adjacent properties and other two-family dwellings within the neighborhood.**

- c. Reinforcing the prevailing orientation to the street.

**The residence has the primary façade facing Lowerline Street.**

- d. Strengthening the character of walkable streets, intact residential neighborhoods, and other environments for which this prevailing character reflects the urban design goals of the Master Plan.

**The proposed structure follows the guidelines of and has received approval from HDLC.**

- e. Respecting historic design context.

**The proposed structure follows the guidelines of and has received approval from HDLC.**

Per the approval standards in Article 18, Section 18.32.B.3 of the New Orleans Comprehensive Zoning Ordinance, the following have been considered:

- 1. Design shall be compatible in character, scale, and spatial relationships with existing residential development on the same and opposite block faces and surrounding neighborhood character. In conducting its design review, the staff shall consider changes to scale, massing, articulation, and roof form to ensure compatibility with existing

development. The staff of the City Planning Commission is authorized to adopt design guidelines consistent with this purpose.

**The project maintains a height that is consistent with the adjacent properties and other two-family dwellings within the neighborhood. The double galley front elevation is a typical New Orleans façade found in many areas around the city and the neighborhood.**



# **New Orleans City Planning Commission Design Advisory Committee**

## **Supplement 'A' – Additional Submittal Requirements for the University Area Design Overlay**

### **Narrative Addressing Compliance with Design Goals**

A descriptive narrative addressing how the design addresses the design review approval standards found in [Article 4, Section 4.5](#), including compatibility with adjacent property, landscape and open space, circulation systems, and building design strategies to enhance surrounding community.

A descriptive narrative addressing how the design addresses the building design standards of the base zoning district, if applicable.

A descriptive narrative of how the proposal addresses the standards of the University Area Design Overlay standards found in [Article 18, Section 18.32.B.3](#). The design shall be compatible in character, scale, and spatial relationships with existing residential development on the same and opposite block faces and surrounding neighborhood character. In conducting its design review, the staff shall consider changes to scale, massing, articulation, and roof form to ensure compatibility with existing development. For design guidelines, reference the City of New Orleans Historic District Landmarks Commission (HDLC) Guidelines for New Construction, Additions and Demolition.

### **Context Drawings**

Contextual drawings that are drawn to scale and show the streetscape, including the proposed structure and adjacent structures. Label the height of the adjacent structures. If there are not any examples of the proposed architectural style on the same block face, but that are prevalent in the nearby area, please provide precedent images from within the surrounding area. See the attachment for an example.

### **Zoning Description Form**

This review is limited to compliance with the design review approval standards found in **Article 4, Section 4.5**, the additional design review approval standards for the University Area Design Overlay found in **Article 18, Section 18.32**, and applicable building design standards for the base zoning district. Prior to submittal of the design review application, the applicant shall verify compliance with other applicable Comprehensive Zoning Ordinance requirements (e.g., bulk, yard, and parking) with the Department of Safety and Permits.

|                                                       |                    |                 |                          |
|-------------------------------------------------------|--------------------|-----------------|--------------------------|
| <b>Base Zoning District:</b>                          |                    |                 |                          |
| <b>Bulk Regulations</b>                               | <b>Requirement</b> | <b>Provided</b> | <b>Waiver Necessary?</b> |
| <i>Minimum Lot Area</i>                               | 1,800 s.f./du      | 5,366 s.f.      | no                       |
| <i>Minimum Lot Width</i>                              | 30'-0"             | 50'-0"          | no                       |
| <i>Minimum Lot Depth</i>                              | 90'-0"             | 113'/106'       | no                       |
| <i>*Maximum Building Height</i>                       | 30'-0"             | 30'-0"          | no                       |
| <i>Minimum Permeable Open Space</i>                   | 1,610 s.f.         | 2,306 s.f.      | no                       |
| <i>Minimum Open Space</i>                             | 240 s.f.           | > 240 s.f.      | no                       |
| <i>Maximum Impervious Surface in Front Yard</i>       | 40%                | 32%             | no                       |
| <i>Maximum Impervious Surface in Corner Side Yard</i> | 40%                | N/A             | no                       |
| <b>Minimum Yard Requirements</b>                      | <b>Requirement</b> | <b>Provided</b> | <b>Waiver Necessary?</b> |
| <i>Front Yard</i>                                     | 20'-0" max.        | 18'-0"          | no                       |
| <i>Interior Side Yard</i>                             | 3'-0"              | 3'-6" / 12'-0"  | no                       |
| <i>Corner Side Yard</i>                               | N/A                | N/A             | N/A                      |
| <i>Rear Yard</i>                                      | 15'-0"             | 41'-4"          | no                       |
| <b>***Parking</b>                                     | <b>Requirement</b> | <b>Provided</b> | <b>Waiver Necessary?</b> |
|                                                       | 2                  | 4               | no                       |

\* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement of an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

\*\*Waivers of height requirements may be considered by the Board of Zoning Adjustments.

\*\*\*Confirm the off-street parking requirements of both [Article 22](#) and [Article 18, Section 18.30](#) University Area Off-Street Parking Overlay District are met.



Building/Construction  
Related Permit



|                       |                   |
|-----------------------|-------------------|
| Date _____            | Received by _____ |
| Tracking Number _____ |                   |

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 1128 Lowerline Street

### APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Kelly Johnson

Applicant Address 4618 Camp Street

City New Orleans State LA Zip 70115

Applicant Contact Number 504 327 9717 Email kjohnson@kkjohnsonarchitecture.com

### PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Campus Rentals 3 LLC

Property Owner Address 5701 Plaquemine Ct

City Harahan State LA Zip 70123

Property Owner Contact Number 215 485 7259 Email rovnerproperties@gmail.com

### PROJECT DESCRIPTION

New construction of a two-story double.

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☒ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

#### Non-Design Overlay District Review

- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

### ADDITIONAL INFORMATION

Current Use single family

Proposed Use two family

Square Number 127 Lot Number F Permeable Open Space (sf) 2,306

|                        |                                                               |                 |                                                               |                    |               |
|------------------------|---------------------------------------------------------------|-----------------|---------------------------------------------------------------|--------------------|---------------|
| New Development?       | Yes <input checked="" type="radio"/> No <input type="radio"/> | Addition?       | Yes <input type="radio"/> No <input checked="" type="radio"/> | Tenant Width       | <u>NA</u>     |
| Existing Structure(s)? | Yes <input type="radio"/> No <input checked="" type="radio"/> | Renovations?    | Yes <input type="radio"/> No <input checked="" type="radio"/> | Building Width     | <u>34' 0"</u> |
| Change in Use?         | Yes <input type="radio"/> No <input checked="" type="radio"/> | Existing Signs? | Yes <input type="radio"/> No <input checked="" type="radio"/> | Lot Width (sf)     | <u>50' 0"</u> |
| New Sign(s)?           | Yes <input type="radio"/> No <input checked="" type="radio"/> | Lot Area (sf)   | <u>5,366</u>                                                  | Building Area (sf) | <u>3,204</u>  |



## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

- ☒ North arrow, scale, and date of plan
- ☒ Location, dimensions, and area of permeable open space
- ☒ Name, address of the professional who prepared the plan
- ☒ Legend of symbols, patterns, and abbreviations used
- ☒ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ☒ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ☒ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ☒ Location of adjacent buildings
- ☒ Location of refuse storage locations
- ☒ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ☒ Fence location, height, and materials

#### 2. FLOOR PLAN

- ☒ Indicating the dimensions and square footage of proposed development
- ☒ Room use
- ☒ Location of all walls, doors, and windows
- ☒ Location of all plumbing fixtures
- ☒ Location of major appliances/mechanical equipment
- ☒ Stairway location
- ☒ Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

- ☒ Architectural elevations of each side of the proposed structure drawn to scale indicating height, ground floor ceiling, ground floor transparency, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- ☐ Location of all exterior lighting, including those mounted on poles and walls
- ☐ Types, style, height, and the number of fixtures
- ☐ Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- ☐ Proposed Signage with overall height, width, and materials
- ☐ Building Elevation (including building width and height)
- ☐ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- ☐ Name and address of professional who prepared the plan.
- ☐ Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ☐ All landscape plans shall meet the minimum requirements of site plans
- ☐ Legend defining all symbols, patterns, and abbreviations used
- ☐ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ☐ Description of all tree preservation measures on-site and in the public right-of-way
- ☐ Width, depth, and area of landscaped area(s)
- ☐ Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- ☒ Photographs of the subject site and/or building

#### 8. NARRATIVE

- ☒ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ☐ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

#### 10. SUPPLEMENT 'A' (UNIVERSITY AREA DESIGN OVERLAY)

- ☒ Additional submittal requirements for the University Area Design Overlay

### FEES

|                    |         |
|--------------------|---------|
| Design Review      | \$225   |
| CBD Demolitions    | \$500   |
| Moratorium Appeals | \$1,000 |



Building/Construction  
Related Permit



|                       |                   |
|-----------------------|-------------------|
| Date _____            | Received by _____ |
| Tracking Number _____ |                   |

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 1128 Lowerline Street

### APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☒ Agent

Applicant Name Kelly Johnson

Applicant Address 4618 Camp Street

City New Orleans State LA Zip 70115

Applicant Contact Number 504 327 9717 Email kjohnson@kkjohnsonarchitecture.com

### PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Campus Rentals 3 LLC

Property Owner Address 5701 Plaquemine Ct

City Harahan State LA Zip 70123

Property Owner Contact Number 215 485 7259 Email rovnerproperties@gmail.com

### PROJECT DESCRIPTION

New construction of a two-story double.

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☒ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

#### Non-Design Overlay District Review

- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

### ADDITIONAL INFORMATION

Current Use single family

Proposed Use two family

Square Number 127 Lot Number F Permeable Open Space (sf) 2,306

|                        |                                                               |                 |                                                               |                    |               |
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