

Photos:
10 Audubon Blvd



Context Drawings



Project Site:
10 Audubon Blvd

12 Audubon Blvd

14 Audubon Blvd

Across the street:



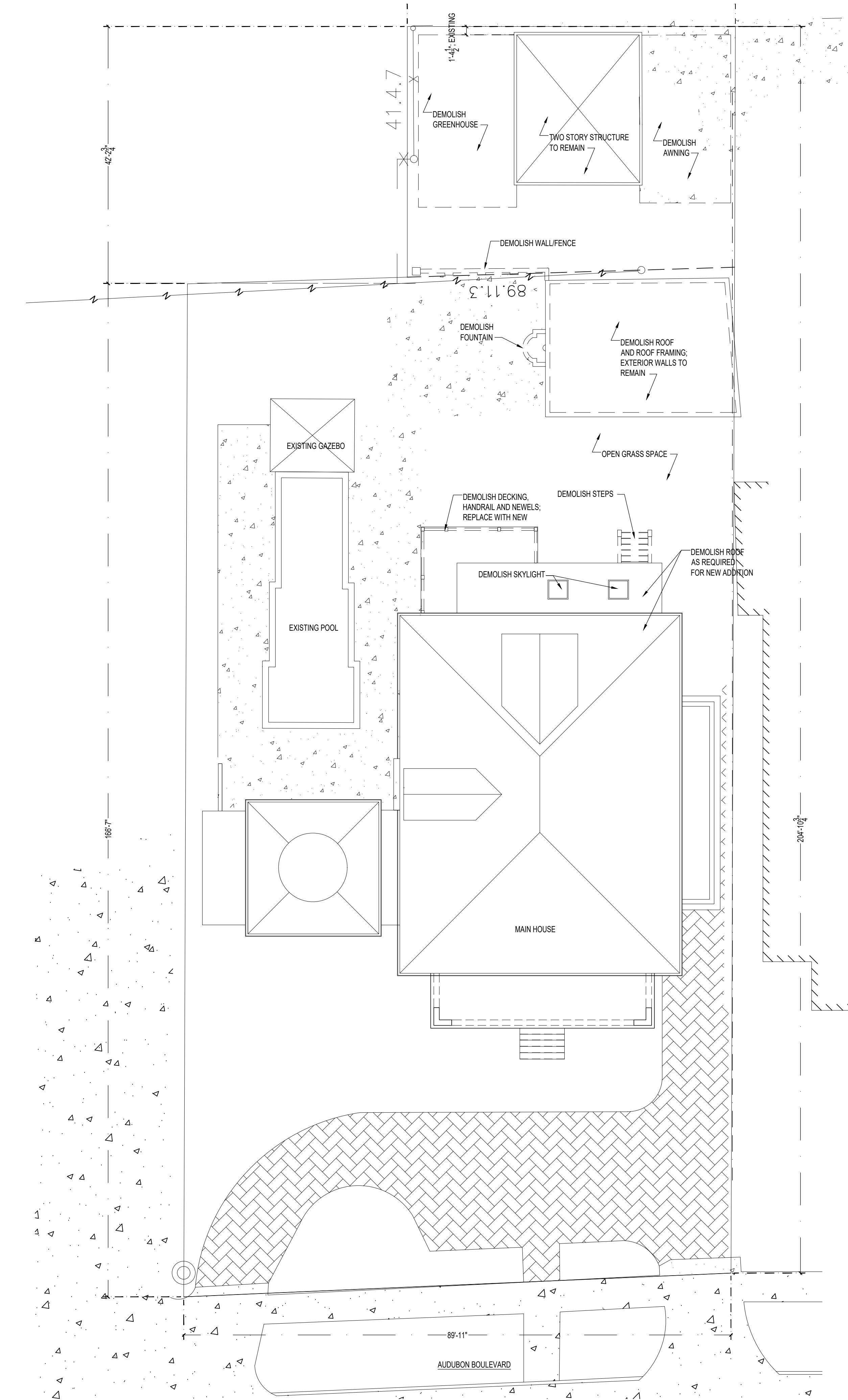
7 Audubon Blvd



15 Audubon Blvd



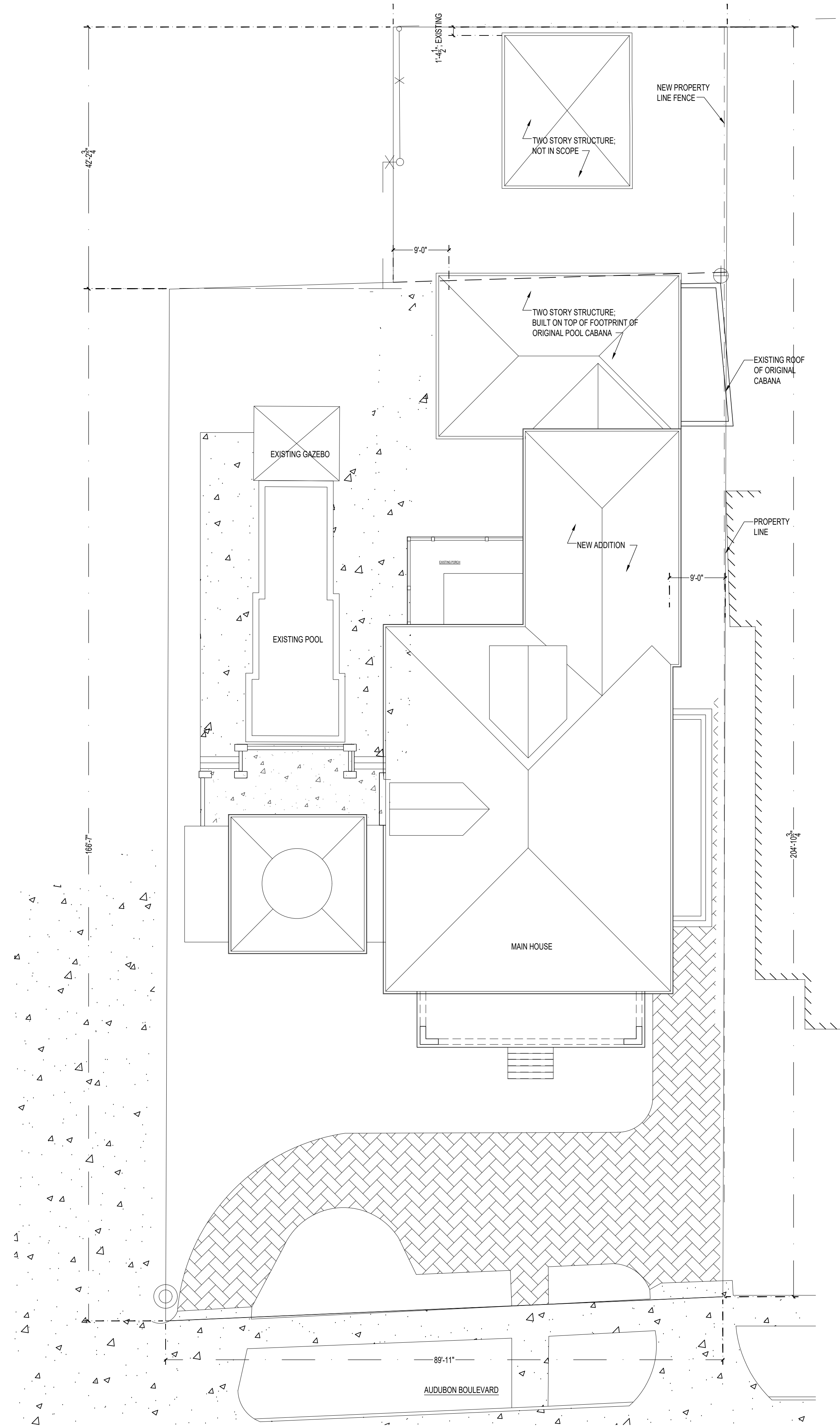
17 Audubon Blvd



1 Demolition Site Plan

- A-0.1

SCALE: 3/32" = 1'-0"



2 New Site Plan

- A-0.2

SCALE: 3/32" = 1'-0"

The Jolly Residence

Addition
10 Audubon Blvd.
New Orleans, LA 70118

Owner:
Dr. and Mrs. Neil and Rena Jolly
10 Audubon Blvd.
New Orleans, LA 70118
(504) 909-2909

Architect:
DANIEL ZANGARA STUDIO, LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064

This drawing is confidential and may not be loaned, reproduced, copied, either wholly or in part, or made public in any manner without the written consent of Zangara + Partners LLC. All rights of design or invention are reserved and will remain the sole property of Zangara + Partners LLC.

Revisions	

Interoffice Data	
Project Number	CN 26002
Drawn By	Daniel Zangara
Checked By	Daniel Zangara

Issue Date	05.11.26
------------	----------

Title
Demolition and New Site Plans

Sheet

A-0.1

The Jolly Residence

Addition
10 Audubon Blvd.
New Orleans, LA 70118

Owner
Dr. and Mrs. Neil and Rena Jolly
10 Audubon Blvd.
New Orleans, LA 70118
(504) 909-2909

Architect
DANIEL ZANGARA STUDIO, LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064

This drawing is confidential and may not be loaned, reproduced, copied, either wholly or in part, or made public in any manner without the written consent of Zangara + Partners LLC. All rights of design or invention are reserved and will remain the sole property of Zangara + Partners LLC.

Revisions	

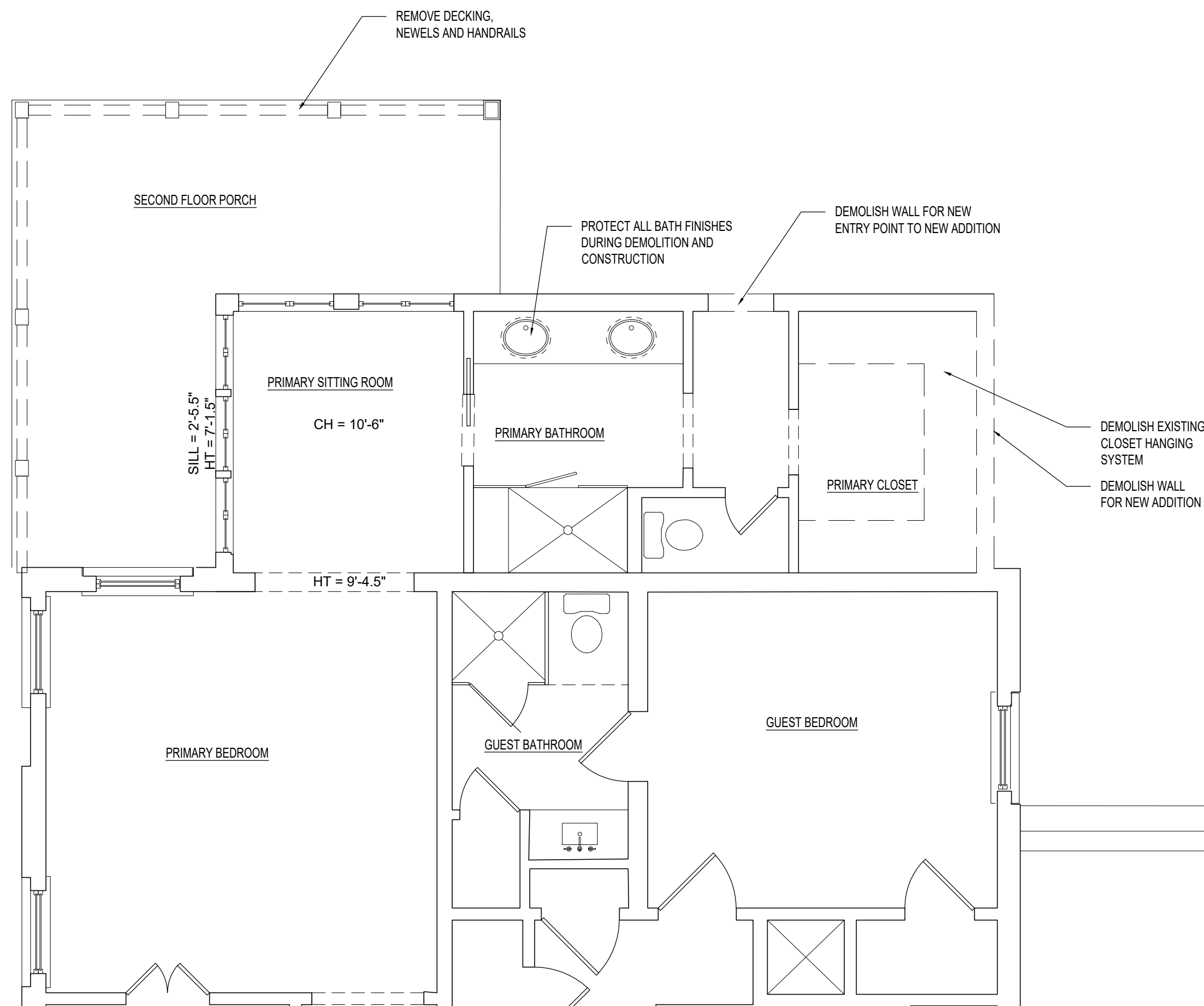
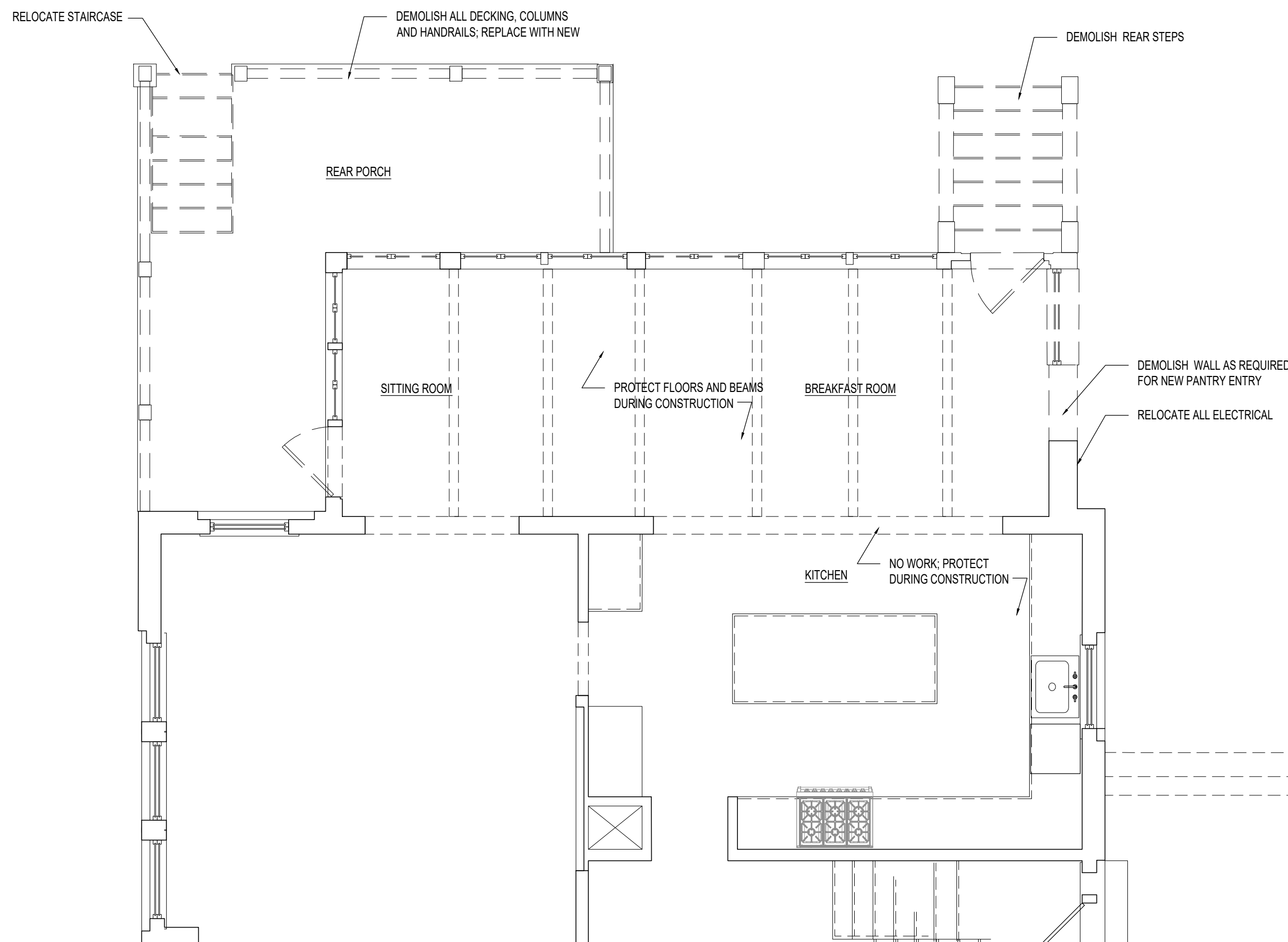
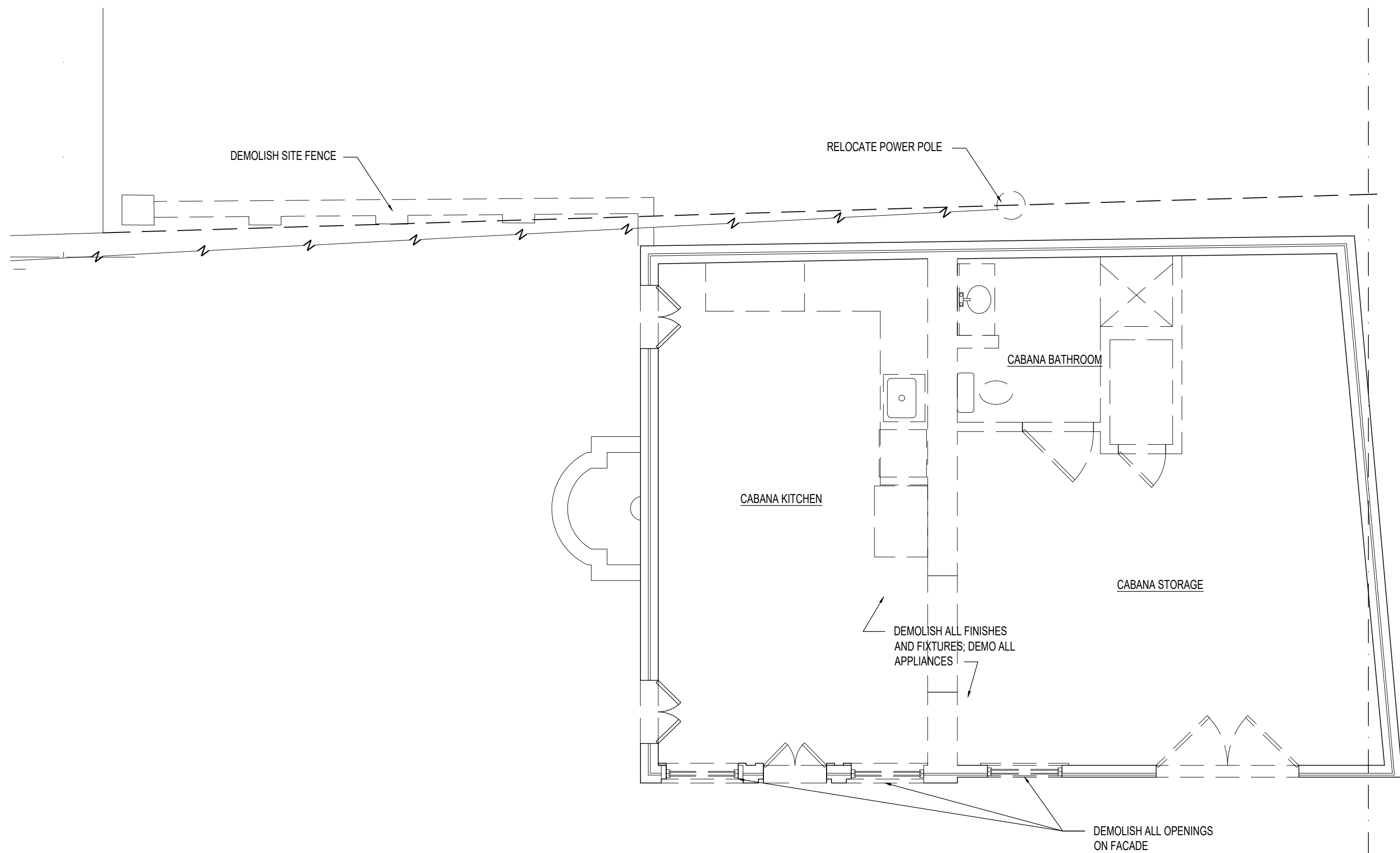
Interoffice Data	
Project Number	CN 26002
Drawn By	Daniel Zangara
Checked By	Daniel Zangara

Issue Date	05.11.26
------------	----------

Title
**First and Second
Floor Demolition Plans**

Sheet

A-1



Demolition First Floor Plan @ Rear

Demolition Second Floor Plan @ Rear

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

The Jolly Residence

Addition
10 Audubon Blvd.
New Orleans, LA 70118

Owner
Dr. and Mrs. Neil and Rena Jolly
10 Audubon Blvd.
New Orleans, LA 70118
(504) 909-2909

Architect
DANIEL ZANGARA STUDIO, LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064

This drawing is confidential and may not be loaned, reproduced, copied, either wholly or in part, or made public in any manner without the written consent of Zangara + Partners LLC. All rights of design or invention are reserved and will remain the sole property of Zangara + Partners LLC.

Revisions	

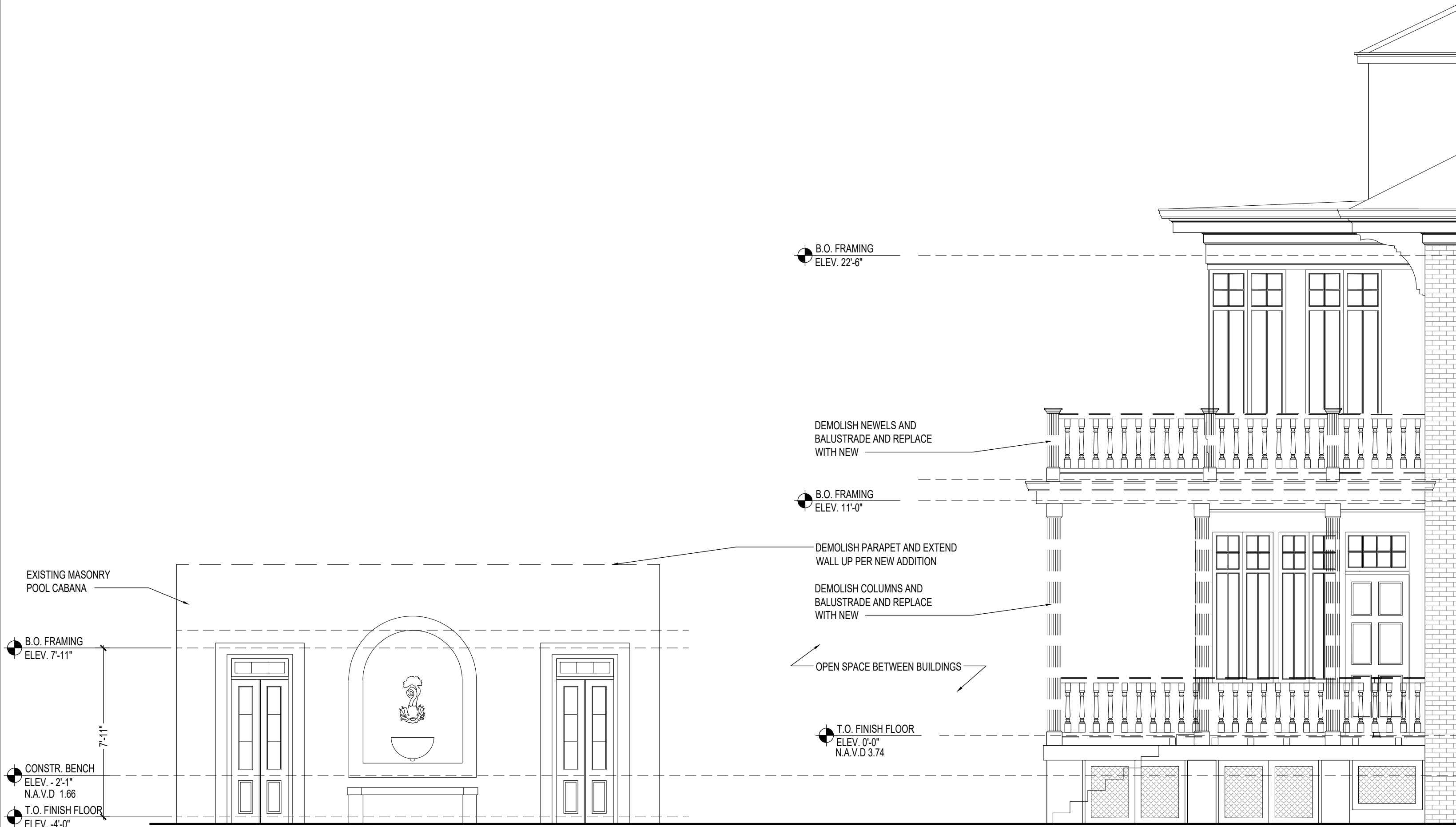
Interoffice Data	
Project Number	CN 26002
Drawn By	Daniel Zangara
Checked By	Daniel Zangara

Issue Date	05.11.26
------------	----------

Title
Demolition Exterior Elevations

Sheet

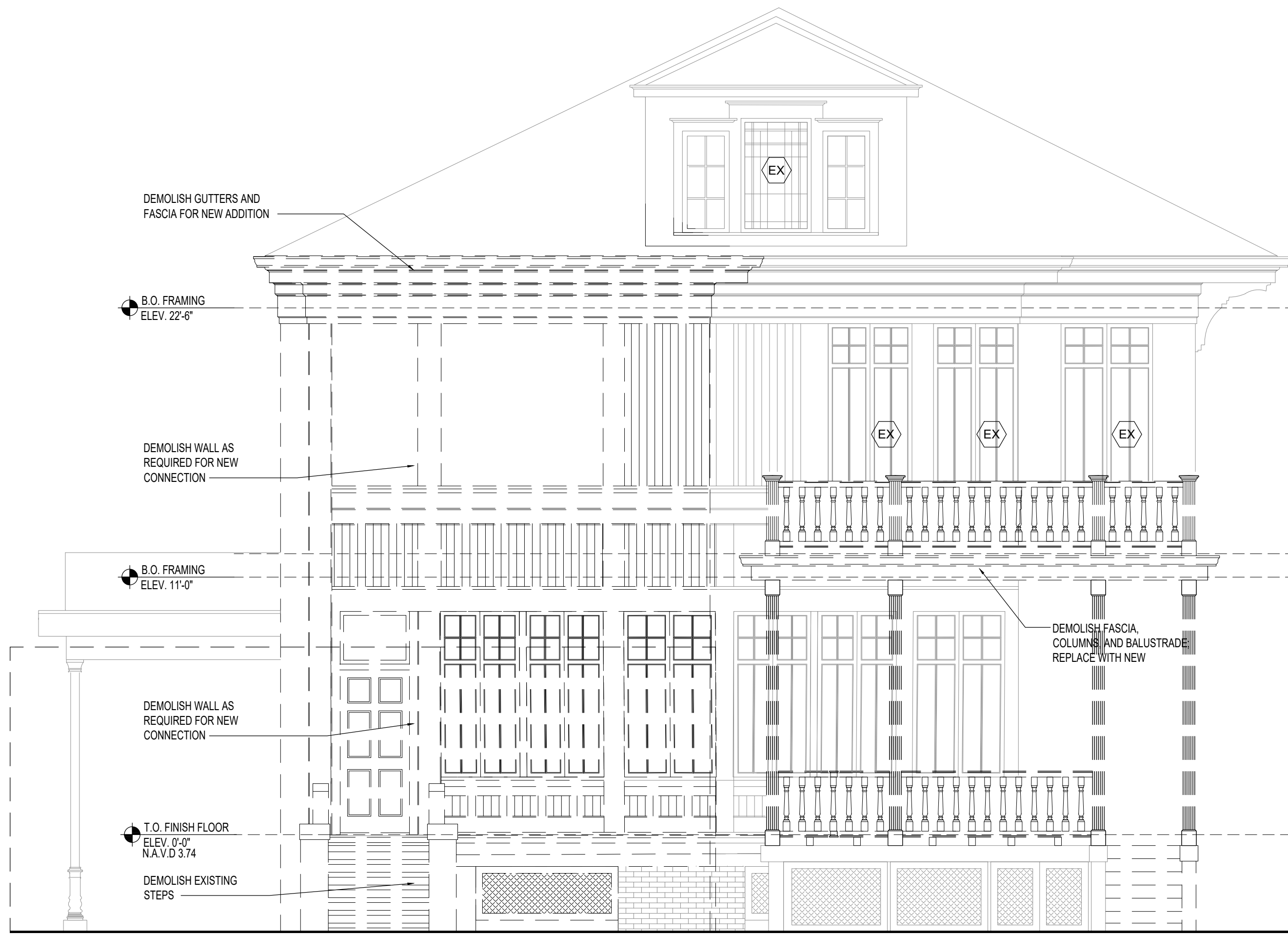
A-1A



2 Demolition Pool Side Exterior Elevation

A-1A

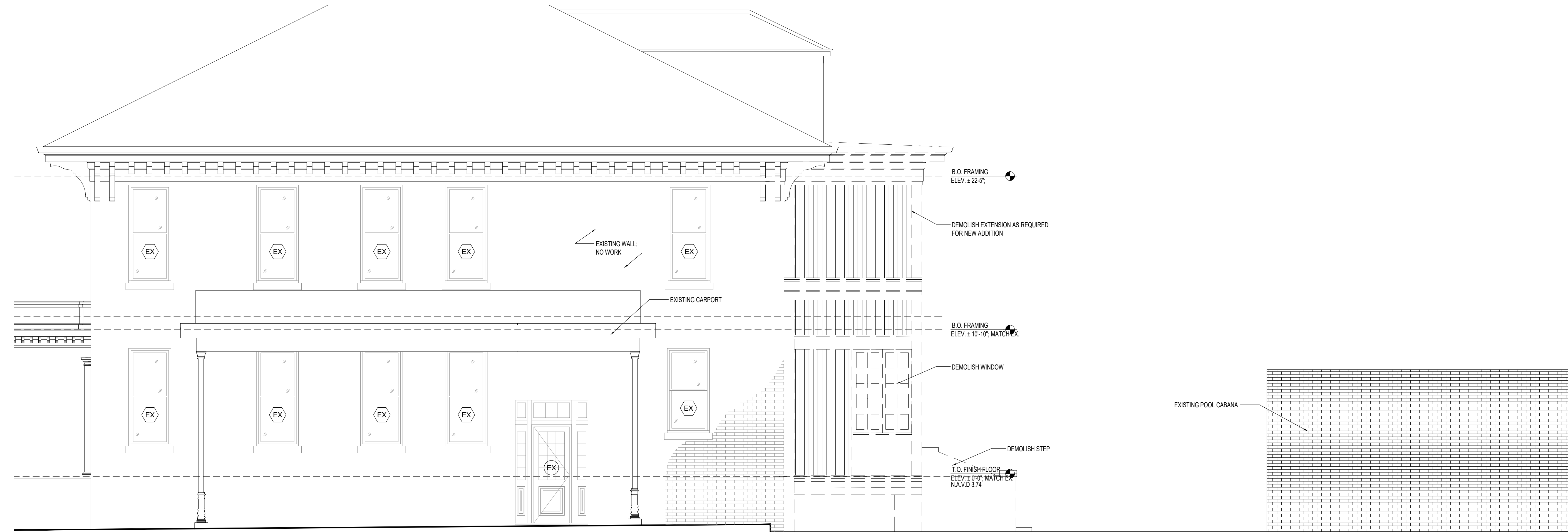
SCALE: 1/4" = 1'-0"



3 New Rear Exterior Elevation

A-1A

SCALE: 1/4" = 1'-0"



1 Demolition Side Alleyway Exterior Elevation

A-1A

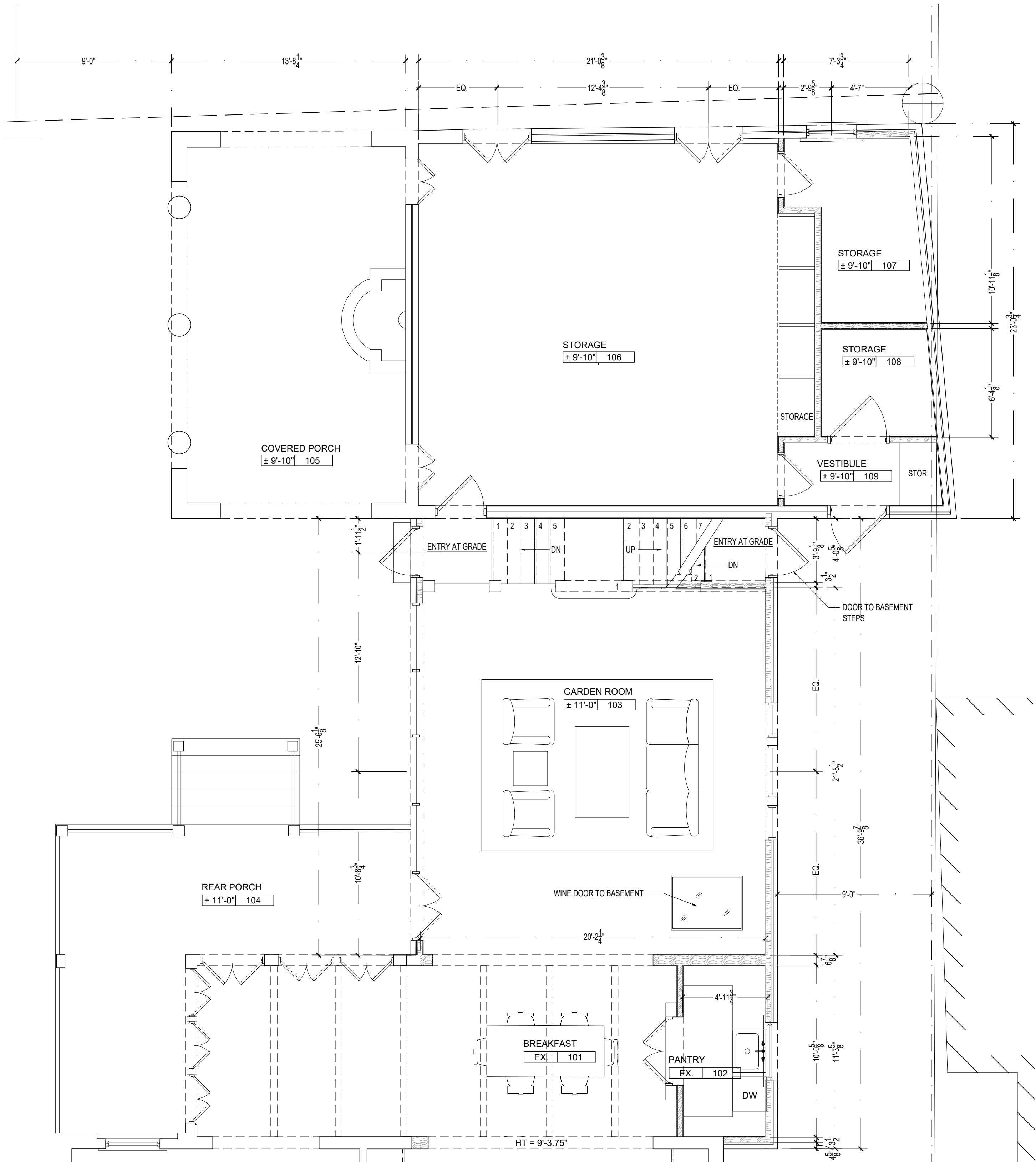
SCALE: 1/4" = 1'-0"

Finish Schedule

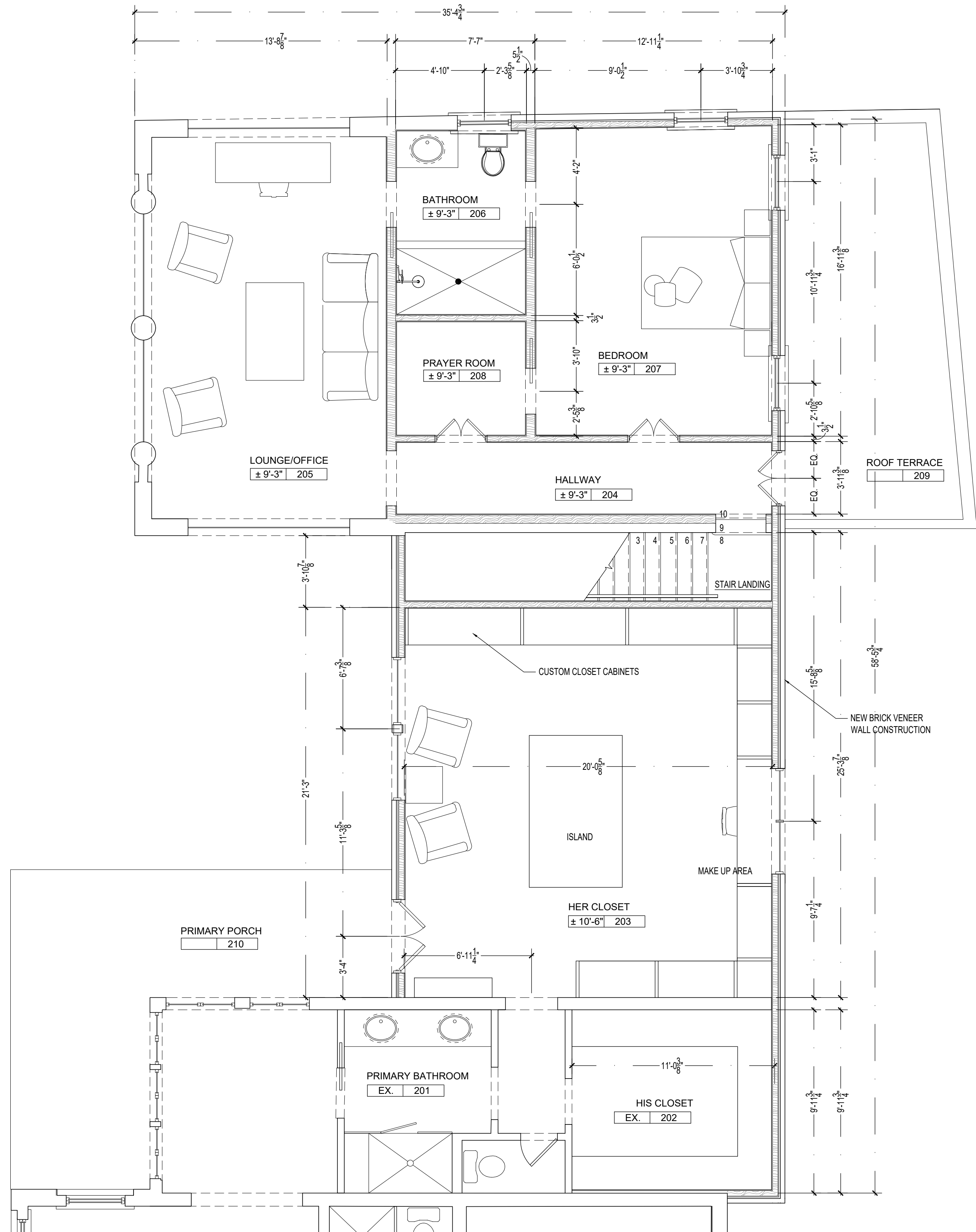
FIRST FLOOR PLAN									
ROOM #	ROOM NAME	FLOOR	BASE SIZE	WALLS	CEILING	CEILING HEIGHT	CROWN	CASING	REMARKS
101	BREAKFAST	EXISTING	EX.	EXISTING PLASTER	EXISTING PLASTER	EXISTING		A	
102	PANTRY	WOOD	EX.	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING		A	
103	GARDEN ROOM	STONE	A	GYP. WALLBOARD	GYP. WALLBOARD	± 11'-0"		A	
104	REAR PORCH	AERATIS			TONGUE AND GROOVE	EXISTING			
105	COVERED PORCH	STONE		BRICK/STUCCO	TONGUE AND GROOVE	± 9'-10"			
106	STORAGE	CONCRETE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-10"		B	
107	STORAGE	CONCRETE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-10"		B	
108	STORAGE	CONCRETE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-10"		B	
109	VESTIBULE	CONCRETE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-10"		B	

Finish Schedule

SECOND FLOOR PLAN									
ROOM #	ROOM NAME	FLOOR	BASE SIZE	WALLS	CEILING	CEILING HEIGHT	CROWN	CASING	REMARKS
201	PRIMARY BATHROOM	EXISTING	EX.	EXISTING	EXISTING	EXISTING			
202	HIS CLOSET	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	EXISTING		A	
203	HER CLOSET	WOOD	A	GYP. WALLBOARD	GYP. WALLBOARD	± 10'-6"		A	
204	HALLWAY	WOOD	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-3"		B	
205	LOUNGE/OFFICE	WOOD	B	BRICK/STUCCO	GYP. WALLBOARD	± 9'-3"		B	
206	BATHROOM	STONE	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-3"		B	
207	BEDROOM	WOOD	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-3"		B	
208	PRAYER ROOM	WOOD	B	GYP. WALLBOARD	GYP. WALLBOARD	± 9'-3"		B	
209	TERRACE	POLYTUFF			TONGUE AND GROOVE				
210	REAR PORCH	AERATIS							



New First Floor Plan @ Rear



New Second Floor Plan @ Rear

The Jolly Residence

Addition
10 Audubon Blvd.
New Orleans, LA 70118

Owner
Dr. and Mrs. Neil and Rena Jolly
10 Audubon Blvd.
New Orleans, LA 70118
(504) 909-2909

Architect
DANIEL ZANGARA STUDIO, LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064

This drawing is confidential and may not be loaned, reproduced, copied, either wholly or in part, or made public in any manner without the written consent of Zangara + Partners LLC. All rights of design or invention are reserved and will remain the sole property of Zangara + Partners LLC.

Revisions	

Interface Data	
Project Number	CN 26002
Drawn By	Daniel Zangara
Checked By	Daniel Zangara

Issue Date	05.11.26
------------	----------

Title
New First Floor Plan @ Rear

Sheet

The Jolly Residence

Addition
10 Audubon Blvd.
New Orleans, LA 70118

Owner
Dr. and Mrs. Neil and Rena Jolly
10 Audubon Blvd.
New Orleans, LA 70118
(504) 909-2909

Architect
DANIEL ZANGARA STUDIO, LLC
6107 Magazine Street
New Orleans, LA 70118
T (504) 473-0064

This drawing is confidential and may not be loaned, reproduced, copied, either wholly or in part, or made public in any manner without the written consent of Zangara + Partners LLC. All rights of design or invention are reserved and will remain the sole property of Zangara + Partners LLC.

Revisions	

Interoffice Data	
Project Number	CN 26002
Drawn By	Daniel Zangara
Checked By	Daniel Zangara

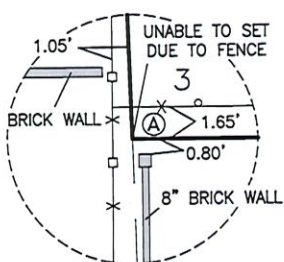
Issue Date	05.11.26
------------	----------

Title
New Exterior Elevations

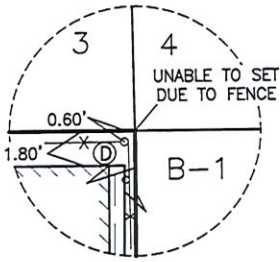
Sheet

A-4

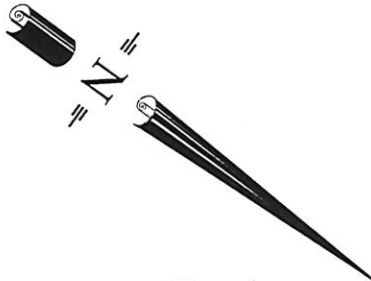




DETAIL A
(NOT TO SCALE)



DETAIL B
(NOT TO SCALE)



VICINITY MAP
(NOT TO SCALE)

AUDUBON BOULEVARD

WILLOW STREET

FOUCHER LINE
AUDUBON BOULEVARD
SUBDIVISION

FRIBURG LINE

AUDUBON STREET

JEANNETTE STREET

ANGLE CHART

(A)	91°44'24"
(B)	88°03'18"
(C)	90°12'17"
(D)	90°00'01"
(E)	91°56'42"
(F)	92°42'00"
(G)	87°18'00"
(H)	89°47'43"

AREA CHART

OLD LOTS	SQUARE FEET	ACRES	NEW LOTS	SQUARE FEET	ACRES
2	5,837.90	0.13	2A	3,663.65	0.08
10A	14,916.61	0.34	10B	17,090.86	0.39
TOTAL	20,754.51	0.47	TOTAL	20,754.51	0.47

SURVEY REFERENCE

- SURVEY OF LOT 2, SQUARE 20, FRIBURG, SIXTH DISTRICT BY CODY A. DIMARCO, P.L.S., DATED AUGUST 09, 2023.
- SURVEY OF LOT 10A, SQUARE B, AUDUBON BOULEVARD, SIXTH DISTRICT BY CLINT M. SIMONEAUX, P.L.S., DATED OCTOBER 13, 2022.

ANGLE BASIS

CITY SQUARE MAP BY PILIE.

GENERAL SURVEY NOTES

- IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.
- SEWER & WATER LINES ARE SCALED FROM NEW ORLEANS SEWERAGE & WATER BOARD MAPS.
- SEWER AND WATER HOUSE CONNECTIONS ARE RESPONSIBILITY OF THE OWNERS.

CONNECTIONS

WATER HOUSE CONNECTION
7000 JEANNETTE STREET - NO RESPONSE FROM N.O.S. & W.B.
10 AUDUBON BOULEVARD - NO RESPONSE FROM N.O.S. & W.B.

SEWER HOUSE CONNECTION
7000 JEANNETTE STREET - NO RESPONSE FROM N.O.S. & W.B.
10 AUDUBON BOULEVARD - NO RESPONSE FROM N.O.S. & W.B.

LEGEND

(T)	= TITLE
(A)	= ACTUAL
(P)	= PLAN
⊙	= IRON PIPE FOUND
×	= CROSS FOUND (UNLESS NOTED)
○	= 1/2" IRON ROD FOUND
↓	= ARROW FOUND
⊕	= UTILITY POLE
—D—	= DRAIN LINE
—S—	= SEWER LINE
—U—	= OVERHEAD UTILITY LINE
○—X—	= CHAIN LINK FENCE
—X—	= BOARD FENCE
—X—	= BOARD FENCE
—X—	= WOOD FENCE
[Pattern]	= ASPHALT
[Pattern]	= CONCRETE
[Pattern]	= BRICK
[Pattern]	= BRICK

RESUBDIVISION OF LOT 2, SQUARE 20, FRIBURG
AND LOT 10A, SQUARE B, AUDUBON BOULEVARD
INTO LOT 2A, SQUARE 20, FRIBURG
AND LOT 10B, SQUARE B, AUDUBON BOULEVARD
SIXTH DISTRICT
CITY OF NEW ORLEANS
ORLEANS PARISH, LOUISIANA

I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED
BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION.
MADE AT THE REQUEST OF:

NEIL JOLLY



P.O. BOX 790
METAIRIE, LA. 70004
(504) 834-0200



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE
LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND
THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES
AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE
NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE
DATA FOR THIS SURVEY.

THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE
UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF
LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS"
FOR A CLASS "C" SURVEY

DATE:

05-01-2025

SCALE:

1" = 30'

DRAWN BY:

J.R.

CHECKED BY:

C.A.D.

JOB NO.:

64528



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7300 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: ☒ Design Review ☐ Interim Zoning Districts Appeal ☐ Moratorium Appeal

Property Location 10 Audubon Blvd

APPLICANT INFORMATION

Applicant Identity: ☐ Property Owner ☐ Agent

Applicant Name Sherman Strategies

Applicant Address 800 Baronne Street

City New Orleans State LA Zip 70113

Applicant Contact Number 504-799-9335 Email avery@shermanstrategiesllc.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE ☐

Property Owner Name Rena Jolly Personal Qualified Residence Trust

Property Owner Address 10 Audubon Blvd

City New Orleans State LA Zip 70118

Property Owner Contact Number _____ Email _____

PROJECT DESCRIPTION

Proposed addition to single family home.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- ☐ Character Preservation Corridor
- ☐ Riverfront Design Overlay
- ☐ Enhancement Corridor
- ☒ University Area Design Overlay
- ☐ Corridor Transformation
- ☐ Greenway Corridor
- ☐ Others as required

Non-Design Overlay District Review

- ☐ Development over 40,000 sf
- ☐ Public Market
- ☐ CBD FAR Bonus
- ☐ Wireless Antenna/Tower
- ☐ Educational Facility

- ☐ Changes to Approved Plans
- ☐ DAC Review of Public Projects
- ☐ Others as Required

ADDITIONAL INFORMATION

Current Use Single Family Residential

Proposed Use Single Family Residential

Square Number B Lot Number 10B Permeable Open Space (sf) 6,494

New Development? Yes ☐ No ☐

Addition? Yes ☐ No ☐

Tenant Width N/A

Existing Structure(s)? Yes ☐ No ☐

Renovations? Yes ☐ No ☐

Building Width 78'

Change in Use? Yes ☐ No ☐

Existing Signs? Yes ☐ No ☐

Lot Width (sf) 90'

New Sign(s)? Yes ☐ No ☐

Lot Area (sf) 17,090

Building Area (sf) 8138

Base Zoning District:	HU-RS		
Bulk Regulations	Requirement	Provided	Waiver Necessary?
<i>Minimum Lot Area</i>	5,000 sf	17,090 sf	No
<i>Minimum Lot Width</i>	50'	90'	No
<i>Minimum Lot Depth</i>	90'	204'	No
<i>*Maximum Building Height</i>	30'	31' 6"	Yes
<i>Minimum Permeable Open Space</i>	30%	38%	No
<i>Minimum Open Space</i>	None		
<i>Maximum Impervious Surface in Front Yard</i>	40%	50%	No, existing condition
<i>Maximum Impervious Surface in Corner Side Yard</i>	N/A		
Minimum Yard Requirements	Requirement	Provided	Waiver Necessary?
<i>Front Yard</i>	11.3.A.3	40'	No, existing
<i>Interior Side Yard</i>	9'	0' and 2'9 1/4"	Yes, on 0' foot side
<i>Corner Side Yard</i>	N/A		
<i>Rear Yard</i>	20'	1'1 1/2"	Yes
***Parking	Requirement	Provided	Waiver Necessary?
	1	4	No

* Pursuant to **Article 18, Section 18.32.B.4**, in the HU-RD1, HU-RD2, and HU-RS Districts, building height of any new structure, or addition or enlargement of an existing structure, is limited to no more than 30 feet, or to three (3) feet higher than the taller of the immediately adjacent structures, whichever is less.

**Waivers of height requirements may be considered by the Board of Zoning Adjustments.

***Confirm the off-street parking requirements of both [Article 22](#) and [Article 18, Section 18.30](#) University Area Off-Street Parking Overlay District are met.

TO: City Planning Commission, Design Advisory Committee

RE: Design Narrative for University Area Design Overlay for 10 Audubon

1. Design Review Approval Standards (Article 4, Section 4.5)

The proposed project consists of the renovation and addition to an existing single-family residence located at 10 Audubon Boulevard. The project has been designed to remain compatible with the established character of the surrounding neighborhood while complying with applicable zoning regulations, City Code requirements, and the goals and policies of the Master Plan.

All proposed new construction is located within the required buildable area of the site and maintains the established residential development pattern of the neighborhood. The requested variances relate solely to the reclassification of existing structures and existing encroachments and do not involve any new construction within the required setback areas. The majority of the addition is located toward the rear and side of the property and will have limited visibility from the public right-of-way, thereby minimizing any visual impact on surrounding properties.

The project is compatible with adjacent residential properties in terms of scale, massing, and architectural character. No significant changes are proposed to the front façade of the residence, preserving the existing streetscape and neighborhood character. Any potential impacts are limited primarily to the immediately adjacent property, and those impacts are minimized through compliance with all applicable setback requirements for new construction.

No new signage is proposed as part of the project. Existing landscape areas and open space will remain substantially unchanged. The project does not impact any known natural resources, drainage patterns, or mature trees, and existing site drainage will be maintained. As a renovation of an existing residential property, the proposal does not alter circulation patterns, access points, curb cuts, or parking arrangements. Existing pedestrian and vehicular access will remain unchanged.

The project reinforces the prevailing development pattern of the neighborhood by maintaining the existing orientation of the residence to the street, preserving the character of the established residential streetscape, and respecting the architectural context of the surrounding homes. The addition has been designed to integrate with the existing residence while remaining consistent with the character of the surrounding community.

2. Building Design Standards of the Base Zoning District (11.3.B)

The proposed renovation and addition comply with the applicable building design standards of the base zoning district. No significant alterations are proposed to the street-facing façade of the residence, and the existing architectural character of the home will be maintained. The project does not introduce large, flat street-facing facades and preserves the architectural elements that contribute to the home's visual interest and compatibility with the surrounding neighborhood.

The proposed addition incorporates roof forms, materials, and architectural details that are consistent with the existing residence and those commonly found within the surrounding area. Exterior materials and finishes will be carried throughout the addition to ensure a cohesive architectural appearance and consistent treatment of all visible facades. The project maintains a unified architectural character that is compatible with the existing residence and surrounding neighborhood context.

3. University Area Design Overlay Standards (Article 18, Section 18.32.B.3)

The proposed renovation and addition are compatible in character, scale, and spatial relationships with existing residential development on the block face and within the surrounding neighborhood. The project maintains the established residential pattern of development and does not alter the orientation of the residence to the street.

The proposed addition is located primarily at the rear and side of the existing structure, minimizing its visibility from Audubon Boulevard and reducing its impact on the streetscape. The scale, massing, and roof form of the addition are consistent with surrounding residential development and maintain the overall character of the neighborhood. Exterior materials, architectural detailing, and design elements will be compatible with the existing residence and surrounding homes.

Overall, the project preserves the character of the neighborhood while allowing for improvements to an existing residence in a manner that is consistent with surrounding development and the intent of the University Area Design Overlay District.