

**SUMMARY OF WORK:**

This project consists of the renovation and expansion of an existing single-family residence located in New Orleans, Louisiana. Scope includes the partial demolition of the existing structure at the rear of the property and the construction of a new two-story addition. The project retains the existing residential use and does not involve a change in occupancy.

All work shall comply with the currently adopted International Residential Code (IRC), including all amendments specific to the City of New Orleans, as well as applicable zoning, floodplain, and historic district regulations. Schematic mechanical, electrical, and plumbing layouts are included for coordination purposes; final design, sizing, and code compliance of all MEP systems shall be the responsibility of the licensed subcontractors.

This permit set is intended for plan review, permitting, and approval by the City of New Orleans and all relevant regulatory authorities.

**PROJECT DIRECTORY:**

**CONTRACTOR:**  
 ##### CONTRACTORS, LLC  
 LICENSE #00000  
 ADDRESS

**ARCHITECT:**  
 WELTY ARCHITECTURE, LLC  
 SCOTT WELTY, RA, NCARB  
 LA LICENSE# 7686  
 201 DOWNS ST  
 NEW ORLEANS, LA 70124  
 504-931-1665  
 scott@welyarchitecture.com

**00 DESIGN DATA - CODES**

Item	Value
OCCUPANCY	SINGLE-FAMILY DWELLING (NO CHANGE OF USE)
BUILDING CODE	2021 IRC (as adopted by City of New Orleans)
ELECTRICAL CODE	2020 NEC
PLUMBING CODE	2021 IPC
MECHANICAL	2021 IMC
ENERGY	2021 IECC
GAS	2021 IFGC
ZONING	C20
STORMWATER	C20 ARTICLE 23
FLOOD COMPLIANCE	FEMA + CITY REQUIREMENTS

**00 DESIGN LOADS**

LOAD ITEM	LOAD VALUE	CODE REFERENCE
Habitable Rooms	40 psf	IRC Table R301.5
Sleeping Rooms	30 psf	IRC Table R301.5
Bathrooms and Halls	40 psf	IRC Table R301.5
Decks / Exterior Balcony	40 psf (min)	IRC Table R301.5
Stairs	40 psf (or 300 lb concentrated)	IRC Table R301.5
Guards/Handrails	200 lb concentrated / 50 pif	IRC R301.5, R301.7
Attic with Storage	20 psf	IRC Table R301.5
Attic without Storage	10 psf	IRC Table R301.5
Roof Live Load	20 psf min.	
Roof Dead Load	15 psf (typical framed roof)	

**00 ENERGY CODES - IECC PRESCRIPTIVE**

Energy Component	Prescriptive Requirement (Zone 2A)
Ceiling/Attic	R-49 (UNFACED)
Wood-Frame Walls	R-19 cavity (UNFACED) or R-10 cavity and R-10 continuous insulation.
Floor (over unconditioned)	R-13 (UNFACED ROXUL)
Windows / Fenestration	U-factor ≤ 0.40; SHGC ≤ 0.25
Skylights	U-factor ≤ 0.65
Air Leakage (ACH50)	≤ 7.0 ACH50 or ≤ 0.28 CFM50 per sf enclosure area
Duct Insulation	R-8 if duct is outside conditioned space; no burial allowed in attics
Duct Leakage (Rough-in)	≤ 6.0 CFM25 per 100 sf (or ≤ 4 if air handler not installed)
Duct Leakage (Final)	≤ 8.0 CFM25 per 100 sf conditioned floor area (or ≤ 4 CFM to outside)

**AREA SCHEDULE**

Level	Number	Name	Area	Comments
01 LEVEL	10	EXISTING - 1ST FLOOR	559	EXISTING AREA
01 LEVEL	11	EXISTING PORCH	92	EXISTING AREA
			651	
01 LEVEL	12	NEW - 1ST FLOOR	903	NEW AREA
01 LEVEL	13	NEW - SIDE PORCH	59	NEW AREA
01 LEVEL	14	NEW REAR PORCH	143	NEW AREA
			1105	
02 LEVEL	21	NEW - SECOND FLOOR	828	NEW AREA
			828	
			2585	

**00 FLOOD DATA**

FLOOD ITEM	FLOOD VALUE
FEMA FLOOD ZONE	ZONE X
MINIMUM ELEVATION:	BFE + 1' TO 3' (LOCAL)

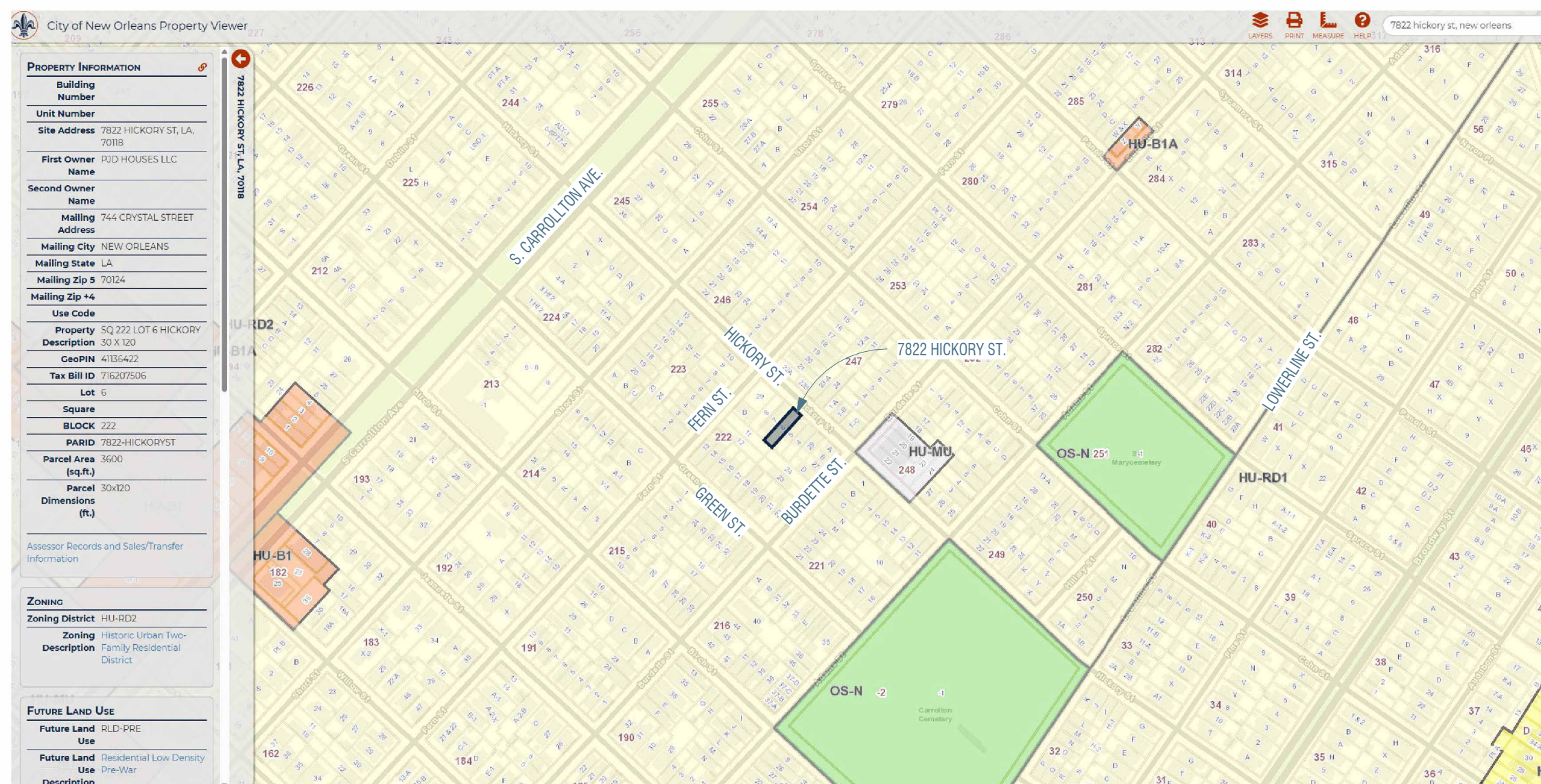
**00 WIND LOADS**

WIND ITEM	WIND VALUE	Notes
BASIC WIND SPEED (ult)	144 mph	ASCE 7-16
WIND EXPOSURE	B (URBAN/SUBURBAN)	ASCE 7-16
TOPOGRAPHIC FACTOR	1.0	ASCE 7-16
ENCLOSURE FACTOR	ENCLOSED	ASCE 7-16
ROOF SHEATHING - FIELD	-25 TO -30 PSF	
ROOF SHEATHING - EDGE	-35 TO -45 PSF	
ROOF SHEATHING - CORNER	-50 TO -60 PSF (or more if small area)	
WALL SHEATHING - WINDWARD	+20 TO +25 PSF	
WALL SHEATHING - LEEWARD	-15 TO -20 PSF	
FASCIA / SOFFIT / CORNERS	-25 TO -35 PSF	
SMALL CLADDING	-65 TO -80 PSF	
WINDOW/DOOR FIELD > 10 SF	-30 TO -45 PSF (Uplift)	
WINDOW/DOOR EDGE ≤ 10 SF	-45 TO -60 PSF	
WINDOW/DOOR CORNER ≤ 1 SF	-60 TO -80 PSF	
WINDWARD FACE (POSITIVE PRESSURE)	+15 TO +25 PSF	

**00 Zoning Schedule**

Zoning Item	Zoning Information	Zoning Compliance
Municipal Address	7822 Hickory St. New Orleans, LA 70118	
District	Seventh	
Square	222	
Lot	6	
Zoning District	HU-R2 (Historic Urban Two-Family Residential District)	Existing
Proposed Use	Single-Family Residence	Permitted Use
Lot Area	3600 SF	3600 SF
Lot Width	Minimum 30 ft (HU-R2 standard)	30' Provided
Lot Depth	No minimum (HU-R2 standard)	120' Provided
Building Height	Max. 35 ft / 2.5 stories	30' / 2 Stories
Front Yard Setback	Established by prevailing setback (contextual block face rule)	Existing - No change
Side Yard Setback	Minimum 3 ft (each side)	3' and 6'
Rear Yard Setback	Minimum 20% of lot depth, not less than 15 ft	20' Provided
Open Space Requirement	30% minimum of lot area	
Lot Coverage	Max. 70%	
Parking Requirement	1 space per dwelling unit	1 space provided
Demolition	Requires approval	Limited to rear portion for addition
HDL Review	Carrollton Historic District	Partial Control
Overlay Districts	University Area Off-Street Parking Overlay District Commercial Short Term Rental Interim Zoning District University Area Design Overlay	
	Non-Commercial Short Term Rental Special Exception Interim Zoning District	
	Customary Lodging Services Staffing Interim Zoning District	

**LOCATION MAP / ZONING: HU-RD2**



# SINGLE FAMILY RESIDENTIAL RENOVATION

7822 HICKORY ST  
 NEW ORLEANS, LA 70118

**DRAWING LIST:**

- A001 COVER SHEET AND NOTES
- A050 SITE PLAN AND DEMO PLAN
- A101 NEW PLAN - 1ST AND 2ND FLOOR
- A161 ROOF PLAN AND DETAILS
- A451 NEW EXTERIOR ELEVATIONS
- A452 NEW EXTERIOR ELEVATIONS
- A500 GENERAL SECTIONS
- A501 SPECIFICATIONS AND WALL SECTION
- S1 FOUNDATION AND FRAMING PLAN
- S2 FRAMING PLAN

**SINGLE FAMILY RESIDENTIAL**

**RENOVATION**

7822 HICKORY ST  
 NEW ORLEANS, LA 70118

PAUL DUFOUR



SEAL 1-2-26

**STATEMENT:**  
 THIS DOCUMENT HAS BEEN PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE REQUIREMENTS OF THE APPLICABLE BUILDING CODES HAVE BEEN MET. I WILL NOT PERFORM PERIODIC OBSERVATIONS DURING THE COURSE OF CONSTRUCTION WHICH IS DESCRIBED BY THIS DRAWING.

**DOCUMENT OWNERSHIP:** THESE DOCUMENTS AND THE IDEAS AND DESIGNS USED HEREIN ARE THE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE THE PROPERTY OF SCOTT J. WELTY. NO USE OF ANY PART OF THESE DOCUMENTS IS AUTHORIZED WITHOUT THE WRITTEN PERMISSION OF SCOTT J. WELTY.

**ARCHITECTURAL SERVICES PROVIDED:** DO NOT GUARANTEE COMPETENCE OF THE CONTRACTOR BUILDING THE PROJECT. SCOTT J. WELTY ACCEPTS NO LIABILITY FOR THE METHODS USED BY THE CONTRACTOR, NOR ASSUMES RESPONSIBILITY FOR JOB SAFETY AS REQUIRED BY THE LAW AND REGULATIONS.

SIGNED: *Scott J. Welty*  
 DATE: 1-2-26

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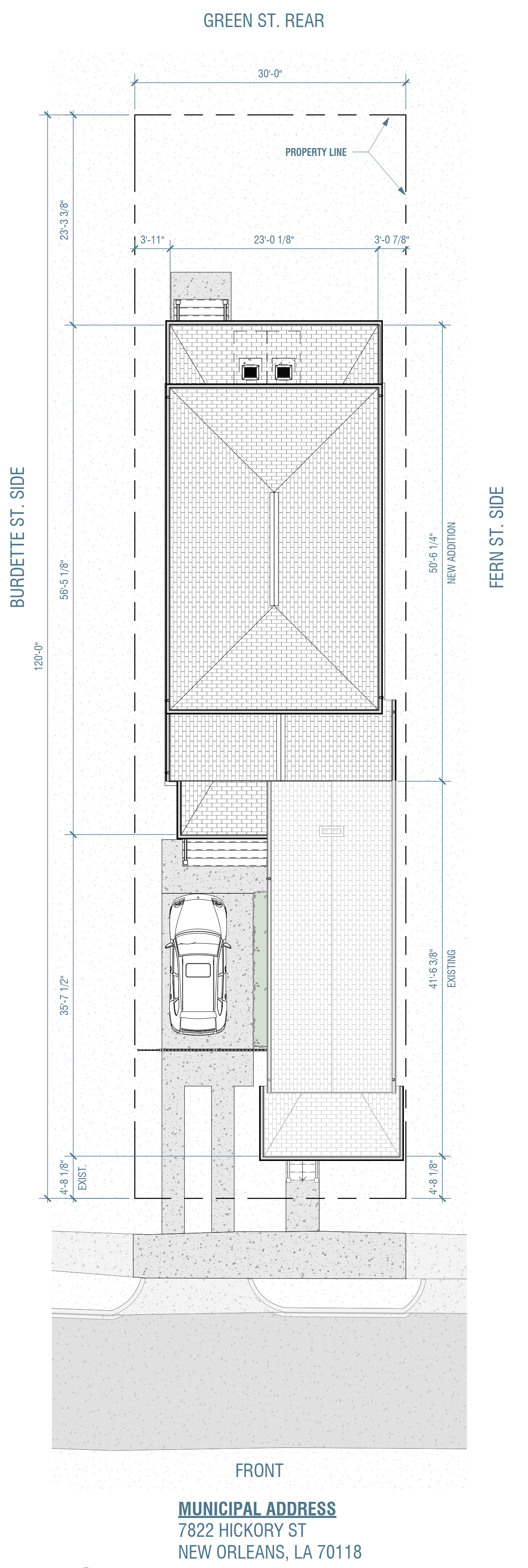
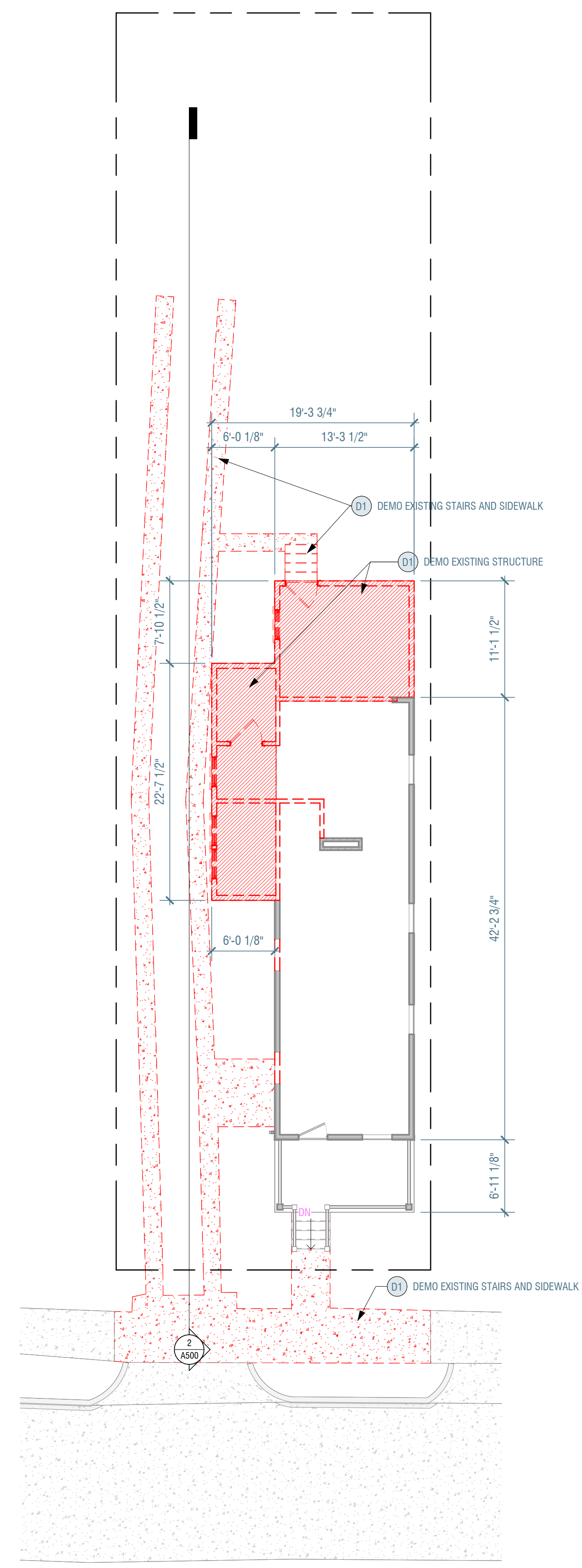
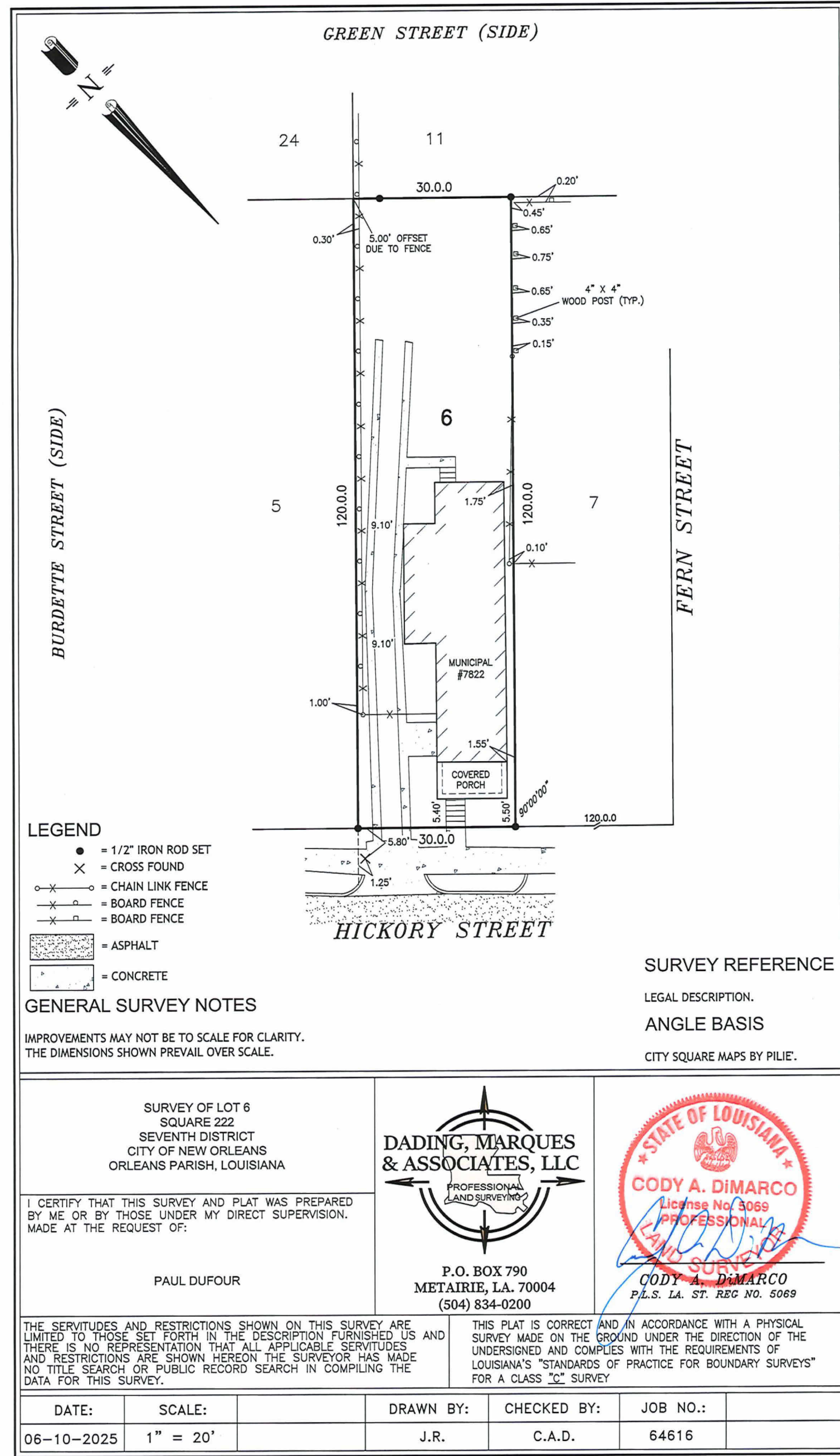
WA PROJECT NO:	25-016
PROJECT ISSUE DATE:	11-7-25
REV. #	REVISION DESCRIPTION DATE

SHEET TITLE:  
**COVER SHEET AND NOTES**

DRAWN BY: SJW

**A001**

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2 LEVEL 1 DEMOLITION FLOOR PLAN  
1/8" = 1'-0"

1 00 SITE  
1/8" = 1'-0"

SINGLE FAMILY RESIDENTIAL

RENOVATION

7822 HICKORY ST  
NEW ORLEANS, LA 70118

PAUL DUFOUR



**DEMO NOTES**

NO.	DESCRIPTION	Count
D1	DEMO EXISTING STAIRS AND SIDEWALK	2
D1	DEMO EXISTING STRUCTURE	1

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WA PROJECT NO:	25-016
PROJECT ISSUE DATE:	11-7-25
REV. #	REVISION DESCRIPTION DATE

SHEET TITLE:  
**SITE PLAN AND DEMO PLAN**

DRAWN BY: SJW

**A050**

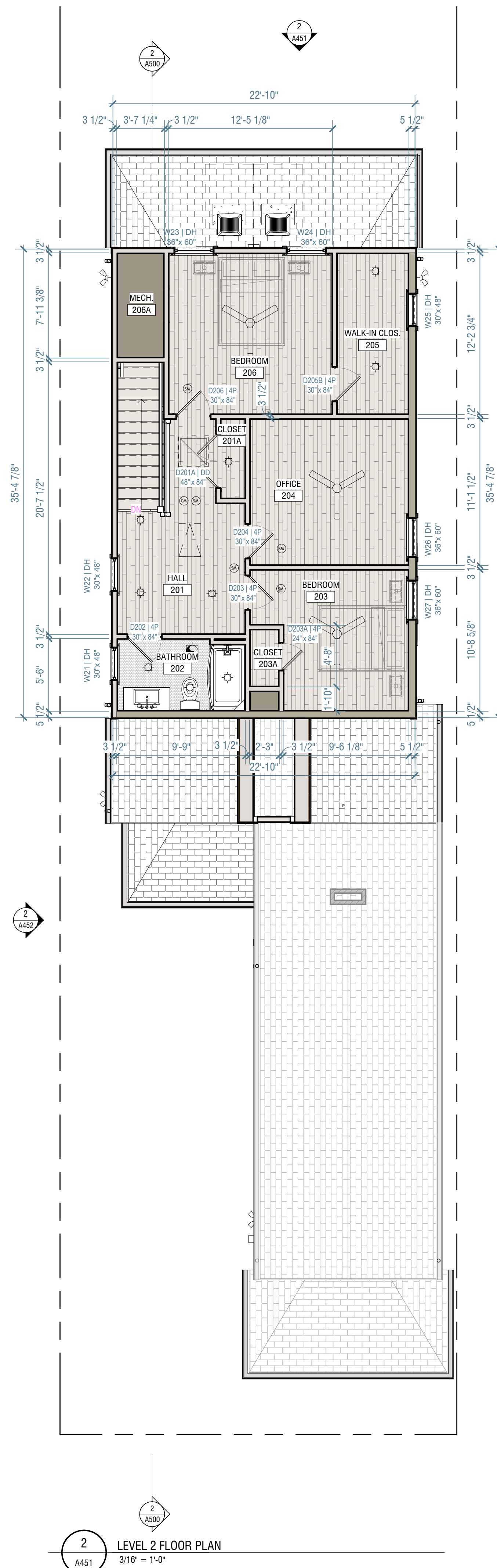


SEAL 1-2-26

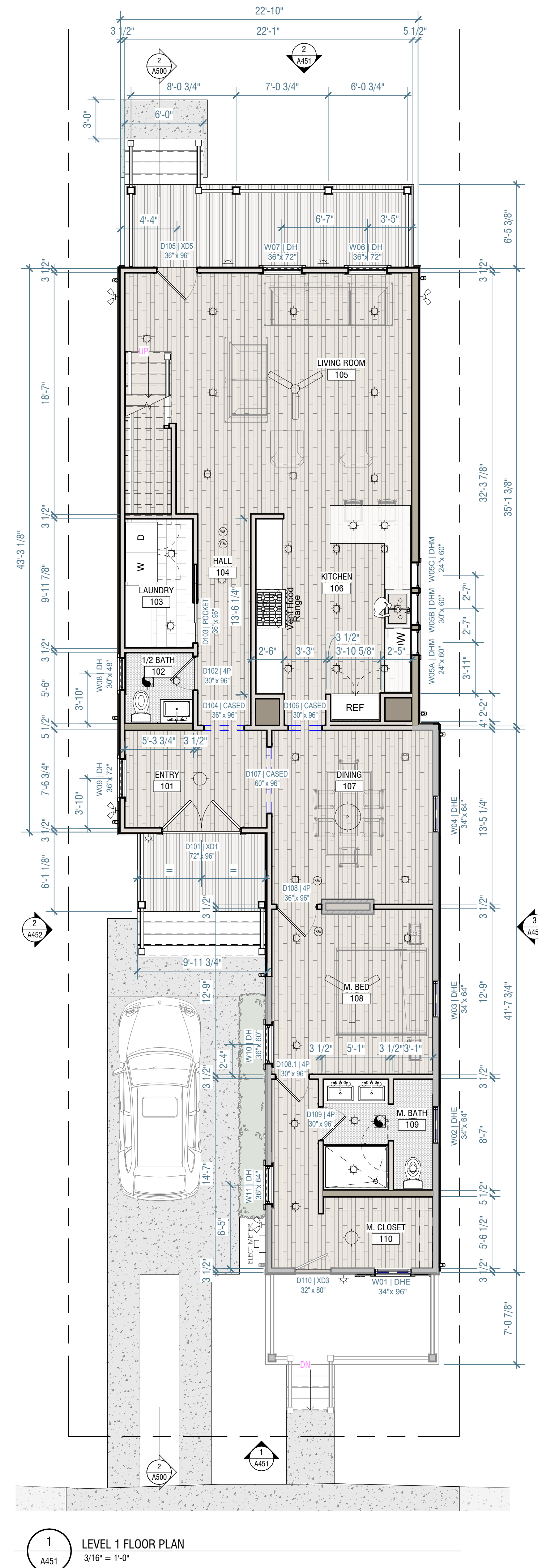
ROOMS SCHEDULE									
ROOM NUMBER	ROOM NAME	AREA	PERIMETER	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT	COMMENTS
101	ENTRY	81 SF	38'-9"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	
102	1/2 BATH	28 SF	21'-3"	CT-1	WD-5	GYP.BD PNT	GYP. BD.	11'-0"	
103	LAUNDRY	52 SF	30'-3"	CT-2	WD-5	GYP.BD PNT	GYP. BD.	11'-0"	
104	HALL	61 SF	38'-3"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	
105	LIVING ROOM	419 SF	110'-7"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	
106	KITCHEN	167 SF	58'-2"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	CABINETS AND COUNTER DELEGATED DESIGN
107	DINING	163 SF	51'-11"	WD-1	WD-8	GYP.BD PNT	EXIST. WOOD	11'-0"	RECLAIMED WOOD CEILING
108	M. BED	155 SF	50'-6"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	
109	M. BATH	69 SF	45'-2"	CT-1	WD-5	GYP.BD PNT   CT-3	GYP. BD.	11'-0"	
110	M. CLOSET	99 SF	56'-3"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	11'-0"	
201	HALL	156 SF	60'-5"	WD-1	WD-8	GYP.BD PNT	GYP. BD.	9'-0"	
201A	CLOSET	11 SF	15'-8"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
202	BATHROOM	51 SF	30'-2"	CT-1	WD-5	GYP.BD PNT   CT-3	GYP. BD.	9'-0"	
203	BEDROOM	111 SF	45'-3"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
203A	CLOSET	9 SF	12'-11"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
204	OFFICE	132 SF	46'-0"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
204A	CLOSET	Redundant Room	Redundant Room	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
205	WALK-IN CLOS.	65 SF	35'-1"	CT-1	WD-5	GYP.BD PNT   CT-3	GYP. BD.	9'-0"	
206	BEDROOM	150 SF	49'-0"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	
206A	MECH.	26 SF	22'-9"	WD-1	WD-5	GYP.BD PNT	GYP. BD.	9'-0"	

DOOR SCHEDULE										
NO.	TYPE	WIDTH	HEIGHT	DOOR MATERIAL	GLAZING	DOOR FINISH	FRAME MATERIAL	Hardware	Handing LH RH	Comments
01 LEVEL										
D101	XD1	72"	96"	WD	1/4" TEMP	--	COMPOSITE	ENTRY	DBL IN	
D102	4P	30"	96"	--	--	--	WD	PRIVACY	RH	
D103	POCKET	36"	96"	SCW	--	--	WD	PASSAGE	POCKET	POCKET DOOR FRAME
D104	CASED	36"	96"	--	--	--	WD	--	--	
D105	XD5	36"	96"	WD	1/4" TEMP	--	COMPOSITE	ENTRY	DBL IN	
D106	CASED	30"	96"	--	--	--	WD	--	--	
D107	CASED	60"	96"	--	--	--	WD	--	--	
D108	4P	36"	96"	SCW	--	--	WD	PRIVACY	RH	
D108.1	4P	30"	96"	SCW	--	--	WD	PASSAGE	RH	
D109	4P	30"	96"	SCW	--	--	WD	PRIVACY	RH	
D110	XD3	32"	80"	WD	1/4" TEMP	--	WD	ENTRY	LH	
02 LEVEL										
D201A	DD	48"	84"	SCW	--	--	WD	DUMMY	DBL OUT	
D202	4P	30"	84"	SCW	--	--	WD	PRIVACY	RH	
D203	4P	30"	84"	SCW	--	--	WD	PRIVACY	LH	
D203A	4P	24"	84"	SCW	--	--	WD	DUMMY	RH	
D204	4P	30"	84"	SCW	--	--	WD	PRIVACY	RH	
D204A	DD	48"	84"	SCW	--	--	WD	DUMMY	DBL OUT	
D205A	4P	30"	84"	SCW	--	--	WD	PRIVACY	LH	
D205B	4P	30"	84"	SCW	--	--	WD	PRIVACY	RH	
D206	4P	30"	84"	SCW	--	--	WD	PRIVACY	LH	
D206A	4P	30"	84"	SCW	--	--	WD	CLOSET	LH	

WINDOWS SCHEDULE					
Mark	TYPE	ROOM	TYPE	SIZE (w x h)	REMARKS
01 LEVEL					
01	DHE	M. CLOSET	DOUBLE-HUNG	34" x 96"	EXISTING TO BE REPAIRED
02	DHE	M. BATH	DOUBLE-HUNG	34" x 64"	CONFIRM SIZE IN FIELD. TEMPERED
03	DHE	M. BED	DOUBLE-HUNG	34" x 64"	CONFIRM SIZE IN FIELD. EGRESS WINDOW
04	DHE	DINING	DOUBLE-HUNG	34" x 64"	CONFIRM SIZE IN FIELD
05A	DHM	KITCHEN	DOUBLE-HUNG	24" x 60"	
05B	DHM	KITCHEN	DOUBLE-HUNG	30" x 60"	
05C	DHM	KITCHEN	DOUBLE-HUNG	24" x 60"	
06	DH	LIVING ROOM	DOUBLE-HUNG	36" x 72"	
07	DH	LIVING ROOM	DOUBLE-HUNG	36" x 72"	
08	DH	1/2 BATH	DOUBLE-HUNG	30" x 48"	
09	DH	ENTRY	DOUBLE-HUNG	36" x 72"	
10	DH	M. BED	DOUBLE-HUNG	36" x 60"	EGRESS WINDOW
11	DH	M. CLOSET	DOUBLE-HUNG	36" x 64"	
02 LEVEL					
21	DH	BATHROOM	DOUBLE-HUNG	30" x 48"	TEMPERED GLAZING
22	DH	HALL	DOUBLE-HUNG	30" x 48"	TEMPERED GLAZING
23	DH	BEDROOM	DOUBLE-HUNG	36" x 60"	EGRESS WINDOW
24	DH	BEDROOM	DOUBLE-HUNG	36" x 60"	EGRESS WINDOW
25	DH	WALK-IN CLOS.	DOUBLE-HUNG	30" x 48"	TEMPERED GLAZING
26	DH	OFFICE	DOUBLE-HUNG	36" x 60"	EGRESS WINDOW
27	DH	BEDROOM	DOUBLE-HUNG	36" x 60"	EGRESS WINDOW



2 LEVEL 2 FLOOR PLAN  
3/16" = 1'-0"



1 LEVEL 1 FLOOR PLAN  
3/16" = 1'-0"

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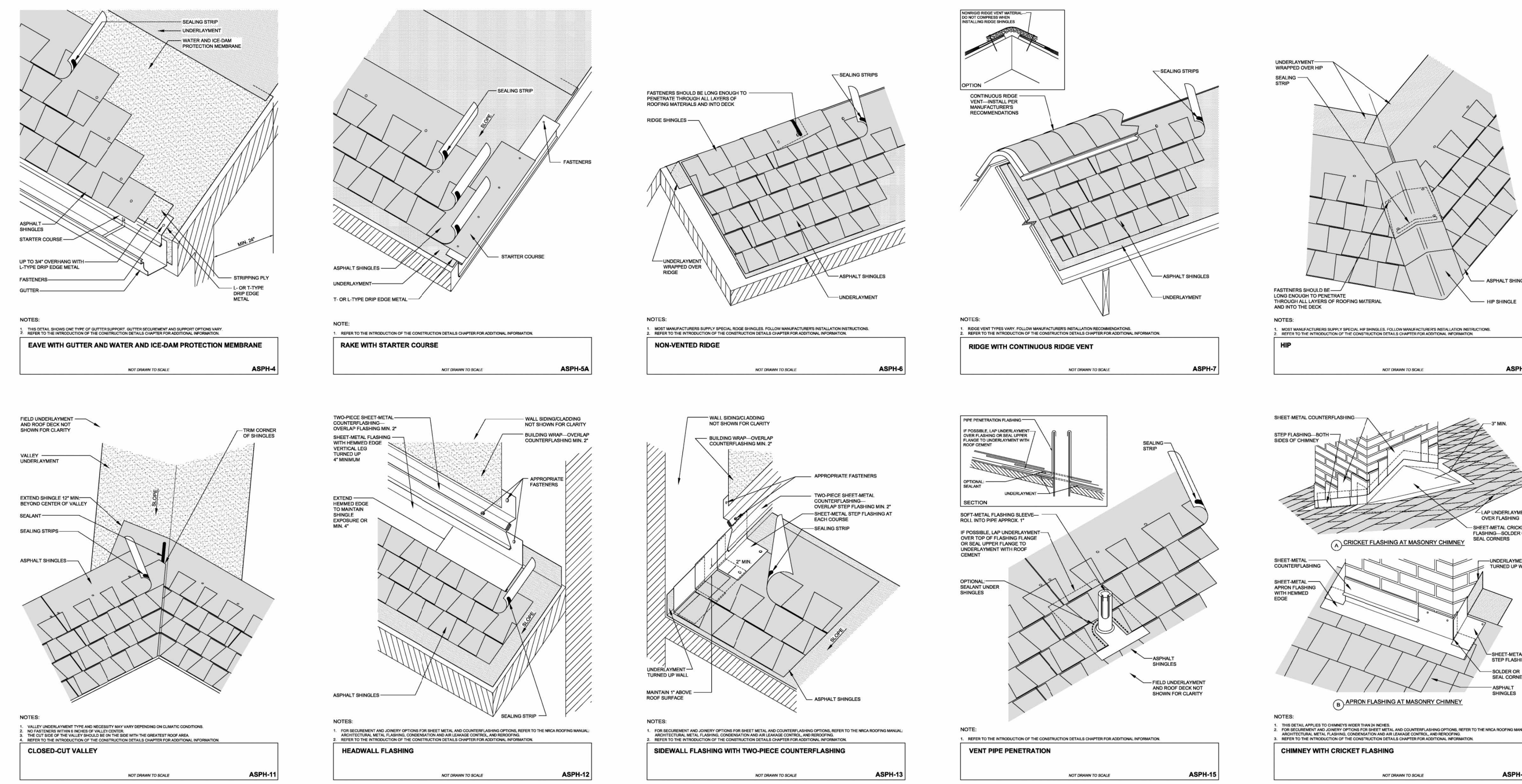
WA PROJECT NO:	25-016	
PROJECT ISSUE DATE:	11-7-25	
REV. #	REVISION DESCRIPTION	DATE
1	PRICING SET	06-13-25

SHEET TITLE:  
NEW PLAN - 1ST AND 2ND FLOOR

DRAWN BY: SJW A101

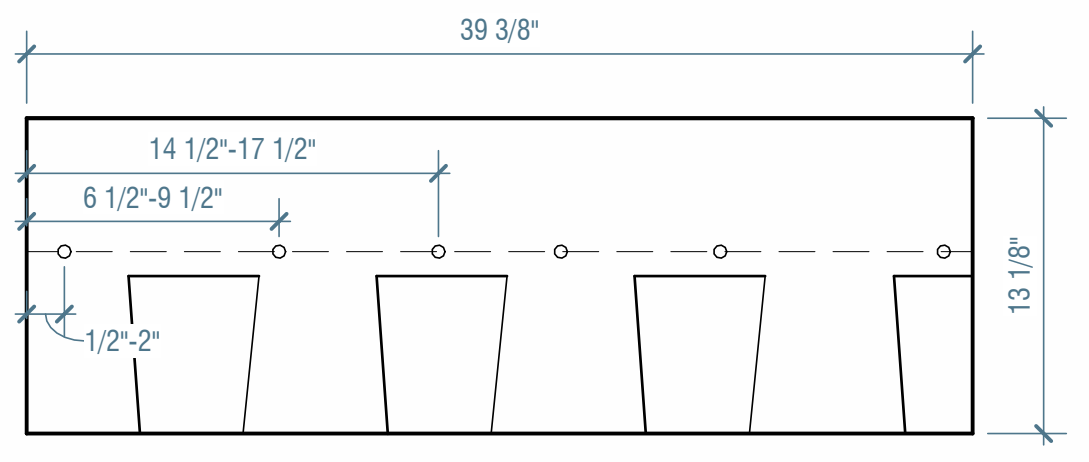
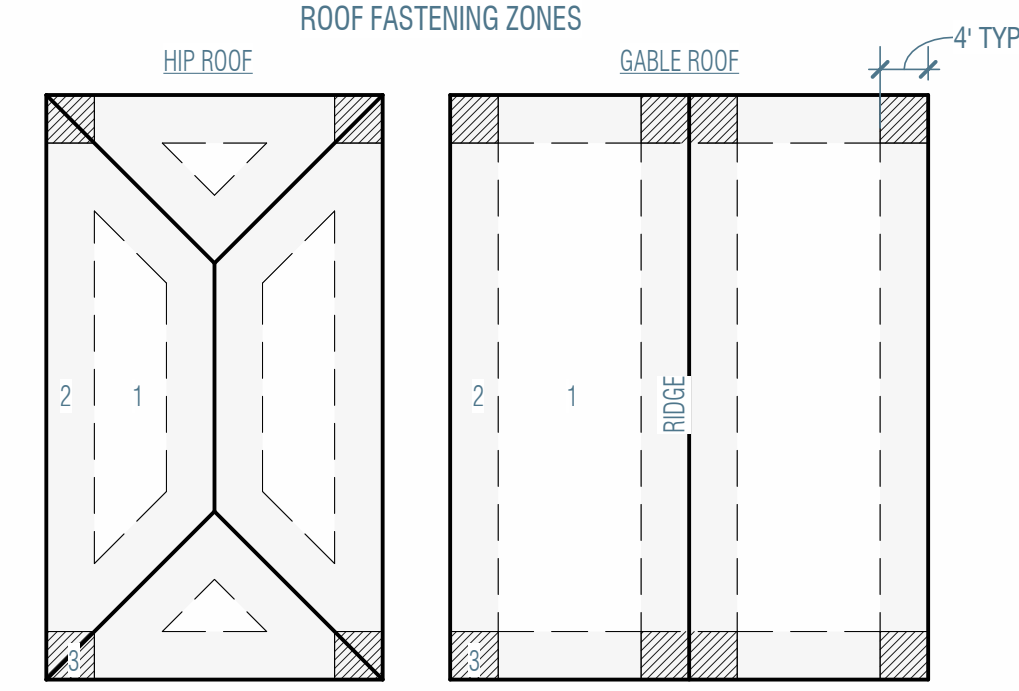


SEAL 1-2-26



WOOD STRUCTURAL PANEL ROOF SHEATHING NAILING SCHEDULE		ROOF FASTENING ZONES			
THICKNESS	NAILS	PANEL LOCATION	FASTENING SCHEDULE (INCHES ON CENTER)		
			1	2	3
1/2" OR LESS	8d x 2 1/2" RING SHANK	PANEL EDGE (a)	6	4	3
		PANEL FIELD	6	4	3
19/32" OR GREATER	8d x 2 1/2" RING SHANK	PANEL EDGE (a)	6	4	3
		PANEL FIELD	6	4	3

(a) EDGE SPACING ALSO APPLIES OVER ROOF FRAMING AT GABLE END WALLS.  
(b) THE ROOF FASTENING ZONES ARE SHOWN ON ADJACENT DETAILS.

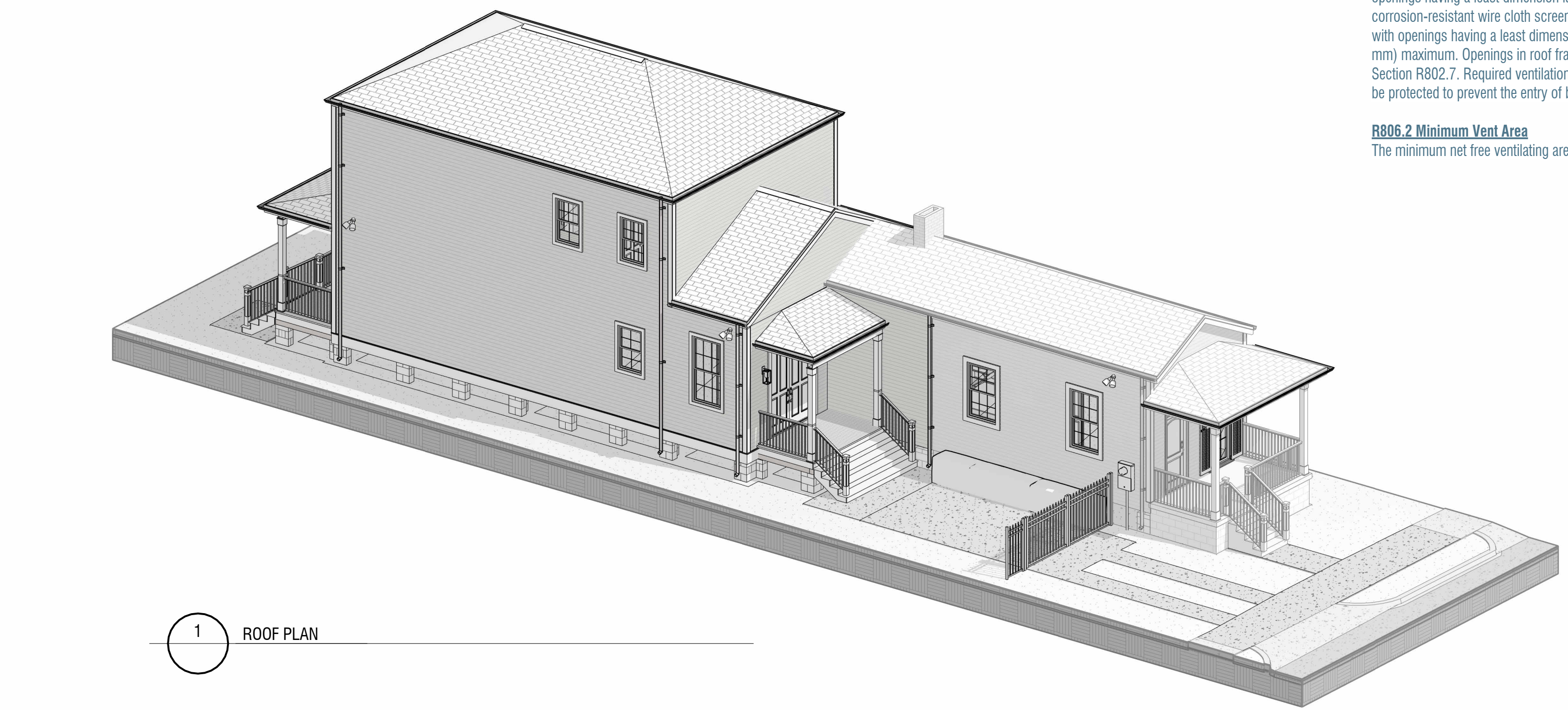


5 ROOF FASTENING ZONES  
1" = 1'-0"

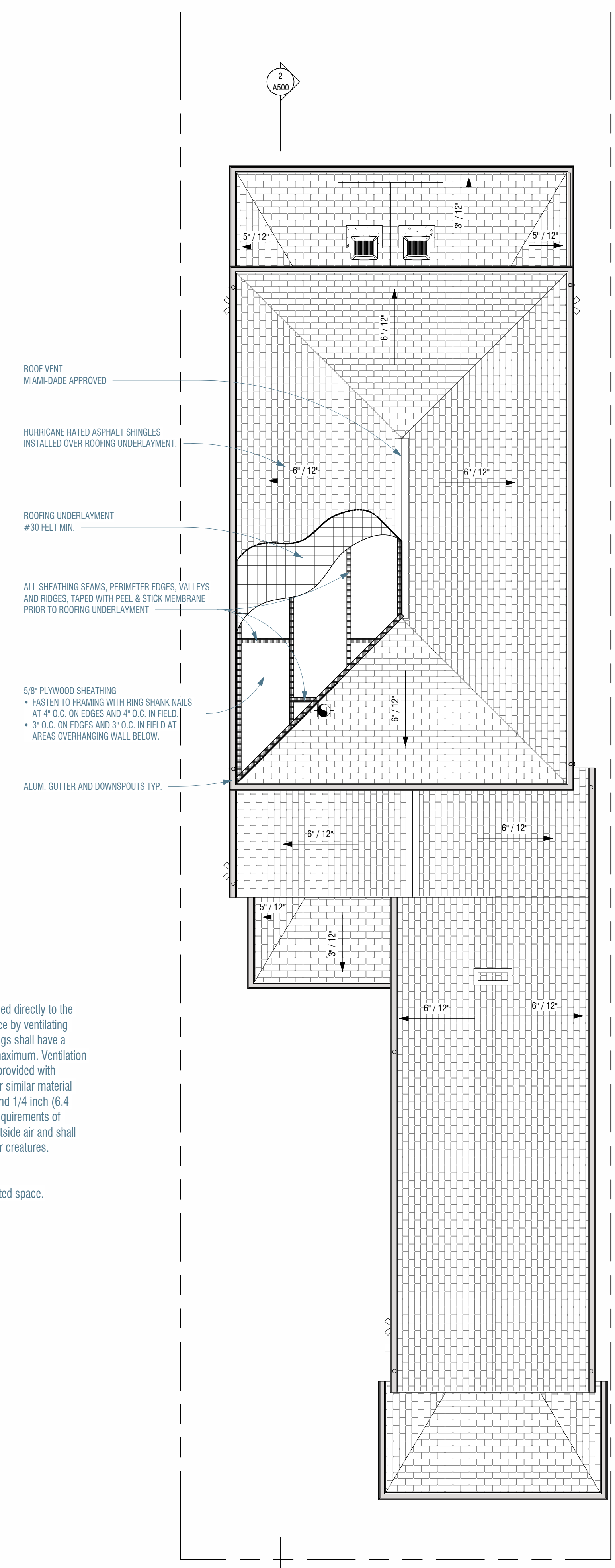
4 ENHANCED NAILING PATTERN (6 NAILS PER SHINGLE)  
1 1/2" = 1'-0"

**R806.1 Ventilation Required**  
Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, perforated vinyl or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.7. Required ventilation openings shall open directly to the outside air and shall be protected to prevent the entry of birds, rodents, snakes and other similar creatures.

**R806.2 Minimum Vent Area**  
The minimum net free ventilating area shall be 1/150 of the area of the vented space.



1 ROOF PLAN



2 NEW-Level Roof  
3/16" = 1'-0"

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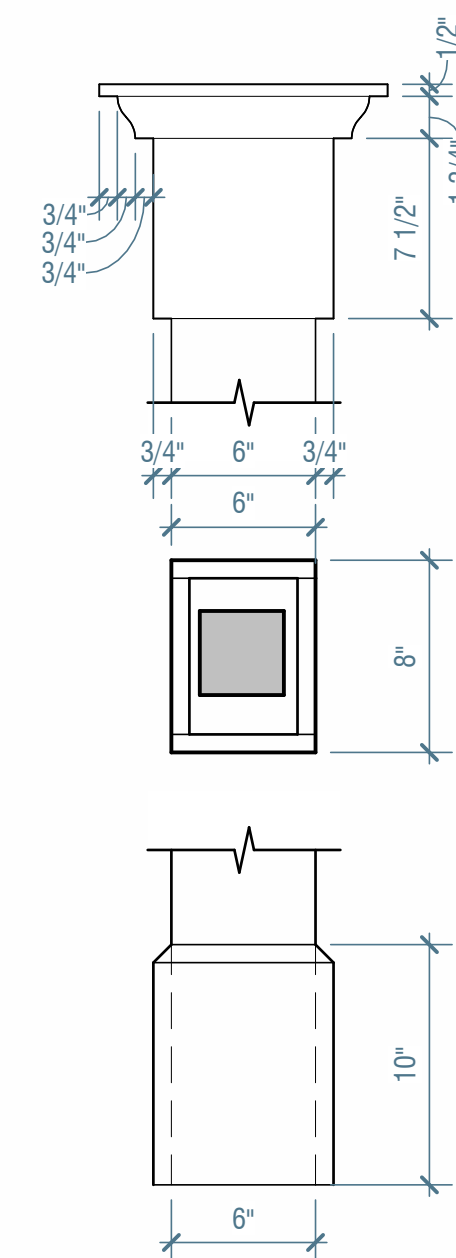
SHEET TITLE:  
ROOF PLAN AND DETAILS

DRAWN BY: SJW

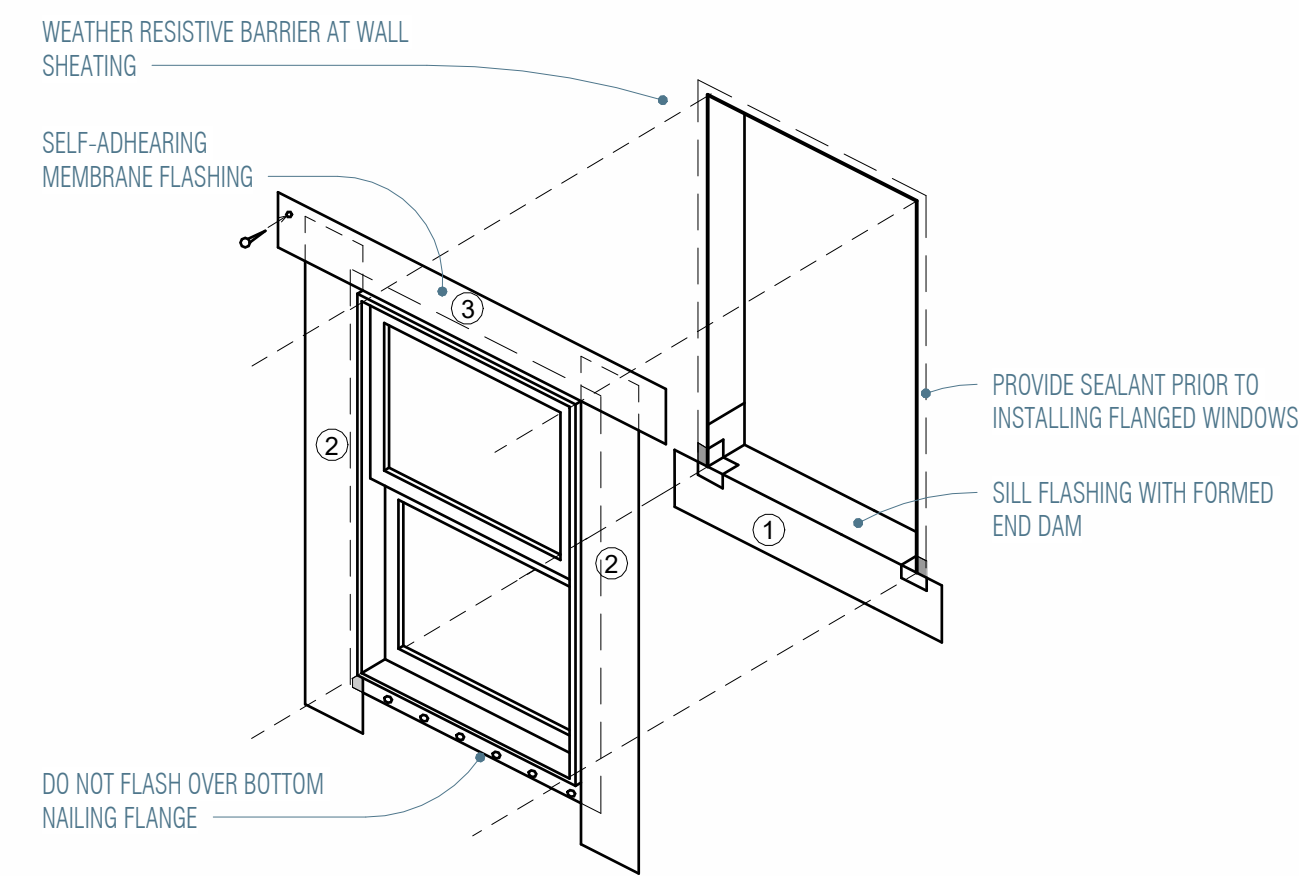
A161



SEAL 1-2-26



5 COLUMN DETAIL TYP.  
1 1/2" = 1'-0"



4 00-WINDOW FLASHING  
3" = 1'-0"

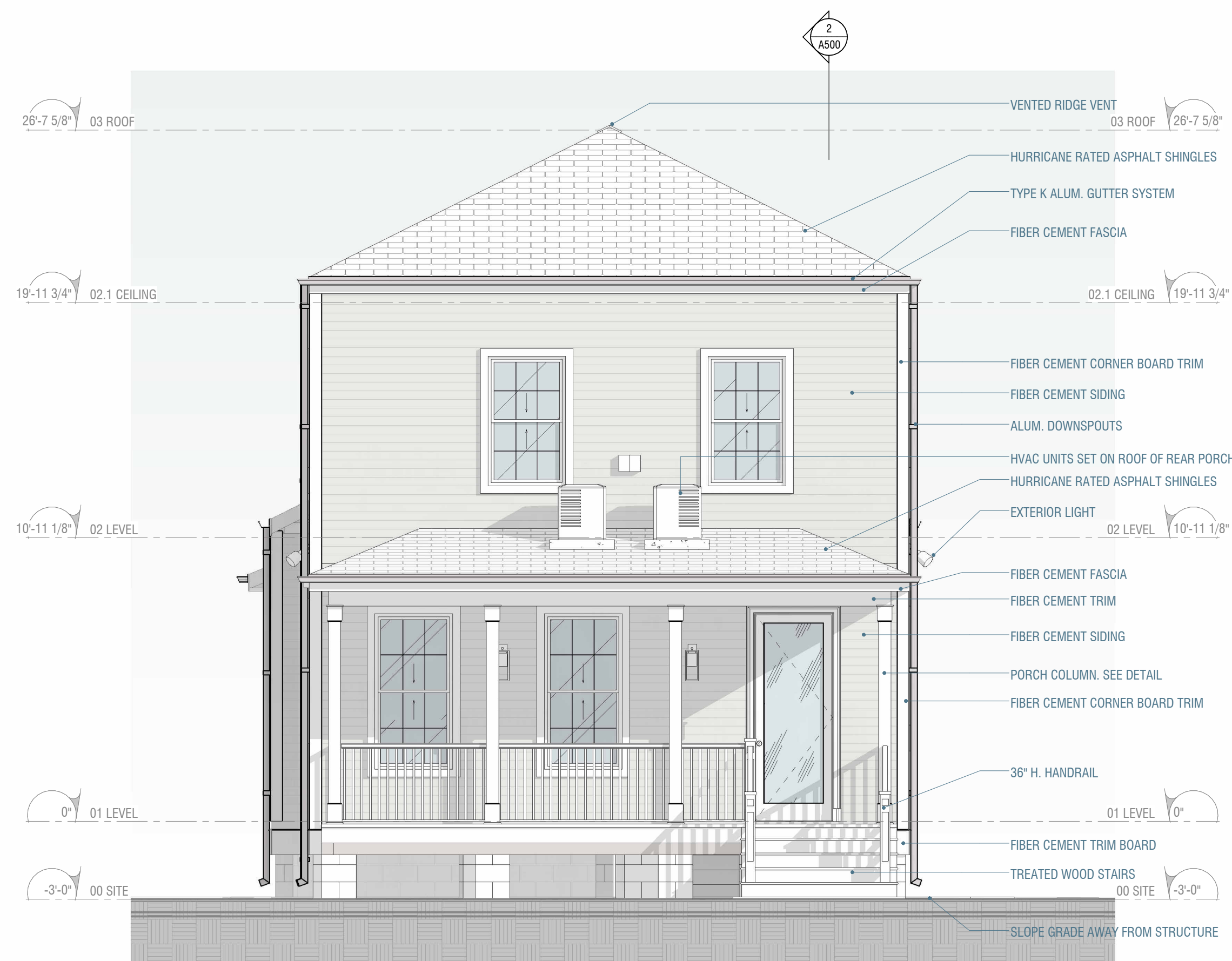
DESIGN PRESSURE RATING - 150 MPH IN ACCORDANCE WITH THE 2021 IRC			
CENTER OF WALL		CORNER OF WALL (WINDOWS LOCATED WITHIN 4 FT. OF CORNER)	
WINDOW OPENING AREA (S.F.)	150 MPH	WINDOW OPENING AREA (S.F.)	150 MPH
10	DP-35	10	DP-40
20	DP-35	20	DP-40
50	DP-30	50	DP-35
100	DP-30	100	DP-35
500	DP-25	500	DP-30

NOTE: OWNER HAS THE OPTION TO USE 7/16" PRECUT WOOD STRUCTURAL PANELS WINDOW PROTECTION IN COMPLIANCE WITH THE EXCEPTION AS DESCRIBED IN IRC 2021 R301.2.1.2

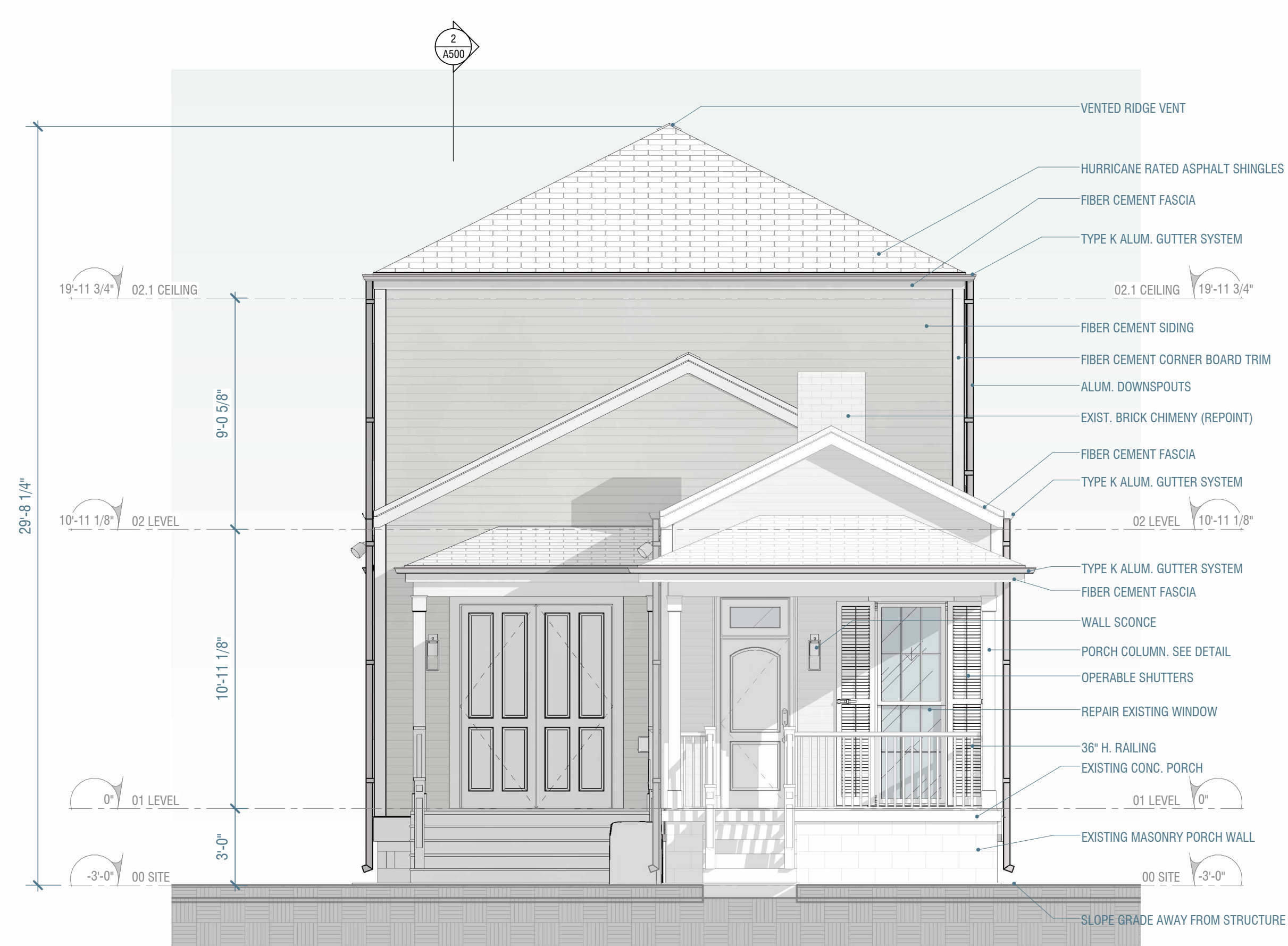
- A. THIS TABLE IS BASED ON 150 MPH WIND SPEEDS AND A MAX. 33-FOOT MEAN ROOF HEIGHT.
- B. FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF WOOD STRUCTURAL PANEL. FASTENERS SHALL BE LOCATED A MINIMUM OF 1" FROM THE EDGE OF THE PANEL.
- C. ANCHORS SHALL PENETRATE THROUGH THE EXTERIOR WALL COVERING WITH AN EMBEDMENT LENGTH OF 2 INCHES MINIMUM INTO THE BUILDING FRAME. FASTENERS SHALL BE LOCATED A MINIMUM OF 2 1/2 INCHES FROM THE EDGE OF CONCRETE BLOCK OR CONCRETE.
- D. WHERE PANELS ARE ATTACHED TO MASONRY OR MASONRY STUCCO, THEY SHALL BE ATTACHED USING VIBRATION RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 1,500 LBS.

3 00-WINDBORNE DEBRIS PROTECTION  
1 1/2" = 1'-0"

FASTENER TYPE	FASTENER SPACING (INCHES) a,b		
	PANEL SPAN <math>\leq 4</math> FT.	PANEL SPAN >4 FT. <math>\leq 6</math> FT.	PANEL SPAN >6 FT. <math>\leq 8</math> FT.
NO. 8 WOOD SCREW BASED ANCHOR WITH 2-IN EMBED LENGTH	16"	10"	8"
NO. 10 WOOD SCREW BASED ANCHOR WITH 2-IN EMBED LENGTH	16"	12"	9"
1/4" LAG SCREW BASED ANCHOR WITH 2-IN EMBED LENGTH	16"	16"	16"



2 ELEVATION REAR  
1/4" = 1'-0"



1 NEW SOUTH ELEVATION  
1/4" = 1'-0"

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WA PROJECT NO:	25-016	
PROJECT ISSUE DATE:	11-7-25	
REV. #	REVISION DESCRIPTION	DATE
1	PRICING SET	06-13-25

SHEET TITLE:  
NEW EXTERIOR ELEVATIONS

DRAWN BY: SJW

A451



SEAL 1-2-26



3 ELEVATION RIGHT SIDE  
1/4" = 1'-0"



2 ELEVATION LEFT SIDE  
1/4" = 1'-0"

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NEW EXTERIOR ELEVATIONS

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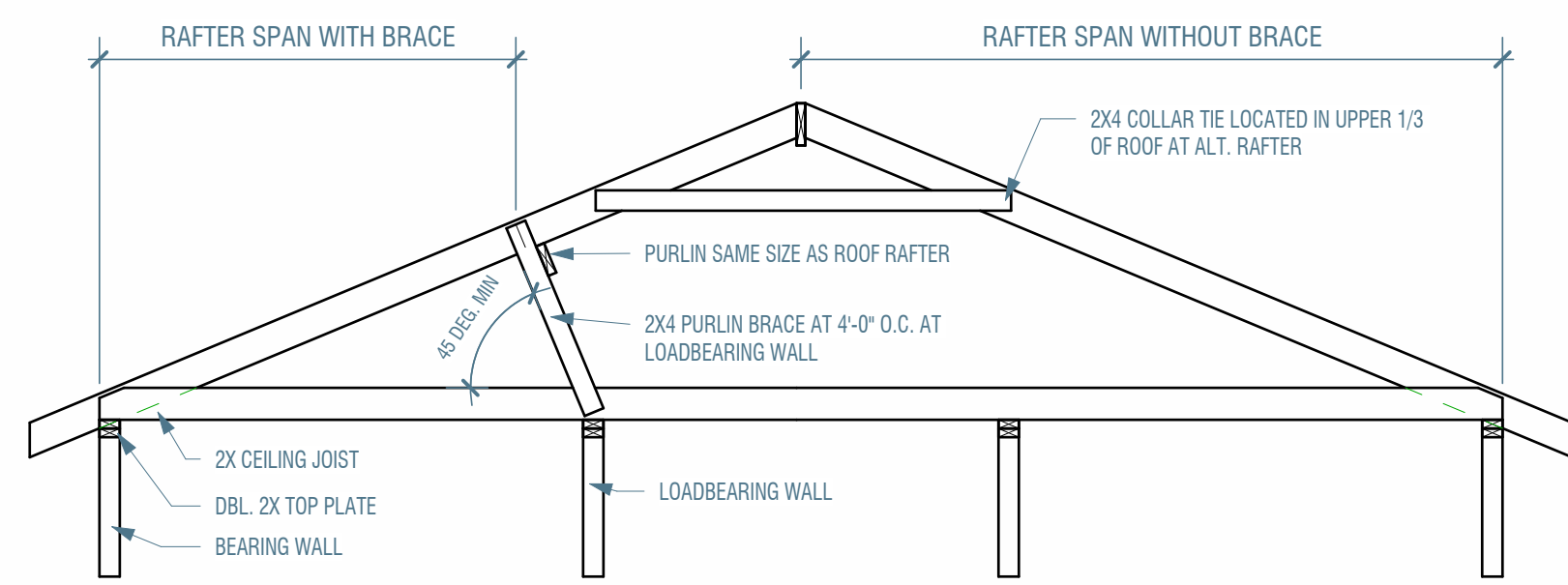
A452



SEAL 1-2-26

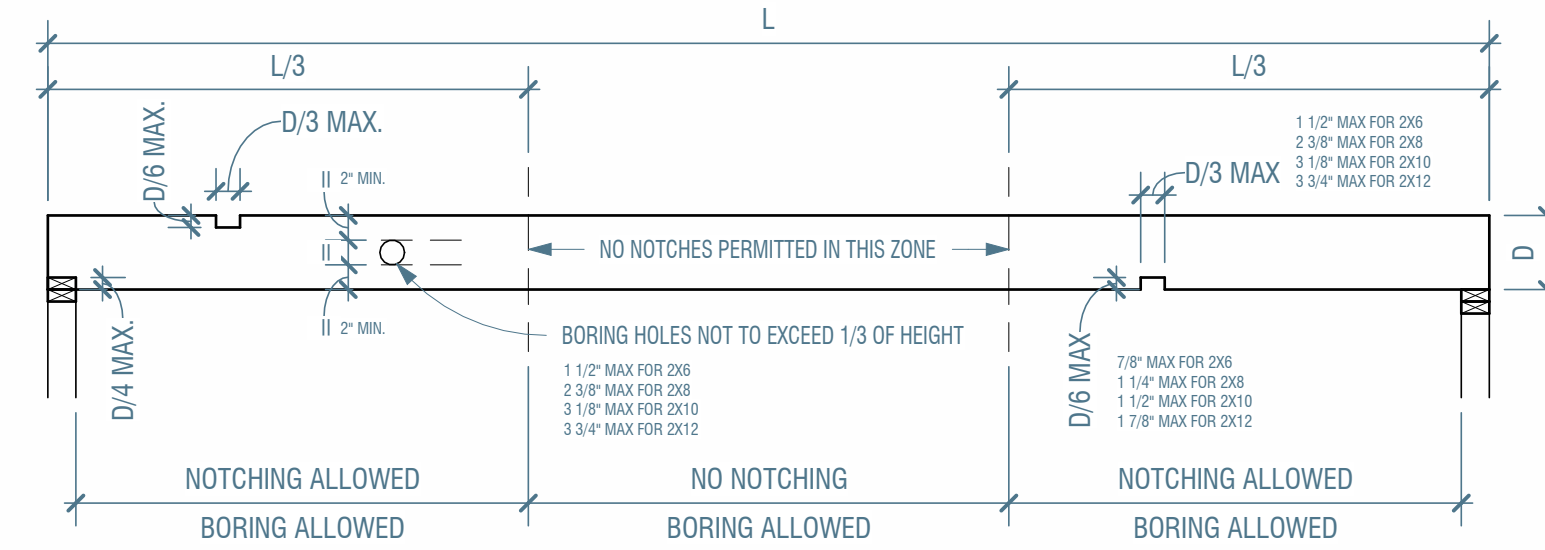
DETAIL NOTES

NO.	DESCRIPTION	Count
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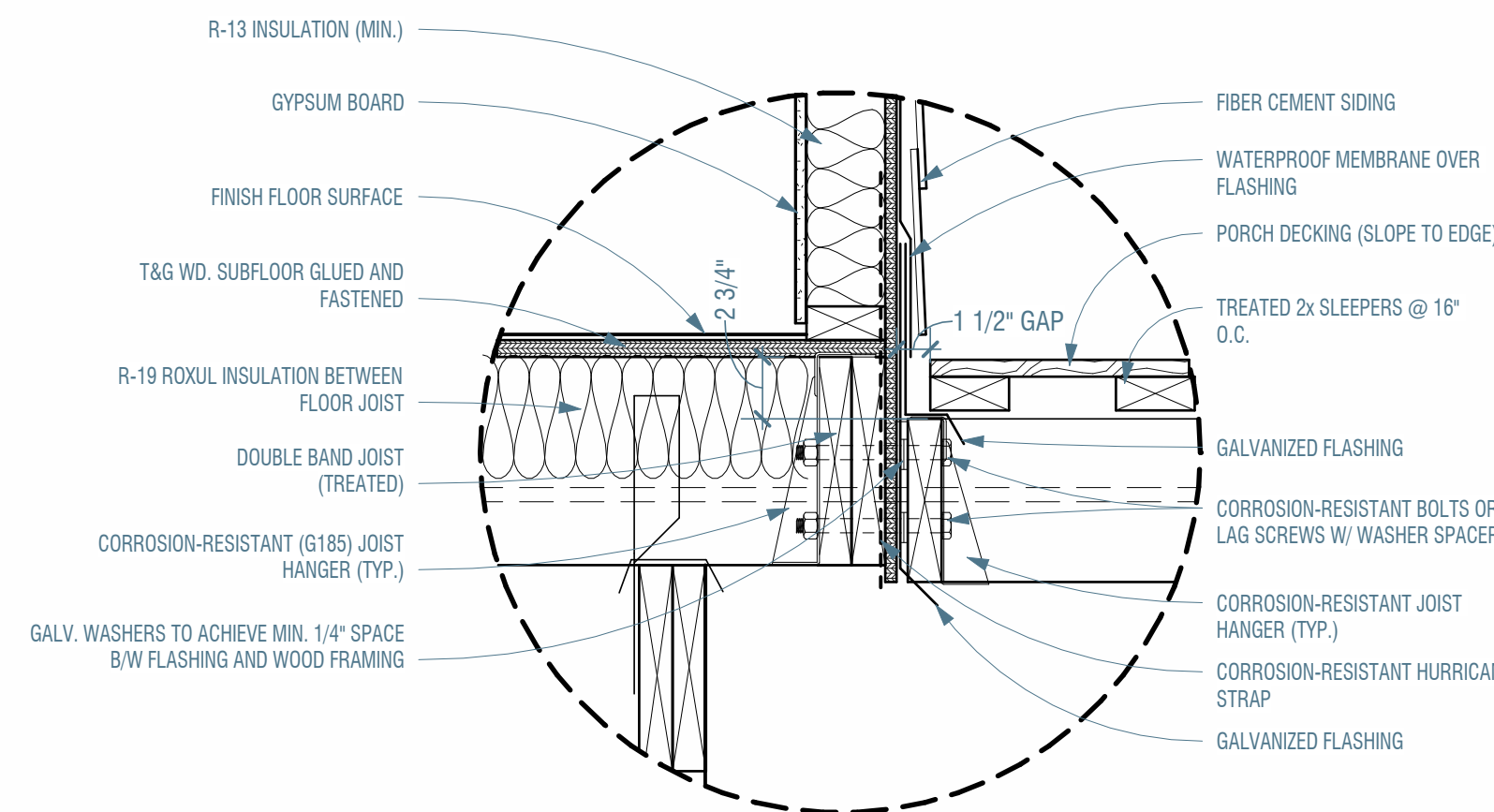
4 ROOF RAFTER DETAILS

3/8" = 1'-0"



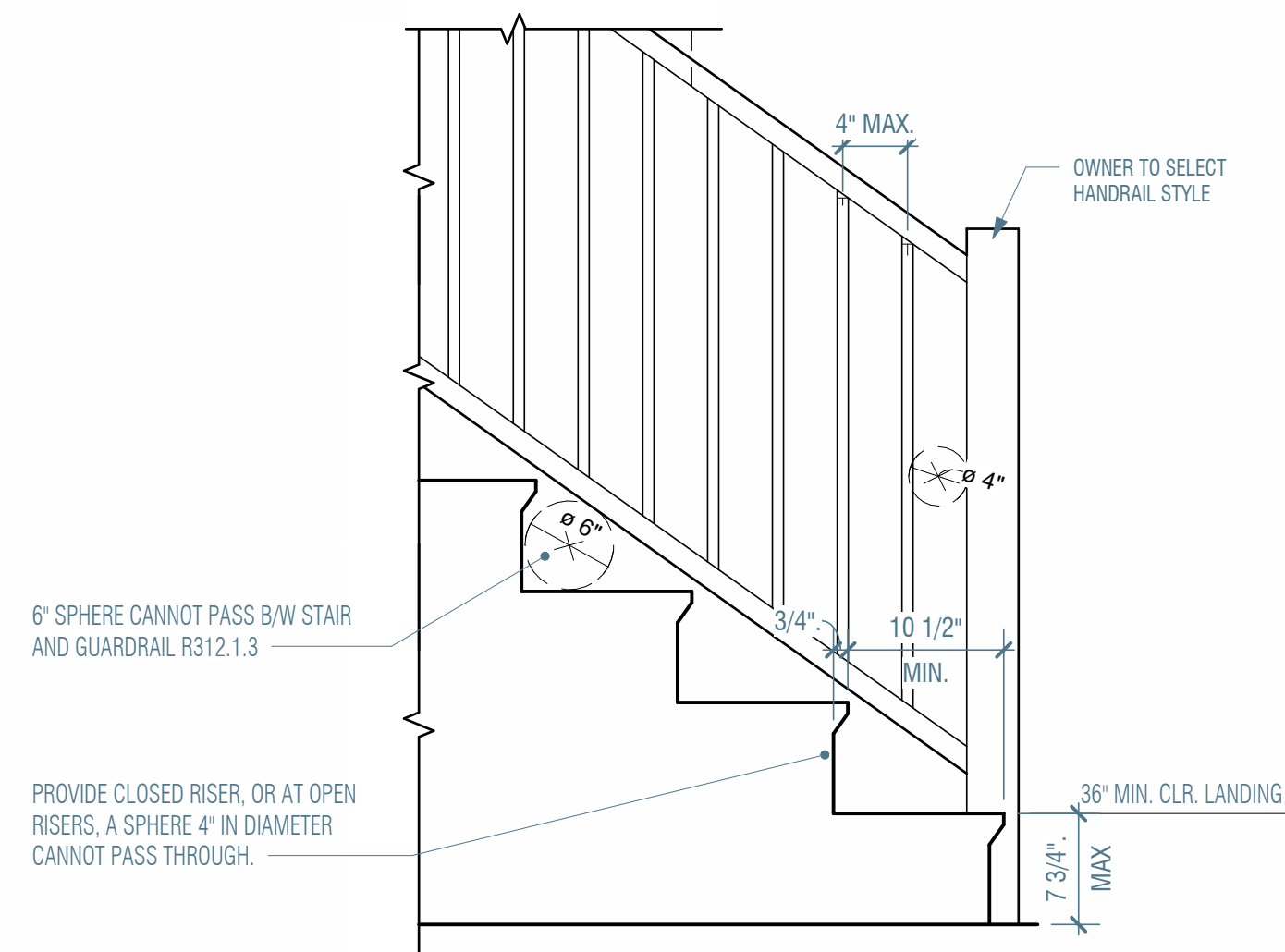
6 ALLOWABLE NOTCHING AND BORING FOR JOIST AND RAFTERS

1/2" = 1'-0"



3 FLOOR TO PORCH DETAIL

1 1/2" = 1'-0"



5 00-TYPICAL STAIR SECTION

1" = 1'-0"



1 Section 1

1/4" = 1'-0"



2 GENERAL SECTION 1

1/4" = 1'-0"

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REV. #	REVISION DESCRIPTION	DATE
1	PRICING SET	06-13-25

SHEET TITLE:  
GENERAL SECTIONS

DRAWN BY: SJW

A500



SEAL 1-2-26

**GENERAL NOTES**

- MECHANICAL, ELECTRICAL AND PLUMBING WORK REQUIRED OF THIS PERMIT APPLICATION TO BE PERFORMED BY SUBCONTRACTORS LICENSED IN THE STATE AND PARISH IN WHICH WORK IS BEING PERFORMED.
- SUBCONTRACTORS SHALL PROVIDE CERTIFICATION OF GENERAL LIABILITY INSURANCE AND WORKMANS COMPENSATION COVERAGE, AS REQUIRED BY THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY BUILDING SCIENCE CORPORATION OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE.
- THE MANUFACTURERS, PRODUCTS AND EQUIPMENT LISTED ESTABLISH PERFORMANCE REQUIREMENTS. SUBSTITUTIONS OF EQUAL PERFORMANCE MAY BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS.
- SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

**CONSTRUCTION NOTES AND REQUIREMENTS**

- ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF FIRST FIVE PILING BLOW COUNTS FOR REVIEW. FAILURE TO DO SO SHALL RELIEVE THE ARCHITECT AND ENGINEER OF ANY FOUNDATION LIABILITY.
- ARCHITECT WILL NOT BE PERFORMING ANY CONSTRUCTION ADMINISTRATION. IT IS IMPERATIVE THAT THE CONTRACTOR NOTIFY THE ARCHITECT OF ANY AND ALL DEVIATIONS FROM THESE PLANS. FAILURE TO DO SO MAY COMPROMISE THE GENERAL DESIGN AND CODE REQUIREMENTS. THUS IF THE CONTRACTOR FAILS TO NOTIFY THE ARCHITECT OF ANY AND ALL DEVIATIONS, THE CONTRACTOR ASSUMES LIABILITY FOR THE CHANGE.
- ALL DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF SHEATHING AND CENTERLINE OF INTERIOR STUDS UNLESS NOTED OTHERWISE.
- MECHANICAL, ELECTRICAL AND PLUMBING WORK REQUIRED OF THIS PERMIT APPLICATION TO BE PERFORMED BY SUBCONTRACTORS LICENSED IN THE STATE AND PARISH IN WHICH WORK IS BEING PERFORMED.
- SUBCONTRACTORS SHALL PROVIDE CERTIFICATION OF GENERAL LIABILITY INSURANCE AND WORKMANS COMPENSATION COVERAGE, AS REQUIRED BY THE GENERAL CONTRACTOR.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE.
- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OBTAIN APPROVAL FROM THE GOVERNING BUILDING OFFICIAL BEFORE PROCEEDING WITH THE WORK.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.
- DETAILS TAKE PRECEDENCE OVER PLANS & ELEVATIONS. LARGER SCALED DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS.
- SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- THESE PLANS SHOULD BE STUDIED AND USED IN THEIR ENTIRETY AS INFORMATION VITAL TO EACH STATE OF CONSTRUCTION WILL APPEAR ON MORE THAN ONE SHEET.
- IF CONTRACTOR DISCOVERS A CONSTRUCTION DEVIATION FROM THE PLANS, IT IS CONTRACTOR'S RESPONSIBILITY TO BRING INTO COMPLIANCE WITH THE PLANS OR CONTACT THE ARCHITECT BEFORE PROCEEDING. GENERAL CONTRACTOR ASSUMES ALL LIABILITY FOR ANY DEVIATION FROM THE PLAN NOT APPROVED BY THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BY THESE DRAWINGS AND/OR SPECIFICATIONS. HE SHALL CONFIRM ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- ARCHITECT NOT RESPONSIBLE FOR EQUIPMENT OR MATERIALS NOT SPECIFIED ON THESE PLANS.
- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF STUD ON EXTERIOR WALLS AND TO CENTERLINE OF STUD ON INTERIOR WALLS, EXCEPT WHERE OTHERWISE NOTED.
- DIMENSIONS ON FOUNDATION PLANS ARE FROM FACE OF MASONRY U.N.O.
- DRAWINGS SHALL NOT BE SCALED. USE LABELED DIMENSIONS ONLY. DIMENSIONS SHOULD BE WITHIN 1/2".
- THE ARCHITECT MAKES EVERY EFFORT TO USE ONLY PRODUCTS AND TECHNIQUES RECOGNIZED AT THE TIME AS APPROPRIATE FOR THE APPLICATIONS SHOWN. HOWEVER, MANY ITEMS SHOWN ON THESE PLANS ARE IN GENERIC TERMS AND ARE LEFT TO THE OWNER'S AND/OR CONTRACTOR'S DISCRETION OR ARE SHOWN SPECIFICALLY AS REQUESTED BY THE OWNER AND/OR THE CONTRACTOR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF ANY MATERIAL OR PRODUCTS SHOWN OR ANY TECHNIQUES NOT SPECIFICALLY SHOWN ON THE PLANS.
- CONTRACTOR SHALL TAKE PRECAUTION TO MINIMIZE GROUND VIBRATIONS WHEN DRIVING PILES. CONTRACTOR SHALL OBTAIN A TESTING AGENCY TO MONITOR GROUND VIBRATIONS.

**GENERAL CIVIL NOTES:**

- LOCATION OF PROPOSED HOUSE AND PROPERTY LINE TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION.
- OBTAIN BENCHMARK CERTIFICATE PRIOR TO BUILDING PERMIT APPLICATION. OWNER/BUILDER INFORM THE ARCHITECT OF ANY DESCPENCIES PRIOR TO CONSTRUCTION.

**CIVIL NOTES:**

- DEBRIS - REMOVE DEBRIS WITHIN 2'-0" OF BUILDING.
- EXTERIOR GRADE - SLOPE GRADE 5% TO DRAIN AWAY FROM BUILDING.
- BENEATH THE FOUNDATION AND DRIVES. ALL FILL SHALL BE FREE OF TREES, ROOTS, MASONRY AND ALL OTHER DELETERIOUS MATERIAL. FILL SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS AND SHALL BE COMPACTED TO AT LEAST 90% MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AT OPTIMUM MOISTURE CONTENT.
- ALL CONCRETE SHALL BE REGULAR WEIGHT (APPROX. 150 #/C.F.) SAND AND GRAVEL CONCRETE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS AGE. CONCRETE SHALL BE MANUFACTURED, TRANSPORTED, AND PLACED IN ACCORDANCE WITH ACI-301 SPECIFICATIONS (LA TEST REVISION).
- ALL REINFORCING STEEL TO BE NEW BILLET STEEL A.S.T.M. A-615, GRADE 60. LAP BARS AT SPLICES A MINIMUM OF 45 BAR DIAMETERS.
- REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST A.C.I. SPECIFICATIONS.
- PLACE CORNER BARS EQUAL TO BEAM HORIZONTAL STEEL AT ALL INTERSECTIONS OF GRADE BEAMS AND WALLS ON OUTSIDE FACES - ONLY, TOP AND BOTTOM.
- CONCRETE BRIOQUETTES MUST BE USED TO SUPPORT REINFORCING ON FILL BRICKBATS OR OTHER POROUS MATERIALS ARE NOT ALLOWED.
- SETTLEMENT OF SLABS ON FILL. SUCH AS DRIVES OR PARKING AREAS. SHOULD BE EXPECTED.

**TERMITE PROTECTION**

- A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE ELECTRICAL PANEL. THE HOMEOWNER IS REQUIRED TO MAINTAIN TERMITE PROTECTION THROUGHOUT THE LIFE OF THE STRUCTURE.
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM THE BUILDING SIDEWALLS.
- IRRIGATION/SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDEWALLS.
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, THE FOUNDATION EDGE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTION: PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACK FILL IS COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
- MINIMUM 6 MIL. VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION, IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT. RETREATMENT IS REQUIRED.
- CONCRETE OVER POUR AND MORTAR ALONG FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALL.
- ALL RESIDENCES ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.
- A LICENSED PEST CONTROL COMPANY MUST ISSUE A CERTIFICATE OF COMPLIANCE TO THE BUILDING DEPARTMENT BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES."
- THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE LOUISIANA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
- AFTER ALL THE WORK IS COMPLETE, LOOSE WOOD AND FILL MUST BE REMOVED BELOW AND WITHIN 2'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ECT., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

**ARCHITECTURAL NOTES:**

- DROP EDGE - PROVIDE 1" DRIP EDGE ON FLASHING OVER OPENINGS IN EXTERIOR WALLS.
- WATER AND MOISTURE PROTECTION
- ALL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND/OR CAULKED AS PER CODE AND/OR INDUSTRY-RECOGNIZED PROPER CONSTRUCTION TECHNIQUES. ALL ROOF SHINGLE FLASHING AGAINST A VERTICAL SIDEWALL SHALL BE STEP FLASHING.
- ALL FLASHING SHALL BE TURNED OUT AT LOWER EDGE TO DIRECT WATER OUT OF STRUCTURE.
- ALL FLASHING SHALL BE COPPER, ALUMINUM OR PVC UNLESS NOTED OTHERWISE
- IF ANY TYPE OF LAP SIDING OTHER THAN VINYL IS USED, PROVIDE A SEALED WATERPROOF BARRIER BEHIND ANY VERTICAL OR SILL TRIM WITH BARRIER TURNED OUT AT FIRST SIDING COURSE BELOW TRIM
- IF ANY TYPE OF LAP SIDING OTHER THAN VINYL IS USED, WRAP ALL CORNERS WITH 6 MIL. POLY EXTENDING 12" HORIZONTALLY BEYOND VERTICAL JOINTS AND TURNED OUT OVER CLADDING OR FLASHING AT BOTTOM OF JOINT.
- ATTIC ACCESS - OPENING 22" x 30" MIN. WITH 30" MIN. HEAD HEIGHT OVER ACCESS.

**WOOD PROTECTION** - ALL WOOD FRAMING MEMBERS, SHEATHING AND PLYWOOD TO BE BORATE PRESSURE TREATED. WOOD STAIR STRINGERS TO BE SEPARATED FROM CONCRETE BY METAL FASTENER.

**GUARDRAIL OPENING LIMITATIONS** - REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 6 INCHES OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED GUARDRAILS SHALL BE A MAX. OF 4 INCHES AT THE NEAREST POINT BETWEEN THE MEMBERS.

**EXCEPTION:** THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6 INCHES CAN NOT PASS THROUGH

**STAIR DIMENSIONS** (ALL INTERIOR AND EXTERIOR STAIRS - REFER TO DIMENSIONS)

MAXIMUM RISER HEIGHT ..... 7 3/4"  
MINIMUM TREAD DEPTH ..... 10"  
MINIMUM NOSING ..... 3/4"  
MAXIMUM NOSING ..... 1 1/4"  
MINIMUM HEADROOM ..... 6'-8"  
MINIMUM WIDTH ..... 3'-0"

**HANDRAILS AND GUARDS**  
HANDRAIL MINIMUM HEIGHT ..... 2'-10"  
HANDRAIL MAXIMUM HEIGHT ..... 3'-2"  
GUARD MINIMUM HEIGHT ..... 3'-0"

**NOTE:** A CLEARANCE OF NOT LESS THAN 1 1/2" SHALL BE PROVIDED BETWEEN HANDRAIL AND ANY SURFACE BEHIND IT. ALL HANDRAILS MUST RETURN TO WALL, POST OR FLOOR.

**WINDOWS AND DOORS**

- ALL WINDOWS SHALL BE IMPACT RESISTANT PER ASTM E1886 & 1996
- WINDOW SIZES SHOWN ARE NOMINAL FRAME SIZES UNLESS NOTED OR SPECIFIED OTHERWISE AND MAY VARY SLIGHTLY ACCORDING TO MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET EGRESS AND TEMPERED GLASS REQUIREMENTS.
- ALL FRENCH DOORS, SLIDING GLASS DOORS, AND SHOWER ENCLOSURES AND DOORS SHALL BE TEMPERED.
- ALL GLASS IN ANY DOOR SHALL BE TEMPERED, UNLESS OTHERWISE PERMITTED BY CODE.
- WINDOWS INSTALLED IN BATH ENCLOSURES LESS THAN 60" ABOVE FLOOR SHALL HAVE SAFETY GLAZING IN ACCORDANCE WITH R-301.2.1.2 IRC 2015 EDITION.
- ALL EXTERIOR WINDOWS TO HAVE LAPPED SELF ADHERING MEMBRANE FLASHING AT HEAD AND JAMBS.
- ALL EXTERIOR WINDOW SILLS TO HAVE FORMED SUB SILL FLASHING
- ALL EXTERIOR DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY.

**BEDROOM EGRESS** - MIN. ONE WINDOW PER BEDROOM SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SF, A MIN. NET CLEAR OPENING HEIGHT OF 24", A MIN. NET CLEAR OPENING WIDTH OF 20", AND A SILL HEIGHT OF NOT MORE THAN 44" FROM THE FLOOR UNLESS OTHERWISE SPECIFIED IN WINDOW SPECIFICATION (NOT APPLICABLE IF THERE IS A DOOR WITH DIRECT ACCESS TO THE EXTERIOR ON THAT LEVEL).ZE

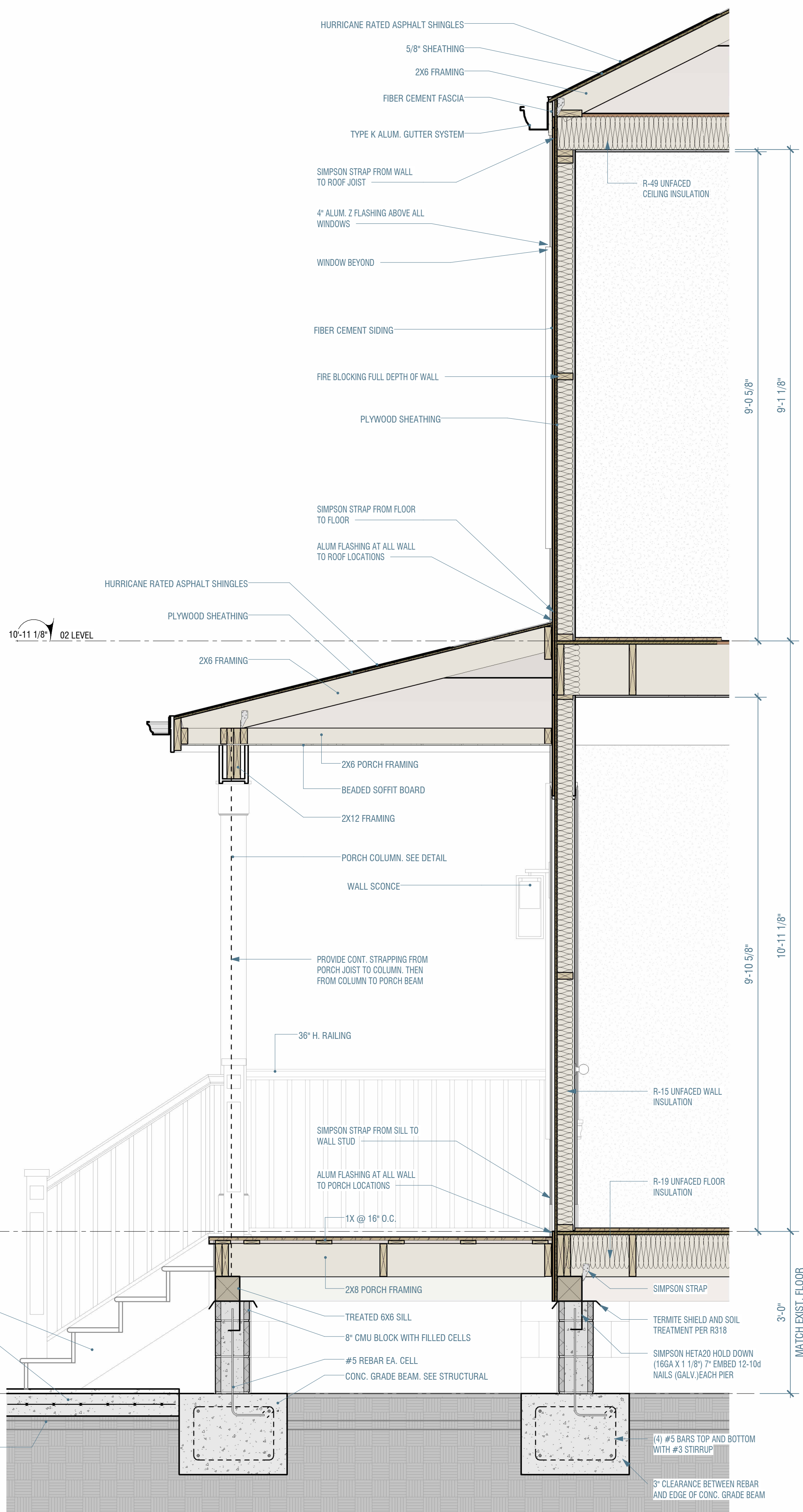
**INTERIOR DOORS** - UNDERCUT ALL DOORS 1" MIN.  
**COAT CLOSETS** - (1) ROD AND (1) SHELF MIN. 12" DEEP MIN.  
**LINEN CLOSETS** - (4) SHELVES MIN. AND 1'-2" DEEP MIN.

**MECHANICAL, ELECTRICAL AND PLUMBING NOTES:**

- PROJECT SPECIFIC MANUAL J AND MANUAL D CALCULATIONS ARE REQUIRED TO SIZE THE HVAC SYSTEM.
- EXHAUST FANS - SHALL VENT TO EXTERIOR. PROVIDED AT ALL BATHROOMS.
- RANGE HOODS - SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCT.
- DRYER VENT - SHALL VENT TO EXTERIOR; CAPPED AND SCREENED DRYER VENT, DUCTING INSTALLED TO SLOPE TO EXTERIOR.
- SMOKE DETECTORS - (1) SHALL BE PLACED WITHIN 12" OF EVERY BEDROOM ENTRY DOOR; AND AT LAUNDRY ROOM, HALL, AND LIVING / DINING AREA AND SHALL BE HARD-WIRED AND INTERCONNECTED.
- CARBON MONOXIDE DETECTORS - INSTALLED OUTSIDE OF EACH SLEEPING AREA IF FUEL-FIRED APPLIANCES ARE USED. COMPLY WITH IRC 2015 EDITION.
- ROOF PENETRATIONS - ALL PLUMBING VENTS SHALL BE COMBINED SO AS TO MINIMALLY PENETRATE THE ROOF.

**PLUMBING GENERAL NOTES:**

- PLUMBING CONTRACTOR TO MAKE CONNECTION TO ALL FIXTURES, FAUCETS, DRAINS, EQUIPMENT, ETC. IN LOCATIONS INDICATED ON DRAWINGS IN ACCORDANCE WITH THE PARISH REQUIREMENTS AND THE NATIONAL PLUMBING CODE. MAKE ALL SEWERAGE AND WATER CONNECTIONS AS DIRECTED BY THE LOCAL PLUMBING DEPARTMENT.
- RUN HOT AND COLD WATER LINES, WASTE LINES TO ALL FIXTURES AND LAUNDRY EQUIPMENT, EXCEPT HOT WATER IS NOT REQUIRED TO WATER COLSETS AND HOSE BIBBS. RUN COLD WATER LINE TO REFRIGERATOR ICE MACHINE AND ANY OTHER NECESSARY APPLIANCES.
- IF PEX IS USED IN LIEU OF COPPER, HOT AND COLD WATER LINES TO BE PEX WITH WROUGHT IRON FITTINGS AND SOLDER JOINTS AS REQUIRED BY CODE ABOVE AND BELOW GROUND.
- SOIL WASTE AND VENT LINES SHALL BE SOLID WALL PVC BELOW AND ABOVE GROUND.
- TYPICAL RISER DIAGRAM BELOW IS FOR REFERENCE ONLY AND PLUMBING LAYOUT SHALL BE DESIGNED AND THE RESPONSIBILITY OF THE PLUMBING SUBCONTRACTOR.



**TYPICAL ROOF SYSTEM:**  
EXT. FINISH: HURRICANE RATED ASPHALT SHINGLE  
WEATHER BARRIER: SYNTHETIC PEEL AND STICK  
SHEATHING: 5/8" ROOF SHEATHING  
ROOF FRAMING: 2X6 ROOF RAFTERS  
CEILING FRAMING: 2X8 CEILING JOISTS  
INSULATION: R-49 UNFACED BATT AT CEILING PLANE  
INT FINISH: 1/2" GYPSUM BOARD

**TYPICAL WALL SYSTEM:**  
EXT. FINISH: FIBER CEMENT SIDING  
WEATHER BARRIER: TYVEK COMMERCIAL WRAP D  
SHEATHING: 1/2" WALL SHEATHING  
FRAMING: 2X WALL FRAMING (SEE PLAN)  
INSULATION: R-15 UNFACED BATT  
INT FINISH: 1/2" GYPSUM BOARD

**TYPICAL 2ND FLOOR SYSTEM:**  
FINISH: ENGINEERED WOOD PLANKS  
SHEATHING: 3/4" T&G PLYWOOD  
FRAMING: 2X12 FRAMING PER STRUCTURAL  
INSULATION: NONE  
CEILING FINISH: 1/2" GYPSUM BOARD

**TYPICAL 1ST FLOOR SYSTEM:**  
FINISH: ENGINEERED WOOD PLANKS  
SHEATHING: 3/4" T&G PLYWOOD  
FRAMING: 2X TREATED FRAMING PER STRUCTURAL  
INSULATION: R-19 UNFACED BATTS W/CHICKEN WIRE  
CEILING FINISH: 1/2" GYPSUM BOARD

1  
A500 GENERAL SECTION1 - Callout 1  
3/4" = 1'-0"

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PROJECT ISSUE DATE:	11-7-25	
REV. #	REVISION DESCRIPTION	DATE
1	PRICING SET	06-13-25

SHEET TITLE:  
**SPECIFICATIONS AND WALL SECTION**

DRAWN BY: SJW

A501

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**FRAMING SPECIFICATIONS**

**FRAMING REQUIREMENTS**

- General**
- Termite Protection: Treat soil under foundation.
  - Fill: Free of trees, roots, masonry; plasticity index  $\leq 15$ ; compact to 90% Standard Proctor density.
  - Concrete: 3,000 psi at 28 days, 150 lb/cu.ft., per ACI 301.
  - Reinforcing Steel: ASTM A615 Grade 60, 45-bar-diameter lap splices, ACI placement; corner bars at grade beam/wall intersections (top/bottom, outside faces).
  - Supports: Use concrete briquettes for rebar; no bricks/bats or porous materials.
  - Slabs: Equipment slabs at same height as main floor slab; expect settlement in filled areas (drives/parking).
- Lumber**
- Grade: All lumber and plywood with official grade mark.
  - Studs, Plates, Furring, Joists, Rafters: #2 Fir or Southern Yellow Pine (SYP), S4S.
  - Plates in contact with concrete/masonry: SYP Calceure (preservative-treated).

- Sizes:**
1. Exterior Walls: 2x4 or 2x6 studs @ 16" o.c. (see plans for 2x6 locations).
  2. Interior Partitions: 2x4 or 2x6 studs @ 16" o.c.
  3. Base Plates: 2x thickness of wall.
  4. Ceiling Joists: Per plan.
  5. Lintels:
    - (2) 2x6 ( $\leq 5'$  span),
    - (2) 2x8 (5'-7' span),
    - (2) 2x10 (7'-9' span),
    - (2) 2x12 (9'-12' span),
    - > 12' per plan.

- Bearing: 6" min. for beams, 4" min. for headers.
- Framing: Double studs and headers at openings; comply with industry standards.

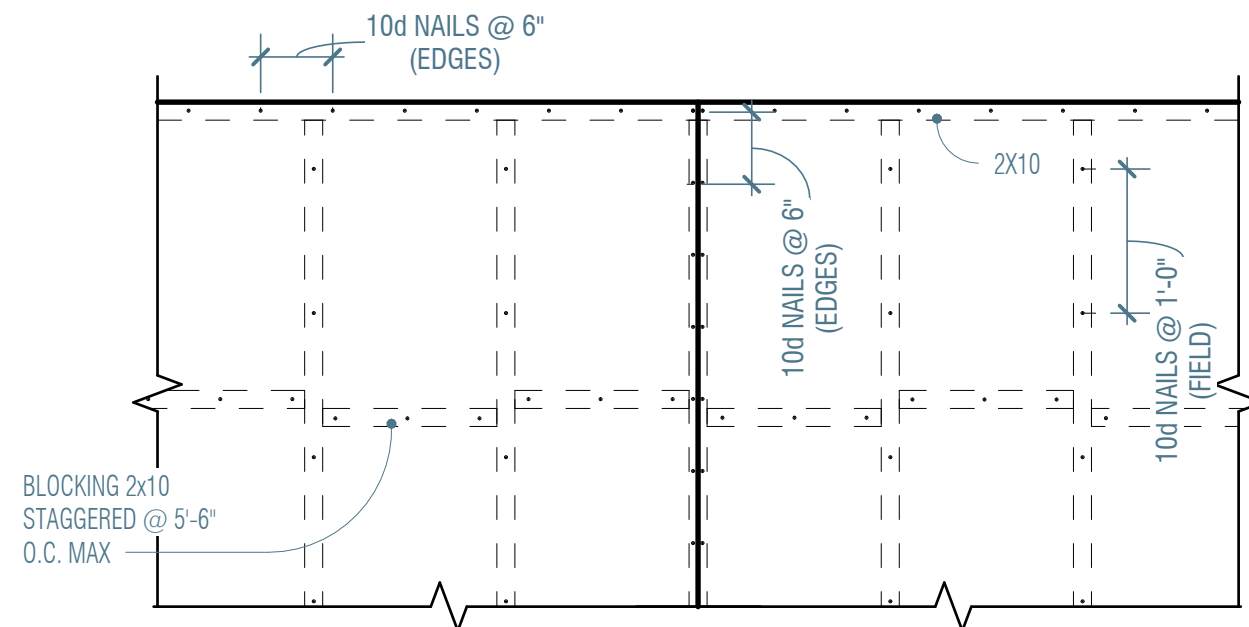
**FRAMING REQUIREMENTS**

- Bridging & Blocking**
- Bridging: Solid, size of joist;
    - 1 row (spans  $\leq 10'$ ),
    - 2 rows (10'-20'),
    - 8' max spacing for longer spans.
  - Blocking: Solid between joists at bearing walls and 8' max spacing; horizontal blocking at mid-height of walls.

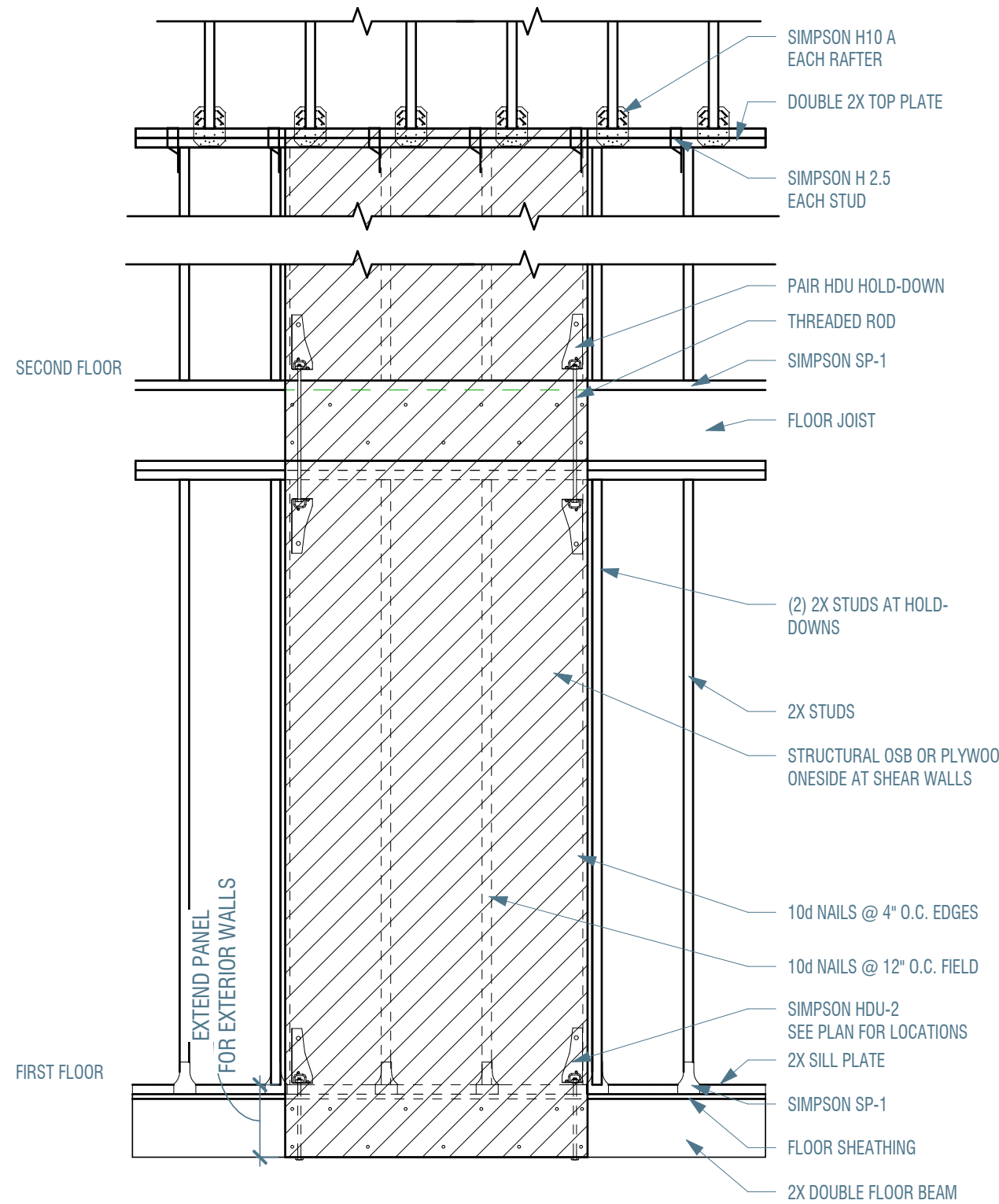
- Sheathing**
- Exterior Walls: 1/2" x 4x8' Windstorm Norbord plywood, applied to all exterior walls.
  - Roof: 5/8" x 4x8' CDX plywood (exterior glue) with ply clips.
  - Gypsum Wall Board: 1/2" thick, 48" wide, longest lengths possible unless noted.

- Hurricane Clips & Shear Walls**
- Shear Walls: Plywood sheathing on exterior walls.
  - Clips: Hurricane clips at every stud to top/bottom plates, every rafter to ceiling joists, and rafters to walls (Simpson H-series or equal).
  - Top Plates: Secure to each other @ 16" o.c.
  - Joist Hangers: Simpson LU-series or equal for flush connections.

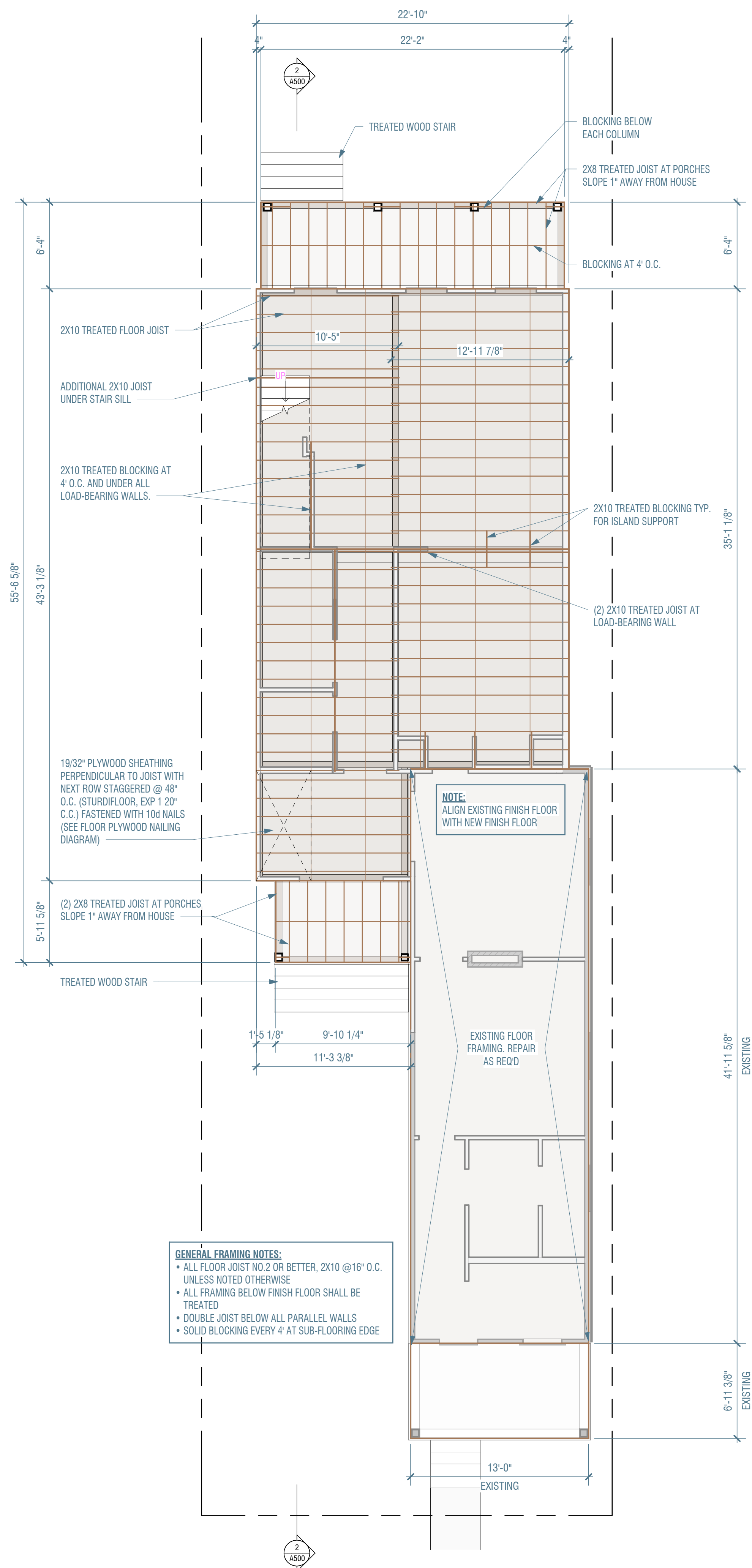
- Joists**
- Notching: Max 1/6 joist depth (top/bottom), 1/4 at ends; not in middle 1/3 of span.
  - Holes: Max 1/3 joist depth,  $\geq 2'$  from bottom edge.



**5 FLOOR PLYWOOD NAILING PATTERN DIAGRAM 1**  
3/4" = 1'-0"



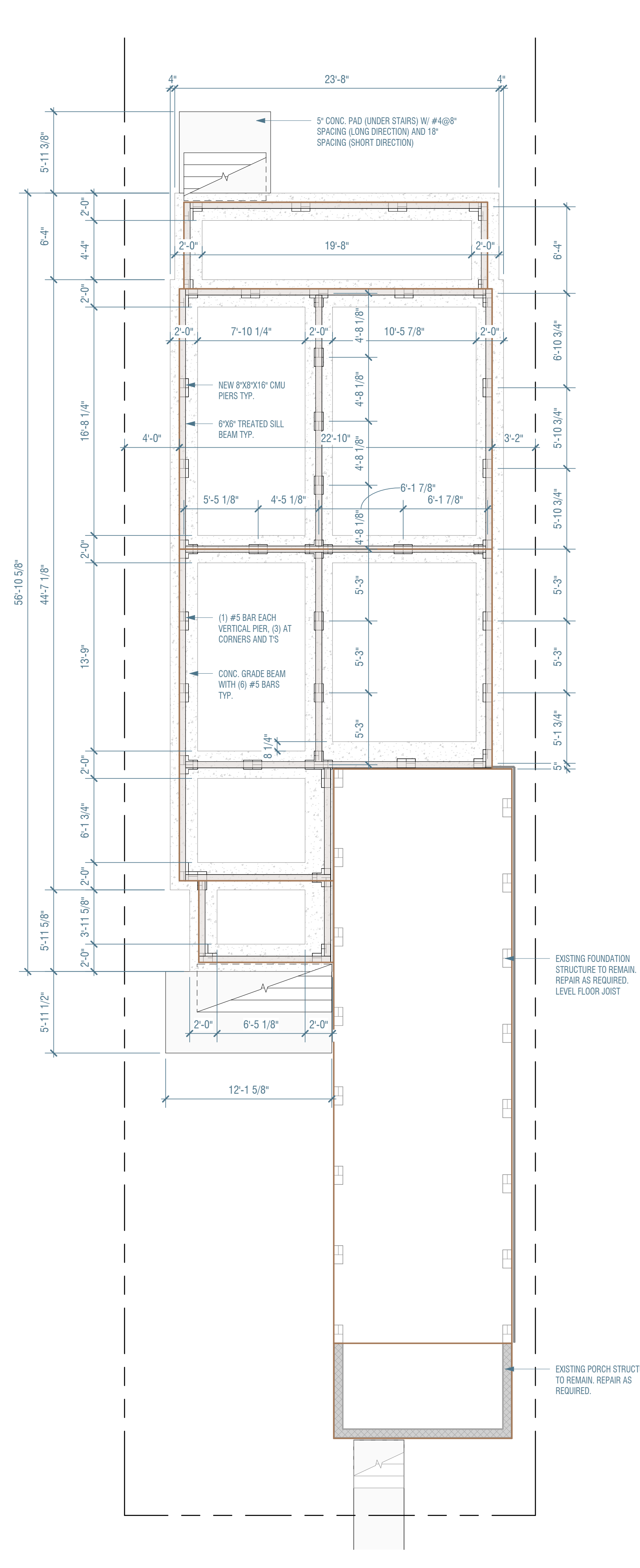
**4 EXT. SHEAR WALL PANELS 3**  
1/2" = 1'-0"



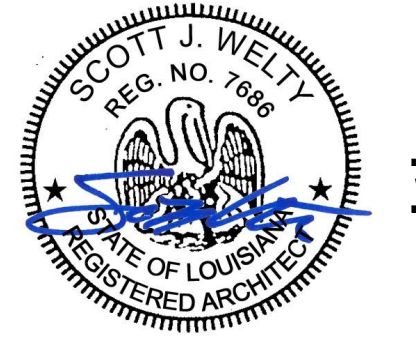
**GENERAL FRAMING NOTES:**

- ALL FLOOR JOIST NO 2 OR BETTER, 2X10 @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL FRAMING BELOW FINISH FLOOR SHALL BE TREATED.
- DOUBLE JOIST BELOW ALL PARALLEL WALLS.
- SOLID BLOCKING EVERY 4' AT SUB-FLOORING EDGE.

**1 0.01 FRAMING 2**  
3/16" = 1'-0"



**2 0.00 SITE**  
3/16" = 1'-0"



SEAL 1-2-26

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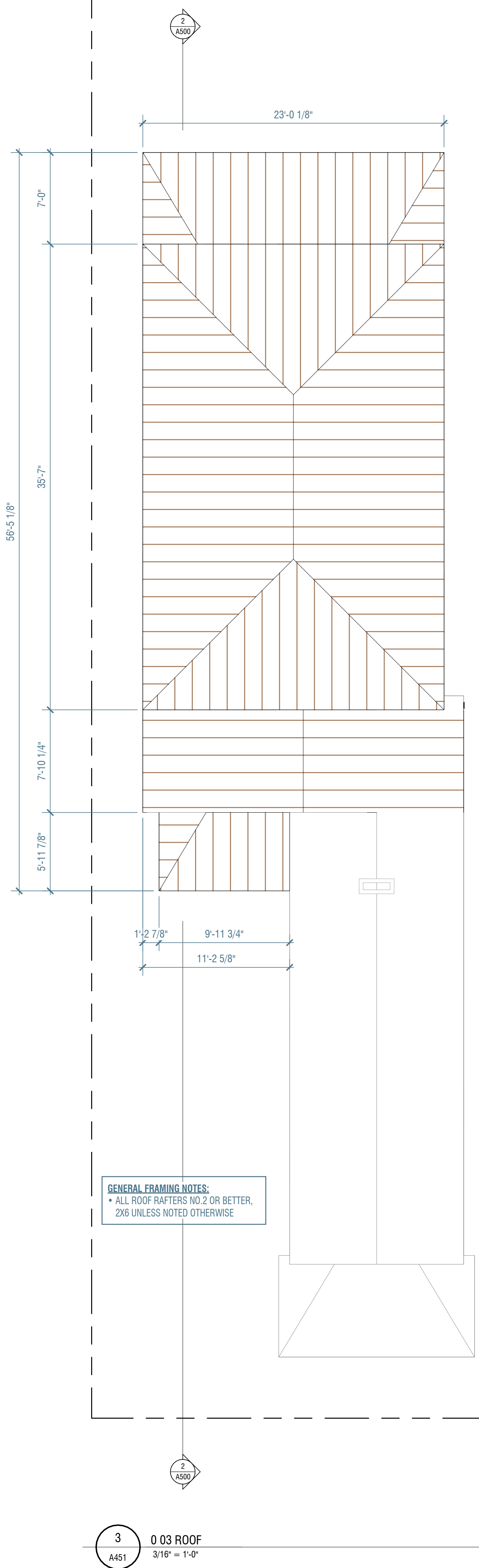
WA PROJECT NO:	25-016	
PROJECT ISSUE DATE:	11-7-25	
REV. #	REVISION DESCRIPTION	DATE
1	REVISION PRICING SET	06-13-25

SHEET TITLE:  
**FOUNDATION AND FRAMING PLAN**

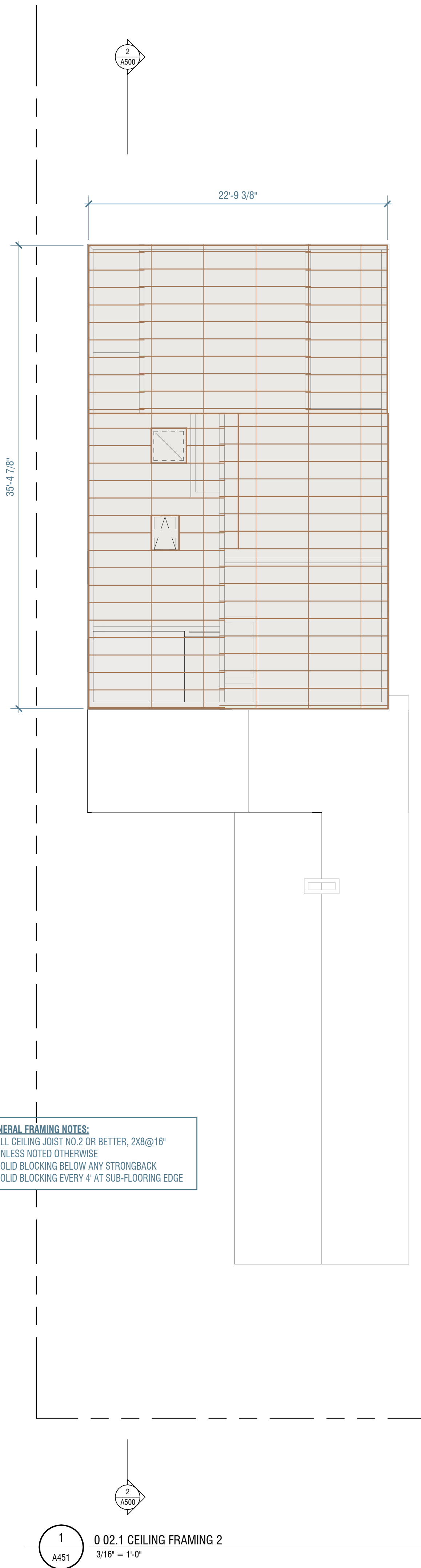
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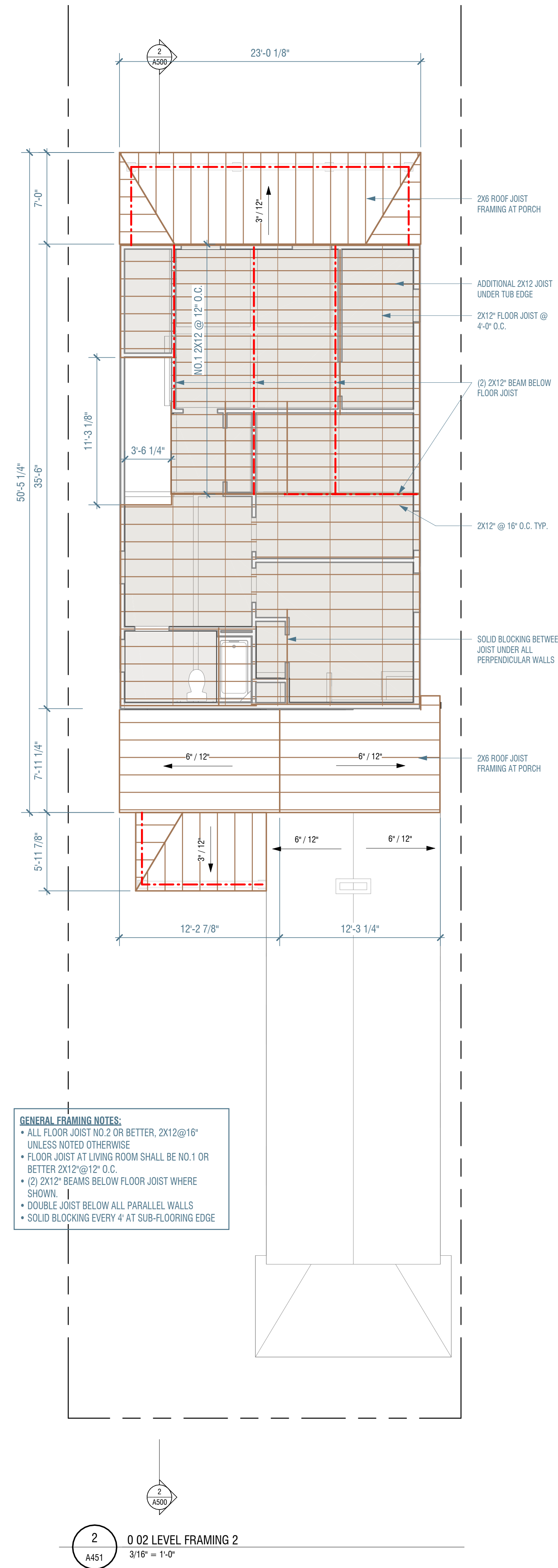
SEAL 1-2-26



**GENERAL FRAMING NOTES:**  
• ALL ROOF RAFTERS NO 2 OR BETTER, 2X6 UNLESS NOTED OTHERWISE



**GENERAL FRAMING NOTES:**  
• ALL CEILING JOIST NO.2 OR BETTER, 2X8@16" UNLESS NOTED OTHERWISE  
• SOLID BLOCKING BELOW ANY STRONGBACK  
• SOLID BLOCKING EVERY 4' AT SUB-FLOORING EDGE



**GENERAL FRAMING NOTES:**  
• ALL FLOOR JOIST NO.2 OR BETTER, 2X12@16" UNLESS NOTED OTHERWISE  
• FLOOR JOIST AT LIVING ROOM SHALL BE NO.1 OR BETTER 2X12@12" O.C.  
• (2) 2X12" BEAMS BELOW FLOOR JOIST WHERE SHOWN  
• DOUBLE JOIST BELOW ALL PARALLEL WALLS  
• SOLID BLOCKING EVERY 4' AT SUB-FLOORING EDGE

2X6 ROOF JOIST FRAMING AT PORCH

ADDITIONAL 2X12 JOIST UNDER TUB EDGE

2X12" FLOOR JOIST @ 4'-0" O.C.

(2) 2X12" BEAM BELOW FLOOR JOIST

2X12" @ 16" O.C. TYP.

SOLID BLOCKING BETWEEN JOIST UNDER ALL PERPENDICULAR WALLS

2X6 ROOF JOIST FRAMING AT PORCH

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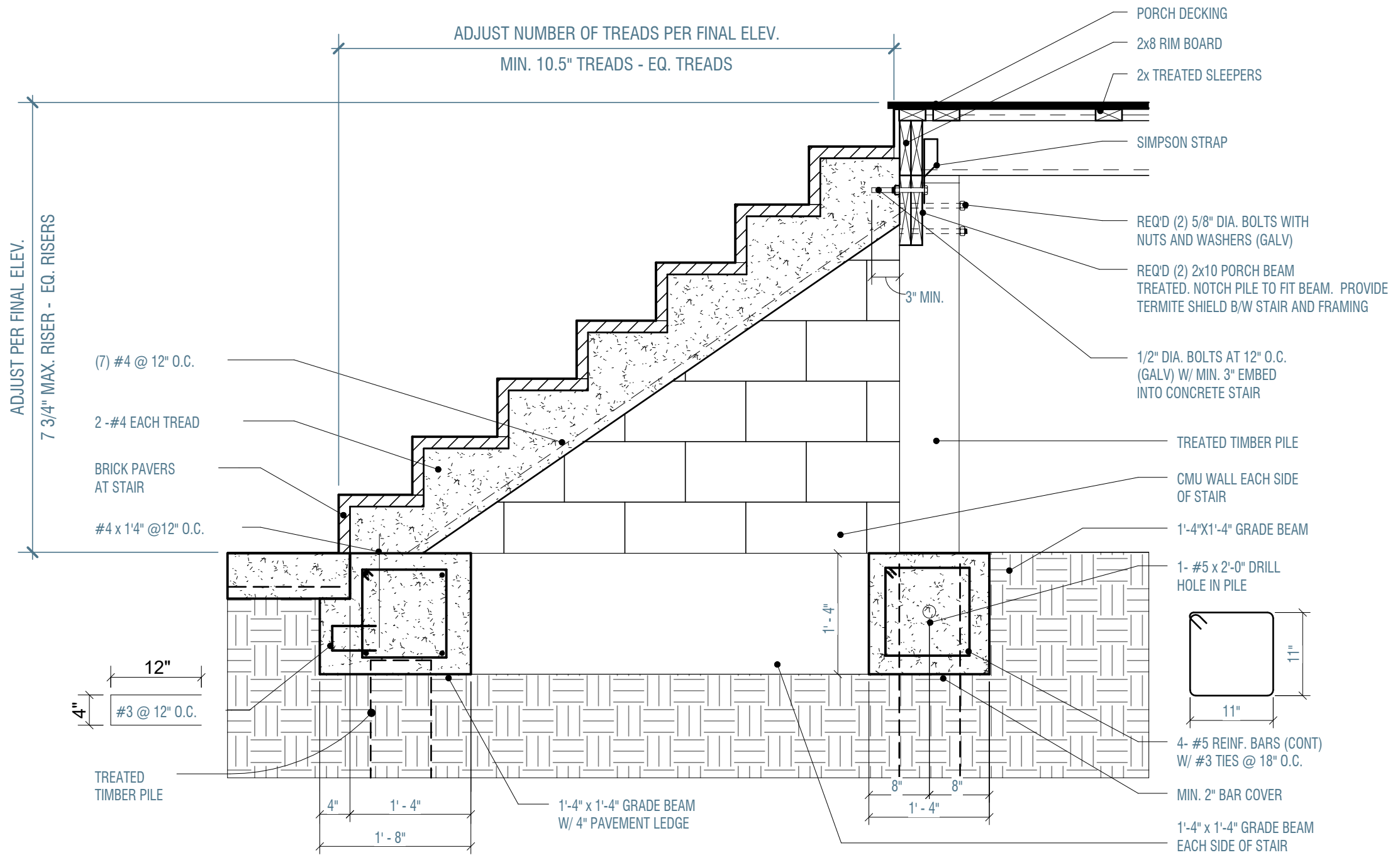
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PROJECT ISSUE DATE:	11-7-25	
REV. #	REVISION DESCRIPTION	DATE
1	PRICING SET	06-13-25

SHEET TITLE:  
FRAMING PLAN

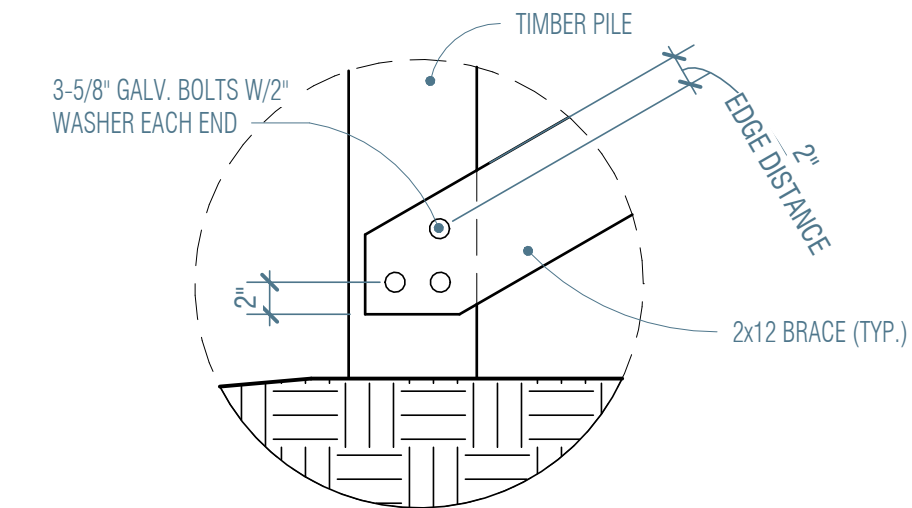
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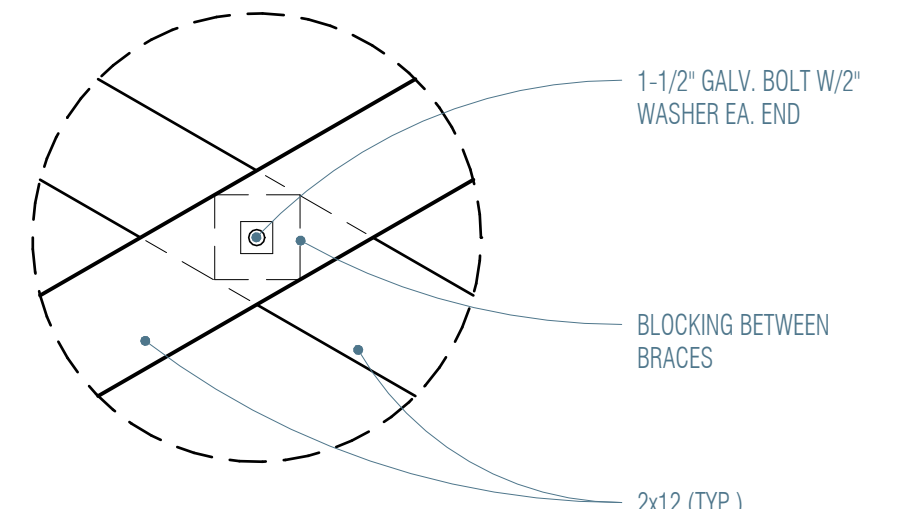
SEAL 1-2-26



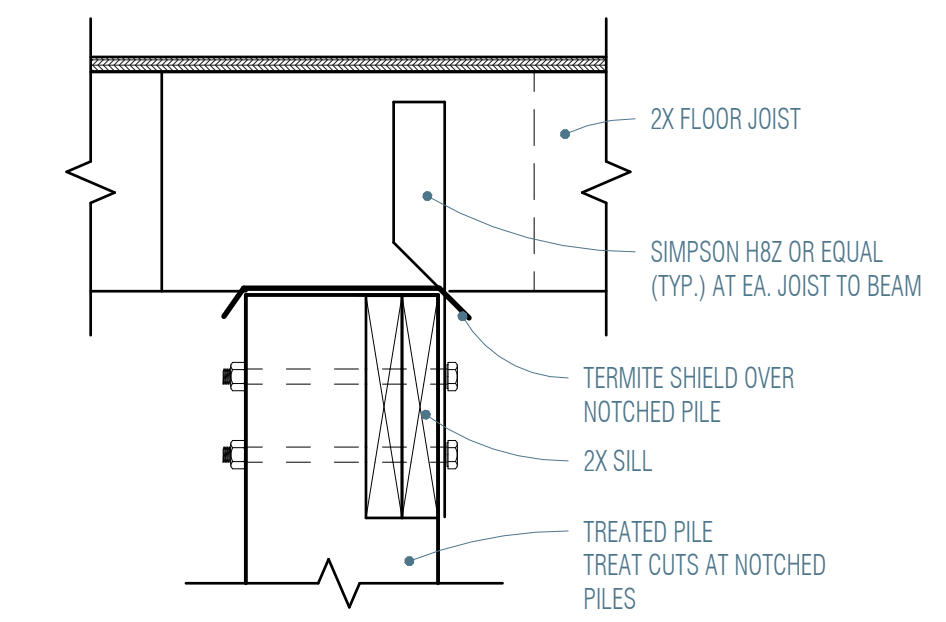
10 SECTION AT BRICK STAIR1  
3/4" = 1'-0"



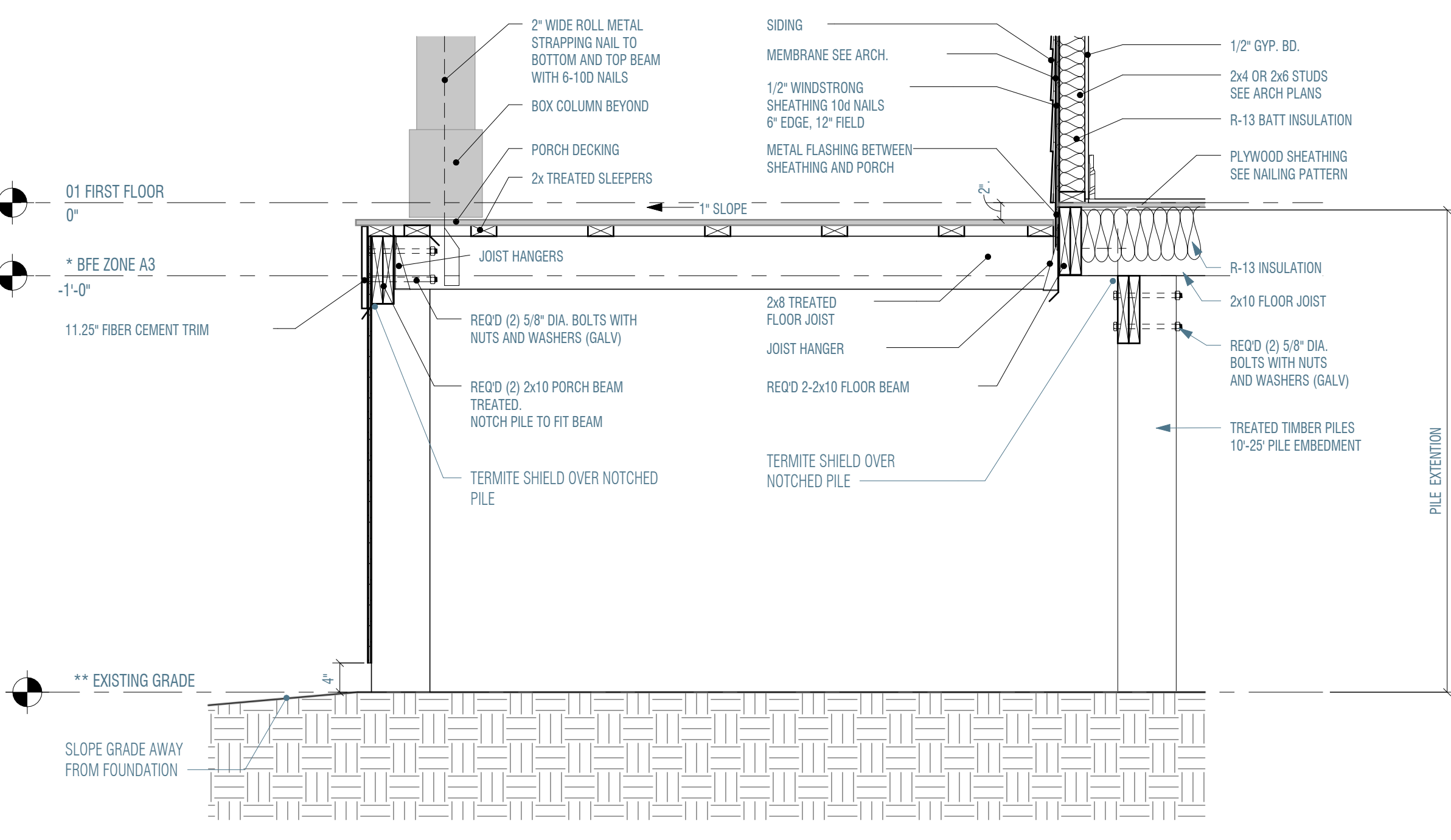
1 BRACING DETAIL 4  
1" = 1'-0"



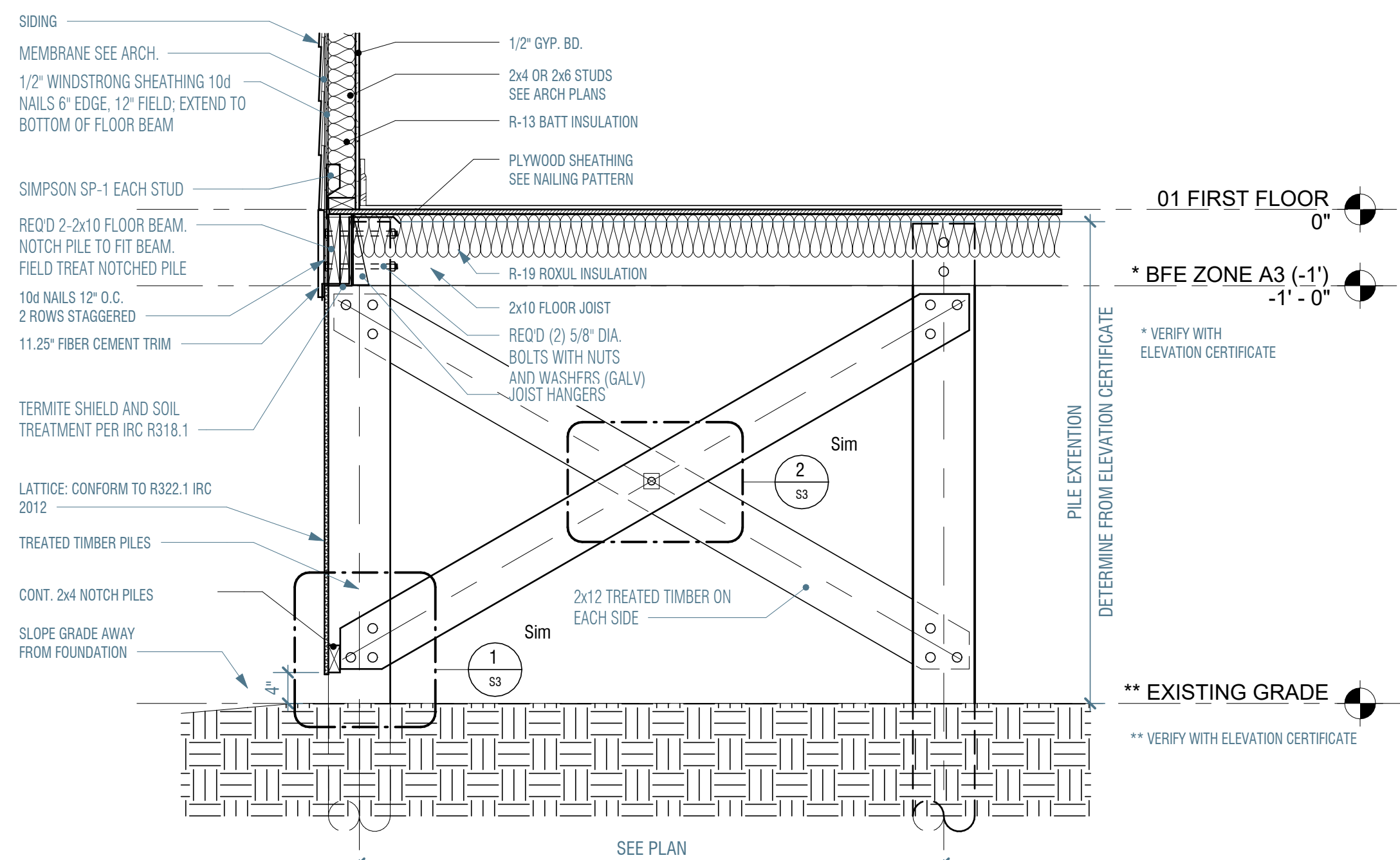
2 BRACING DETAIL 3  
1" = 1'-0"



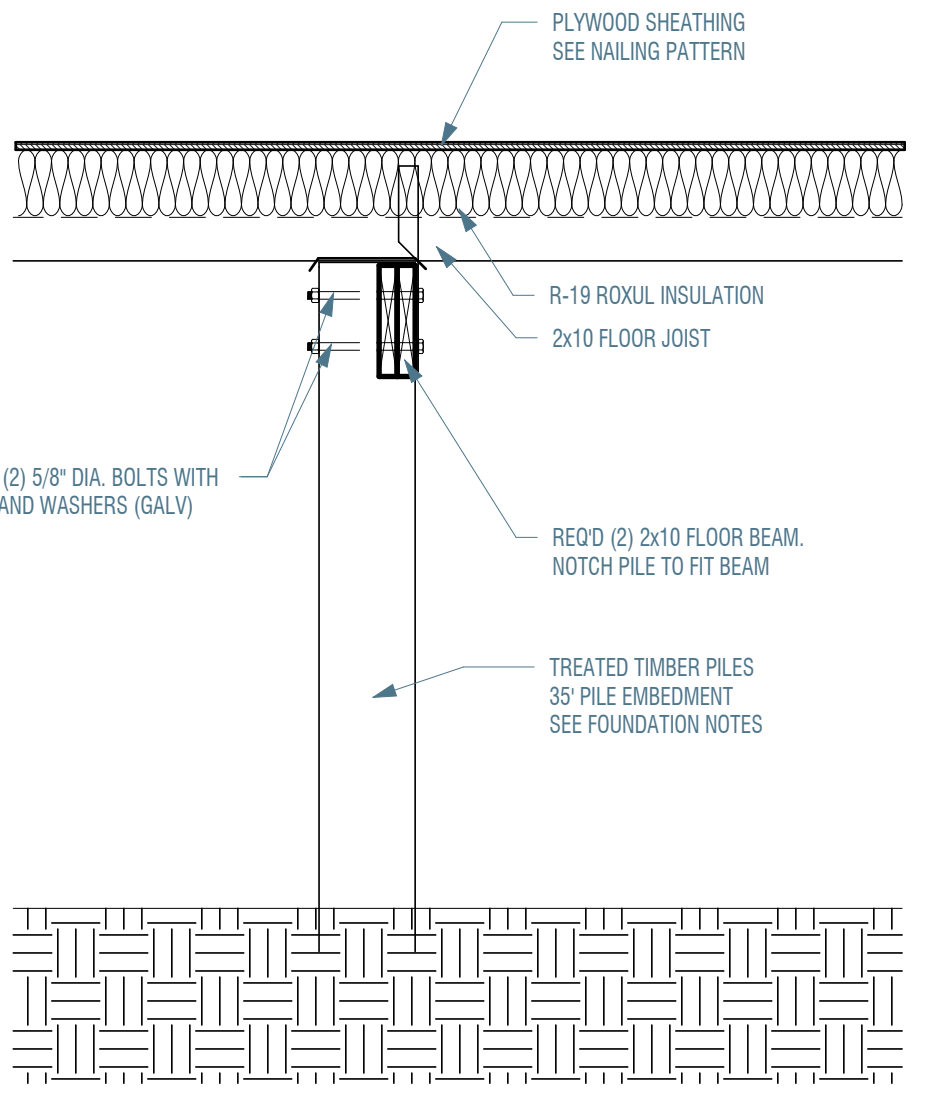
8 PILE TO SILL DETAIL 1  
1 1/2" = 1'-0"



6 FRAMING DETAIL AT PORCH1  
3/4" = 1'-0"



5 FOUNDATION FRAMING DETAIL 1  
3/4" = 1'-0"



7 INTERIOR PILE TO BEAM 1  
3/4" = 1'-0"

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1	REVISION PRICING SET	06-13-25

SHEET TITLE:  
PILE LAYOUT AND FRAMING  
PLAN

DRAWN BY: SJW

S3

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