

PLANT SCHEDULE			
SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
TREES			
	<i>Acer rubrum 'drummondii'</i> / Red Maple	2 1/2" Cal., Min. 12' Hgt.	8
	<i>Ilex x attenuata 'Savannah'</i> / Savannah Holly Min. Hgt. 12'	2" CAL. DBH, MIN. 12" HGT.	5
	Sabal palmetto / Cabbage Palmetto	10'-12' C.T.; BOOTED	2
	Sabal palmetto / Cabbage Palmetto	12'-14' C.T.; BOOTED	4
SHRUBS			
	<i>Diets bicolor</i> / Butterfly Iris	3-Gal	20
	<i>Ilex cornula 'Needlepoint'</i> / Needlepoint Holly	3-Gal	25
	<i>Loropetalum chinense 'Purple Diamond'</i> / Fringe Flower MIN. 35" HGT.	3-Gal	27
	<i>Rhaphiolepis indica 'Clara'</i> / Indian Hawthorn MIN. 24" HGT.	3-Gal	42
	<i>Rosa x 'Knockout'</i> TM / Red Knockout Rose	3-Gal	20
GROUND COVERS			
	<i>Stenotaphrum glabrum americanum</i> / St. Augustine Grass FIELD VERIFY	SLAB SOD	23,901 sf
AS REQUIRED	CHOPPED PINE STRAW	MULCH	COMPACTED TO 3" THICK

BROOKLYN AVENUE

North

1 LANDSCAPE PLAN

1" = 20' - 0"

landscape architects & planners
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201 LAMARQUE STREET NEW ORLEANS, LA

Project No: _____

Revisions:

No	Date	Description

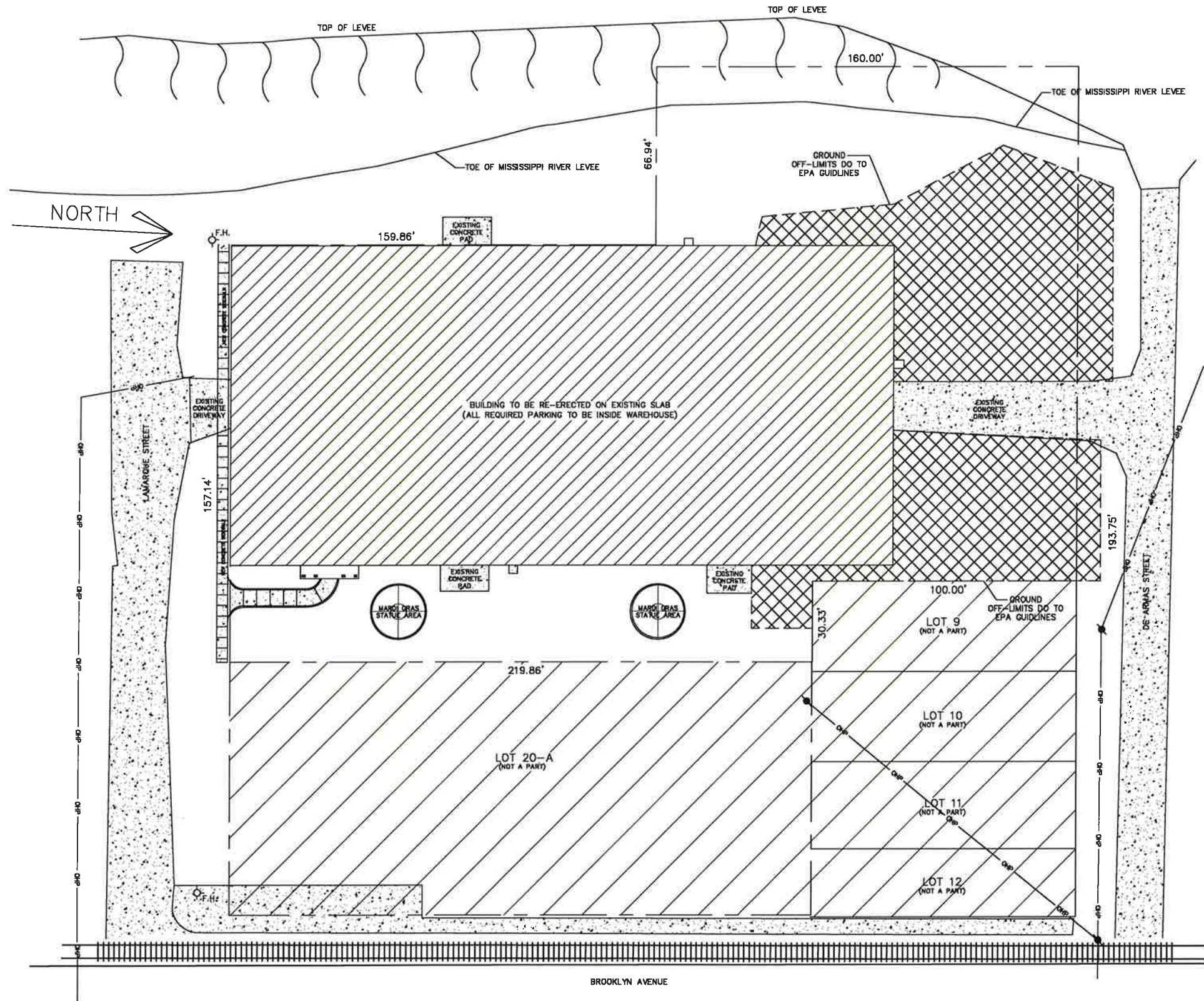
Date: 23 DEC 2025
 Drawn: GUY GRISSOM
 Checked: _____

LANDSCAPE PLAN

Drawing No. _____

LS-1

Sheet No. _____ of _____



1 DRAINAGE PLAN
 A-1.2 SCALE: 1:20

RE-ERECT METAL BUILDING
 WHITE BOX (NOT TO OCCUPY)
 201 LAMARQUE STREET
 NEW ORLEANS, LA 70114
 ORLEANS PARISH



SPECTRUM DESIGNS & ENGINEERING LLC
 1929 JULIAND DR.
 Suite A - HARVEY, LA 70058
 PHONE: (504) 366-0710 FAX: (504) 366-0708
 E-MAIL: ADMIN@SPECTRUMDESIGNSLIC.COM



Date: 07-01-2025
 Drawn: LA
 Checked: TEP

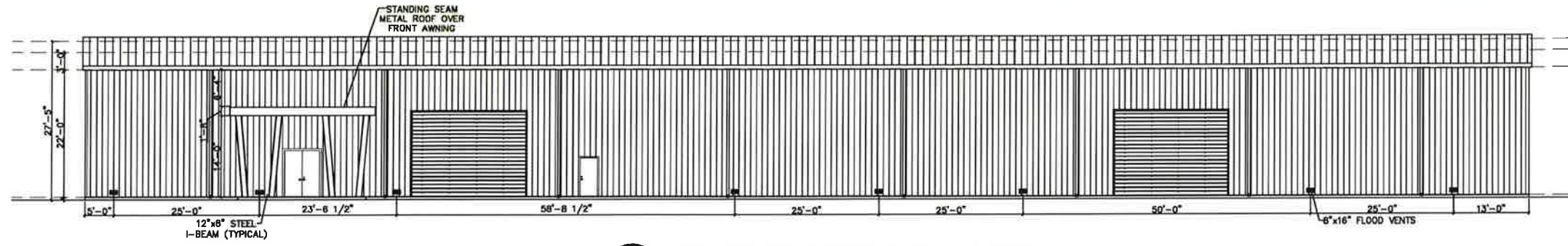
Sheet Title:
DRAINAGE PLAN

Drawing No.
A-1.2

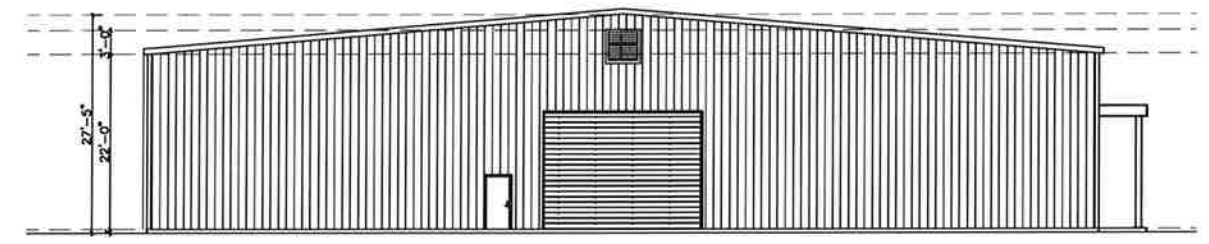
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CONTRACTOR SHALL DIRECT ANY QUESTIONS PERTAINING TO THESE PLANS TO THE ENGINEER. ANY DEVIATIONS FROM THESE PLANS WITHOUT CONSULTING AND/OR WRITTEN CONSENT FROM THE ENGINEER SHALL NULL AND VOID ALL LIABILITIES

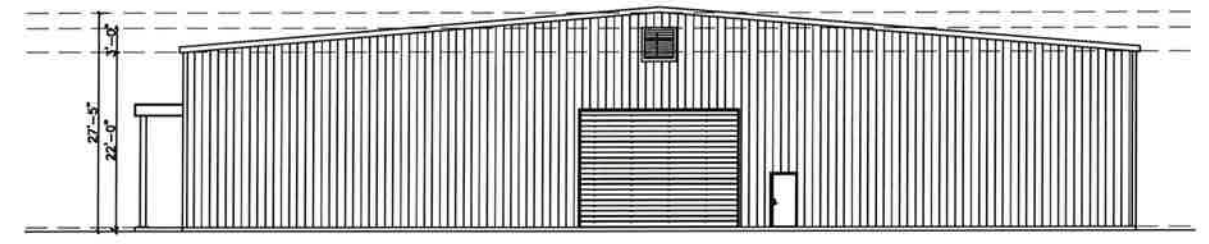
I HAVE RESEARCHED THIS CHAPTER AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.



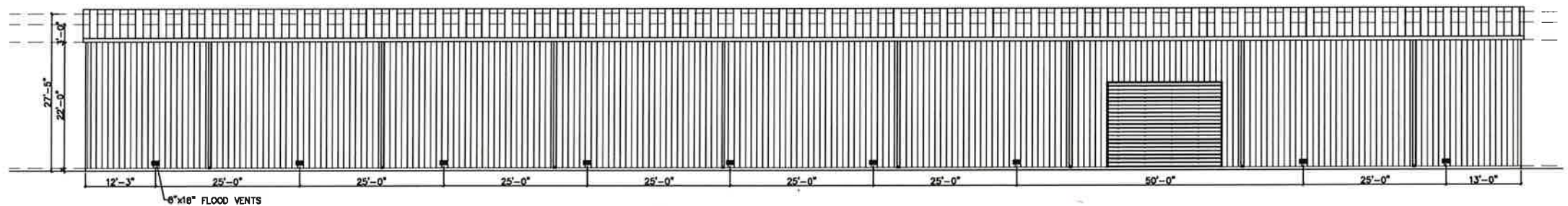
1 BROOKLYN AVENUE ELEVATION
A-3 SCALE: 3/32"=1'-0"



2 LAMARQUE STREET ELEVATION
A-3 SCALE: 3/32"=1'-0"



3 DE ARMAS STREET ELEVATION
A-2 SCALE: 3/32"=1'-0"



4 LEVEE WALL ELEVATION
A-2 SCALE: 3/32"=1'-0"

RE-ERECT METAL BUILDING
WHITE BOX (NOT TO OCCUPY)
201 LAMARQUE STREET
NEW ORLEANS, LA 70114
ORLEANS PARISH



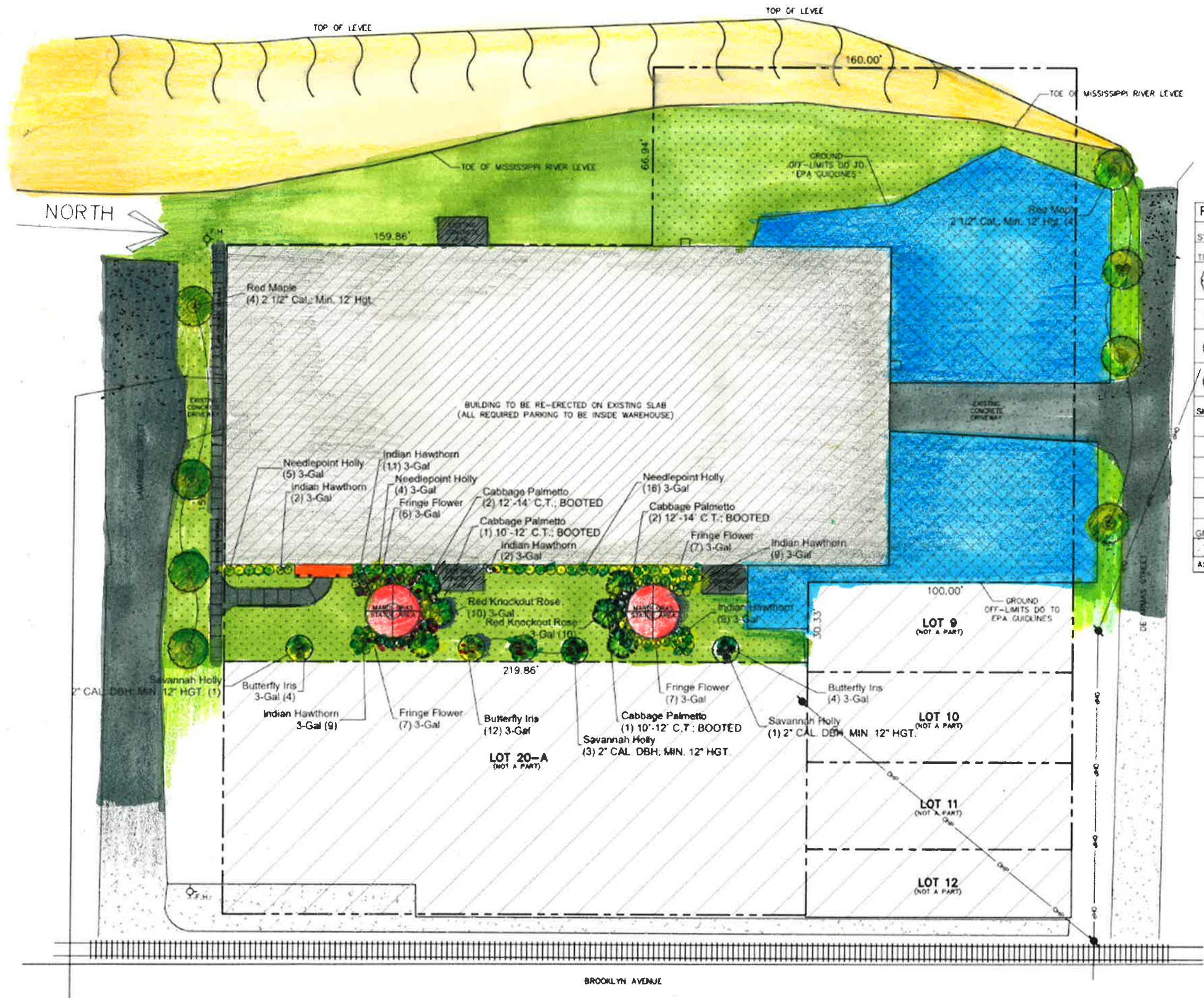
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Date: 07-01-2025
Drawn: LG
Checked: TEP

Sheet Title:
ELEVATIONS

Drawing No.
A-3



PLANT SCHEDULE			
SYMBOL	BOTANICAL / COMMON NAME	CONT	QTY
TREES			
	<i>Acer rubrum</i> / Drummond / Red Maple	2 1/2" Cal., Min. 12' Hgt.	8
	<i>Ilex serrata</i> / Savannah / Savannah Holly	2" CAL DBH MIN. 12' HGT	5
	<i>Sabal palmetto</i> / Cabbage Palmetto	10-12 C.T. BOOTED	2
	<i>Sabal palmetto</i> / Cabbage Palmetto	12-14 C.T. BOOTED	4
SHRUBS			
	<i>Iris bicolor</i> / Butterfly Iris	3-Gal	20
	<i>Ilex cornuta</i> / Needlepoint / Needlepoint Holly	3-Gal	25
	<i>Leucodermis chinensis</i> / Purple Diamond / Fringe Flower	MIN. 36" HGT	27
	<i>Raphanopis indica</i> / Cors / Indian Hawthorn	3-Gal	42
	<i>Rosa</i> / Knockout 1M / Red Knockout Rose	3-Gal	20
GROUND COVERS			
	<i>Stenotaphrum gabrum americanum</i> / St. Augustine Grass	SLAB 500	23,001 sf
AS REQUIRED	CHOPPED PINE STRAW	MULCH	COMPACTED TO 3" THICK

BROOKLYN AVENUE



To: City Planning Commission, Design Advisory Committee
Re: 200 Lamarque Mardi Gras Den DAC Narrative

The original structure at 200 Lamarque Street was constructed sometimes between 1990 and 2003 and was dismantled in 2017. The structural foundation, however, remains intact and will be reused. The owner intends to reconstruct the building using the same components that were previously dismantled, restoring it to its original configuration. **This is the exact same proposal as the previously approved project at 203 Lamarque.**

While the project will use the existing warehouse and the existing foundation, limiting the changes that can be made, they've selected design enhancements intended to meet the overall intent of the city's design standards. The project does not alter the building's scale, orientation, or industrial character, but instead focuses on improving its visual contribution to the public realm while working within the constraints of the existing structure and site

The building maintains established access from both Lamarque Street and DeArmas Street, utilizes durable materials appropriate to its warehouse form, and avoids prohibited exterior materials, roof forms, or security features. Where traditional storefront articulation and fenestration are not feasible, the project addresses the intent of the design standards through material texture and the incorporation of murals along publicly visible façades. These elements provide visual interest, reduce the perception of blank walls, and contribute to neighborhood character in a manner consistent with similar approved projects.

Additionally, the intent of the Riverfront Design Overlay is met through added landscaping, improved sidewalks, and a design that is cohesive with the neighborhood.

Finally, all relevant design questions were previously raised and resolved through the approval of the adjacent project at 203 Lamarque, and, based on the advice and guidance of Planning staff, this design has been planned to align with the approved DR 47-25 with the intent of this being a template review therefrom.

SECTION 02900 - LANDSCAPING

1.1 GENERAL

- A. Submittals: In addition to product certificates, submit the following:
1. Certification of grass seed from seed vendor for each seed mixture.
 2. Planting schedule indicating anticipated dates and locations for each type of planting.
- B. Quality Assurance: Provide trees, shrubs, ground covers, and plants of quality, size, genus, species, and variety indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."
- C. Special Warranty: Warranty trees, shrubs and ground covers for a period of one year after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents which are beyond Contractor's control.
1. Remove and replace unhealthy and dead trees and shrubs within the warranty period.
- D. Maintain and establish lawns by watering, fertilizing, weeding, mowing, trimming, replanting, and other operations to produce a uniformly smooth lawn for not less than the following:
1. Seeded Lawns: 60 days after date of Substantial Completion.
 2. Sodded Lawns: 30 days after date of Substantial Completion.

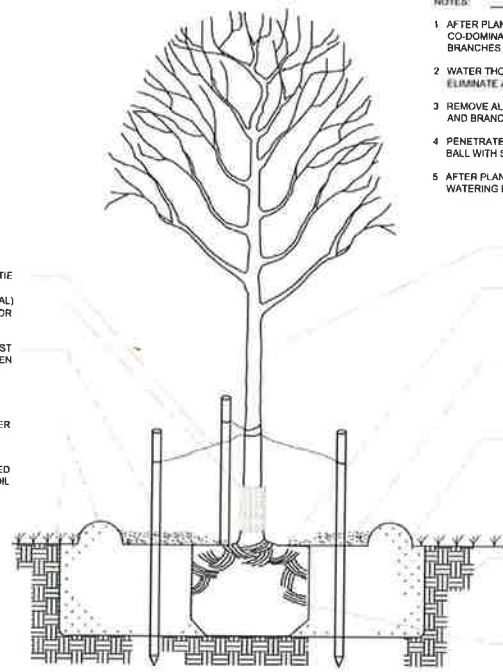
1.2 PRODUCTS

- A. Trees and Shrubs: Well-shaped, fully branched, healthy, vigorous nursery-grown stock of sizes and grades indicated, free of disease, insects, eggs, larvae, and defects, conforming to ANSI Z60.1.
1. Provide balled and burlapped trees and shrubs.
 2. Provide container grown trees and shrubs.
- B. Ground Covers and Plants: Established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.
- C. Grass Seed: Fresh, clean, dry, new-crop seed complying with the Association of Official Seed Analysts "Rules for Testing Seeds" for purity and germination tolerances.
1. Seed Mixture: Provide seed of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.
- D. Sod: Certified turfgrass soil complying with ASPA specifications for machine-cut thickness, size, strength, moisture content, and mowed height, and free of weeds and undesirable native grasses. Provide viable sod of uniform density, color, and texture, strongly rooted, and capable of vigorous growth and development when planted.
1. Species: Provide sod of grass species and varieties, proportions by weight, and minimum percentages of purity, germination, and maximum percentage of weed seed as indicated.
- E. Topsoil: ASTM D 5288, pH range of 5.5 to 7, 4 percent organic material minimum, free of stones 1 inch (25 mm) or larger in any dimension, and other extraneous materials harmful to plant growth.
1. Topsoil Source: Amend existing surface soil to produce topsoil. Supplement with imported topsoil when required.
 2. Imported topsoil: Equal parts of sharp sand, peat moss and composted bark.
- F. Lime: ASTM C 602, Class T, agricultural limestone.
- G. Peat Humus: Finely divided or granular texture, with a pH range of 6 to 7.5, composed of partially decomposed moss peat (other than sphagnum), peat humus, or reed-sedge peat.
- H. Sawdust or Ground-Bark Humus: Decomposed, nitrogen-treated, of uniform texture, free of chips, stones, sticks, soil, or toxic materials.
- I. Bone-meal: Commercial, raw, finely ground; minimum of 4 percent nitrogen and 20 percent phosphoric acid.
- J. Superphosphate: Commercial, phosphate mixture, soluble; minimum of 20 percent available phosphoric acid.
- K. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources of urea-form, phosphorus, and potassium in the following composition:
1. Composition: 1 lb per 1000 sq ft (0.5 kg per 100 sq m) of actual nitrogen, 4 percent phosphorus, and 2 percent potassium, by weight.
- L. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorus, and potassium in the following composition:
1. Composition: 5 percent nitrogen, 10 percent phosphorus, and 5 percent potassium, by weight.
- M. Organic Mulch: Organic mulch, free from deleterious materials and suitable as a top dressing, consisting of ground or shredded bark, wood or bark chips, salt hay or threshed straw, or shredded hardwood.
- N. Peat Mulch: Provide peat moss in natural, shredded, or granulated form, of fine texture, with a pH range of 4 to 6.
- O. Mineral Mulch: Hard, durable riverbed gravel or crushed stone, washed free of loam, sand, clay, and other foreign substances.
1. Size Range: 1-1/2 inches (38 mm) maximum, 3/4 inch (19 mm) minimum.
- P. Sizer-Edging: ASTM A 569 (ASTM A 569M), rolled edge, standard patterned steel edging and accessories, fabricated in sections with loops stamped from or welded to face of sections approximately 30 inches (762 mm) apart to receive stakes.
1. Edging Size: 3/16 inch (4.8 mm) wide by 4 inches (102 mm) deep.

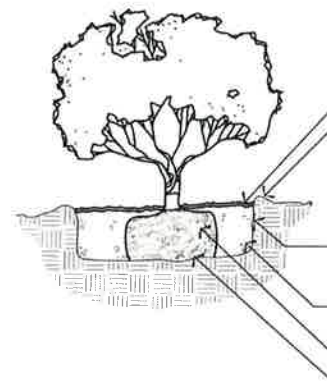
1.3 EXECUTION

- A. Planting Soil Preparation: Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful to plant growth. Mix soil amendments and fertilizers with topsoil at rates indicated.
- B. Lawn Planting Preparation: Loosen subgrade to a minimum depth of 4 inches (100 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials.
1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Do not spread if planting soil or subgrade is frozen.
 2. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.
- C. Lawn Planting Preparation: Where lawns are to be planted in areas unaltered or undisturbed by excavating, grading, or surface soil stripping operations, remove and dispose of existing grass, vegetation, and turf.
1. Till surface soil to a depth of at least 6 inches (150 mm). Apply soil amendments and initial fertilizers and mix thoroughly into top 4 inches (100 mm) of soil. Trim high areas and fill in depressions. Till soil to a homogeneous mixture of fine texture.
- D. Grade lawn areas to a smooth, even surface with loose, uniform fine texture. Remove trash, debris, stones larger than 1-1/2 inches (38 mm) in any dimension, and other objects that may interfere with planting or maintenance operations.
- E. Moisten prepared lawn areas before planting when soil is dry and allow surface to dry before planting.
- F. Ground Cover and Plant Bed Preparation: Loosen subgrade of planting bed areas to a minimum depth of 6 inches (150 mm). Remove stones larger than 1-1/2 inches (38 mm) in any dimension and sticks, roots, rubbish, and other extraneous materials.
1. Spread planting soil mixture to depth required to meet thickness, grades, and elevations shown, after light rolling and natural settlement. Place approximately 1/2 the thickness of planting soil mixture required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil mixture.
- G. Ground Cover and Plant Bed Preparation: Till soil in beds to a minimum depth of 8 inches (200 mm) and mix with specified soil amendments and fertilizers.
- H. Excavation for Trees and Shrubs: Excavate pits with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Excavate approximately 1-1/2 times as wide as ball diameter and deep enough to allow placing of root ball on a setting layer of planting soil. Loosen hard subsoil in bottom of excavation.
- I. Planting Trees and Shrubs: Set stock plumb and in center of pit or trench with top of ball raised above adjacent finish grades.
1. Place a setting layer of compacted planting soil.
 2. Remove burlap and wire baskets from tops of balls and partially from sides, but do not remove from under balls. Do not use planting stock if ball is cracked or broken before or during planting operation.
 3. Place backfill around ball in layers, tamping to settle backfill and eliminate voids and air pockets.
 4. Dish and tamp top of backfill to form a 3-inch- (75-mm-) high mound around the rim of the pit. Do not cover top of root ball with backfill.
- J. Tree and Shrub Pruning: Prune, thin, and shape trees and shrubs according to standard horticultural practice. Prune trees to retain required height and spread. Do not cut live leaders; remove only injured or dead branches from flowering trees. Prune shrubs to retain natural character. Shrub sizes indicated are size after pruning.
- K. Planting Ground Cover and Plants: Space 24 inches (600 mm) apart, unless otherwise indicated. Dig holes large enough to allow spreading of roots, and backfill with planting soil. Work soil around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting, taking care not to cover plant crowns with wet soil.
- L. Mulching: Completely cover area to be mulched. Apply mulch and finish level with adjacent finish grades. Do not place mulch against trunks or stems.
1. Mulch Type and Thickness: Organic mulch, 3 inches (75 mm) thick as indicated on drawings.
- M. Seeding Lawns: Sow seed with a spreader or a seeding machine. Do not broadcast or drop seed when wind velocity exceeds 5 mph (8 km/h). Evenly distribute seed by sowing equal quantities in 2 directions at right angles to each other. Rake seed lightly into top 1/8 inch (3 mm) of topsoil, roll lightly, and water with fine spray.
1. Seeding Rate: 3 to 4 lb per 1000 sq ft (1.5 to 2 kg per 100 sq m).
 2. Protect seeded areas with slopes less than 1:6 against erosion by spreading straw mulch after completion of seeding operations and anchor by crimping into topsoil. Spread uniformly at a minimum rate of 2 tons per acre (45 kg per 100 sq m).
- N. Sodding Lawns: Lay sod to form a solid mass with tightly fitted joints within 24 hours of stripping. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work silted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass.
1. Anchor sod on slopes exceeding 1:6 with wood pegs spaced as recommended by sod manufacturer.
 2. Saturate sod with fine water spray within 2 hours of planting. During first week, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1/2 inches (38 mm) below the sod.
- O. Edgings: Install edgings with backfill and anchor with stakes driven below top elevation of edging according to manufacturer's recommendations.
- P. Disposal: Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris, and legally dispose of it off the Owner's property.

END OF SECTION 02900

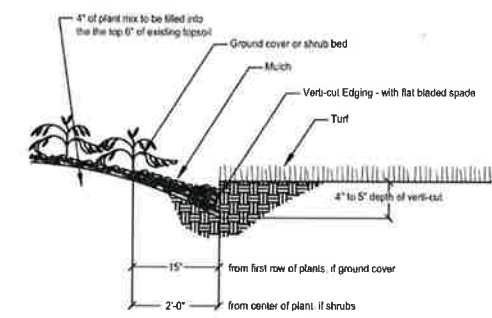


1 TREE PLANTING DETAIL
LS-2 NTS

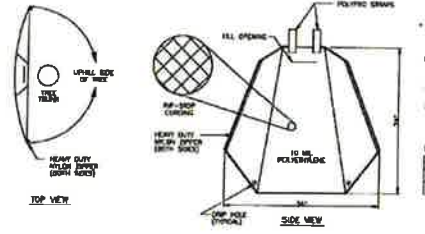


2 PALM PLANTING DETAIL
LS-2 NTS

3 SHRUB PLANTING DETAIL
LS-2 NTS



4 PLANTING EDGE DETAIL
LS-2 NTS



5 TREE GATOR - 20 GAL.
UP TO SCALE

NOTE: TREE GATOR TO BE FILLED TWICE A WEEK UNTIL ESTABLISHED

5 20 GALLON TREE GATOR
LS-2 NTS

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201 LAMARQUE STREET
NEW ORLEANS, LA

Project No: _____

Revisions:		
No.	Date	Description

Date: 23 DEC 2025
Drawn: GUY GRISSOM
Checked:
Sheet Title:

LANDSCAPE SPECS. & DETAILS

Drawing No:
LS-2
Sheet No.
01



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THOMAS E. PITTMAN P.E. CONSULTING ENGINEER

27011 REGENCY PARK DR
DENHAM SPRINGS, LA. 70726.

RE-ERECT EXISTING METAL BUILDING EXISTING FOUNDATION



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201 LAMARQUE STREET NEW ORLEANS, LA

CODE INFORMATION

I.B.C. 2021 & NFPA101 2021 CODE REVIEW

PROJECT DESCRIPTION - 30,092 SF METAL BUILDING RE-ERECTED AT PREVIOUS LOCATION
S-1 STORAGE/PARKING OF MARDI GRAS FLOATS

SCOPE OF WORK RE-ERECT METAL BUILDING ON PREVIOUS FOUNDATION. NO CHANGES TO THE LOCATION.

GENERAL BUILDING LIMITATION CHAPTER 5

- ALLOWABLE AREA TABLE 503, CONSTRUCTION TYPE 2B/II B
- ALLOWABLE AREAS:
S-1 70,000 W/O AREA INCREASE
- AREA INCREASES: 0
- ALLOWABLE BUILDING AREA PER PARG. 302.3.3 RATIO NOT TO EXCEED 1 ASSEMBLY

TYPES OF CONSTRUCTION CHAPTER 6 FIRE AND SMOKE PROTECTION FEATURES CHAPTER 7

TYPE OF CONSTRUCTION S-1 UNPROTECTED, SPRINKLED BUILDING TABLE 601 AND TABLE 705.5

ELEMENT	FIRE RATING	PROVIDED
* STRUCTURAL FRAME	0	0
* BEARING WALLS (TABLE 602)	0	0
* EXTERIOR (NON COMBUSTIBLE)		
NORTH	1.45'	0 N.C.
SOUTH	0'	0 N.C.
EAST	20.78'	0 N.C.
WEST	0'	0 N.C.
* INTERIOR WALLS	0	0
* NON BEARING WALLS (TABLE 602)		
* EXTERIOR WALLS	0	0
* FLOOR CONSTRUCTION	NA	0
* ROOF CONSTRUCTION	0	0

FIRE PROTECTION CHAPTER 9

ACCORDING OF 903.2.9. GROUP S-1 SPRINKLER SYSTEM REQUIRED AND PROVIDED BY OTHERS

- FIRE ALARM- FIRE ALARM SYSTEM REQUIRED BUT MANUAL FIRE ALARM BOXES ARE NOT REQUIRED. OCCUPANT NOTIFICATION APPLIANCES WILL ACTIVATE THROUGHOUT THE NOTIFICATION ZONES UPON SPRINKLER WATER FLOW. FIRE ALARM PROVIDED BY OTHERS

TABLE 906.3(1) FIRE EXTINGUISHERS FOR CLASS A LOW TO MODERATE HAZARD-75' MAXIMUM TRAVEL DISTANCE

MEANS OF EGRESS CHAPTER 10

- TOTAL EGRESS REQUIREMENTS TABLE 1004.5
- OCCUPANT AREA - 47,222 SQFT / 500 SQFT(WAREHOUSE)= 94 PEOPLE OR 47,222 SQFT /300 SQFT (STORAGE)=158 PERSONS
- MINIMUM REQUIRED EGRESS WIDTH 1005.3.2 STORAGE 158 X .2 INCH PER PERSON = 31.6 INCHES
- TOTAL EGRESS WIDTH PROVIDED STORAGE= 158 PERSONS NO CORRIDORS- OPEN SPACE
- EXIT TRAVEL DISTANCE TABLE 1017.2 MAXIMUM ALLOWABLE (SPINKLED) - 250 L.F. MAXIMUM DISTANCE PROVIDED ON PLAN APPROXIMATELY 190 L.F.
- CORRIDOR FIRE RESISTANCE RATING TABLE 1020.2 MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD REQUIRED =1 PROVIDED= 5

NOTE: SPRINKLER AND FIRE ALARM SYSTEM TO BE PROVIDED BY OTHERS

GENERAL NOTES:

- THE OWNER, BUILDER, AND/OR CONTRACTOR IS/ARE RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE STARTING WORK.
- ALL CONSTRUCTION MUST CONFORM TO PROCEDURES, CODES, LAWS, AND STATUTES THAT GOVERN THE LOCATION IN WHICH THE STRUCTURE IS TO BE BUILT.
- ALL FIGURE DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL DIMENSIONS & FIT-UP OF STRUCTURE, INCLUDING VERIFICATION OF ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE PROCEEDING.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE PROFESSIONAL OF RECORD BEFORE ANY WORK CONTINUES.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS AND ELEVATIONS WITH THE DESIGNER BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN PLACEMENT, MAINTENANCE, ETC. OF ANY AND ALL SHORING, BRACING, TIE BACKS, ETC. NEEDED TO SUPPORT ANY PART OF THE NEW OR EXISTING CONSTRUCTION DURING THE ENTIRE CONSTRUCTION PROCESS TO ENSURE THE SAFETY AND INTEGRITY OF THE STRUCTURE UNTIL THE NECESSARY PERMANENT ELEMENTS ARE IN PLACE.
- UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE DESIGNER FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION DOCUMENTS AND SECURE FROM THE DESIGNER ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE NEEDED TO HAVE A CLEAR AND FULL UNDERSTANDING OF THE SCOPE OF WORK AT HAND.
- DURING THE BUILDING PROCESS ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION OR UNKNOWN MISTAKES IN THE DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IMMEDIATELY FOR CLARIFICATION.
- THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS. NO ALLOWANCE WILL BE MADE FOR AFTER THE CONSTRUCTION DUE TO A MISUNDERSTANDING.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS, & APPROVALS HAVE BEEN OBTAINED.
- ALL CONSTRUCTION SHALL BE BUILT TO WITHSTAND 143 MPH WINDS IN EXPOSURE CATEGORY II
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS
- STRUCTURE TO BE BUILT IN ACCORDANCE WITH THE HURRICANE RESISTANT CONSTRUCTION STANDARD WIND LOAD DESIGN CRITERIA ASCE-7-18, ENCLOSED BUILDING, MODERATE INTERNAL PRESSURE, INTERNAL PRESSURE COEFFICIENT OF +/--.18
- ALL CONSTRUCTION TO BE BUILT TO THE CODES AND STANDARDS LISTED IN THE IBC 2021
- PLANS TO CONFORM WITH PRESCRIPTIVE PATH N101 THRU N104 IBC 2021 AND CONTRACTOR MUST PROVIDE COMPLIANCE SHEET IN THE BREAKER BOX BY FINAL INSPECTION



WINDBORNE DEBRIS PROTECTION:

- WINDOWS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WINDBORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2021.
- GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND OR ASTM 1986 REFERENCED THEREIN PROVIDE INSULATION TO CONFORM WITH THE "R" VALUE OF THE ELECTRIC UTILITY COMPANY AND/OR MANUFACTURERS SPECS.
- FLASH ALL ROOF CHIMNEYS, VALLEYS, ETC. AREAS IN THE PRESCRIBE MANNER WITH METAL OR FABRIC FLASHING. DOORS AND WINDOWS TO BE FLASHED AS REQUIRED.

PROJECT DIRECTORY	
PROJECT DESIGNER:	LYNETTE GORDON SPECTRUM DESIGNS LLC 2439 MANHATTAN BLVD. SUITE 209 HARVEY, LA 70038 TEL: (504) 366-0710 EMAIL: ADMIN@SPECTRUMDESIGNSLLC.COM
PROJECT ENGINEER:	THOMAS E. PITTMAN SPECTRUM DESIGNS LLC 2439 MANHATTAN BLVD. SUITE 209 HARVEY, LA 70038 TEL: (504) 366-0710 EMAIL: ADMIN@SPECTRUMDESIGNSLLC.COM

ENGINEER NOTE: THIS BUILDING WAS ERECTED IN 2003 AS PARADE FLOAT STORAGE FOR KERN STUDIOS AND DISASSEMBLED IN 2016 AND PLACED IN STORAGE. THE CLIENT WANTS TO RE-ERECT STRUCTURE. I HAVE INSPECTED AND FOUND CONDITION OF BUILDING & FOUNDATION TO BE ADEQUATE FOR RE-ASSEMBLY. USE WILL REMAIN AS STORAGE FACILITY.

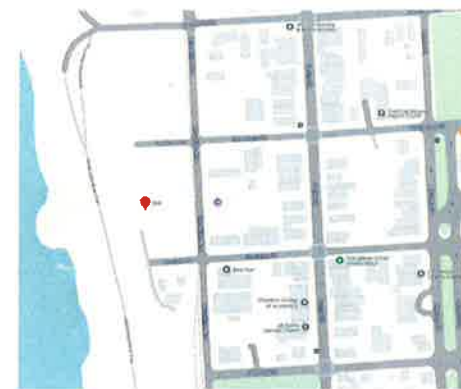
FOUNDATION NOTE: I HAVE INSPECTED THE EXISTING FOUNDATION & FOUND IT TO BE IN GREAT CONDITION, & ADEQUATE TO HANDLE THE LOAD OF THE RE-ERECTION OF THE PREVIOUS BUILDING.



PROJECT INDEX

- ARCHITECTURAL**
CS COVER SHEET
A-1 SURVEY
A-1.1 SITE PLAN
A-2 FLOOR PLAN
- ELECTRICAL**
E-1 ELECTRICAL PLAN
E-2 PANEL SCHEDULE & NOTES
- LANDSCAPE**
LS-1 LANDSCAPE
LS-2 NOTES

AREA CALCULATIONS
EXISTING FLOOR AREA 30,092 SQFT.



VICINITY MAP

FASTENER TYPE	FASTENER SPACING (inches) ^{a,b}		
	Panel open ≤ 4 feet	4 feet < panel open ≤ 8 feet	8 feet < panel open ≤ 12 feet
No. 8 wood screw based anchor with 2-inch embedment length	16	10	8
No. 10 wood screw based anchor with 2-inch embedment length	16	12	9
3/4-inch lag screw based anchor with 2-1/2" embedment length	16	16	16

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound = 4.448 N, 1 mile per hour = 0.447 m/s

a. This table is based on 130 mph wind speeds and a 33-foot mean roof height.

b. Fasteners shall be installed at opposing ends of the wood structural panel. Fasteners shall be located a minimum of 1 inch from the edge of the panel.

c. Anchors shall penetrate through the exterior wall covering with an embedment length of 2 inches minimum into the building frame. Fasteners shall be located a minimum of 3/4 inches from the edge of concrete block or concrete.

d. Where panels are attached to masonry or masonry/finishes, they shall be attached using vibration-resistant anchors having a minimum ultimate withdrawal capacity of 1500 pounds.

RE-ERECT METAL BUILDING
WHITE BOX (NOT TO OCCUPY)
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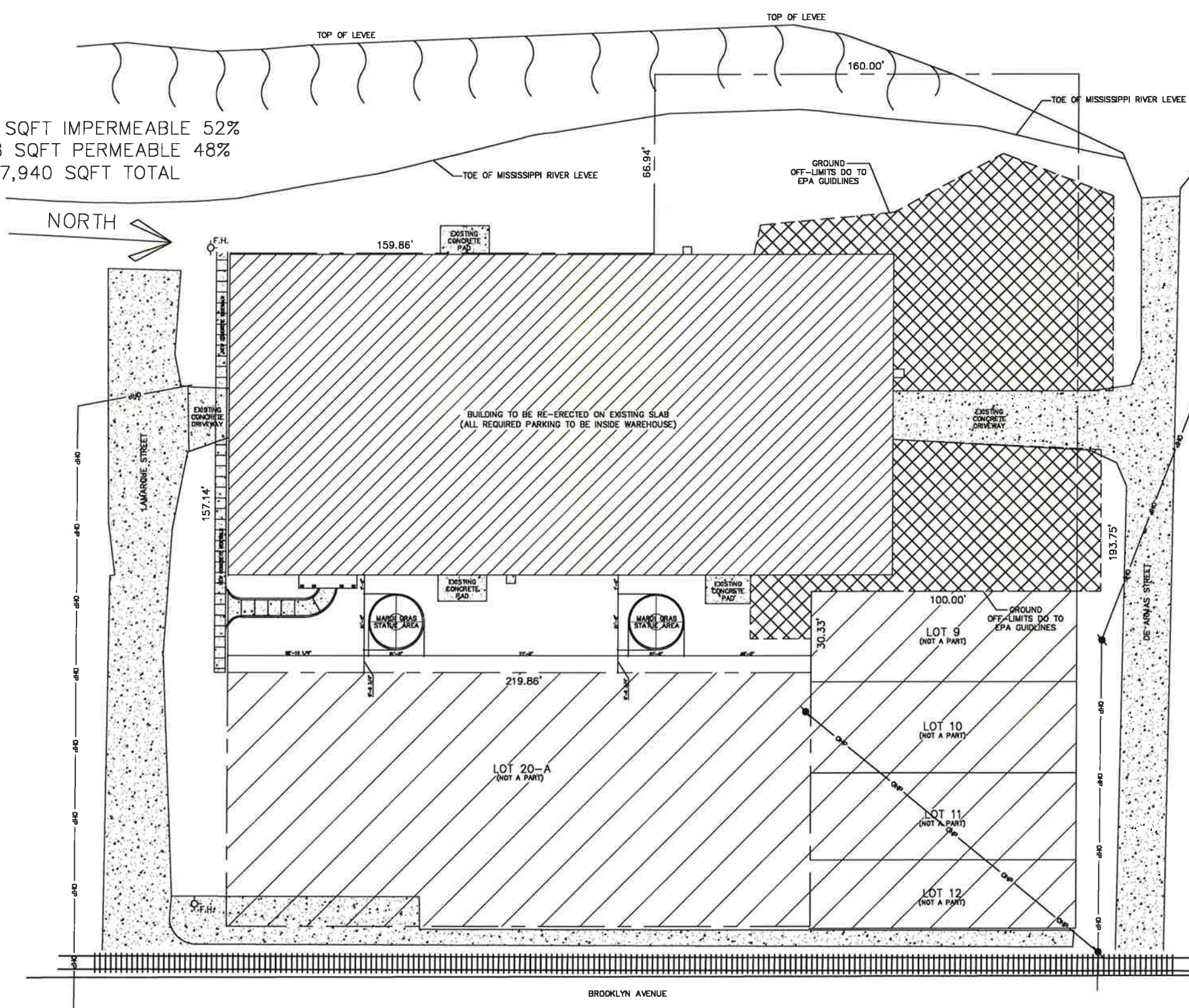


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Checked: TEP

Sheet Title:
COVERSHEET

Drawing No.
C0

30,092 SQFT IMPERMEABLE 52%
 27,848 SQFT PERMEABLE 48%
 57,940 SQFT TOTAL



NORTH

LEGEND

- BUILDING
- EXISTING RIGHT OF WAY
- CATCH BASIN
- CULVERT
- D DROP INLET, DRAIN LINE
- D DROP INLET, DRAIN LINE
- C COMMUNICATIONS MANHOLE, COMM LINE
- D DRAIN MANHOLE, DRAIN LINE
- E ELECTRICAL MANHOLE, ELEC. LINE
- G GAS MANHOLE, GAS LINE
- S SEWER MANHOLE, SEWER LINE
- T TELEPHONE MANHOLE, TELE LINE
- TR TRAFFIC MANHOLE, TRAFFIC LINE
- W WATER MANHOLE, WATER LINE
- U UTILITY POLE / OVERHEAD LINES
- U UTILITY POLE / OVERHEAD LINES
- X FENCE
- UTILITY BOX
- C-O UTILITY CLEANOUT
- UTILITY METER
- UTILITY PEDESTAL
- V UTILITY VALVE
- V UTILITY VALVE VAULT
- FIRE HYDRANT
- ☼ LIGHT STANDARD
- T TRAFFIC SIGNAL POLE
- T TRAFFIC LIGHT POWER VAULT
- ☼ CANOPY SUPPORT
- SIGN
- TREE
- RESIDENTIAL MAILBOX
-) PP DEADMAN

1 SITE PLAN
 A-1.1 SCALE: 1:20

RE-ERECT METAL BUILDING
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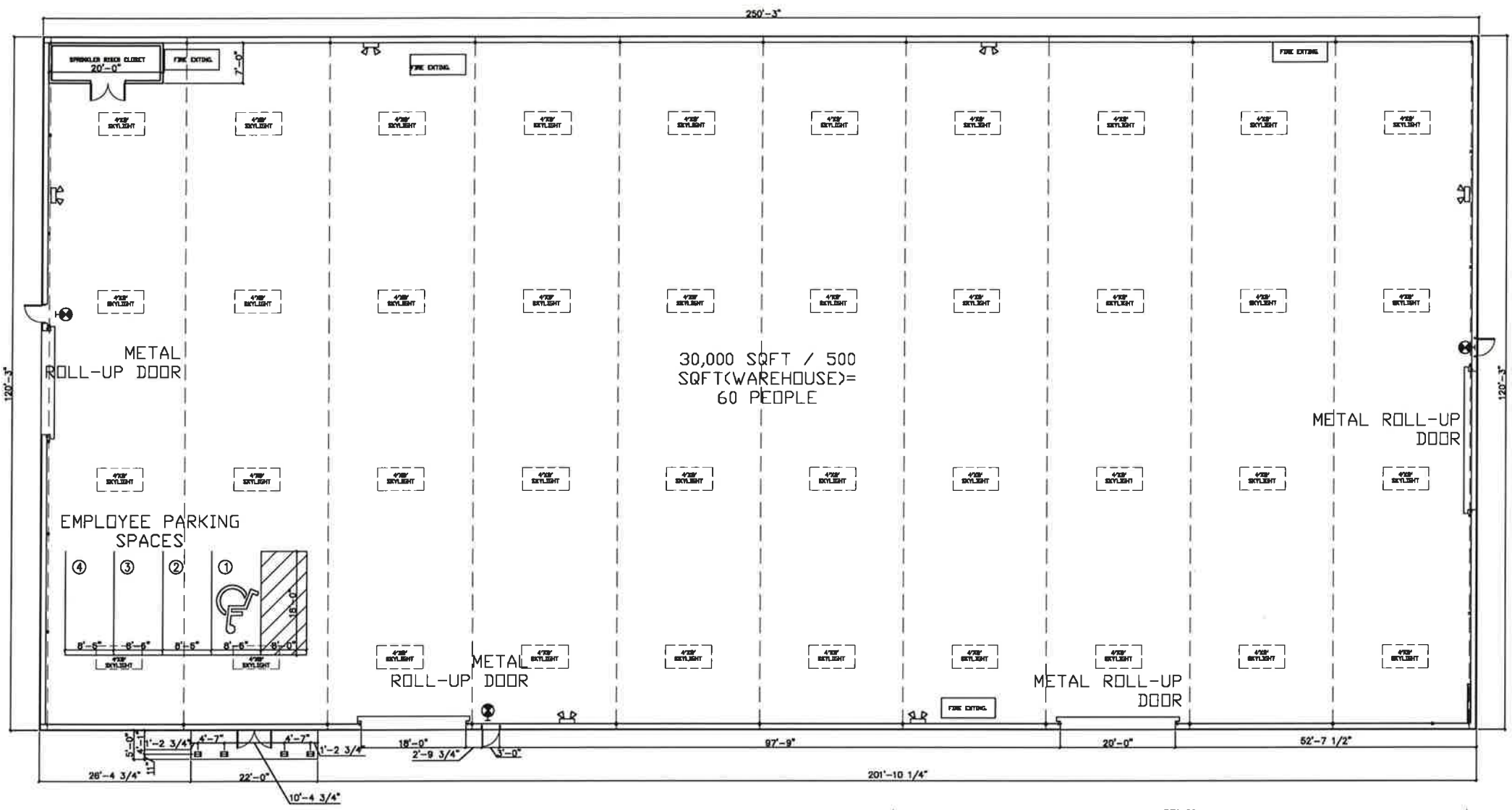
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SITE PLAN

Drawing No.
A-1.1

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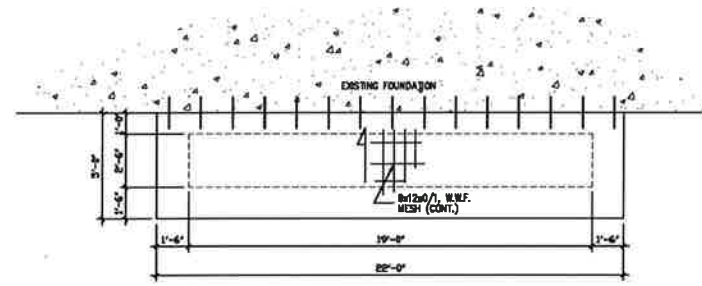
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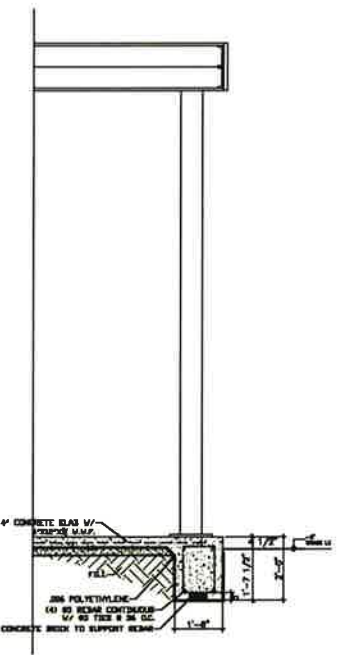
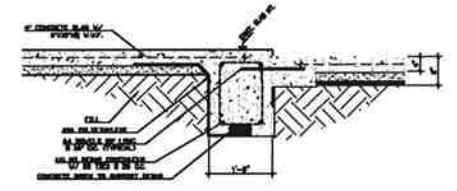
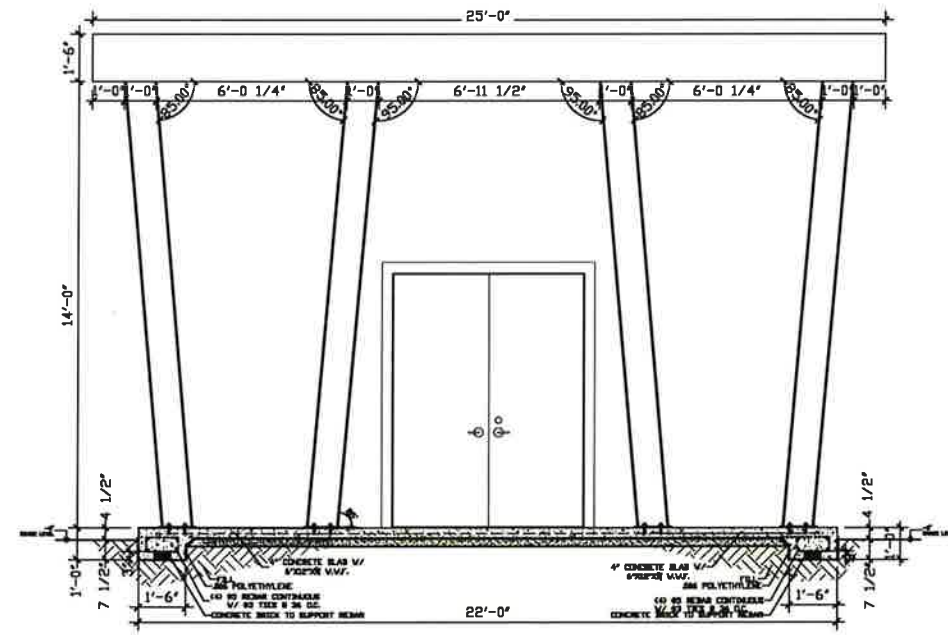


1 FLOOR PLAN
A-2 SCALE: 3/32"=1'-0"

LIFE SAFETY LEGEND	
	EMERGENCY LIGHT & BATTERY BACK-UP
	EXIT LIGHT w/ EMERGENCY LIGHT & BATTERY BACK-UP
	STARTING POINT
	PATH OF EGRESS
	FIRE RATED WALL
	F. E. FIRE EXTINGUISHERS



2 PORCH FOUNDATION
A-2 SCALE: 1/4"=1'-0"



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Sheet Title:
FLOOR PLAN

Drawing No.
A-2

RE-ERECT METAL BUILDING
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 NEW ORLEANS, LA 70114
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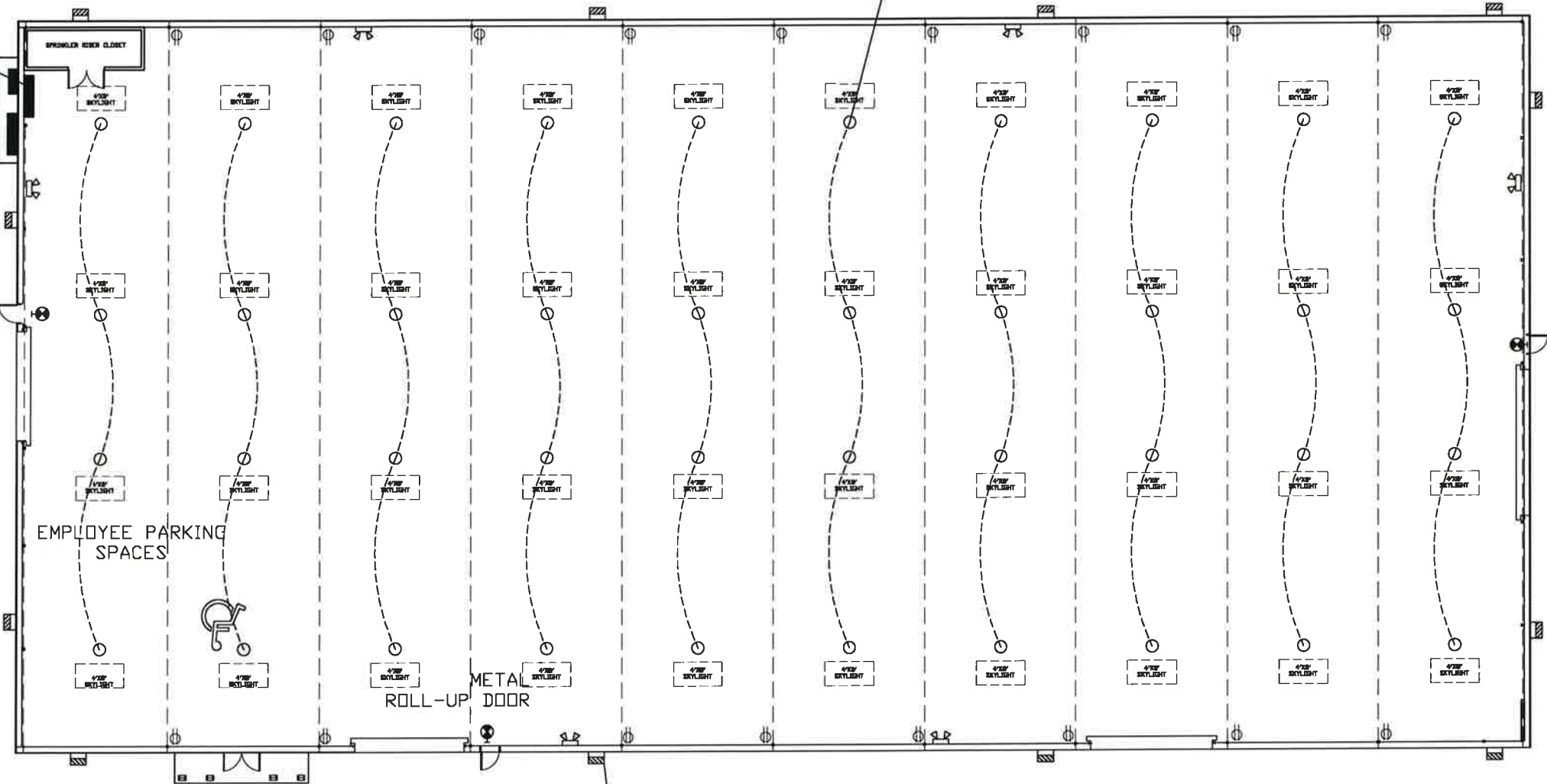
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Sheet Title:
 ELECTRICAL PLAN

Drawing No.

E - 1

HIGH BAY LED LIGHTING
 HOLLOWPHANE CATALOG NUMBER
 PHG 9000LM HEF MALR 30K 70CRI
 OR EQUAL (TYP. FOR ALL)



NOTE:
 NEMA 3R WALLPACK
 LITHONIA - LED BULB
 120V, 250W EQUIVALENT

NOTE:
 ALL REGULAR LIGHT FIXTURE
 SWITCHES TO BE LOCATED
 AS PER OWNER

NOTE:
 ALL EXIT AND EMERGENCY LTG. TO BE
 AS PER NEC ARTICLE 700 AND CONNECTED
 TO CKT. #A-24

1 ELECTRICAL PLAN
 A-2 SCALE: 3/32"=1'-0"

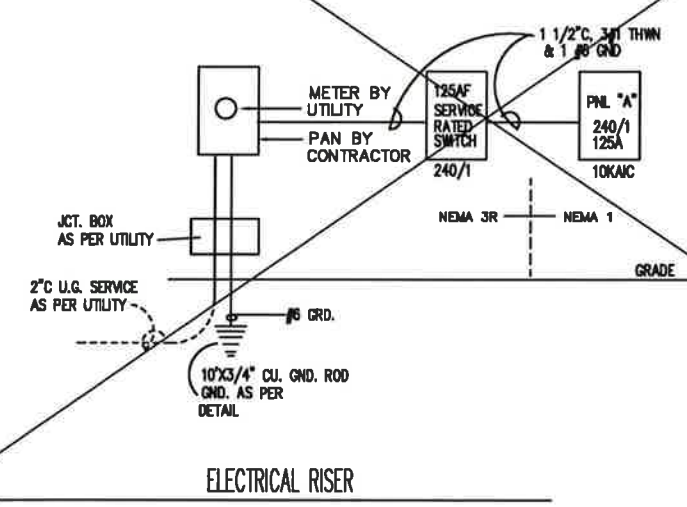
EXIT / EMERGENCY LIGHTING LEGEND

	EXIT SIGN, ARCHITECTURAL DIE CAST ALUMINUM, (2) 5W FLUORESCENT BULBS, 120V, W/BATTERY BACKUP, LITHONIA CAT.# F2E-S-2-R-120-ELN (OR LED EQUAL)
	EMERGENCY LIGHT FIXTURE, 2 HEAD, WHITE, DUAL VOLTAGE, (2) 7.2W LAMPS, LITHONIA CATALOG # 6ELM2-SSB (OR LED EQUAL)

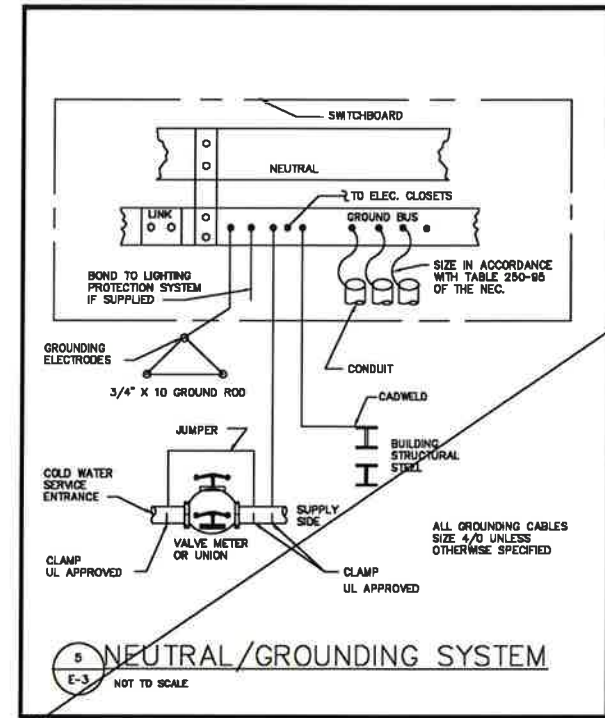
DESCRIPTION		VA		S/N		DESCRIPTION	
AP	BM	AP	BM	AP	BM	AP	BM
INTERIOR LIGHTING	877	1				2	
"						4	877
"	548	3				8	
"						8	
"	548	7				8	
"						10	720
SPARE	*	9				12	720
SPARE	*	11				12	720
RECEPT.	720	13				14	720
"						16	720
"	720	17				18	1250
"						20	
"	720	18				20	
"						22	
"	840	21				24	
"						26	
"	*	23				28	600
SPARE	*	25				28	
SPARE	*	27				30	
SPARE	*	29				32	
SPARE	*	31					
TOTAL PHASE - A		6095 VA					
TOTAL PHASE - B		5682 VA					
TOTAL CONNECTED LOAD		11777 VA		TOTAL AMPS = 49			

ELECTRICAL NOTES:

- LATEST EDITIONS OF NATIONAL ELECTRICAL CODE AND THE LOCAL ELECTRICAL CODE SHALL APPLY AS MIN. STANDARD FOR WORK PERFORMED UNDER THIS SUBCONTRACT.
- THIS SUBCONTRACT SHALL OBTAIN ALL NECESSARY PERMITS, PAY ALL LEGAL FEES AND CHARGES, AND COMPLY WITH ALL STATE AND LOCAL BUILDINGS AND SAFETY LAWS.
- THIS SUBCONTRACT INCLUDES FURNISH LABOR, MATERIALS, EQUIPMENT, AND SERVICES TO PERFORM ALL OPERATIONS REQUIRED FOR THE COMPLETE ELECTRICAL SYSTEM AS SHOWN.
- ALL CONDUIT SHALL BE AS FOLLOWS:
UNDERGROUND RUNS AND PANEL FEEDERS: RIGID NON-METALLIC PVC SCHEDULE 40 WITH GROUND WIRE INTERMEDIATE GALV. STEEL FOR RISERS THROUGH SLABS AND WHERE SUBJECT TO PHYSICAL DAMAGES.
BRANCH CIRCUITS AND CONTROL WIRING: GALV. ELECTRICAL METALLIC TUBING(EMT), ABOVE GROUND.
- ALL CONDUCTORS SHALL BE COPPER TYPE THW 600 VOLT, NO WIRE SMALLER THAN #12 AWG FOR POWER, LIGHTING, OR SWITCH LEGS. WHERE PERMITTED BY NEC AND LOCAL CODES, MC CABLE MAY BE USED IN STRICT ACCORDANCE WITH NEC ARTICLE 334.
- FURNISH ALL SUPPORTS(FOR EQUIPMENT REQUIRING SAME), THIMBLES, INSERTS, HANGERS OR OTHER HARDWARE NECESSARY FOR COMPLETE ELECTRICAL INSTALLATION.
- FURNISH AND INSTALL STANDARD OUTLET, SWITCH, AND PULL BOXES AS REQUIRED. WEATHERPROOF BOXES ON EXTERIOR SHALL BE CAST ALUMINUM WITH GASKETED LIFT COVER.
- RECEPTACLES SHALL BE SPECIFICATION GRADE. DUPLEX GROUNDED RECEPTACLES SHALL BE 20 AMPERE 125 VOLT EQUAL TO BRYANT #5352-1, MOUNT RECEPTACLES 18" ABOVE FLOOR UNLESS OTHERWISE NOTED.
- PANELBOARDS AS SCHEDULED ON PLANS SHALL BE DEAD FRONT SAFETY TYPE, FULL SIZED CIRCUIT BREAKER BRANCHES(NO TWINS OR TANDEMS), FACTORY OR LOCALLY ASSEMBLED WITH DOOR AND GOOD LATCH, GALVANIZED STEEL CABINET AND DIRECTORY FRAME FOR TYPEWRITTEN IDENTIFICATION OFF ALL CIRCUITS. CONTRACTOR SHALL BALANCE LOADS IN PANELBOARDS.
- GROUND ENTIRE WIRING SYSTEM AND SPECIAL DEVICES IN ACCORDANCE WITH NEC FEEDER CONDUITS SHALL PROVIDE A GOOD PATH TO SYSTEM GROUND. VERIFY CONTINUITY OF ALL CONDUIT RUNS AND CORRECT ANY DISCREPANCIES. PROVIDE GROUND ROD, AND #4 COPPER TW GROUND WIRE AT TELEPHONE CABINET.
- PROVIDE LOCAL DISCONNECTS AT ALL EQUIPMENT LOCATED OUT OF SITE OF PANEL. SAFETY SWITCHES OR DEVICES NECESSARY FOR A COMPLETE INSTALLATION. ALL FIXTURES SHALL BE THE TYPE DESCRIBED IN THE FIXTURE SCHEDULE.
- ELECTRICAL SERVICE SHALL BE AS SHOWN ON ELECTRICAL RISER. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ON-SITE CONSTRUCTION POWER ALLOWING FOR THE COST IN HIS BID.
- WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OFFICIAL ACCEPTANCE OF CONTRACT.
- CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY PRIOR TO BID AND ROUGH-IN TO ASSURE THAT ANY / ALL ADDITIONAL POLES, EQUIPMENT, ETC. REQUIRED TO BE PROVIDED BY THE CONTRACTOR IS ACCOUNTED FOR IN THE BID. ADDITIONAL MATERIAL BETWEEN THE UTILITY CONNECTION AND THE RISER IS NOT REFLECTED IN THIS DESIGN AND IS THE RESPONSIBILITY OF THE CONTRACTOR.



1 RISER DIAGRAM
A-2 SCALE: 1/16"=1'-0"



	DUPLEX RECEPTACLE; 20 AMP, 125V, NEMA 5-20R
	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE; 20 AMP, 125V
	SINGLE RECEPTACLE; 40 AMP, 2 POLE, 3 WIRE, 250V, NEMA 6-40R
	WEATHERPROOF
	SINGLE POLE TOGGLE SWITCH, 20 AMP, 125/277V
	3-WAY TOGGLE SWITCH, 20 AMP, 125/277V
	DIMMER SWITCH, 20 AMP, 125/277V
	POWER PANEL / OR CONTROL PANEL AS DESIGNATED
	FUSED SAFETY DISCONNECT SWITCH
	COMBINATION TELEPHONE DATA (CAT5) OUTLET; ROUTE A 3/4" C. W/FISHWIRE ABOVE CLG.
	JUNCTION BOX

RE-ERECT METAL BUILDING
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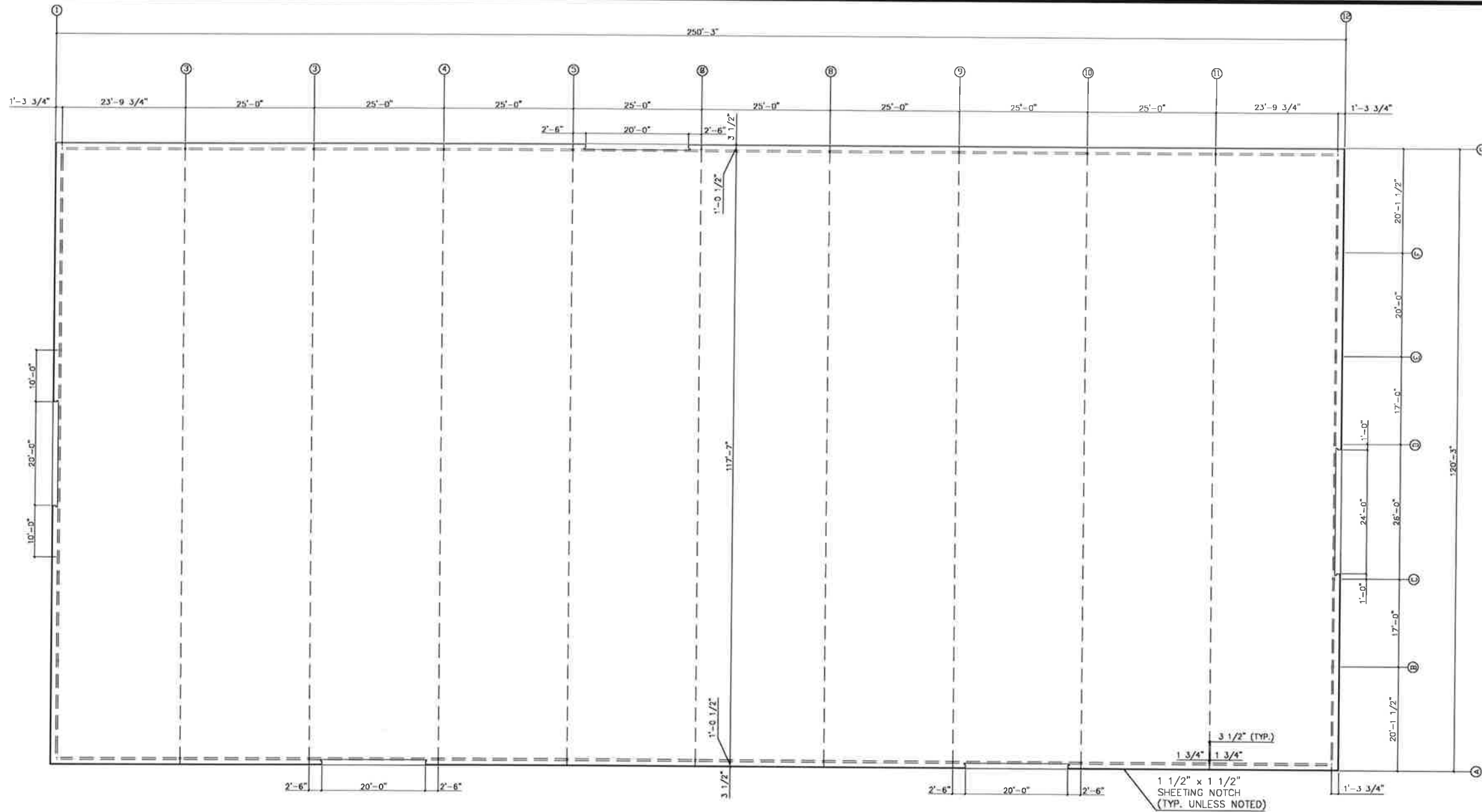


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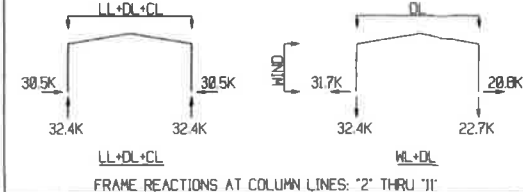
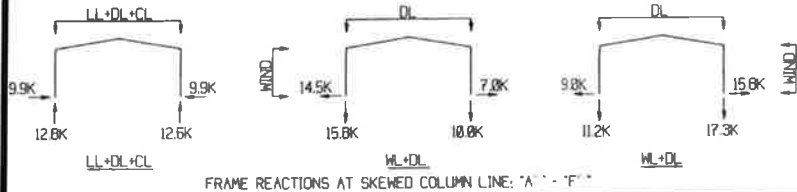
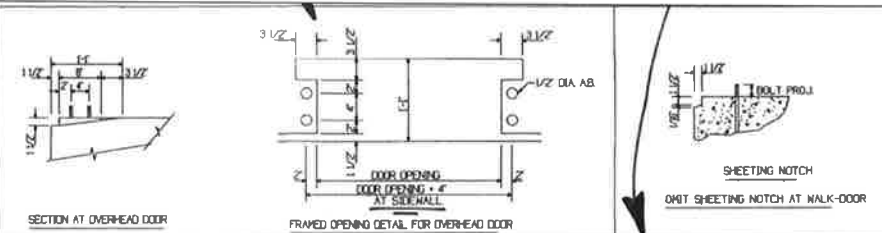
Sheet Title:
PANEL SCHEDULE & NOTES

Drawing No.

E-2



1 FLOOR PLAN
S-1 SCALE: 3/32" = 1'-0"

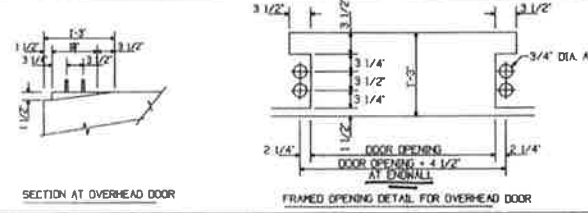


DESIGN LOADS PER 1985 STANDARD BUILDING CODE (WITH NEW ORLEANS AMENDMENTS)
 LIVE LOAD = 20/12 PSF (BLOG/FRAME)
 WIND LOAD = 118 MPH
 COLL LOAD = 5 PSF

VERTICAL LL + DL + CL = 7.8 K
 HORIZONTAL WL + DL = 7.9 K
 VERTICAL WL + DL = 12.5 K (UPLIFT)
 MAX ENDMALL COLUMN REACTIONS @ LINE: '12'

ANCHOR BOLT SCHEDULE			
SYMBOL	QUAN.	DIA. (in)	PROJ. (in)
•	4	1/2"	2"
•	36	3/4"	2"
•	88	1"	2"

THE PURCHASER IS RESPONSIBLE TO HAVE THE FOUNDATION ENGINEER OR THE ENGINEER OF RECORD DESIGN AND DETERMINE THE PROPER LENGTH AND HOOK SIZE OF THE ANCHOR BOLTS TO WORK IN ACCORDANCE WITH THE DIAMETER AND QUANTITY OF THE A-307 ANCHOR BOLTS SHOWN ON THE ANCHOR BOLT PLAN.



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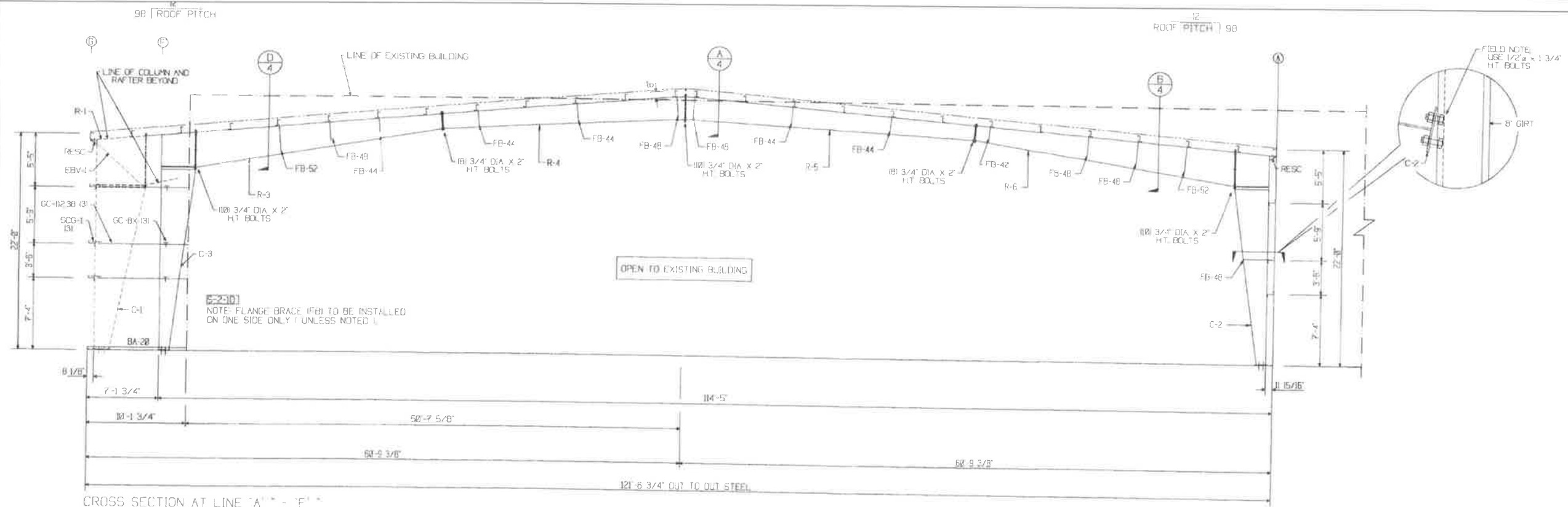
Sheet Title:
 FLOOR PLAN

Drawing No.
 S-1

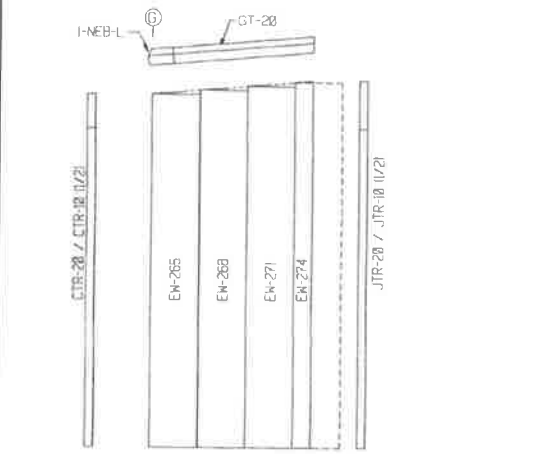
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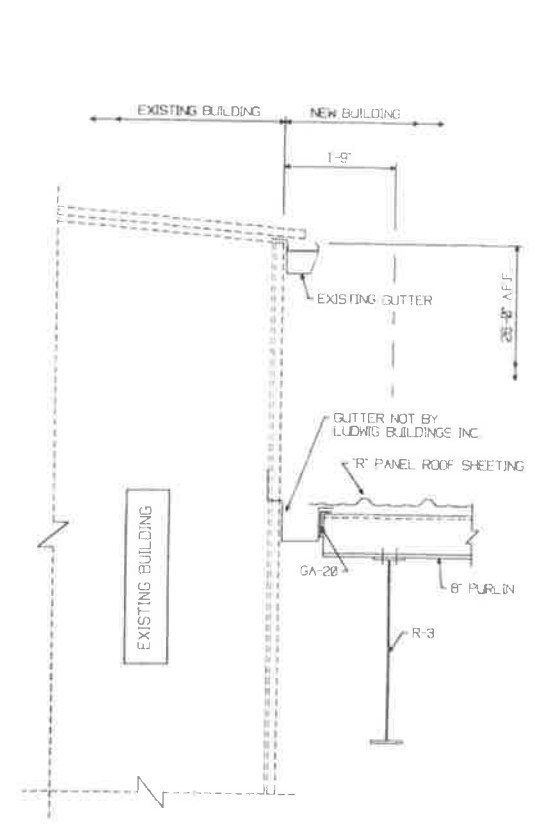
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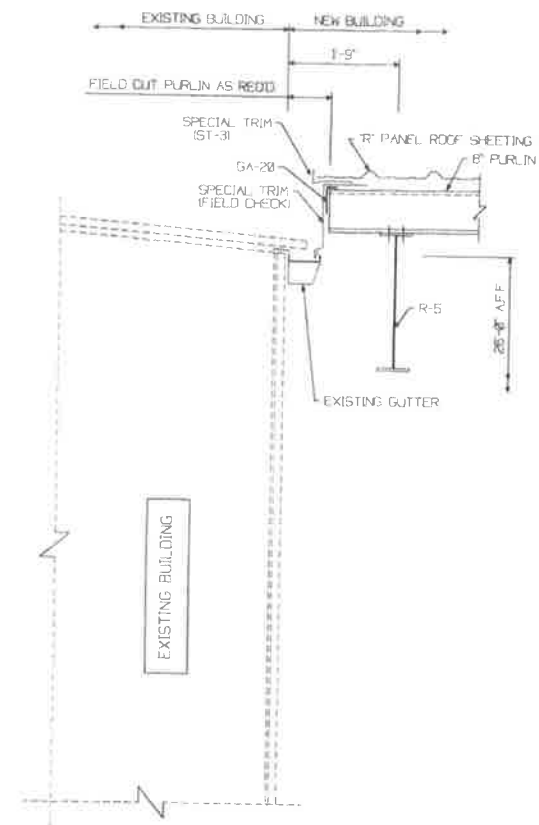
CROSS SECTION AT LINE "A" - "F"



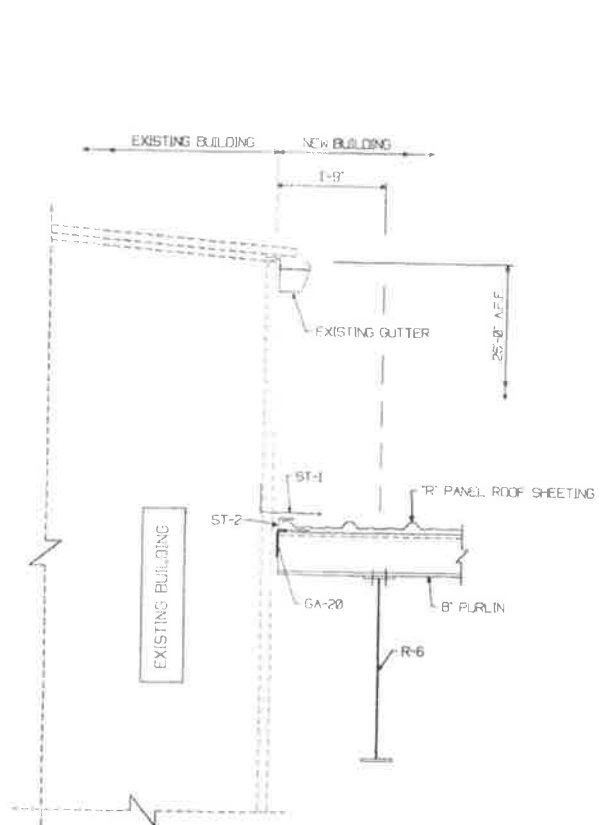
SKewed ENDWALL SHEETING AT LINE "A" - "F"



SECTION D



SECTION A



SECTION B

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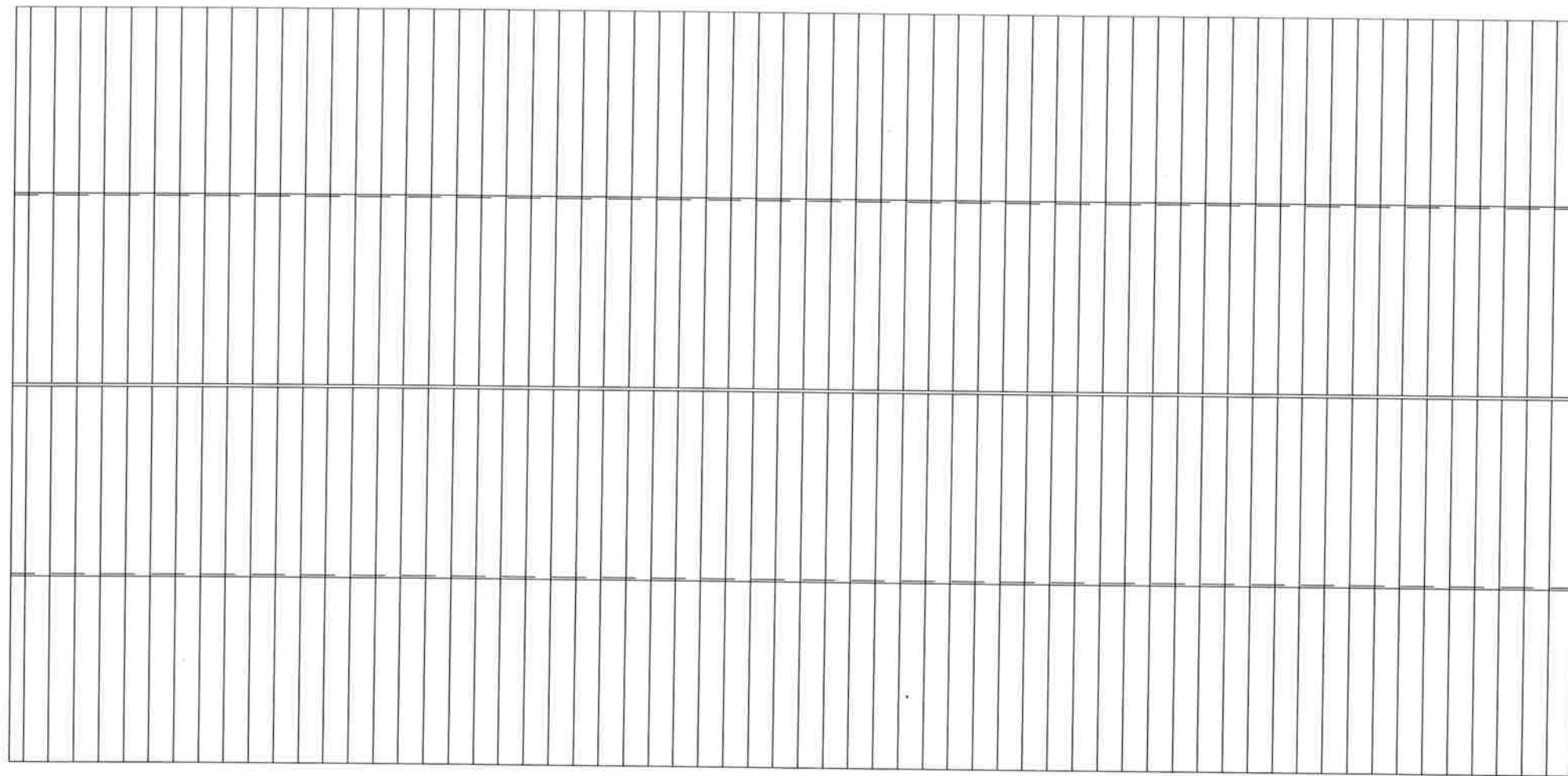
Sheet Title:
**FRAMING &
 SHEETING**

Drawing No.
5-2

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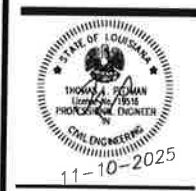
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1 ROOF PLAN
S-4 SCALE: 3/32" = 1'-0"

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Sheet Title:
ROOF SHEETING
LAYOUT

Drawing No.
S-4

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200 – 201 LAMARQUE STREET
WALL MURAL DESIGN OPTION 1



1 BROOKLYN AVENUE ELEVATION
A-3 SCALE: 3/32"=1'-0"



4 LEVEE WALL ELEVATION
A-2 SCALE: 3/32"=1'-0"

200 – 201 LAMARQUE STREET
WALL MURAL DESIGN OPTION 2



1 BROOKLYN AVENUE ELEVATION
A-3 SCALE: 3/32"=1'-0"



4 LEVEE WALL ELEVATION
A-2 SCALE: 3/32"=1'-0"

**200 – 201 LAMARQUE STREET
WALL MURAL DESIGN OPTION 3**



1 BROOKLYN AVENUE ELEVATION
A-3 SCALE: 3/32"=1'-0"



4 LEVEE WALL ELEVATION
A-2 SCALE: 3/32"=1'-0"

200 – 201 LAMARQUE STREET
WALL MURAL DESIGN OPTION 4



1 BROOKLYN AVENUE ELEVATION
A-3 SCALE: 3/32"=1'-0"



4 LEVEE WALL ELEVATION
A-2 SCALE: 3/32"=1'-0"



Building/Construction
Related Permit



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 200 Lamarque Street

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Sherman Strategies

Applicant Address 800 Baronne Street

City New Orleans State LA Zip 70115

Applicant Contact Number 504-799-9335 Email becca@shermanstrategiesllc.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name Kern Algiers LLC

Property Owner Address 1380 PORT OF NEW ORLEANS PL

City New Orleans State LA Zip 70130

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

Construction of a mardi gras den

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- University Area Design Overlay
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- CBD FAR Bonus
- Wireless Antenna/Tower
- Educational Facility

- Changes to Approved Plans
- DAC Review of Public Projects
- Others as Required

ADDITIONAL INFORMATION

Current Use Vacant

Proposed Use Mardi Gras Den

Square Number 216

Lot Number 1-A

Permeable Open Space (sf) 27,848

New Development? Yes No

Addition? Yes No

Tenant Width 120'

Existing Structure(s)? Yes No

Renovations? Yes No

Building Width 120'

Change in Use? Yes No

Existing Signs? Yes No

Lot Width (sf) 157'/193'

New Sign(s)? Yes No

Lot Area (sf) 57,940

Building Area (sf) 30,092