

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – August 28, 2013

There will be a meeting of the Planning Advisory Committee on Wednesday, August 28, 2013 at 2:00 p.m. The meeting will be held in the One Stop Shop conference room A, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the August 14, 2013 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 099/13** – Request by RAED AL HINDI for a Conditional Use to permit a convenience store and gas station with the sale of alcoholic beverages for off-premise consumption, in a C-1A General Commercial District and Inner-City Urban Corridor District, on Square 363, lots 13, 14, 15A and 16B, in the Second Municipal District, bounded by North Broad, Iberville and North White Streets and Bienville Avenue. The municipal addresses are 217, 223, 225 and 233 NORTH BROAD STREET and 2716 BIENVILLE AVENUE. (PD-4)
- 3) **Consideration:** **ZONING DOCKET 100/13** – Request by MY HOUSE INC. for a Conditional Use to permit a community center, in an RD-2 Two-Family Residential District, on Square 505, Lots 2, 3, 4, 5 and 6, in the Sixth Municipal District, bounded by Danneel, General Taylor, Peniston and South Saratoga Streets. The municipal address is 2010 PENISTON STREET. (PD-2)
- 4) **Consideration:** **ZONING DOCKET 101/13** – Request by ORLEANS PARISH SCHOOL BOARD for a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District and a Conditional Use for a development over 10,000 square feet, on Square 265, All Lots, and Square 266 or 275, Lot X or an undesignated lot and a portion of the former St. Philip Street right-of-way, in the Second Municipal District, bounded by Dumaine, North Galvez, North Johnson and Saint Philip Streets. The municipal address is 1010 NORTH GALVEZ STREET. (PD-4)
- 5) **Consideration:** **ZONING DOCKET 102/13** – Request by CORPUS CHRISTI EPIPHANY ROMAN CATHOLIC CHURCH for a Conditional Use to permit a Community Center in an RD-3 Two-Family Residential District and a C-1 General Commercial District, on Square 1036, All lots, in the Third Municipal District, bounded by Dabadie, North Galvez, North Johnson, Onzaga Streets and Saint Bernard Avenue. The municipal address is 2022 SAINT BERNARD AVENUE. (PD-4)

- 6) **Consideration:** A grant of servitude of air rights on/over a portion of N. Rampart St. public right-of-way adjacent to Square 363, Lot D, 3rd M.D., bounded by: Clouet St., Montegut St., N. Rampart St., and St. Claude Ave. for a proposed encroachment of an awning and existing sign. The municipal address is 3053 N. Rampart St.
- 7) **Consideration:** A grant of servitude of air and ground rights on/over a portion of Congress St. public right-of-way adjacent to Square 136, Lot 17-20, 3rd M.D., bounded by: Independence St., Chartres St., Royal St., and Congress St. for proposed encroachments of roof overhang, balcony, columns, steps, landing, and hand railings. The municipal address is 605 Congress St.
- 8) **Consideration:** A grant of servitude of air rights on/over a portion of South Peters St. and Fulton St. public right-of-ways adjacent to Square 17, Lots A-1 and 7, 1st M.D., bounded by: Lafayette St., Girod St., Fulton St., and South Peters St. for proposed awnings and outward swing doors. The item was last considered on June 24, 2009 (Zoning Docket 061/09). The municipal address is 612-18 S. Peters St.
- 9) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, September 11, 2013, at 2:00 p.m. in the City Planning Commission conference room (City Hall Room 7W03).

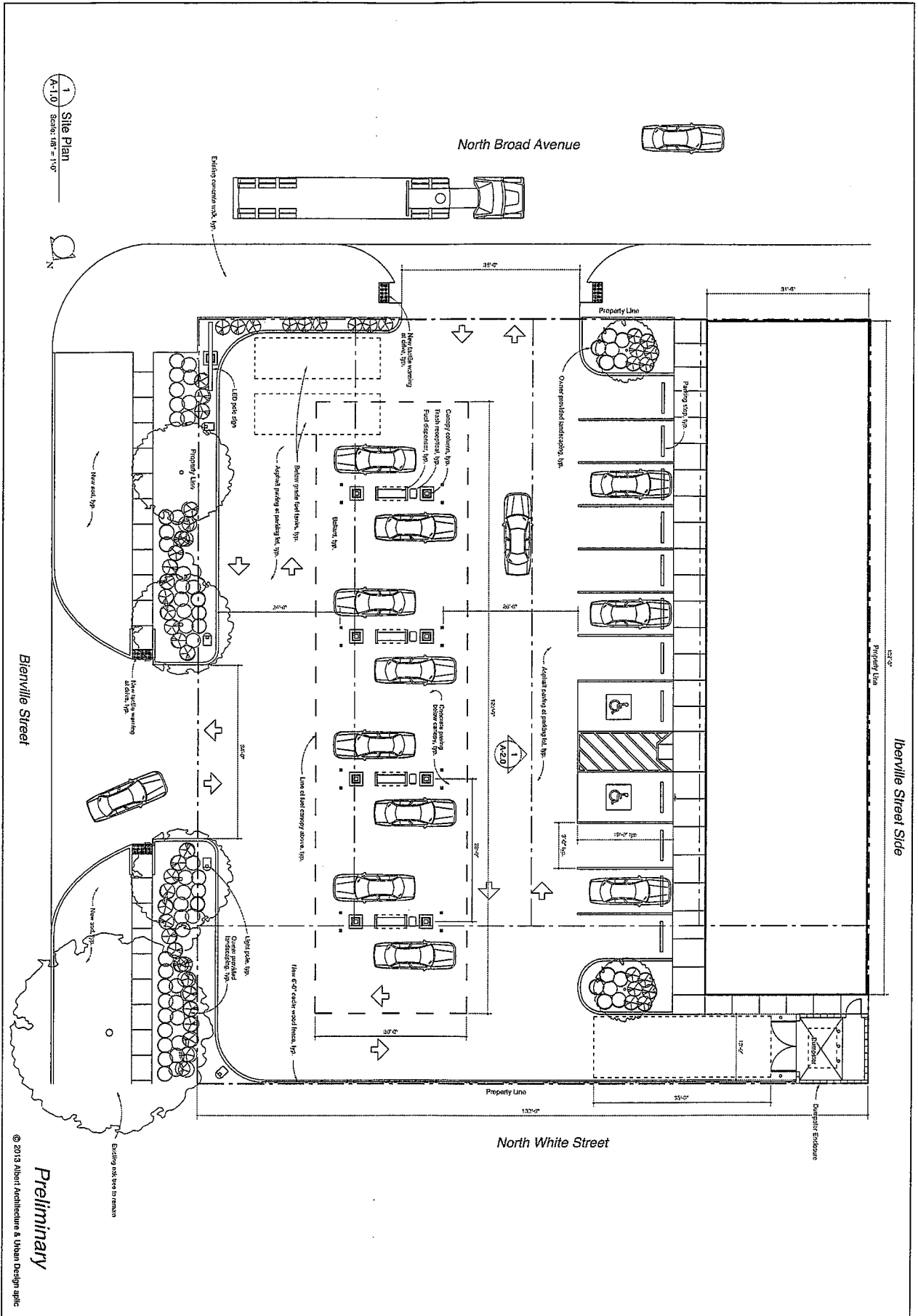
Respectfully yours,

Leslie T. Alley, Deputy Director
August 21, 2013

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

Item # 2

Consideration: ZONING DOCKET 099/13 – Request by RAED AL HINDI for a Conditional Use to permit a convenience store and gas station with the sale of alcoholic beverages for off-premise consumption, in a C-1A General Commercial District and Inner-City Urban Corridor District, on Square 363, lots 13, 14, 15A and 16B, in the Second Municipal District, bounded by North Broad, Iberville and North White Streets and Bienville Avenue. The municipal addresses are 217, 223, 225 and 233 NORTH BROAD STREET and 2716 BIENVILLE AVENUE. (PD-4)



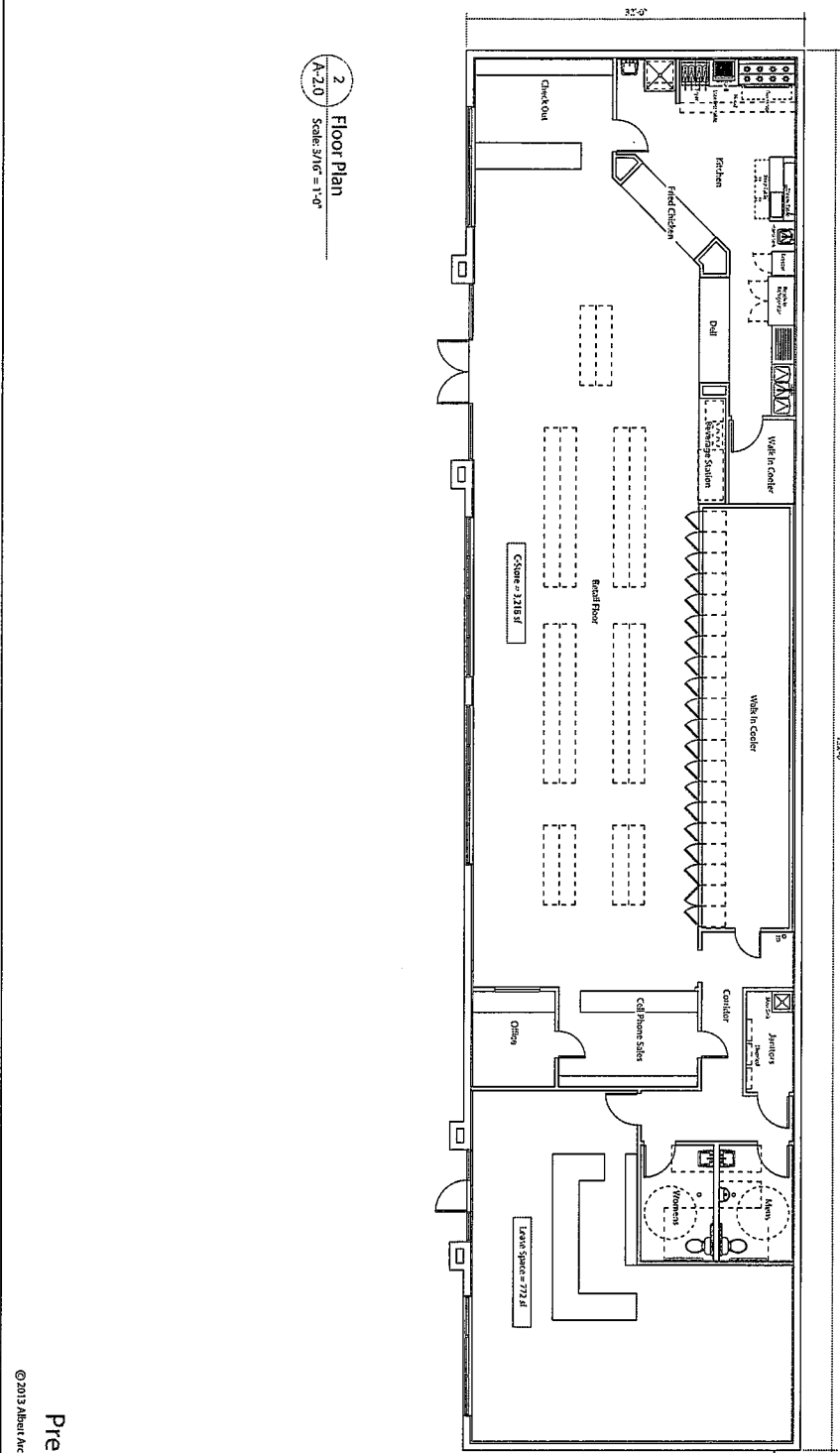
1 Site Plan
A-1.0 Scale: 1/8" = 1'-0"

Bienville Street

Iberville Street Side

Preliminary
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|---|---|--|--|----------|-------|--------------|------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| <p>A-1.0</p> | <p>223 North Broad Avenue New Orleans, Louisiana</p> | <p>Albert Architecture & Urban Design apc 733 Mississippi Avenue New Orleans, Louisiana 70119 Phone: 504.581.5239 Fax: 504.581.5482</p> | <p>The drawings in copyright shall be the property of Albert Architecture and Urban Design apc. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Albert Architecture & Urban Design apc. © 2013 Albert Architecture & Urban Design apc.</p> | | | | | | | | | | | | | | | | | | | | |
| <p>Site Plan</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>PROJECT NO.</td><td>NA</td></tr> <tr><td>DATE</td><td>12/11/13</td></tr> <tr><td>SCALE</td><td>1/8" = 1'-0"</td></tr> <tr><td>REVISIONS:</td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td> </td><td></td></tr> <tr><td> </td><td></td></tr> </table> | PROJECT NO. | NA | DATE | 12/11/13 | SCALE | 1/8" = 1'-0" | REVISIONS: | | | | | | | | | | | | | | | | |
| PROJECT NO. | NA | | | | | | | | | | | | | | | | | | | | | | |
| DATE | 12/11/13 | | | | | | | | | | | | | | | | | | | | | | |
| SCALE | 1/8" = 1'-0" | | | | | | | | | | | | | | | | | | | | | | |
| REVISIONS: | | | | | | | | | | | | | | | | | | | | | | | |
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2 Floor Plan
 A-2.0 Scale: 3/16" = 1'-0"

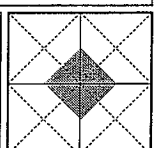
Preliminary
 © 2013 Albert Architecture & Urban Design, LLC

| | |
|--------------|--------------------|
| Floor Plan / | Exterior Elevation |
| PROJECT NO. | NA |
| DRAWN BY | NA |
| CHECKED BY | NA |
| DATE | 10/18 |
| REVISIONS | |
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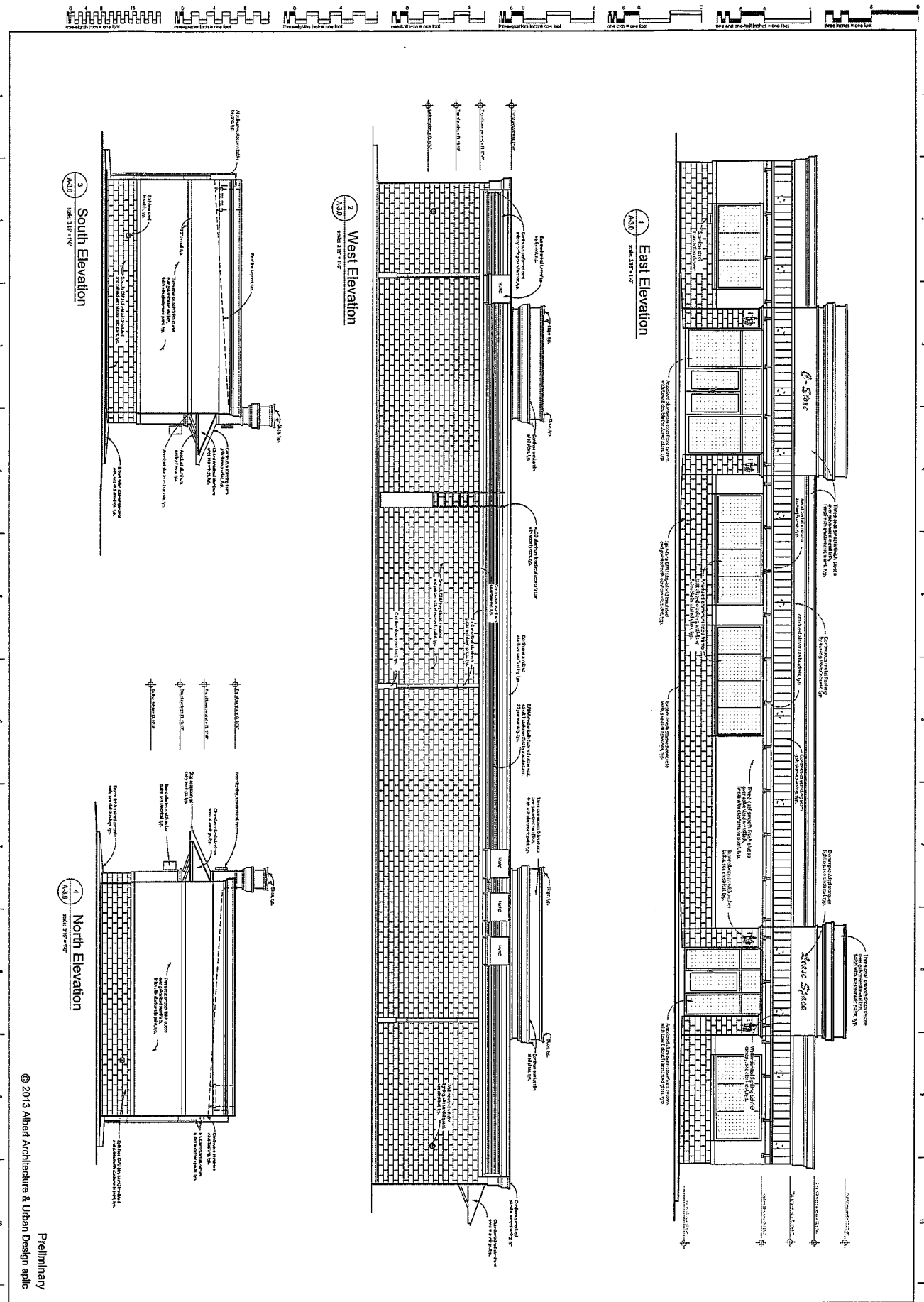
223 North Broad Avenue
 New Orleans, Louisiana

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 & Urban Design, LLC
 223 Washington Avenue
 New Orleans, Louisiana 70130
 Phone: 504.331.3439
 Fax: 504.891.1582



A-2.0



| | <p>Albert Architecture 720 Maple Ridge Drive New Orleans, Louisiana 70130 Phone: (504) 577-4250 Fax: (504) 577-4250</p> | <p>This drawing is copyright of Albert Architecture. Any use or reproduction without the written consent of Albert Architecture is strictly prohibited. All rights reserved.</p> | <p>223 North Broad Avenue New Orleans, Louisiana</p> | <table border="1"> <thead> <tr> <th colspan="2">Elevations</th> </tr> </thead> <tbody> <tr> <td>NO. OF ELEVATIONS</td> <td>04</td> </tr> <tr> <td>NO. OF WALLS</td> <td>04</td> </tr> <tr> <td>DATE</td> <td>4/20/13</td> </tr> <tr> <td>REVISIONS</td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> <tr> <td></td> <td></td> </tr> </tbody> </table> | Elevations | | NO. OF ELEVATIONS | 04 | NO. OF WALLS | 04 | DATE | 4/20/13 | REVISIONS | | | | | | | | | | | | | | <p>A-3.0</p> |
|-------------------|--|--|--|---|------------|--|-------------------|----|--------------|----|------|---------|-----------|--|--|--|--|--|--|--|--|--|--|--|--|--|---------------------|
| Elevations | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NO. OF ELEVATIONS | 04 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NO. OF WALLS | 04 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE | 4/20/13 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REVISIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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 Preliminary

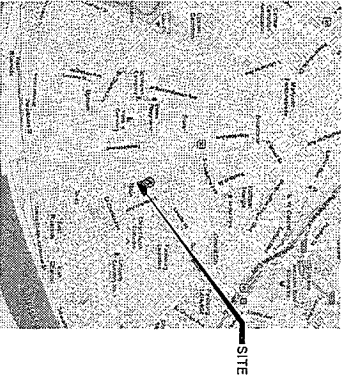
Item # 3

Consideration: ZONING DOCKET 100/13 – Request by MY HOUSE INC. for a Conditional Use to permit a community center, in an RD-2 Two-Family Residential District, on Square 505, Lots 2, 3, 4, 5 and 6, in the Sixth Municipal District, bounded by Danneel, General Taylor, Peniston and South Saratoga Streets. The municipal address is 2010 PENISTON STREET. (PD-2)

ALTERATIONS TO MY HOUSE LEARNING CENTER

CONDITIONAL USE CPC APPLICATION
2010 PENISTON ST.
NEW ORLEANS, LOUISIANA 70115

VICINITY MAP:



PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE COMPLETE INTERIOR RENOVATION OF THE FIRST FLOOR OF A COMMUNITY CENTER THAT IS PROBABLY USED AS A GATHERING PLACE FOR ACTIVITIES. APPROXIMATELY 4500 SQUARE FEET OF RENOVATION IS PLANNED FOR THE FIRST FLOOR. AN ADDITIONAL 100 FEET OF RENOVATION IS PLANNED FOR THE SECOND FLOOR. IN ORDER TO MEET CURRENT APPLICABLE CODES, THE SECOND FLOOR WILL OTHERWISE REMAIN UNOCCUPIED.

INDEX OF DRAWINGS:

- T1.0 COVER SHEET, PROJECT INFORMATION
- SS1.0 SITE SLOPEY
- AS1.0 SITE PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A2.3 EXTERIOR ELEVATIONS
- A2.4 EXTERIOR ELEVATIONS
- A2.5 EXTERIOR ELEVATIONS

GENERAL NOTES

NO SCALE

DATE

ISSUE

DATE

DATE

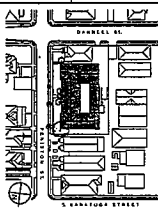
DATE

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DATE

DATE

KEY PLAN

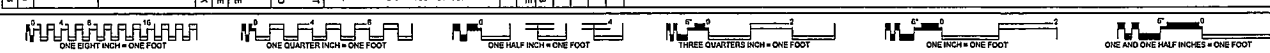


PROJECT INFORMATION
 2010 PENISTON ST.
 NEW ORLEANS, LA 70115
 JOB NO. 100034

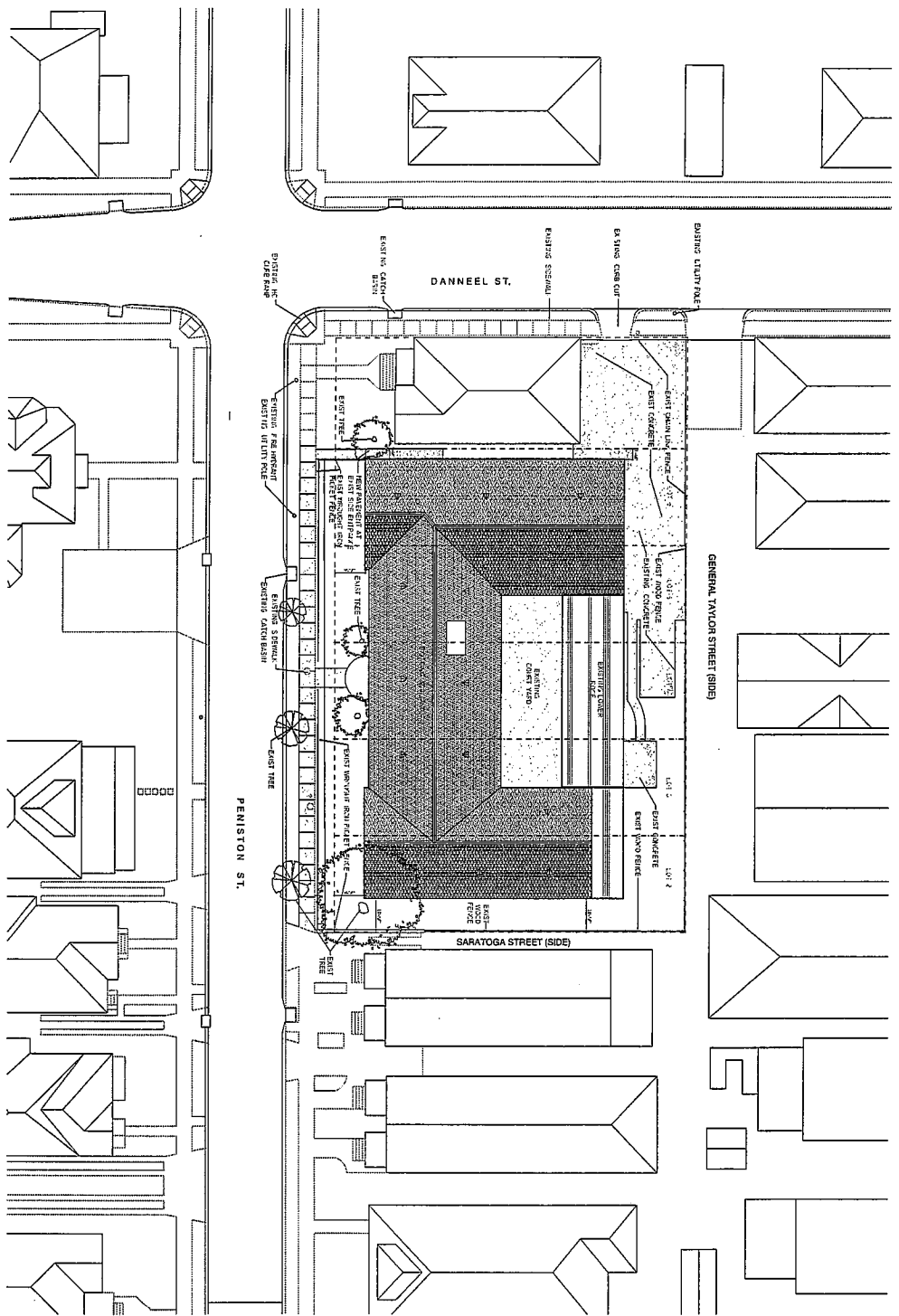
COVER SHEET
 AS NOTED
 TITLE SCALE
 DIMENSIONS

T1.1
 FULLY SHIMMERED
 BUILDINGS

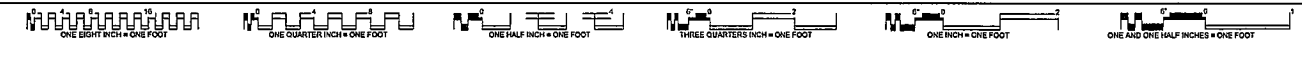
RWA
 KOZAS-WAID ARCHITECTS
 A PROFESSIONAL CORPORATION
 100 Poydras Street, Suite 1700
 New Orleans, LA 70112
 (504) 581-1234
 www.kozas-waid.com



1 SITE PLAN
1/8" = 1' - 0"



| | | | | | |
|--|--|--|--|--|--|
| <p>RWA ROZAS-WARD ARCHITECTS ARCHITECTURAL CORPORATION 1180 BROADWAY, SUITE 200, NEW YORK, NY 10018</p> | | <p>AS1.0 FULLY SPRINKLED BUILDING</p> | | <p>GENERAL NOTES</p> | |
| <p>KEY PLAN SITE PLAN SCALE AS NOTED DRAWN BY DATE</p> | | <p>PROJECT ARCHITECTURAL CORPORATION 200 WEST 11TH ST. NEW YORK, NY 10011</p> | | <p>KEY PLAN SCALE AS NOTED DATE</p> | |
| <p>1/8" = 1' - 0"</p> | | <p>1/4" = 1' - 0"</p> | | <p>1/2" = 1' - 0"</p> | |
| <p>3/4" = 1' - 0"</p> | | <p>1" = 1' - 0"</p> | | <p>1 1/2" = 1' - 0"</p> | |





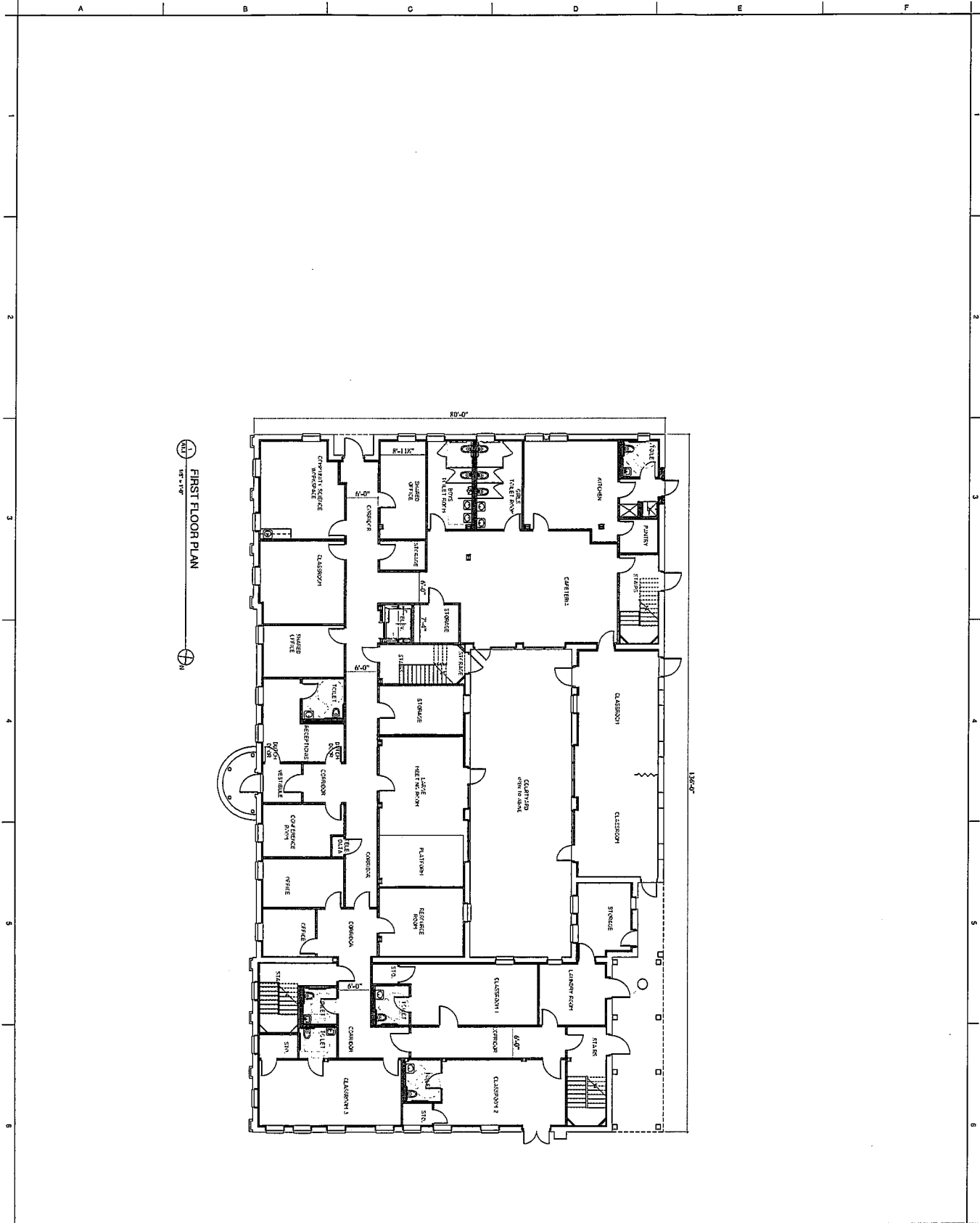
500 SQUARE FEET PROPERTY
 THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.
 THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.
 THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.

LEGEND
 (Symbol) = WATER SURFACE
 (Symbol) = OPEN SPACE
 (Symbol) = EXISTING CURB
 (Symbol) = EXISTING DRIVEWAY
 (Symbol) = EXISTING SIDEWALK
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 (Symbol) = EXISTING DRIVE
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GENERAL NOTES
 1. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.
 2. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.
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 5. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE CITY OF NEW ORLEANS AND HAS FOUND THE INFORMATION TO BE CORRECT AND ACCURATE.

R.M.S. 08-01-2012 Printed

| | | | |
|--|---|---|-----------------------------|
| <p>RWA ROZAS WARD ARCHITECTS ARCHITECTS</p> | <p>SS1.0 FULLY PRINTED DRAWING</p> | <p>KEY PLAN SCALE AS NOTED</p> | <p>GENERAL NOTES</p> |
| | <p>DATE 07-26-2012</p> | | |
| <p>PROJECT 2ND FLOOR LEARNING CENTER 2812 PENISTON ST. NEW ORLEANS, LA 70115</p> | <p>DATE 07-26-2012</p> | <p>SCALE 1" = 30'</p> | <p>GENERAL NOTES</p> |
| <p>JOB NO. 10034</p> | <p>DATE 07-26-2012</p> | <p>SCALE 1" = 30'</p> | <p>GENERAL NOTES</p> |
| <p>DATE 07-26-2012</p> | <p>SCALE 1" = 30'</p> | <p>SCALE 1" = 30'</p> | <p>GENERAL NOTES</p> |
| <p>DATE 07-26-2012</p> | <p>SCALE 1" = 30'</p> | <p>SCALE 1" = 30'</p> | <p>GENERAL NOTES</p> |



11 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

LEGEND

- HEAVY WALL
- EXTERIOR WALL

KEY PLAN

ONE APPLICATION 07/07/13
NO. REVISION DAVE

PROJECT

WYTHE LANE LEARNING CENTER
NEW ORLEANS, LA 70115

JOB NO. 10014

TITLE

FIRST FLOOR PLAN

SCALE AS NOTED

DRAWN/CHK

A1.1

FULLY DEVELOPED BUILDING

RWA

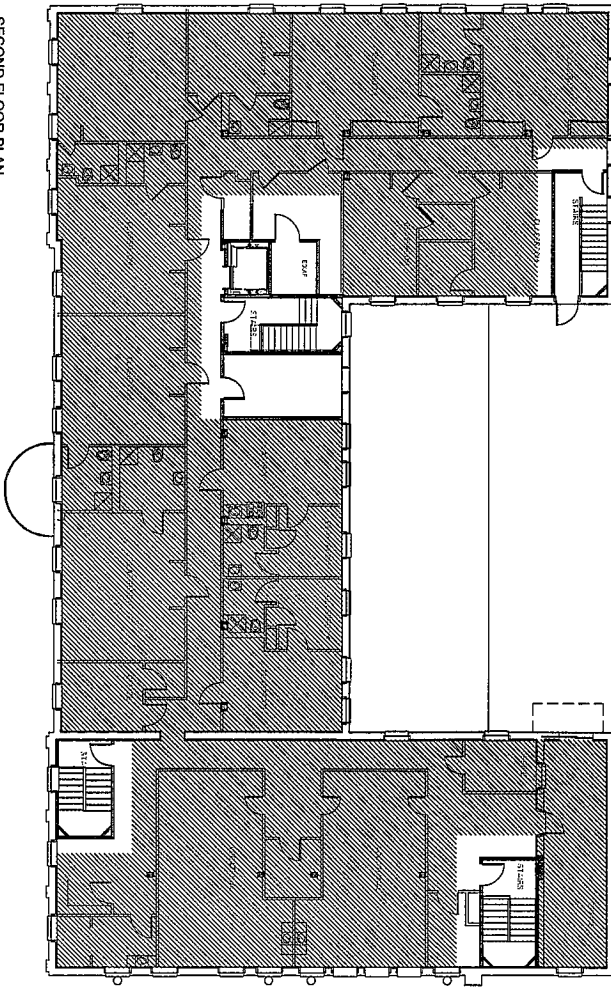
ROZAS - WARD ARCHITECTS

PROFESSIONAL CORPORATION

1409 POND ST. SUITE 200, MOBILE, AL 36688-5211






1.2 SECOND FLOOR PLAN
1/8" = 1'-0"

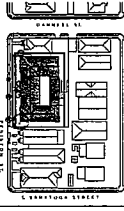


GENERAL NOTES

LEGEND

-  GENERAL WALL
-  EXTERIOR WALL
-  40' WORK IN THIS AREA

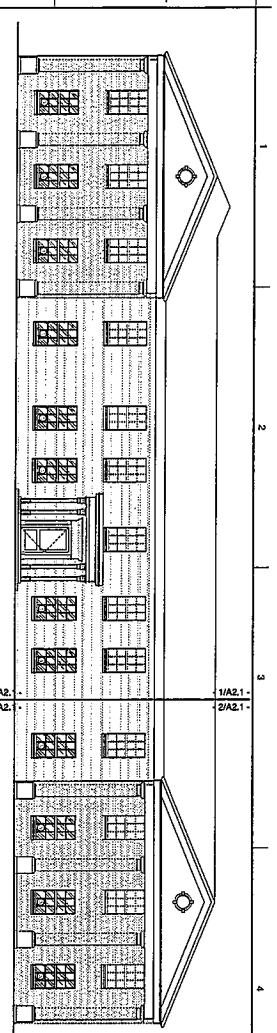
DATE: 02/20/12
 DNE: DAN BIRNBAUM
 PROJECT: 2000 PEARSON ST. NEW ORLEANS, LA 70119
 JOB NO: 100933



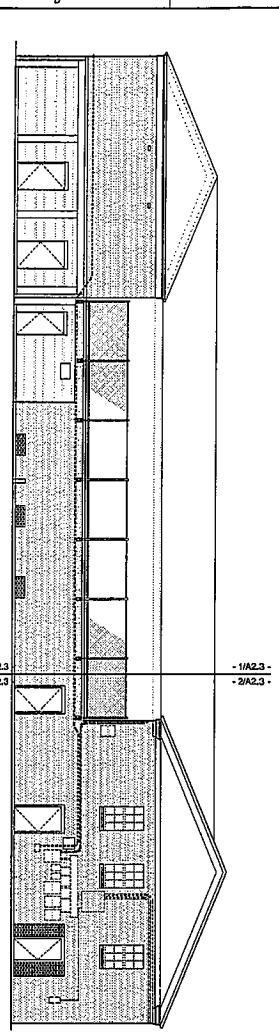
TITLE: SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DWNNMCK

RWA
 FULLY EMPLOYED BUILDING
 ROZAS-WARD ARCHITECTS
 PROFESSIONAL CORPORATION
 1120 POND ST. SUITE 200 NEW ORLEANS, LA 70119 504.581.1193

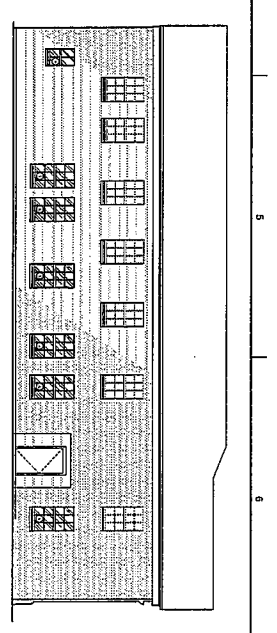




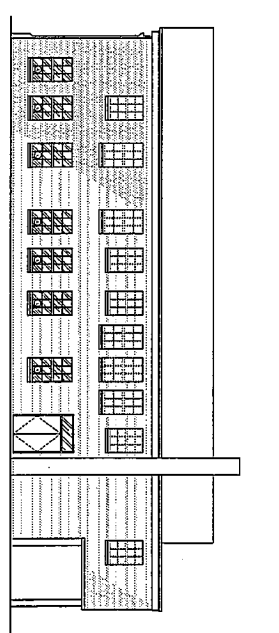
1/207 SEE SHEET 7A1
EXISTING EAST EXTERIOR ELEVATION - PENISTON STREET - FRONT



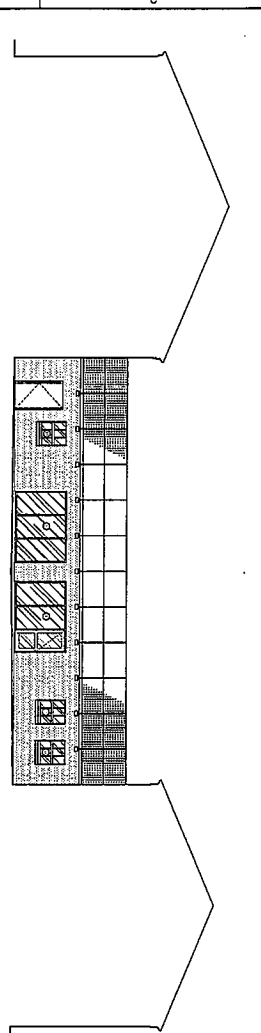
1/207 SEE SHEET 7A3
EXISTING WEST EXTERIOR ELEVATION - GENERAL TAYLOR STREET (SIDE)



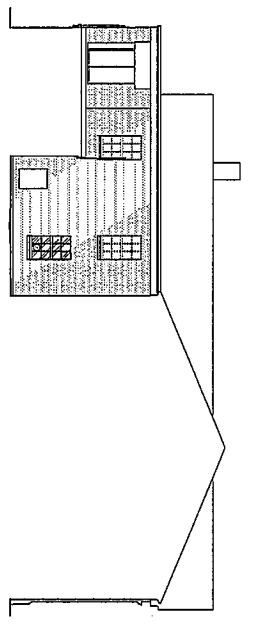
1/207 SEE 7A2
EXISTING SOUTH EXTERIOR ELEVATION - DANELL ST. (SIDE)



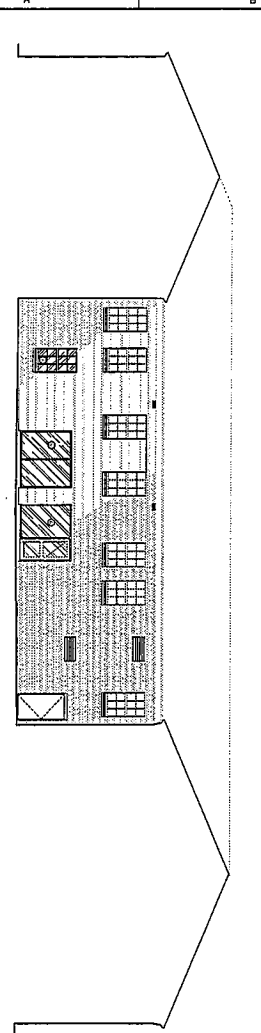
1/207 SEE 7A4
EXISTING NORTH EXTERIOR ELEVATION - S. SARATOGA ST. (SIDE)



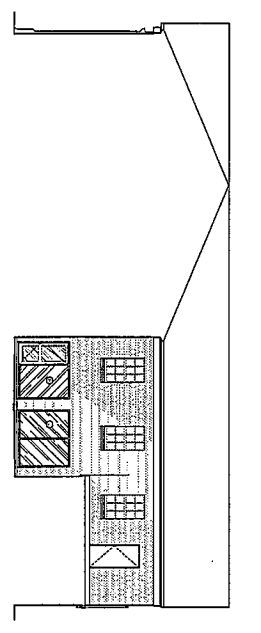
1/207 SEE 7A3A
EXISTING COURTYARD - WEST EXTERIOR ELEVATION



1/207 SEE 7A4A
EXISTING COURTYARD - NORTH EXTERIOR ELEVATION



1/207 SEE 7A3A
EXISTING COURTYARD - EAST EXTERIOR ELEVATION



1/207 SEE 7A4A
EXISTING COURTYARD - SOUTH EXTERIOR ELEVATION

GENERAL NOTES

KEY PLAN
GENERAL TAYLOR STREET
PENISTON STREET
DANELL STREET
SARATOGA STREET

1/207 SEE SHEET 7A1
1/207 SEE SHEET 7A3
1/207 SEE 7A2
1/207 SEE 7A4
1/207 SEE 7A3A
1/207 SEE 7A4A

DATE: 07/2014
NO. REVISION: NONE

DRW: JMB
CHK: JMB
APP: JMB

PROJECT: 102031
JOB NO: J20140

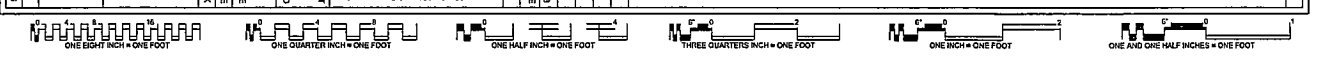
1/207 SEE SHEET 7A1
1/207 SEE SHEET 7A3
1/207 SEE 7A2
1/207 SEE 7A4
1/207 SEE 7A3A
1/207 SEE 7A4A

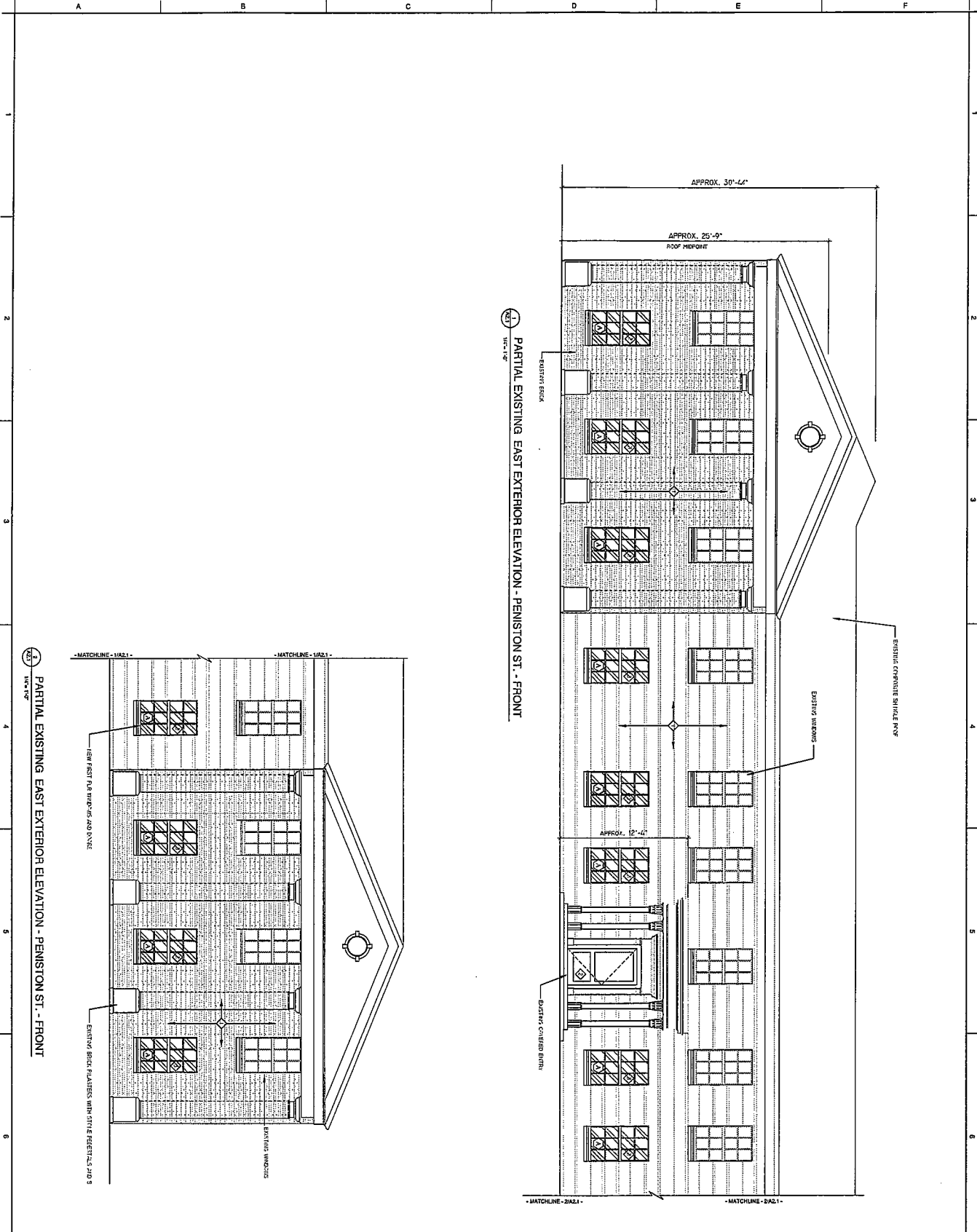
EXISTING EXTERIOR ELEVATIONS TITLE SCALE
AS NOTED DIMANCKIK

RWA
FULLY BRANDED
ILLUSTRATED

A2.0

ROZAS, WARD ARCHITECTS
ARCHITECTURAL CONSULTANTS
1000 W. 10TH STREET, SUITE 200
DENVER, CO 80202





7-1 PARTIAL EXISTING EAST EXTERIOR ELEVATION - PENISTON ST. - FRONT

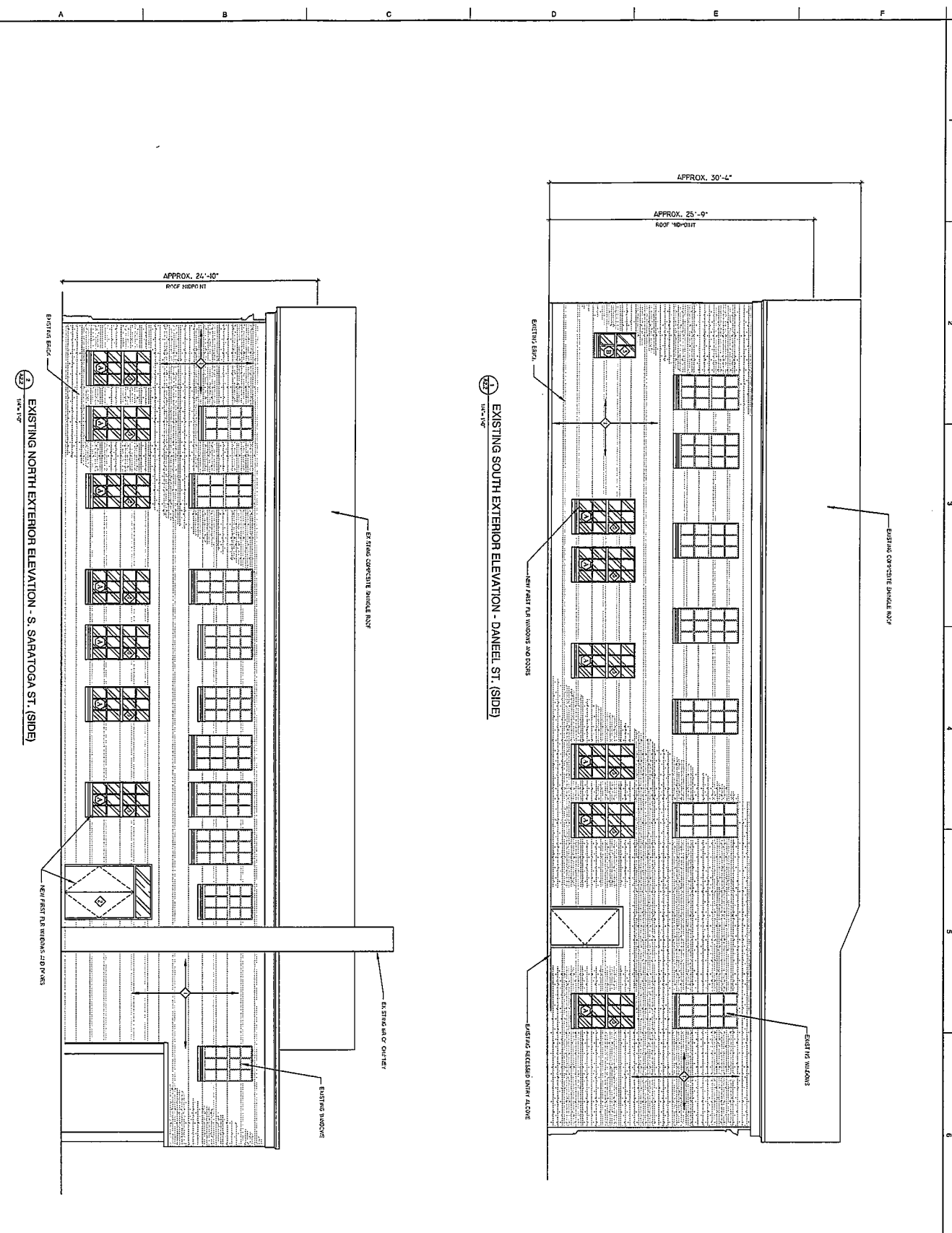
7-2 PARTIAL EXISTING EAST EXTERIOR ELEVATION - PENISTON ST. - FRONT

GENERAL NOTES

- ◆ SPECIFIC NOTES FOR EXTERIOR ELEVATIONS:
- ◆ PROJECT LOCATION, VERIFY TO DISCREPANCY IN FIELD OR SHIP COMPANY.
- ◆ DRAWING SHALL BE THE SOURCE OF TRUTH FOR THE PROJECT. ANY CHANGES SHALL BE NOTED ON THE DRAWING.
- ◆ FIELD TO BE CONSIDERED TO BE THE SOURCE OF TRUTH FOR THE PROJECT. ANY CHANGES SHALL BE NOTED ON THE DRAWING.
- ◆ VERIFY ALL MATERIALS AND FINISHES TO BE USED ON THIS PROJECT.
- ◆ VERIFY ALL MATERIALS AND FINISHES TO BE USED ON THIS PROJECT.
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- ◆ VERIFY ALL MATERIALS AND FINISHES TO BE USED ON THIS PROJECT.
- ◆ VERIFY ALL MATERIALS AND FINISHES TO BE USED ON THIS PROJECT.

| | | | | | |
|--|---|---|---|---|---------------------------|
| RWA ROZAS-WARD ARCHITECTS ARCHITECTS & INTERIORS 1700 WILSON BLVD SUITE 2000 DENVER, CO 80202 | A2.1 FULLY DEVELOPED DRAWING | PROJECT: HUNTER LEARNING CENTER 3500 PENISTON ST. DENVER, CO 80202 JOB NO: 10034 | KEY PLAN HUNTER LEARNING CENTER 3500 PENISTON STREET | CIRC. APPLICATION: 07/20/13 NO. REVISION: 0 DATE: | AS NOTED DRAWING SCALE |
|--|---|---|---|---|---------------------------|



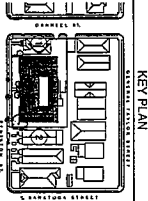


EXISTING NORTH EXTERIOR ELEVATION - S. SARATOGA ST. (SIDE)

EXISTING SOUTH EXTERIOR ELEVATION - DANIEL ST. (SIDE)

GENERAL NOTES

- SPECIFIC NOTES FOR EXTERIOR ELEVATIONS:**
- ◆ MAINTAIN TO THE DEGREE OF ACCURACY TO FIELD FROM SURVEY CONTROL POINTS.
 - ◆ PLAN TO AND REMOVE ALL EXISTING MATERIAL TO BE REPRODUCED TO FIELD FROM SURVEY CONTROL POINTS.
 - ◆ REMOVE REAR EXTERIOR DOORS AND REFRAMES AT ALL FIRST FLOOR DOOR HISTORY OVERHEADS AND REMOVE SIM INSTALLATION.
 - ◆ REMOVE REAR EXTERIOR WINDOWS AND REFRAMES AT ALL FIRST FLOOR DOOR HISTORY OVERHEADS AND REMOVE SIM INSTALLATION.
 - ◆ EXISTING DOORS TO BE REPRODUCED CONSISTENTLY TO MATCH THE EXISTING TYPE, SIZE AND WALL THICKNESS.



KEY PLAN

NOZAS WARD ARCHITECTS
 PROFESSIONAL CORPORATION
 1120 PENNSYLVANIA ST. SUITE 200A BALTIMORE MD 21201-1115

RWA
 FULLY SPINDELLED BUILDING

A2.2

EXISTING EXTERIOR ELEVATIONS TITLE SHEET

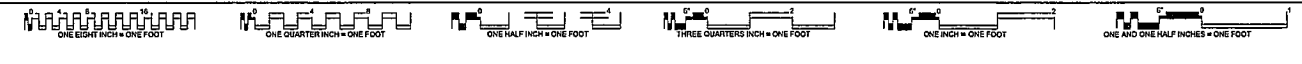
AS NOTED DRAWN BY: **SCM**

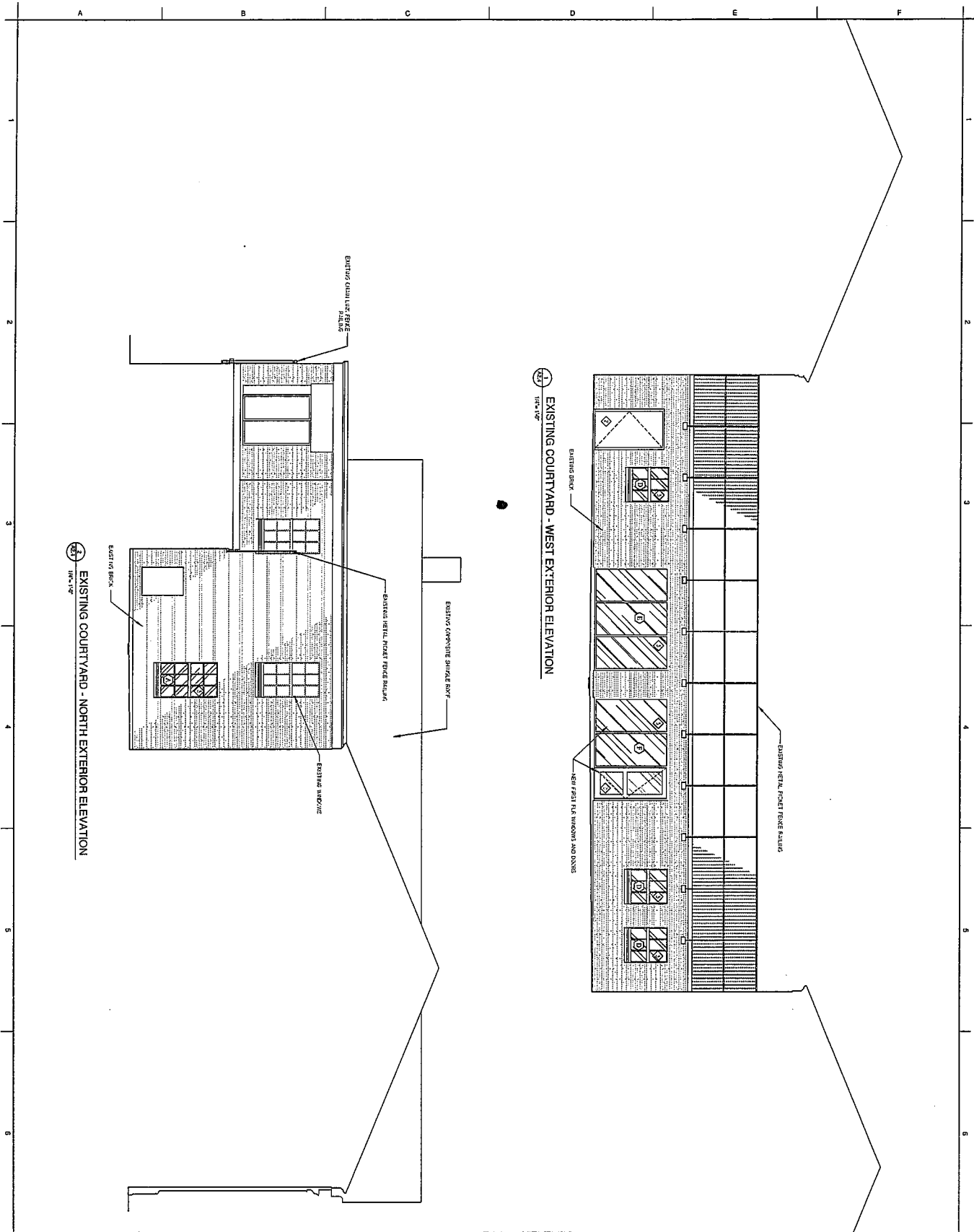
PROJECT: HONOREE CENTER
 2000 PENNSYLVANIA ST.
 BALTIMORE, MD 21201

JOB NO: 10034

DATE: 08/01/18

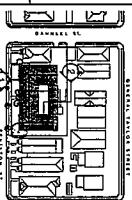
DATE: 08/01/18





GENERAL NOTES

- SPECIFIC NOTES FOR EXTERIOR ELEVATIONS:**
- 1. EXISTING MATERIALS TO REMAIN UNLESS NOTED OTHERWISE.
 - 2. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 3. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 4. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 5. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 6. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 7. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 8. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 9. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.
 - 10. ALL NEW MATERIALS TO BE MATCHED TO EXISTING MATERIALS.



EXISTING EXTERIOR COURTYARD ELEVATIONS

DATE: 08/20/13
 NO. REVISION: 0
 DATE: 08/20/13

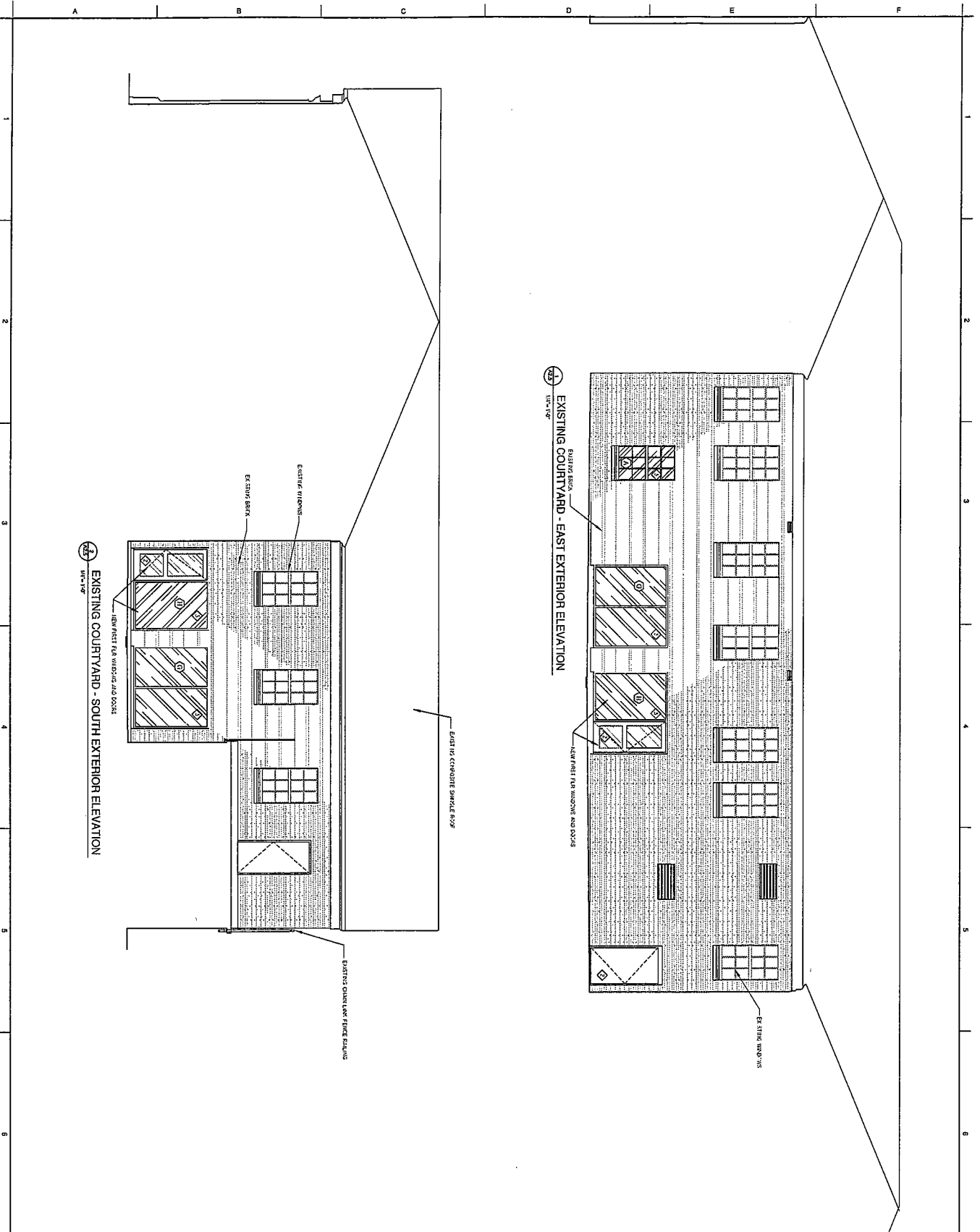
RWA
 ROZAS WARD ARCHITECTS
 A PROFESSIONAL CORPORATION
 1100 PONDUS ST. SUITE 200A DALLAS, TEXAS 75217-1133

A2.4
 FULLY SHINGLED BUILDING

PROJECT: SHINGLED BUILDING CENTER
 2000 PONDUS ST.
 NEW ORLEANS, LA 70119
 JOB NO. 10034

SCALE: DIMENSION AS NOTED

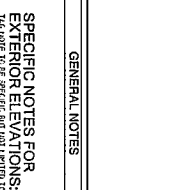
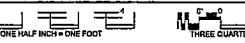
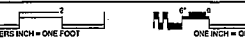
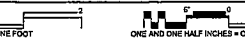




GENERAL NOTES

SPECIFIC NOTES FOR EXTERIOR ELEVATIONS:

- 1. ALL WORK TO BE SPECIFIC AND LIMITED TO THE FIELD FOR SPALLE COORDINATE.
- 2. EXISTING CURB AND SIDEWALKS TO REMAIN UNLESS OTHERWISE NOTED.
- 3. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO REMAIN UNLESS OTHERWISE NOTED.
- 4. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO BE REPAIRED TO MATCH THE EXISTING DRIVEWAYS AND DRIVEWAYS.
- 5. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO BE REPAIRED TO MATCH THE EXISTING DRIVEWAYS AND DRIVEWAYS.
- 6. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO BE REPAIRED TO MATCH THE EXISTING DRIVEWAYS AND DRIVEWAYS.
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- 9. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO BE REPAIRED TO MATCH THE EXISTING DRIVEWAYS AND DRIVEWAYS.
- 10. EXISTING ASPHALT DRIVEWAYS AND DRIVEWAYS TO BE REPAIRED TO MATCH THE EXISTING DRIVEWAYS AND DRIVEWAYS.



KEY PLAN
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 40th Street
 41st Street
 42nd Street
 43rd Street
 44th Street
 45th Street
 46th Street
 47th Street
 48th Street
 49th Street
 50th Street

PROJECT INFORMATION
 PROJ. NO. 10094
 DATE 08/10/10
 OWNER JAMES LEONARD CENTER
 30th AVENUE ST.
 NEW BRUNSWICK, NJ 08901
 PROJECTOR RWA
 1180 MONROE ST. SUITE 200 NEW BRUNSWICK, NJ 08901
 PHONE 732.241.1000
 FAX 732.241.1001
 WWW.RWAARCHITECTS.COM

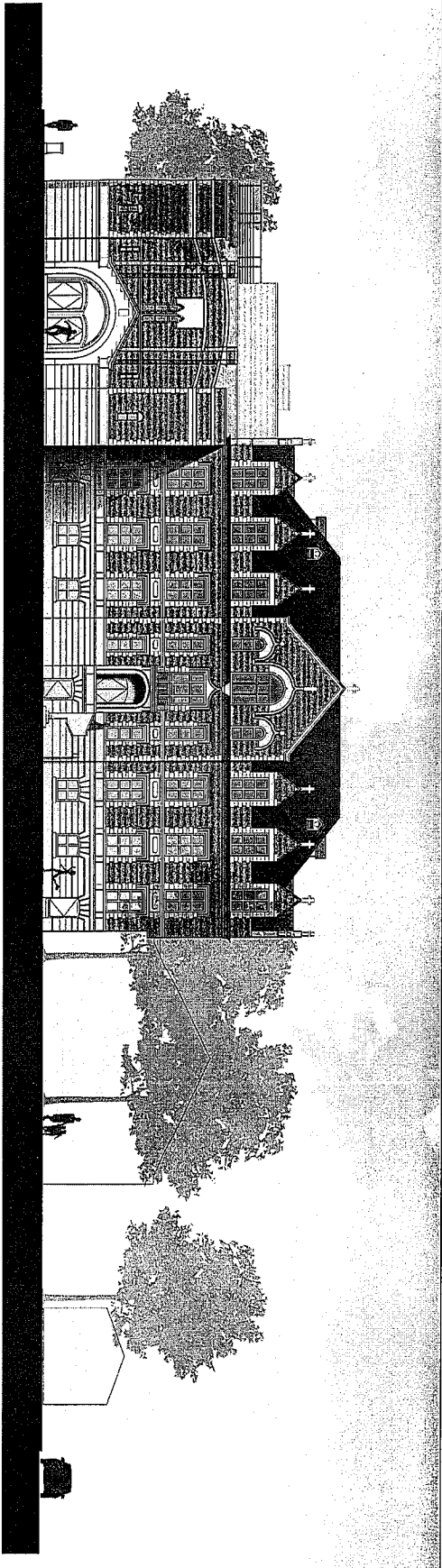
EXISTING EXTERIOR ELEVATIONS
 TITLE
 SCALE
 AS NOTED
 DRAWN BY

RWA
 ROZAS - WARD ARCHITECTS
 A PROFESSIONAL CORPORATION
 FULLY BRANDED BUILDINGS

A2.5

Item # 4

Consideration: ZONING DOCKET 101/13 – Request by ORLEANS PARISH SCHOOL BOARD for a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District and a Conditional Use for a development over 10,000 square feet, on Square 265, All Lots, and Square 266 or 275, Lot X or an undesignated lot and a portion of the former St. Philip Street right-of-way, in the Second Municipal District, bounded by Dumaine, North Galvez, North Johnson and Saint Philip Streets. The municipal address is 1010 NORTH GALVEZ STREET. (PD-4)



ARTSPACE NEW ORLEANS

BELL SCHOOL ARTS CAMPUS

SITE PLAN & ZONING CHANGE SUBMITTAL PACKAGE

1010 N. GALVEZ STREET
NEW ORLEANS, LA 70119

JOB NO. LA111.0283.00
ARTSPACE
NEW ORLEANS, LA

CLIENT:
ARTSPACE PROJECTS INC.
230 THIRD AVENUE NORTH, SUITE 500
MINNEAPOLIS, MINNESOTA

PROJECT TEAM:

ARCHITECT:

BILES PARTNERS, LLC
1055 ST. CHARLES AVE
SUITE 220
NEW ORLEANS, LA 70130
P: 504.301.1622
F: 504.324.6222

HISTORICAL ARCHITECTURAL CONSULTANT:

RICK FIELD
800 ST. ROCH AVE
NEW ORLEANS, LA 70117-7815
P: 504.949.3309
F: 504.949.0312

STRUCTURAL AND CIVIL ENGINEER:

MORPHY MAKOSKY, INC.
336 NORTH JEFFERSON DAVIS PARKWAY
SUITE 200
NEW ORLEANS, LA 70119
P: 504.488.1317
F: 504.488.0924

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER:

JBA
3525 NORTH CAUSEWAY BLVD.
SUITE 500
METairie, LA 70002
P: 504.830.0139
F: 504.830.0197

GENERAL CONTRACTOR:

GIBBS CONSTRUCTION
5736 CITRUS BOULEVARD
SUITE 200
NEW ORLEANS, LA 70123
P: 504.233.4336
F: 504.234.0399

bilespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T: 504.301.1622 F: 504.324.6222

ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
ST. JOSEPH BUILDING

1010 North Galvez Street
New Orleans, LA 70119

This drawing was prepared by the Architectural Firm named herein under contract to the Client named herein. The Client warrants that it is the owner of the project and that it has the authority to enter into this contract. The Architectural Firm and its representatives shall not be responsible for any errors or omissions in this drawing or any other drawings prepared by the Architectural Firm or its representatives under contract to the Client named herein, unless such errors or omissions are the result of negligence on the part of the Architectural Firm or its representatives.

| | |
|-------------|------------------------|
| PROJECT NO. | 11283.00 |
| DATE | 01/20/11 |
| DRAWN BY | AR |
| CHECKED BY | AR |
| SCALE | AS SHOWN |
| TITLE | SITE SUBMITTAL PACKAGE |
| DATE | 01/20/11 |
| DESIGNED BY | AR |
| DATE | 01/20/11 |
| PROJECT NO. | 11283.00 |
| TITLE | SITE SUBMITTAL PACKAGE |
| DATE | 01/20/11 |
| DESIGNED BY | AR |
| DATE | 01/20/11 |
| PROJECT NO. | 11283.00 |
| TITLE | SITE SUBMITTAL PACKAGE |
| DATE | 01/20/11 |
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| PROJECT NO. | 11283.00 |
| TITLE | SITE SUBMITTAL PACKAGE |
| DATE | 01/20/11 |
| DESIGNED BY | AR |
| DATE | 01/20/11 |

SP-0.00

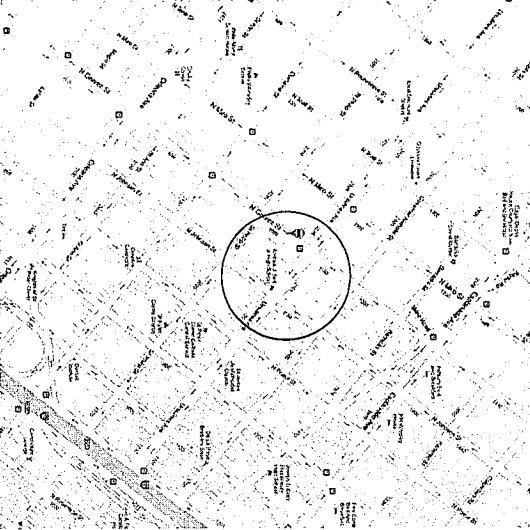
DRAWING INDEX

| SHEET NO. | SHEET NAME |
|-----------|--|
| SP-0-00 | COVER SHEET |
| SP-0-01 | PROJECT INDEX & LOCATION PLAN |
| SP-1-00 | EXISTING SITE PLAN |
| SP-1-01 | PROPOSED SITE DEMOLITION PLAN |
| SP-1-02 | PHASE ONE SITE PLAN |
| SP-1-03 | PHASE TWO SITE PLAN - FINAL |
| SP-1-04 | ST. JOSEPH BUILDING - FIRST FLOOR PLAN |
| SP-1-05 | ST. JOSEPH BUILDING - SECOND FLOOR PLAN |
| SP-1-06 | ST. JOSEPH BUILDING - THIRD FLOOR PLAN |
| SP-1-07 | ST. JOSEPH BUILDING - ELEVATIONS |
| SP-1-08 | BEN FRANKLIN BUILDING - FIRST FLOOR PLAN |
| SP-1-09 | BEN FRANKLIN BUILDING - SECOND FLOOR PLAN |
| SP-1-10 | BEN FRANKLIN BUILDING - THIRD FLOOR PLAN |
| SP-1-11 | BEN FRANKLIN BUILDING - ELEVATIONS |
| SP-1-12 | CHAPEL BUILDING - FLOOR PLANS |
| SP-1-13 | CHAPEL BUILDING - ELEVATIONS |
| SP-1-14 | ADMINISTRATION BUILDING - FLOOR PLANS |
| SP-1-15 | ADMINISTRATION BUILDING - ELEVATIONS |
| SP-1-16 | SCIENCE BUILDING - FLOOR PLAN |
| SP-1-17 | SCIENCE BUILDING - ELEVATIONS |
| SP-1-18 | BAND BUILDING - FLOOR PLAN & ELEVATIONS |
| SP-1-19 | SCIENCE & BAND BUILDING - OVERALL ELEVATIONS |
| SP-1-20 | |

CODE ANALYSIS

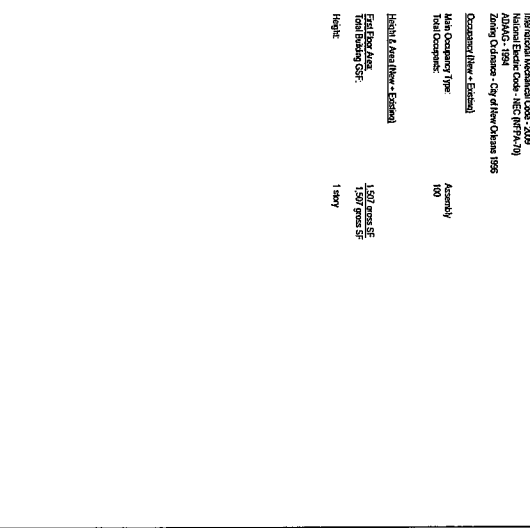
| Code | Description | Notes |
|---------------------|---|---|
| St. Joseph Building | Apartment Code (New - Estimated) | International Existing Building Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 101 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 102 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 103 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 104 - 1.6 Safety Code - 2009 |
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| | International Existing Building Code - 2009 | IFBC 127 - 1.6 Safety Code - 2009 |
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| | International Existing Building Code - 2009 | IFBC 145 - 1.6 Safety Code - 2009 |
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| | International Existing Building Code - 2009 | IFBC 148 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 149 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 150 - 1.6 Safety Code - 2009 |

LOCATION MAP



| Code | Description | Notes |
|---------------------|---|---|
| St. Joseph Building | Apartment Code (New - Estimated) | International Existing Building Code - 2009 |
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| | International Existing Building Code - 2009 | IFBC 149 - 1.6 Safety Code - 2009 |
| | International Existing Building Code - 2009 | IFBC 150 - 1.6 Safety Code - 2009 |

LOCATION MAP



billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T. 504-501-1622 F. 504-254-8222

**ARSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
ST. JOSEPH BUILDING**

1111 North Canal Street
New Orleans, LA 70113

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PROJECT INFORMATION

PROJECT NO. SP-0-01

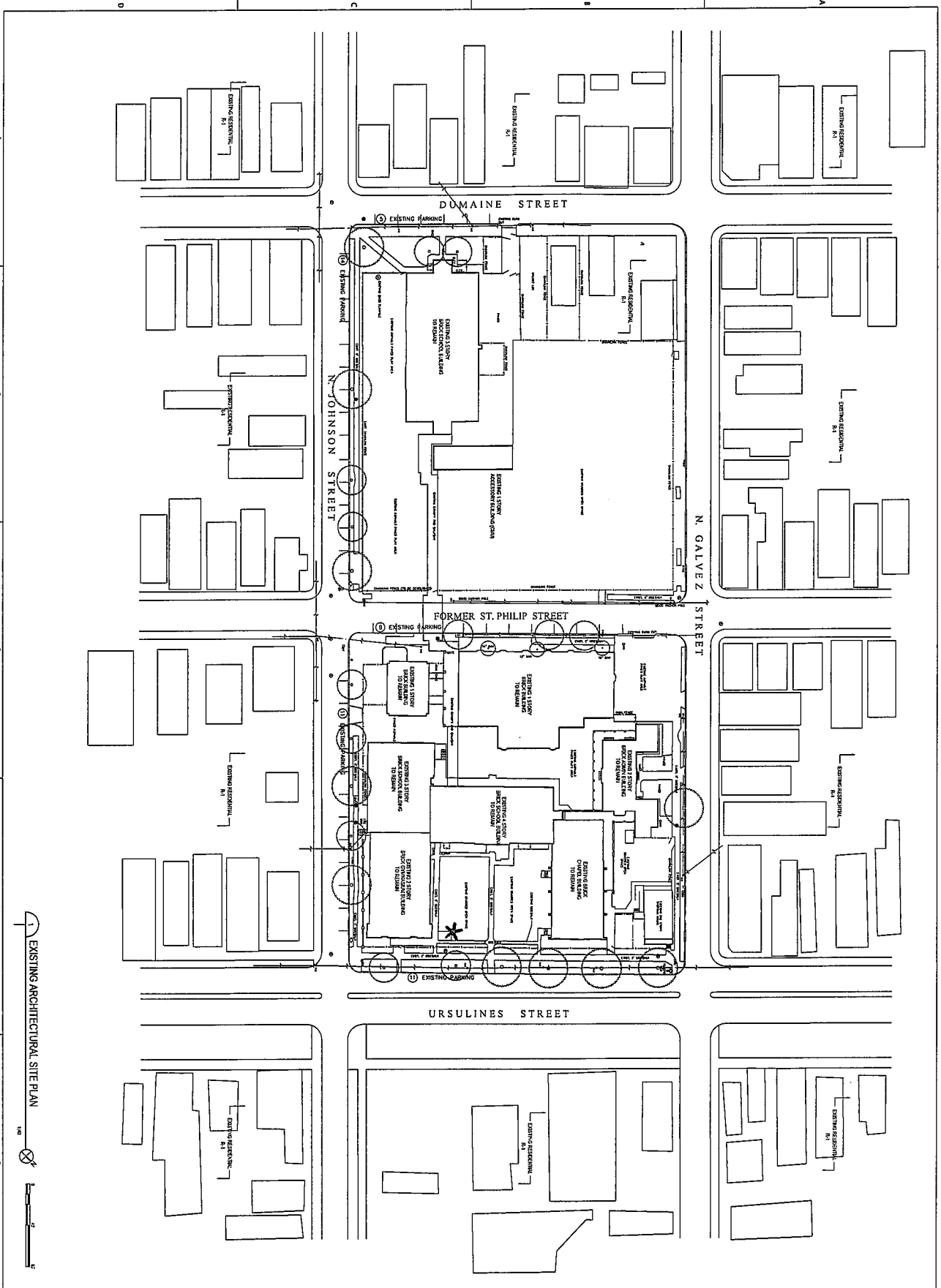
DATE: 11/28/10

PROJECT: ARSPACE NEW ORLEANS BELL SCHOOL ARTS CAMPUS ST. JOSEPH BUILDING

CLIENT: ARSPACE NEW ORLEANS

ARCHITECT: BILLES PARTNERS, LLC

PROJECT LOCATION: 1111 North Canal Street, New Orleans, LA 70113



1. EXISTING ARCHITECTURAL SITE PLAN



| | | | |
|----------|------------|----|--------------------|
| REVISION | DATE | BY | DESCRIPTION |
| SP-1.00 | 11.02.2019 | MM | EXISTING SITE PLAN |

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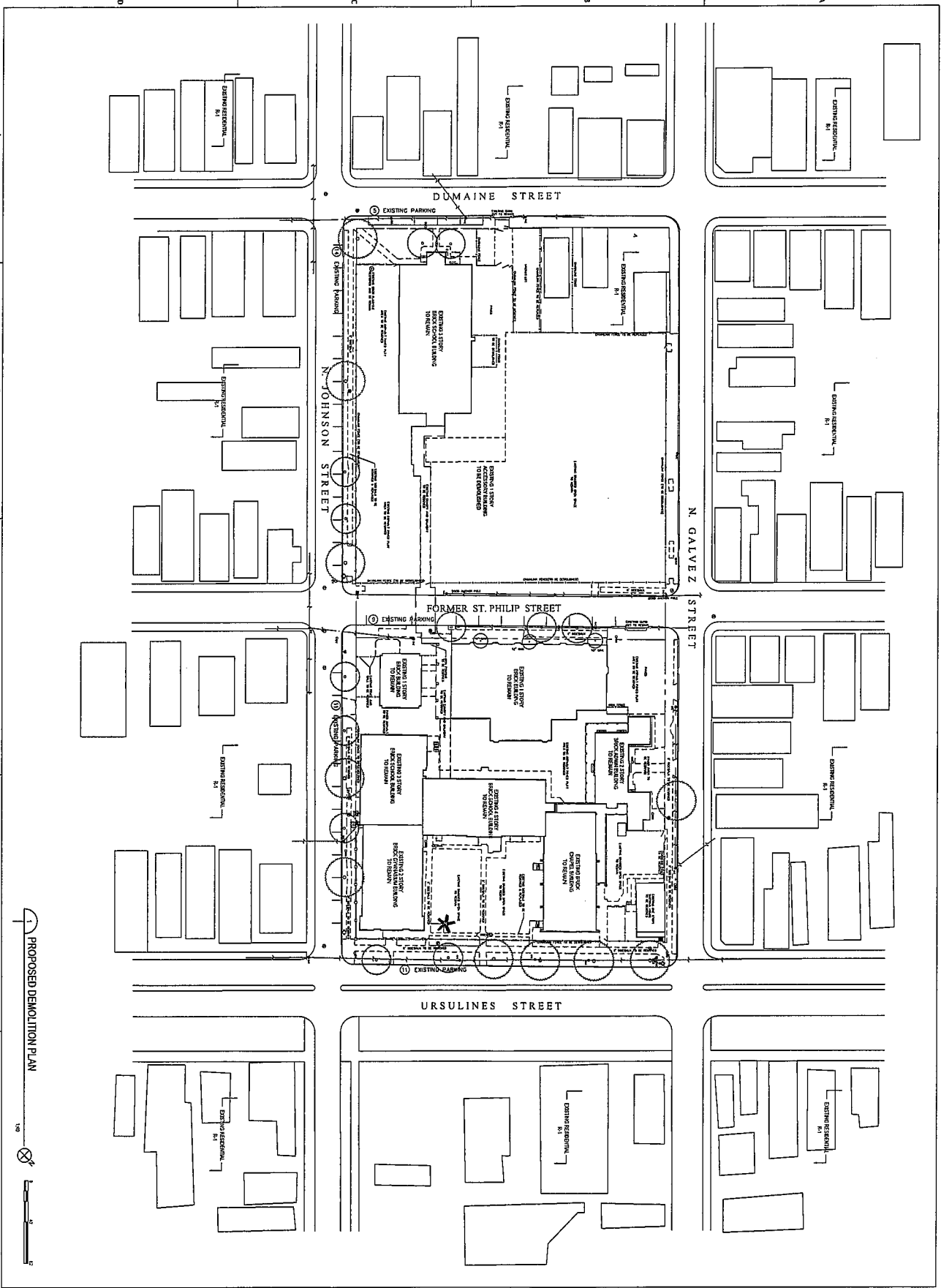
**ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
SITE PLAN PACKAGE**

BPLC PROJECT NO: 11.02.2019
1010 N. GALVEZ STREET | NEW ORLEANS, LA 70119

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Billes Partners, LLC | 1005 St. Charles Avenue, Suite 220 | New Orleans, LA 70130 | T: 504.587.1822 | F: 504.584.8222



1 PROPOSED DEMOLITION PLAN

| | |
|----------------------|---|
| PROJECT NO. | 11-0253.00 |
| DATE | 11/20/13 |
| CLIENT | ARTSPACE NEW ORLEANS |
| PROJECT NAME | BELL SCHOOL ARTS CAMPUS |
| PROJECT ADDRESS | 1010 N. GALVEZ STREET, NEW ORLEANS, LA 70119 |
| PROJECT PHASE | DEMOLITION |
| PROJECT STATUS | PROPOSED |
| PROJECT TYPE | DEMOLITION |
| PROJECT DESCRIPTION | DEMOLITION OF ARTSPACE NEW ORLEANS BELL SCHOOL ARTS CAMPUS |
| PROJECT LOCATION | 1010 N. GALVEZ STREET, NEW ORLEANS, LA 70119 |
| PROJECT CONTACT | ARTSPACE NEW ORLEANS |
| PROJECT PHONE | (504) 581-1111 |
| PROJECT FAX | (504) 581-1112 |
| PROJECT EMAIL | ARTSPACE@ARTSPACE-NO.COM |
| PROJECT WEBSITE | WWW.ARTSPACE-NO.COM |
| PROJECT SOCIAL MEDIA | FACEBOOK: ARTSPACE-NO TWITTER: ARTSPACE-NO INSTAGRAM: ARTSPACE-NO |

ARTSPACE NEW ORLEANS
 1010 N. GALVEZ STREET
 NEW ORLEANS, LA 70119
 (504) 581-1111
 WWW.ARTSPACE-NO.COM

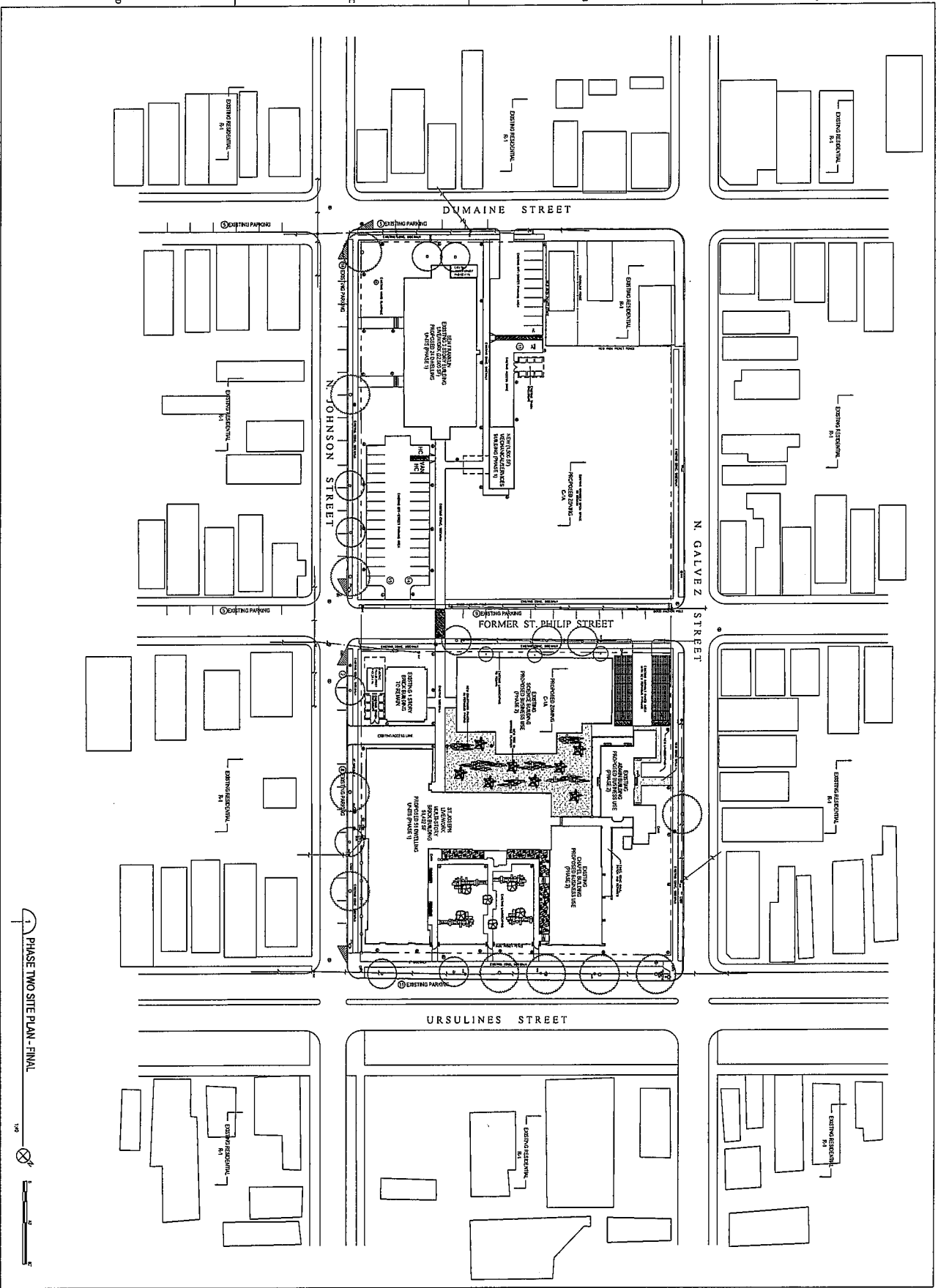
**ARTSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 SITE PLAN PACKAGE**

BPLLC PROJECT NO: 11-0253.00
 1010 N. GALVEZ STREET | NEW ORLEANS, LA 70119

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC | 1007 St. Charles Avenue, Suite 230 | New Orleans, LA 70119 | T. 804.401.1822 | F. 804.584.6222



1 PHASE TWO SITE PLAN - FINAL
 2
 3
 4
 5

| | |
|-----------|----------------------|
| DATE: | 11.02.2010 |
| PROJECT: | ARTSPACE NEW ORLEANS |
| CLIENT: | SP-1.03 |
| SCALE: | 1/8" = 1'-0" |
| DESIGNER: | BILLES PARTNERS |
| DATE: | 11.02.2010 |
| PROJECT: | ARTSPACE NEW ORLEANS |
| CLIENT: | SP-1.03 |
| SCALE: | 1/8" = 1'-0" |
| DESIGNER: | BILLES PARTNERS |

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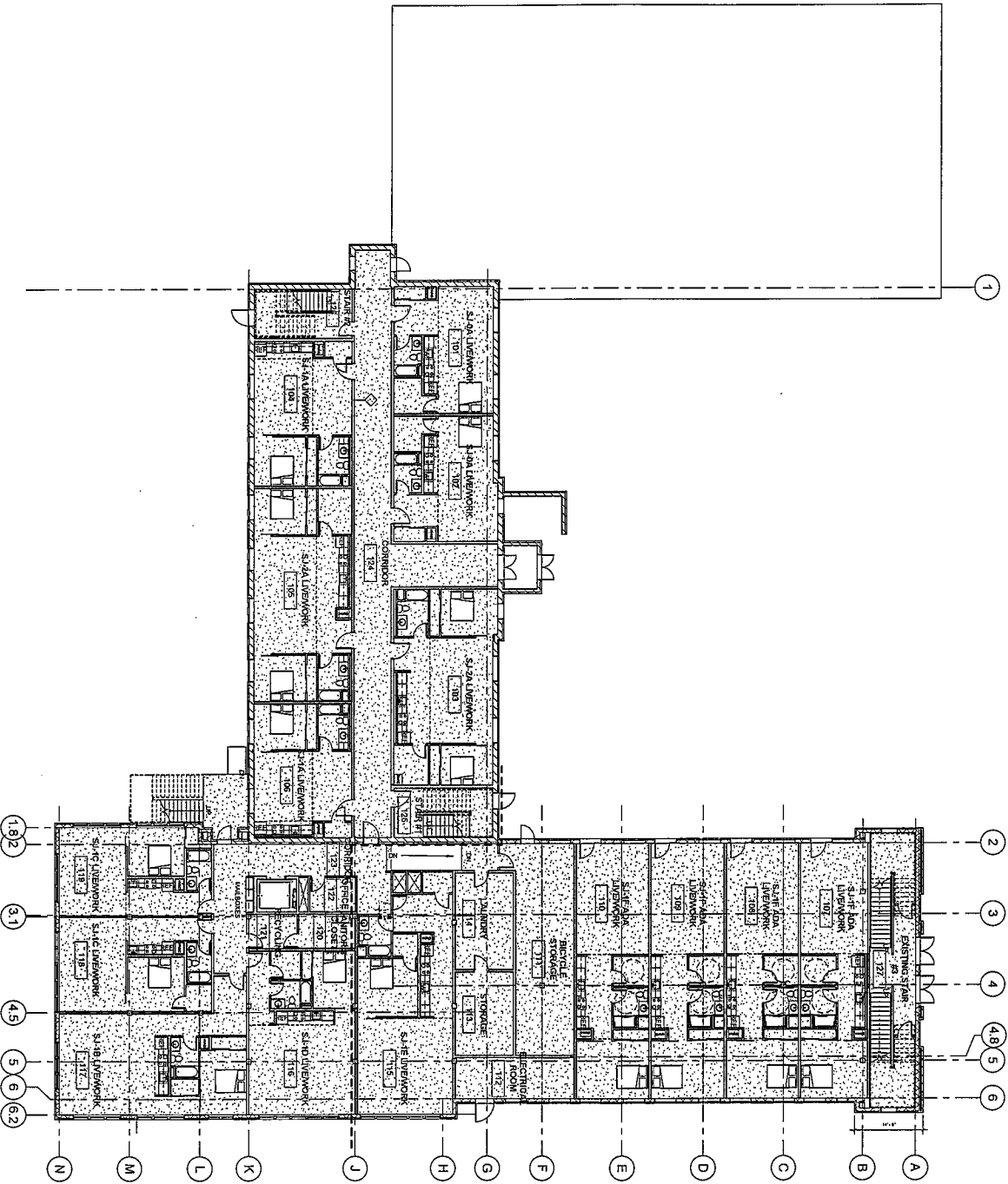
**ARTSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 SITE PLAN PACKAGE**

BPLLC PROJECT NO: 11.02.2010
 1010 N. GALVEZ STREET | NEW ORLEANS, LA 70119

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Billes Partners, LLC 1005 St. Charles Avenue, Suite 207 New Orleans, LA 70130 T. 504.571.1822 F. 504.574.2222



| | |
|-----------------|--|
| DATE | 11/28/00 |
| PROJECT | ST. JOSEPH BUILDING - FIRST FLOOR PLAN |
| CLIENT | SP-A101 |
| DESIGNER | |
| ARCHITECT | |
| ENGINEER | |
| PLUMBER | |
| ELECTRICIAN | |
| Mechanical | |
| Structural | |
| Interior Design | |
| Other | |

ST. JOSEPH BUILDING - FIRST FLOOR PLAN
 100% DEVELOPMENTAL PLAN
 100% ARCHITECTURAL PLAN
 100% MECHANICAL PLAN
 100% ELECTRICAL PLAN
 100% PLUMBING PLAN
 100% STRUCTURAL PLAN
 100% INTERIOR DESIGN PLAN
 100% OTHER PLAN

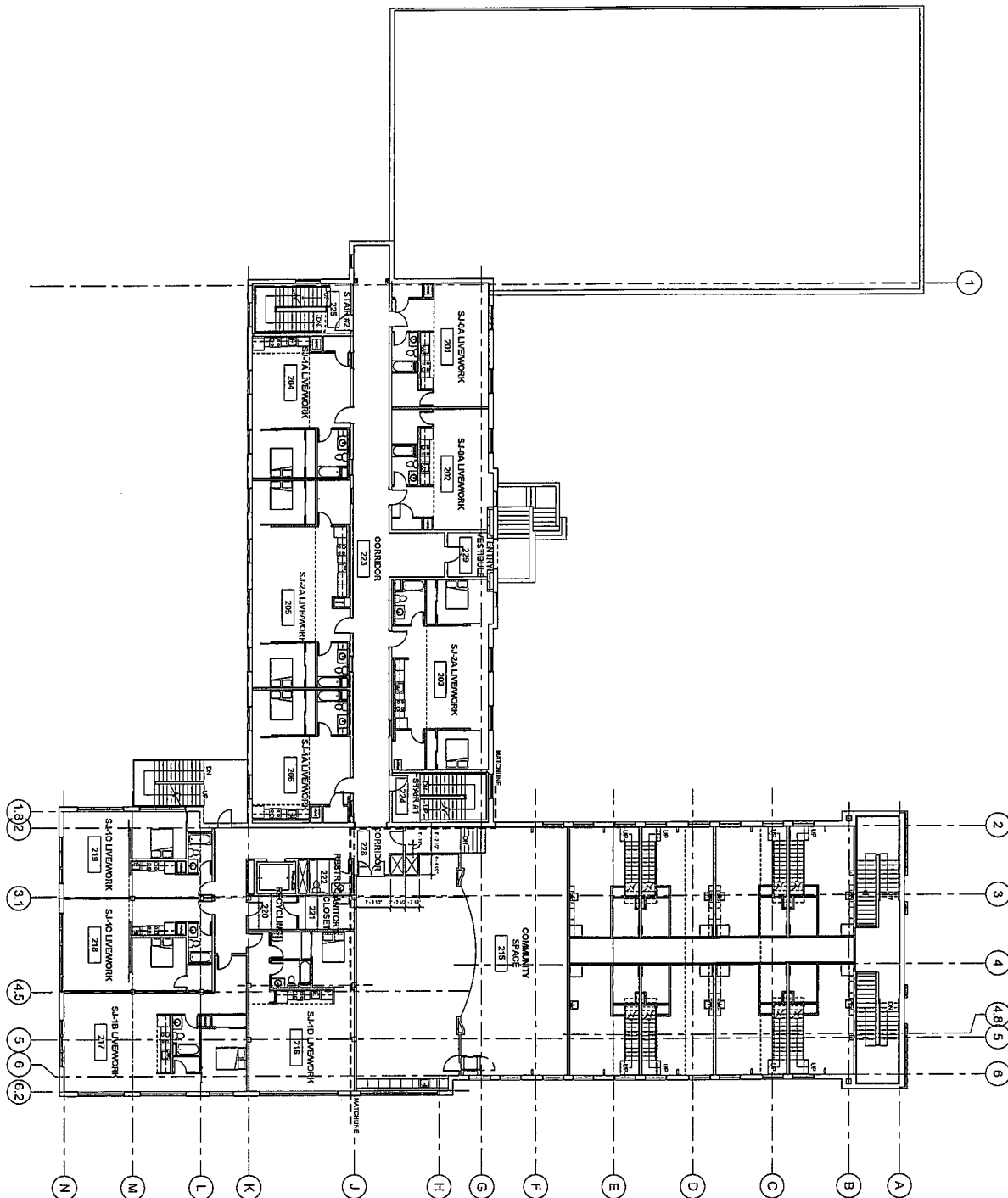
ARSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 ST. JOSEPH BUILDING

100 North Canal Street
 New Orleans, LA 70119

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC 1055 S. Charles Avenue, Suite 200 New Orleans, LA 70130 T. 504.501.1822 F. 504.501.8222



| | |
|-------------|--------------------------------------|
| PROJECT NO. | 117293.00 |
| DATE | 08/11/11 |
| DESIGNER | ARSPACE |
| CLIENT | ARSPACE |
| PROJECT | ST. JOSEPH BUILDING - 2ND FLOOR PLAN |
| PROJECT NO. | SP-A1.02 |

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ARSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 ST. JOSEPH BUILDING

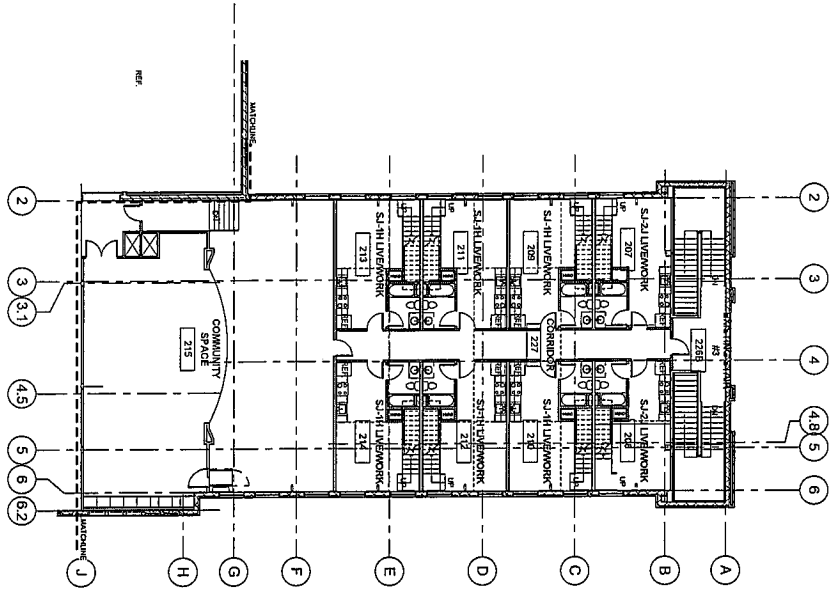
1111 North Canal Street
 New Orleans, LA 70119

billespartners

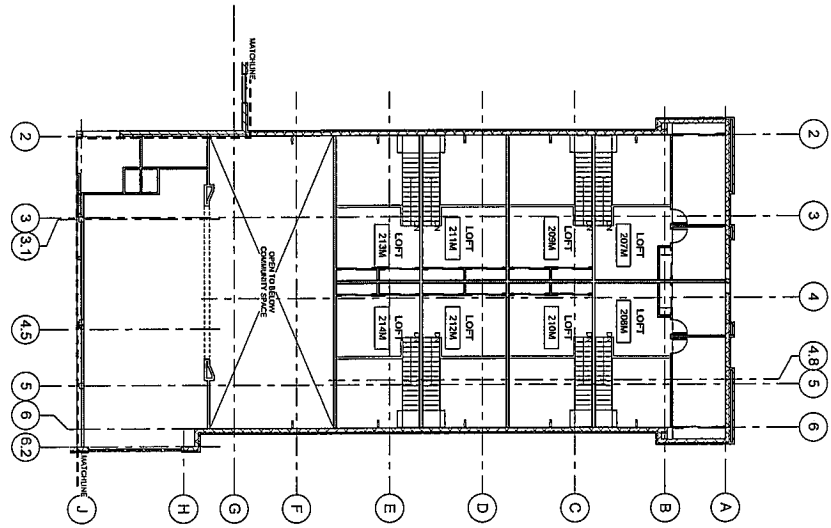
PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Billie Partners, LLC 1055 St. Charles Avenue, Suite 200 New Orleans, LA 70130 T. 504.581.1102 F. 504.251.6222

1 SP - ST. JOSEPH - GYM LEVEL - NEW CONSTRUCTION
 1/8" = 1'-0"



2 ST. JOSEPH BUILDING - GYM MEZZANINE
 1/8" = 1'-0"



| | |
|--------------|---------------------------------------|
| PROJECT NO. | 11283.00 |
| DATE | 08/11/2011 |
| PROJECT NAME | ST. JOSEPH BUILDING - GYMNASIUM LEVEL |
| CLIENT | ARSPACE NEW ORLEANS |
| DESIGNER | billespartners |
| SP-A103 | |

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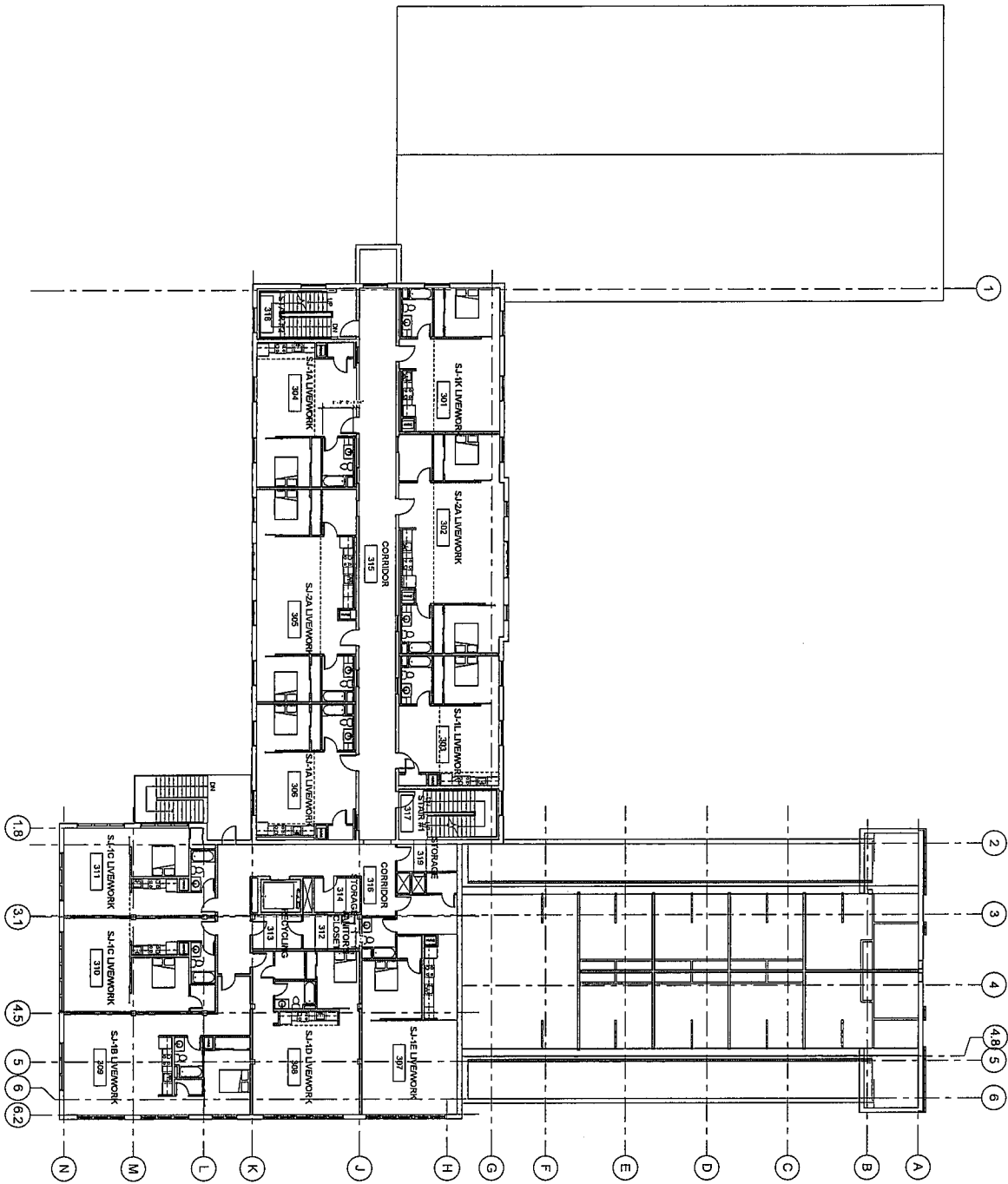
ARSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 ST. JOSEPH BUILDING

1125 North Canal Street
 New Orleans, LA 70119

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Billex Partners, LLC 1055 St. Charles Avenue, Suite 202 New Orleans, LA 70130 T. 504.581.8822 F. 504.524.6222



| | |
|-----------------|--|
| PROJECT NO. | 11-283-00 |
| DATE | 11/11/11 |
| DESIGNER | ARUP |
| CLIENT | ARUP |
| PROJECT NAME | ST. JOSEPH BUILDING - THIRD FLOOR PLAN |
| PROJECT ADDRESS | 1510 North Canal Street, New Orleans, LA 70119 |
| PROJECT PHASE | CONSTRUCTION |
| PROJECT NO. | 11-283-00 |
| DATE | 11/11/11 |
| DESIGNER | ARUP |
| CLIENT | ARUP |
| PROJECT NAME | ST. JOSEPH BUILDING - THIRD FLOOR PLAN |
| PROJECT ADDRESS | 1510 North Canal Street, New Orleans, LA 70119 |
| PROJECT PHASE | CONSTRUCTION |

ST. JOSEPH BUILDING - THIRD FLOOR PLAN
SP-A1.04

PROJECT NO. 11-283-00
DATE 11/11/11
DESIGNER ARUP
CLIENT ARUP
PROJECT NAME ST. JOSEPH BUILDING - THIRD FLOOR PLAN
PROJECT ADDRESS 1510 North Canal Street, New Orleans, LA 70119
PROJECT PHASE CONSTRUCTION

ARSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
ST. JOSEPH BUILDING

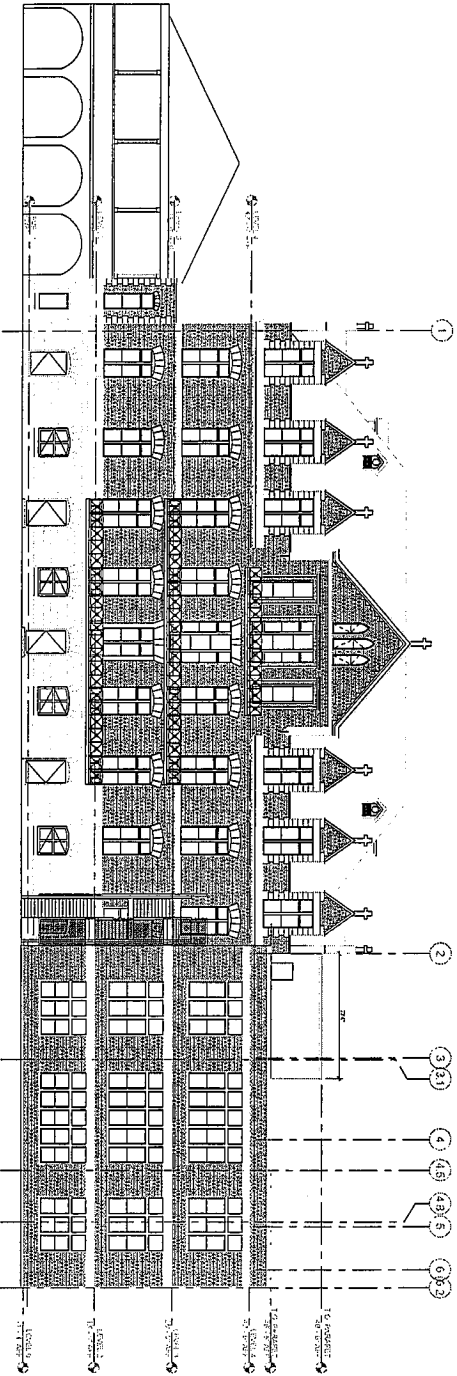
1510 North Canal Street
New Orleans, LA 70119

billespartners

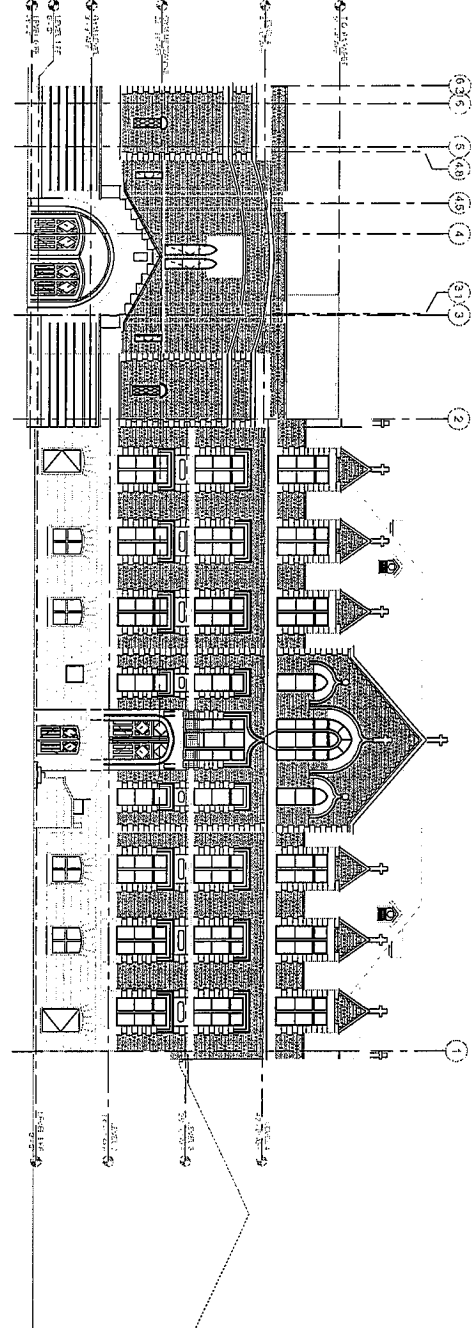
PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

6454 Parkway, LLC 1055 St. Charles Avenue, Suite 200 New Orleans, LA 70150 T. 504.301.1022 F. 504.324.6222

2 ST. JOSEPH BUILDING - ST. PHILIP ST ELEVATION



1 ST. JOSEPH BUILDING - JESSURANS ELEVATION



| | |
|----------------------------------|---|
| DATE | 11/28/00 |
| DESIGNER | ARCHITECT |
| CLIENT | ARSTFACE |
| PROJECT | BELL SCHOOL ARTS CAMPUS |
| LOCATION | 119 N. CANAL ST., NEW ORLEANS, LA 70116 |
| SCALE | 1/8" = 1'-0" |
| ST. JOSEPH BUILDING - ELEVATIONS | |
| SP-A-1.06 | |

NOTES:
 1. REFER TO ARCHITECTURAL RECORDS FOR ALL MATERIALS AND FINISHES.
 2. REFER TO ARCHITECTURAL RECORDS FOR ALL DIMENSIONS AND LOCATIONS.
 3. REFER TO ARCHITECTURAL RECORDS FOR ALL SYMBOLS AND NOTATIONS.

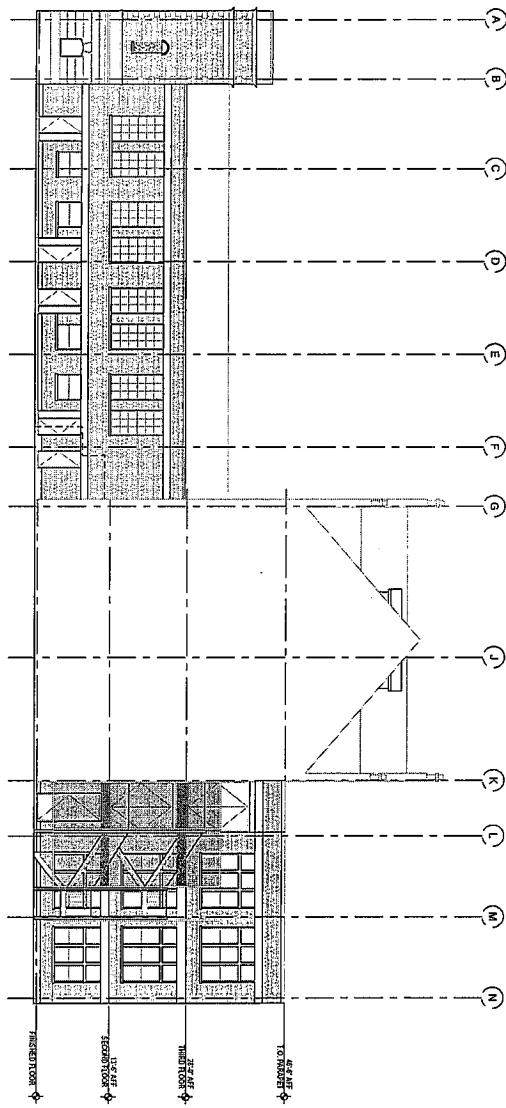
ARSTFACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 ST. JOSEPH BUILDING

119 N. CANAL ST.
 NEW ORLEANS, LA 70116

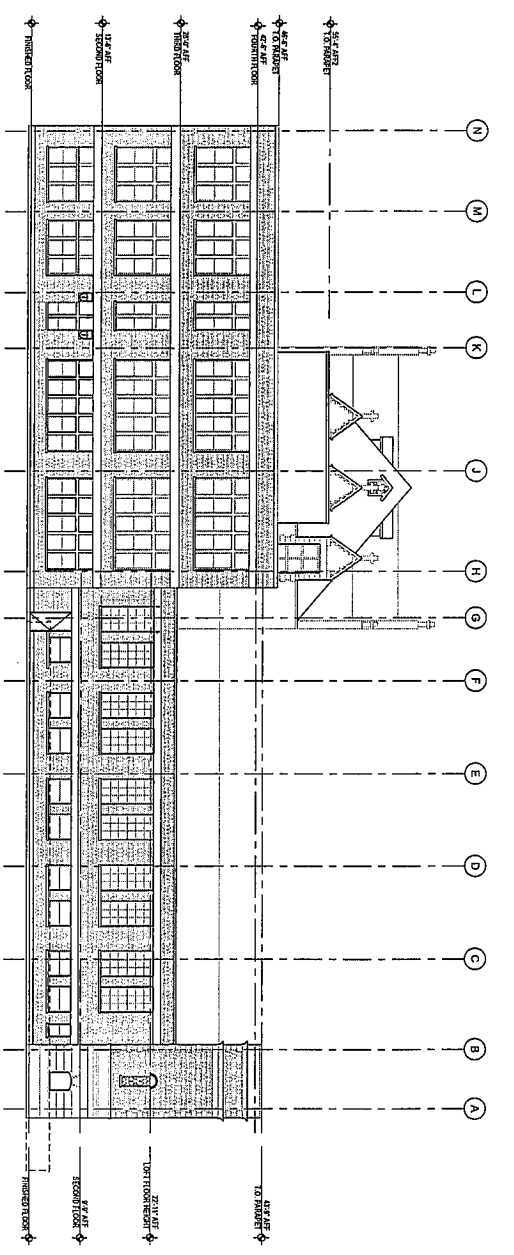
billespartners 

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T. 504.264.1822 F. 504.264.6222



1 ST. JOSEPH BUILDING - N. GALVEZ ST. ELEVATION
 SCALE = 1/8" = 1'-0"



2 ST. JOSEPH BUILDING - N. JOHNSON STREET ELEVATION
 SCALE = 1/8" = 1'-0"

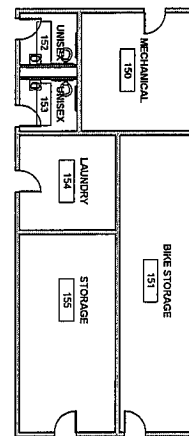
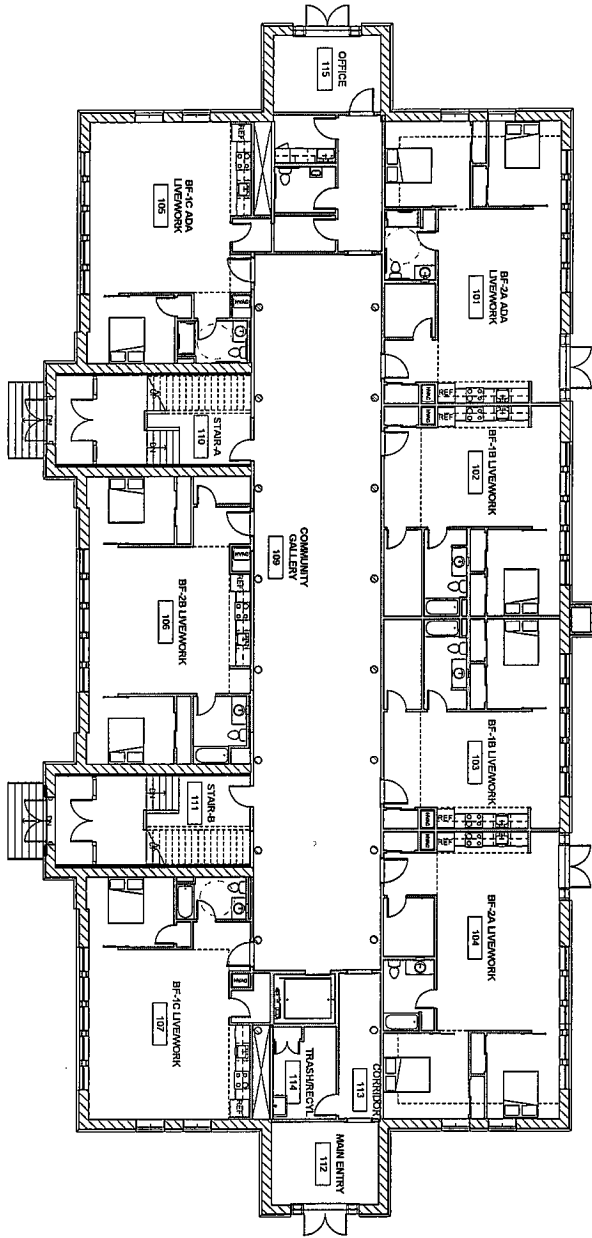
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| PROJECT NO. | 11-28310 |
| DATE | 11/20/10 |
| DESIGNER | ARSPACE |
| CLIENT | BELLETRON |
| PROJECT | ST. JOSEPH BUILDING |
| DATE | 11/20/10 |
| SCALE | 1/8" = 1'-0" |
| PROJECT NO. | 11-28310 |
| DATE | 11/20/10 |
| DESIGNER | ARSPACE |
| CLIENT | BELLETRON |
| PROJECT | ST. JOSEPH BUILDING |
| DATE | 11/20/10 |
| SCALE | 1/8" = 1'-0" |

PROJECT NO. 11-28310
 DATE 11/20/10
 DESIGNER ARSPACE
 CLIENT BELLETRON
 PROJECT ST. JOSEPH BUILDING
 DATE 11/20/10
 SCALE 1/8" = 1'-0"

ARSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 ST. JOSEPH BUILDING
 1219 Pugh Canal Street
 New Orleans, LA 70119

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PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
 Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70110 T. 504.501.4622 F. 504.324.6222



1 BEN FRANKLIN - FIRST FLOOR PLAN
18 of 19

| | |
|-------------|--|
| PROJECT NO. | 11-0283.00 |
| DATE | 11/20/13 |
| SCALE | AS SHOWN |
| DESIGNED BY | ARCHITECTURE |
| DRAWN BY | ARCHITECTURE |
| CHECKED BY | ARCHITECTURE |
| APPROVED BY | ARCHITECTURE |
| DATE | 11/20/13 |
| PROJECT | BEN FRANKLIN BUILDING - FIRST FLOOR PLAN |
| SP-A1.08 | |

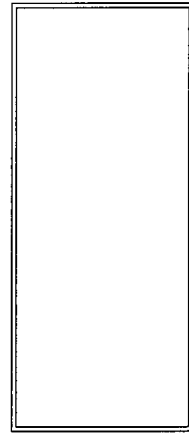
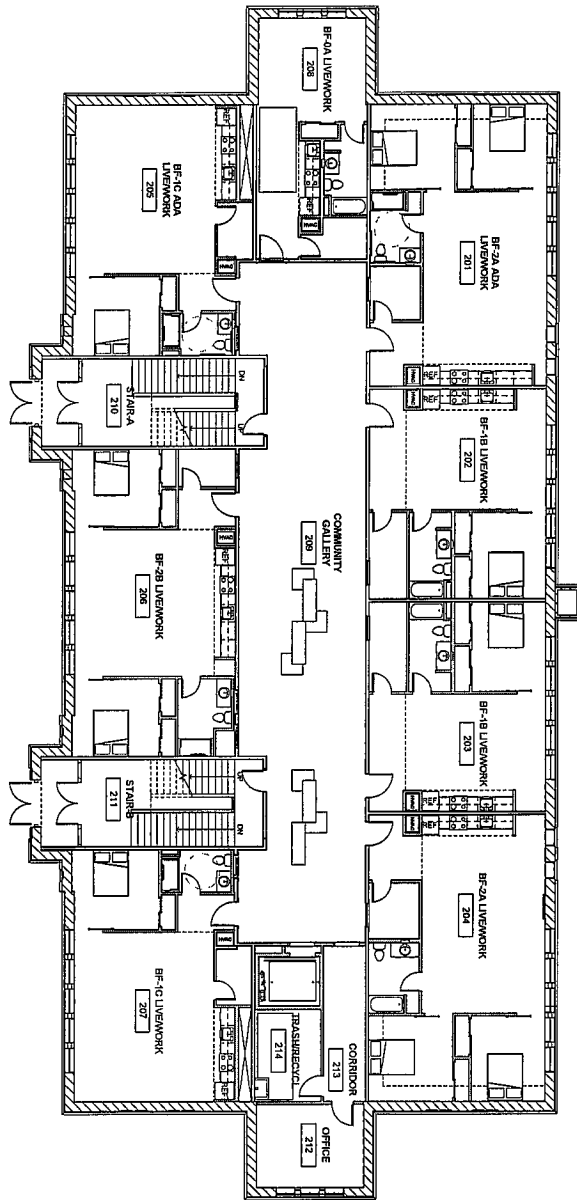
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ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
BENJAMIN FRANKLIN BUILDING
1818 N. GALATHEE STREET
NEW ORLEANS, LA 70118

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Billes Partners, LLC 1055 P.L. Chalmette Avenue, Suite 270 New Orleans, LA 70120 T. 504.391.1822 F. 504.324.6222

① BEN FRANKLIN - SECOND FLOOR PLAN
1/8" = 1'-0"



| | |
|------------------|---|
| PROJECT NO. | 11-0283.00 |
| OWNER | Artspace |
| DATE | 1/11/11 |
| DESIGNER | BILLES PARTNERS |
| PROJECT | ARTSPACE NEW ORLEANS |
| PHASE | SECOND FLOOR PLAN |
| SCALE | 1/8" = 1'-0" |
| PROJECT LOCATION | 1518 N GALVET STREET NEW ORLEANS, LA 70118 |
| PROJECT NAME | BEN FRANKLIN BUILDING - SECOND FLOOR PLAN |
| PROJECT NO. | SP-A1.09 |

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ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
BENJAMIN FRANKLIN BUILDING

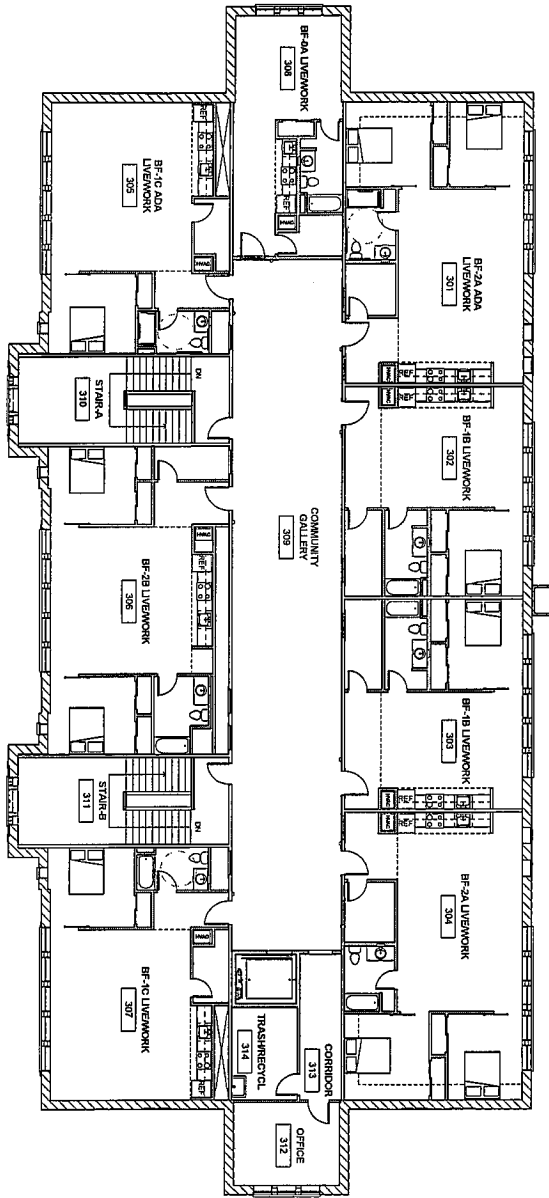
1518 N GALVET STREET
NEW ORLEANS, LA 70118

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Billes Partners, LLC 1055 St. Charles Avenue, Suite 270 New Orleans, LA 70130 T. 504.351.1822 F. 504.324.0222

BENJAMIN FRANKLIN - THIRD FLOOR PLAN
 11/20/10



| | |
|--------------|--|
| PROJECT NO. | 11.0283.00 |
| DATE | 11/20/10 |
| PROJECT NAME | BENJAMIN FRANKLIN BUILDINGS - THIRD FLOOR PLAN |
| CLIENT | ARTSPACE NEW ORLEANS |
| ARCHITECT | BILLES PARTNERS, LLC |
| SCALE | AS SHOWN |
| DESIGNER | ARCHITECT |
| DRAWN BY | ARCHITECT |
| CHECKED BY | ARCHITECT |
| DATE | 11/20/10 |

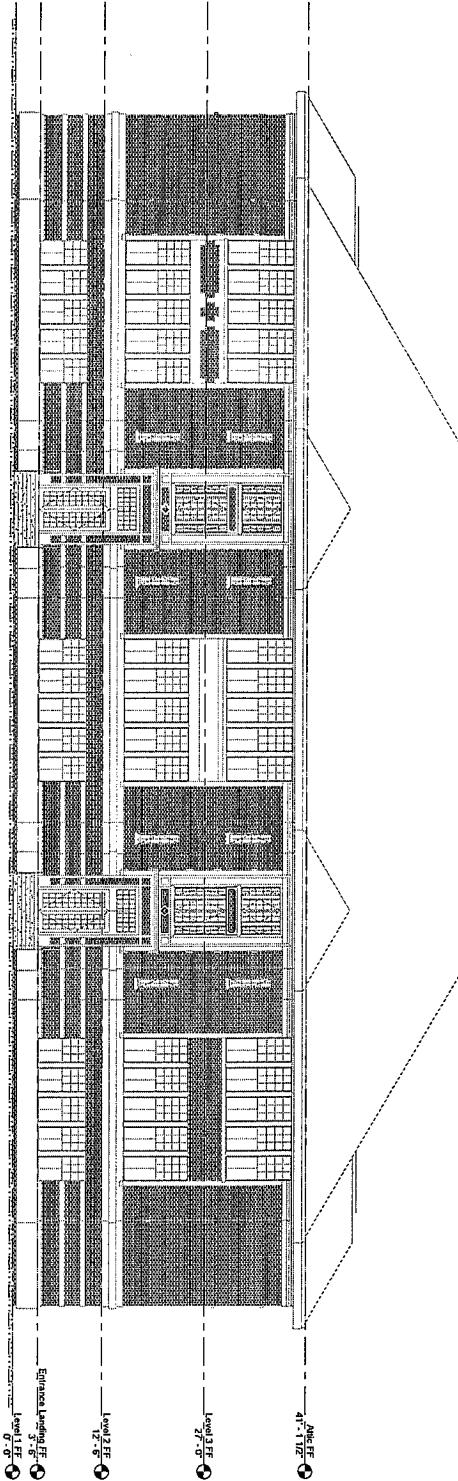
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ARTSPACE NEW ORLEANS
 BELL SCHOOL ARTS CAMPUS
 BENJAMIN FRANKLIN BUILDING
 1219 N. GALVEZ STREET
 NEW ORLEANS, LA 70118

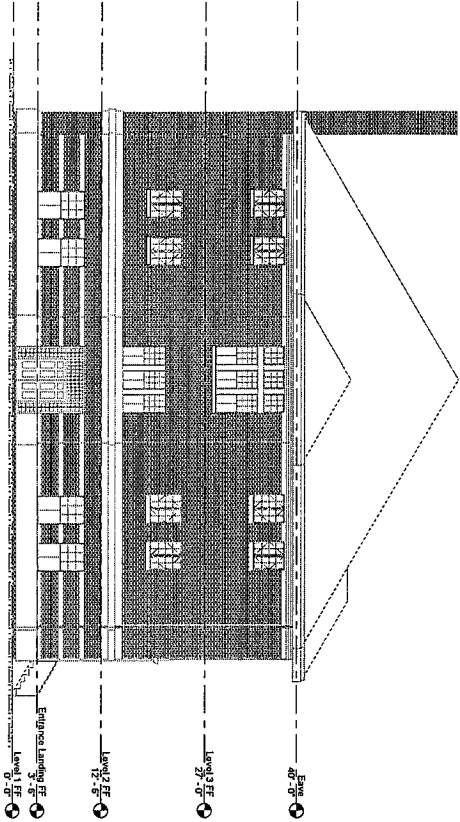
billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
 Billes Partners, LLC | 1055 St. Charles Avenue, Suite 220 | New Orleans, LA 70130 | T. 504.201.1822 | F. 504.324.6222

① BEN FRANKLIN - N. JOHNSON ST. ELEVATION
1/8" = 1'-0"



② BEN FRANKLIN - DUANE ST. ELEVATION
1/8" = 1'-0"



ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
BENJAMIN FRANKLIN BUILDING

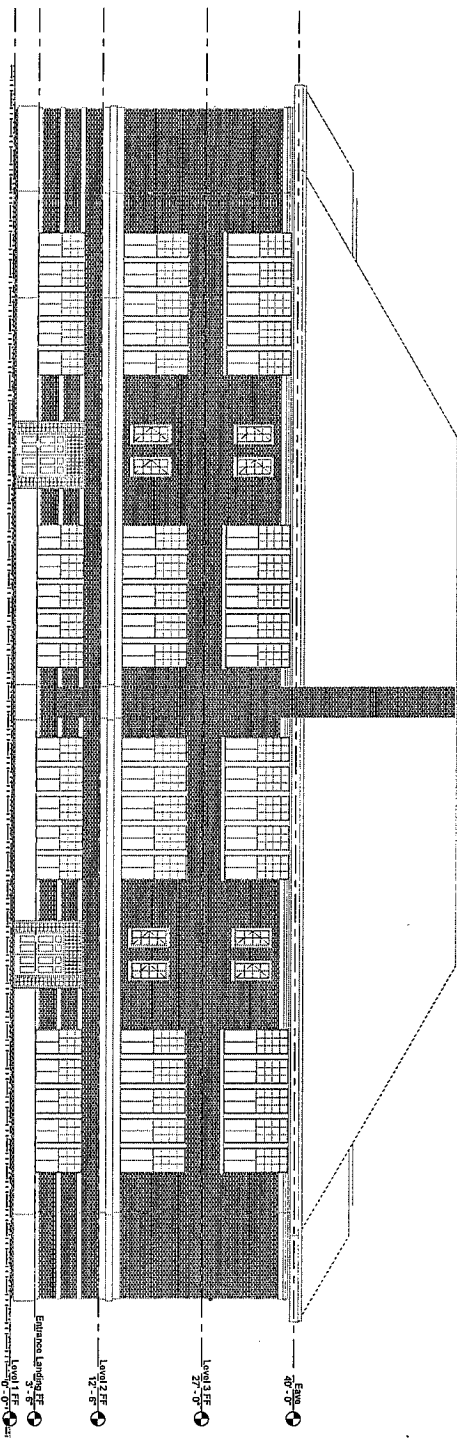
1518 N. GALVEZ STREET
NEW ORLEANS, LA 70118

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| DATE: | 11/02/2010 |
| DRAWN BY: | AMM |
| CHECKED BY: | DMH |
| DESIGNED BY: | DMH |
| PROJECT NO.: | 11023.00 |
| PROJECT NAME: | BENJAMIN FRANKLIN BUILDING - ELEVATIONS |
| SCALE: | 1/8" = 1'-0" |

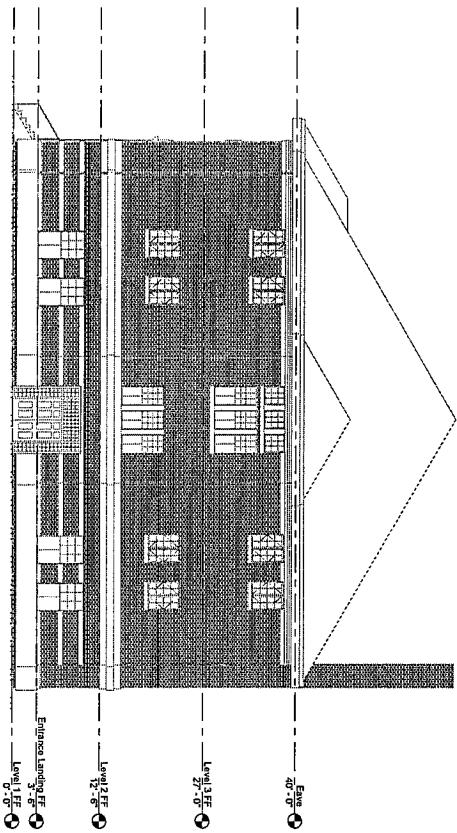
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| PROJECT NO.: | 11023.00 |
| DRAWN BY: | AMM |
| CHECKED BY: | DMH |
| DESIGNED BY: | DMH |
| PROJECT NAME: | BENJAMIN FRANKLIN BUILDING - ELEVATIONS |
| SCALE: | 1/8" = 1'-0" |

billespartners ■ ■ ■ ■

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Billes Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T: 504.261.1822 F: 504.264.0222



① SP - BENJAMIN FRANKLIN - N. GALVEZ ST. ELEV.
1/8" = 1'-0"



② SP - BENJAMIN FRANKLIN - ST. PHILIP ST. ELEV.
1/8" = 1'-0"

Entrance
20'-0"
Level 3 FF
27'-0"
Level 2 FF
12'-0"
Entrance Landing FF
Level 1 FF
9'-0"

Entrance
40'-0"
Level 3 FF
27'-0"
Level 2 FF
12'-0"
Entrance Landing FF
Level 1 FF
9'-0"

ARTSPACE NEW ORLEANS
BELL SCHOOL ARTS CAMPUS
BENJAMIN FRANKLIN BUILDING

1808 N. GALVEZ STREET
NEW ORLEANS, LA 70116

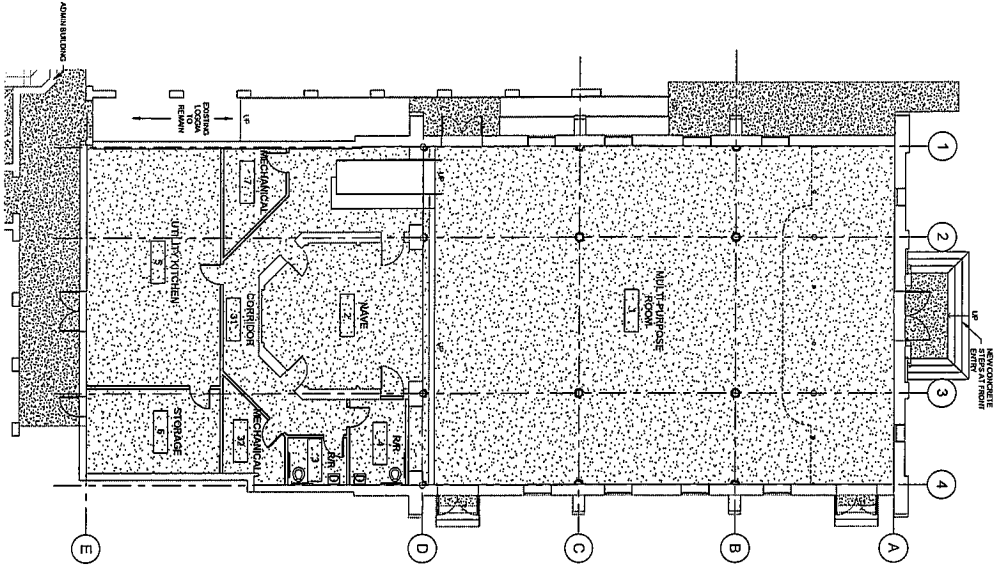
billespartners 

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Billes Partners, LLC | 1055 St. Charles Avenue, Suite 200 | New Orleans, LA 70130 | T. 504.261.1822 | F. 504.234.0222

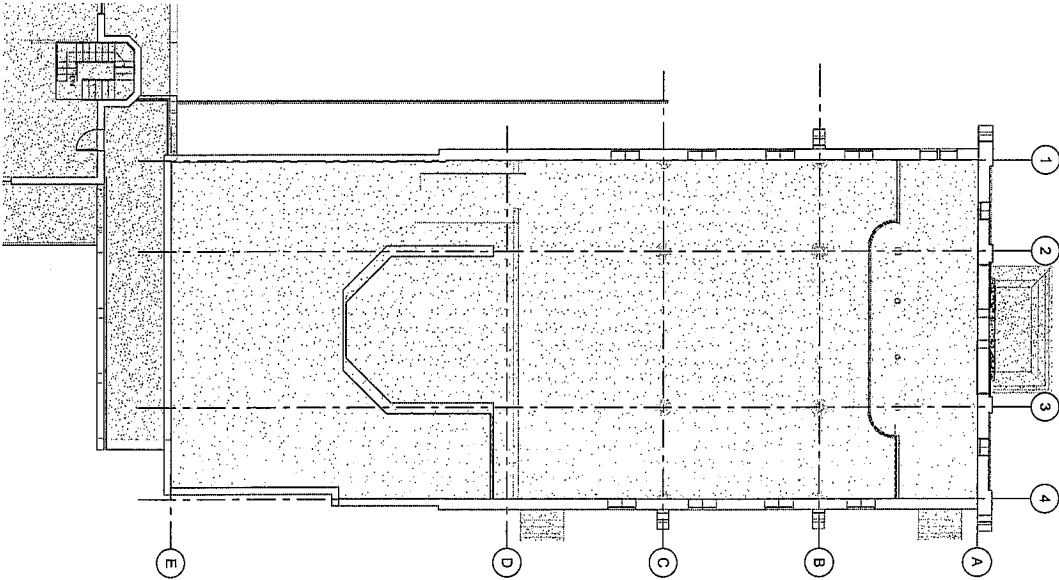
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WITHOUT THE WRITTEN PERMISSION OF BILLES PARTNERS, LLC

| | |
|---|-------------------------------------|
| PRODUCTION | 11/02/2010 |
| DRAWN BY | KIM |
| CHECKED BY | DAVID |
| DATE | 11/02/2010 |
| PROJECT | ARTSPACE NEW ORLEANS |
| PHASE | CONCEPT DEVELOPMENT |
| REVISION | REV. 01 - INITIAL SHEETING REVISION |
| BENJAMIN FRANKLIN BUILDING - ELEVATIONS | |
| SP-A.1.12 | |

① CHAPEL BUILDING - LEVEL ONE
 1/8" = 1'-0"



② CHAPEL BUILDING - MEZZANINE
 1/8" = 1'-0"



| | |
|-------------|------------|
| PROJECT NO. | 11-0283.10 |
| DATE | 11/20/13 |
| DESIGNER | CHAPLAIN |
| DATE | 11/20/13 |
| REVISION | 1 |
| DATE | 11/20/13 |
| REVISION | 2 |
| DATE | 11/20/13 |
| REVISION | 3 |
| DATE | 11/20/13 |
| REVISION | 4 |
| DATE | 11/20/13 |
| REVISION | 5 |
| DATE | 11/20/13 |
| REVISION | 6 |
| DATE | 11/20/13 |
| REVISION | 7 |
| DATE | 11/20/13 |
| REVISION | 8 |
| DATE | 11/20/13 |
| REVISION | 9 |
| DATE | 11/20/13 |
| REVISION | 10 |
| DATE | 11/20/13 |
| REVISION | 11 |
| DATE | 11/20/13 |
| REVISION | 12 |
| DATE | 11/20/13 |
| REVISION | 13 |
| DATE | 11/20/13 |
| REVISION | 14 |
| DATE | 11/20/13 |
| REVISION | 15 |
| DATE | 11/20/13 |
| REVISION | 16 |
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| DATE | 11/20/13 |
| REVISION | 100 |

CHAPEL BUILDING FLOOR
 SP-A1.13

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5. This drawing is not to be used for any other project or location without the prior written consent of billespartners.

ARTSPACE NEW ORLEANS
 BELL SCHOOL ART CAMPUS
 PHASE II

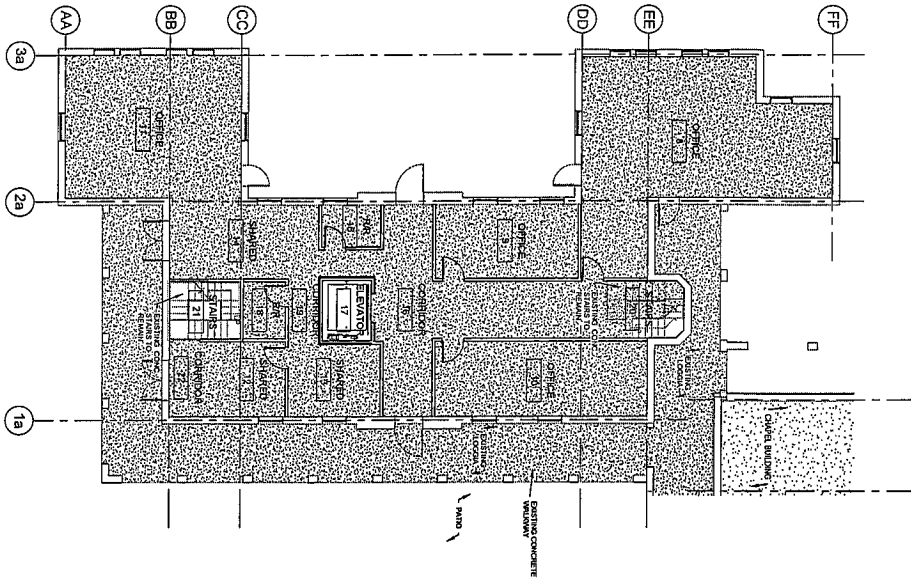
1116 N GALVEZ STREET NEW
 ORLEANS, LA 70116

billespartners

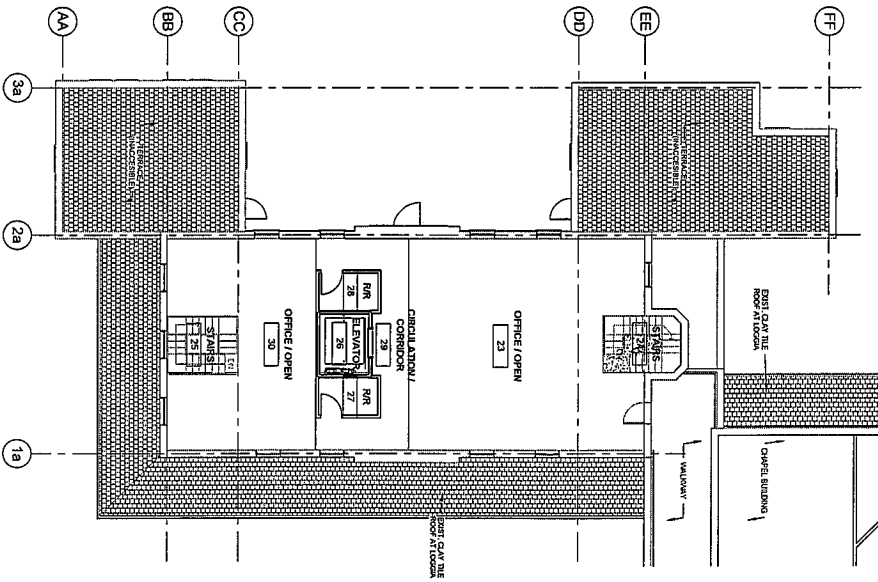
PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC 1035 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T: 504-201-1622 F: 504-324-6222

① ADMINISTRATION BUILDING - LEVEL ONE
1/8" = 1'-0"



② ADMINISTRATION BUILDING - LEVEL TWO
1/8" = 1'-0"



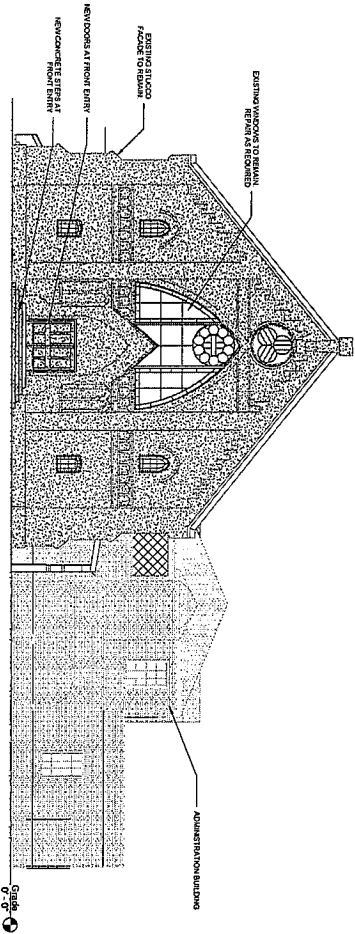
PROJECT: 11.0283.10
 DATE: 06/11/14
 DRAWING: SP-A.1.14
 TITLE: FLOOR PLANS
 PROJECT: ADMINISTRATION BUILDING
 PROJECT LOCATION: 1515 N. GALVEZ STREET, NEW ORLEANS, LA 70116

ARTSPACE NEW ORLEANS
 BELL SCHOOL ART CAMPUS
 PHASE II

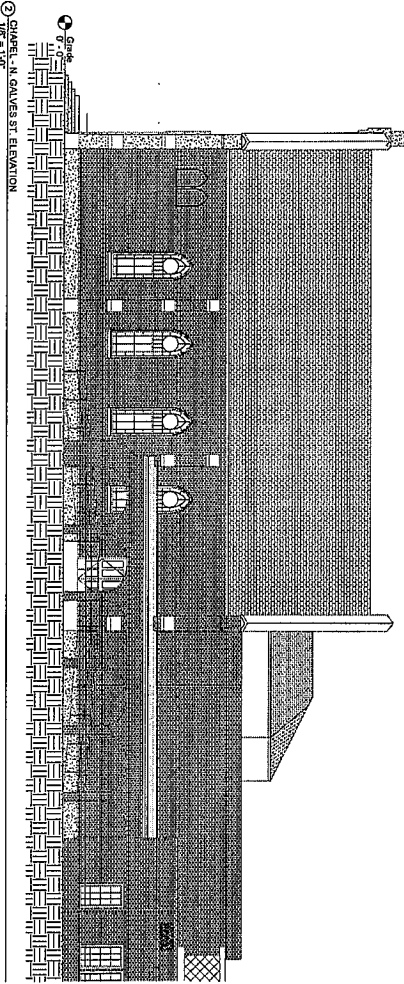
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billespartners

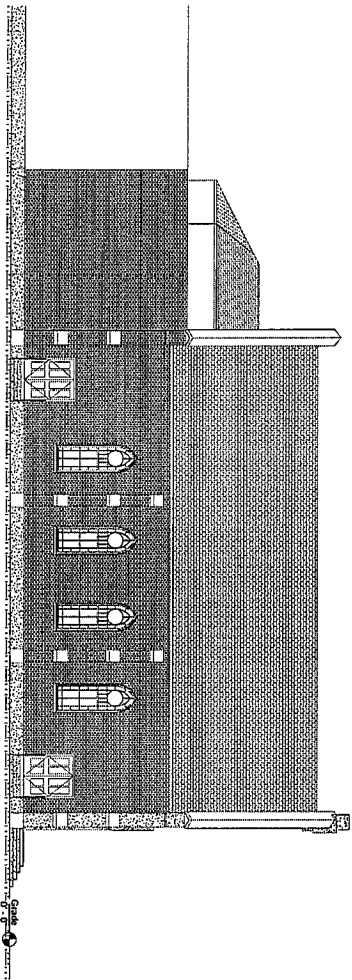
PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
 Biles Partners, LLC 1055 St. Charles Avenue, Suite 200 New Orleans, LA 70116 T. 504.561.6822 F. 504.524.6222



① CHAPEL - URBELINE ST. ELEVATION
1/8" = 1'-0"



② CHAPEL - N. GALVEZ ST. ELEVATION
1/8" = 1'-0"



③ CHAPEL - N. JOHNSON ST. ELEVATION
1/8" = 1'-0"

billespartners

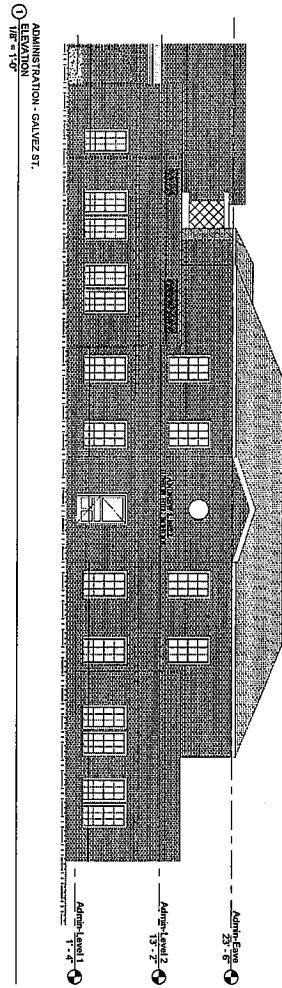
PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Billes Partners, LLC 1055 St. Charles Avenue, Suite 200 New Orleans, LA 70130 T. 504.261.1822 F. 504.224.0222

ARTSPACE NEW ORLEANS
BELL SCHOOL ART CAMPUS
PHASE II

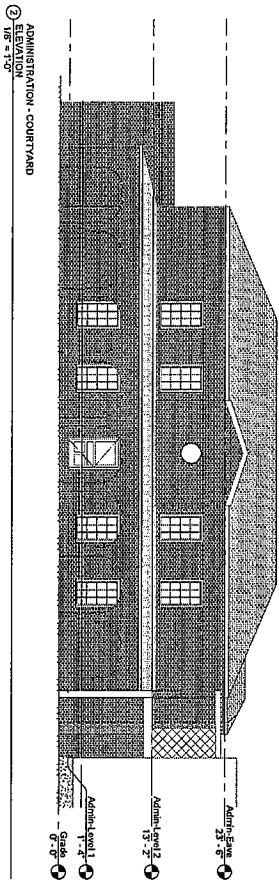
1310 N. GALVEZ STREET | NEW ORLEANS, LA 70119

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| PROJECT NO. | 11028310 |
| DATE | 11/15/10 |
| PROJECT NAME | ARTSPACE NEW ORLEANS BELL SCHOOL ART CAMPUS PHASE II |
| CLIENT | ARTSPACE NEW ORLEANS |
| ARCHITECT | BILLES PARTNERS, LLC |
| SCALE | 1/8" = 1'-0" |
| DATE PLOTTED | 11/15/10 |
| BY | SP.A.1.15 |
| CHECKED BY | |
| APPROVED BY | |
| DATE | |



① ADMINISTRATION - CALVEZ ST.
ELEVATION
1/8" = 1'-0"



② ADMINISTRATION - COURTYARD
ELEVATION
1/8" = 1'-0"

billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Billes Partners, LLC 1255 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T: 504.261.1622 F: 504.224.6222

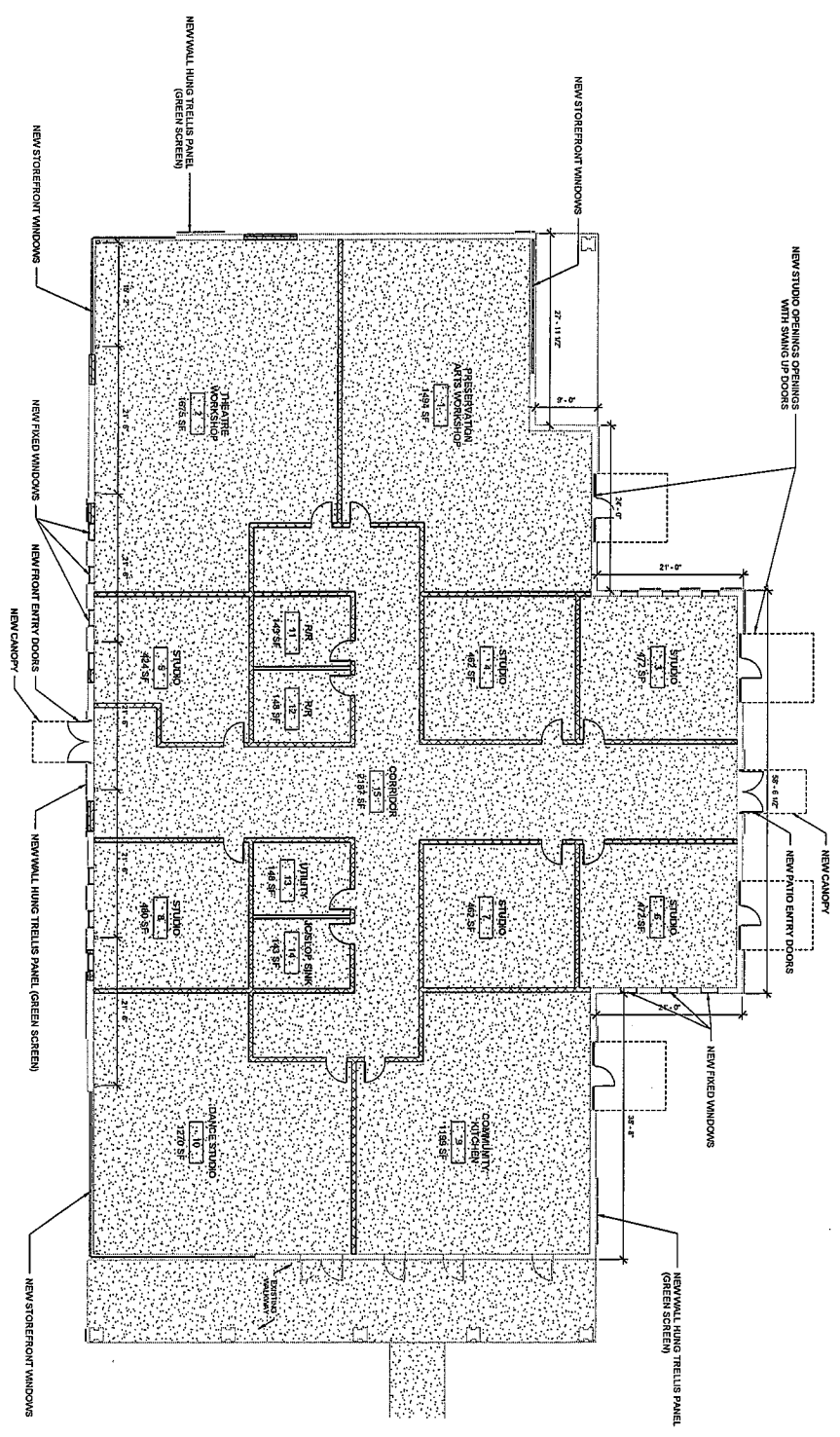
ARTSPACE NEW ORLEANS
BELL SCHOOL ART CAMPUS
PHASE II

1818 CALVEZ STREET / NEW
ORLEANS, LA 70118

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| PROJECT NO. | 110283.10 |
| DATE | 11/03/10 |
| DESIGNER | DAVID R. BILLES |
| ARCHITECT | BILLES PARTNERS, LLC |
| SCALE | 1/8" = 1'-0" |
| DATE | 11/03/10 |
| BY | DAVID R. BILLES |
| CHECKED BY | DAVID R. BILLES |
| DATE | 11/03/10 |
| PROJECT NO. | 110283.10 |
| DATE | 11/03/10 |
| BY | DAVID R. BILLES |
| CHECKED BY | DAVID R. BILLES |
| DATE | 11/03/10 |

| | |
|-------------|----------------------|
| PROJECT NO. | 110283.10 |
| DATE | 11/03/10 |
| DESIGNER | DAVID R. BILLES |
| ARCHITECT | BILLES PARTNERS, LLC |
| SCALE | 1/8" = 1'-0" |
| DATE | 11/03/10 |
| BY | DAVID R. BILLES |
| CHECKED BY | DAVID R. BILLES |
| DATE | 11/03/10 |
| PROJECT NO. | 110283.10 |
| DATE | 11/03/10 |
| BY | DAVID R. BILLES |
| CHECKED BY | DAVID R. BILLES |
| DATE | 11/03/10 |

ADMINISTRATION BUILDING
ELEVATIONS
SP-A.1.16



SCIENCE BUILDING - FLOOR PLAN
1/8" = 1'-0"

| | |
|-------------|-------------------------------|
| PROJECT NO. | 110283.10 |
| DATE | 11/20/17 |
| DESIGNER | DAVID L. BROWN |
| ARCHITECT | DAVID L. BROWN ARCHITECTS |
| SCALE | 1/8" = 1'-0" |
| PLAN | SCIENCE BUILDING - FLOOR PLAN |
| NO. | SPA-1.17 |

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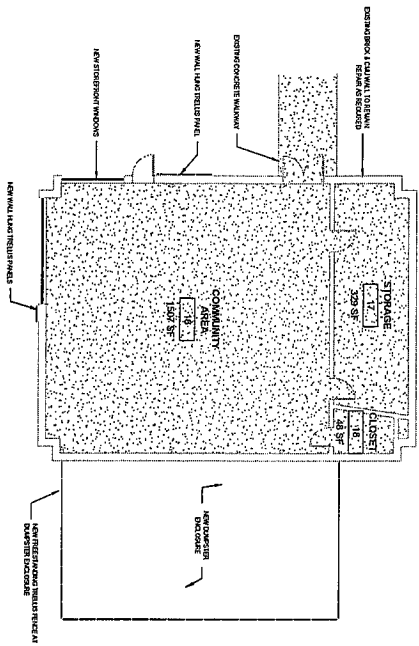
ARTSPACE NEW ORLEANS
BELL SCHOOL ART CAMPUS |
PHASE II

1115 N GALVEZ STREET | NEW ORLEANS, LA 70118

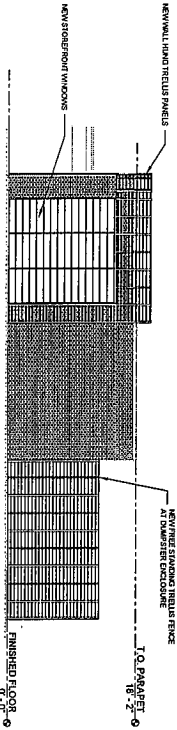
billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

DAVID PARTNER, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T. 504.201.1822 F. 504.324.6222

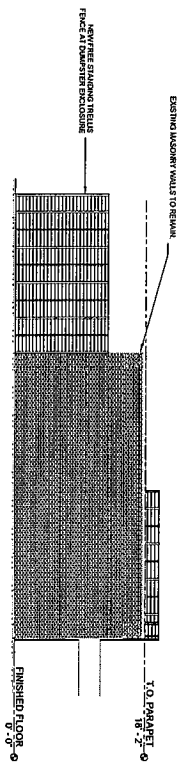


1 BAND BUILDING - FLOOR PLAN
TIF = 1'-0"

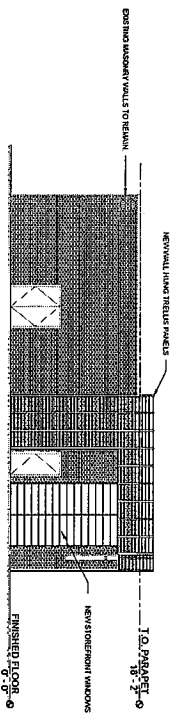


2 BAND BUILDING - ST. PHILIP ELEVATION
TIF = 1'-0"

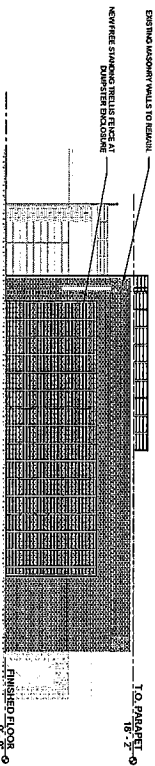
3 BAND BUILDING - COURTYARD
ELEVATION
TIF = 1'-0"



4 BAND BUILDING - GALVEZ ELEVATION
TIF = 1'-0"



5 BAND BUILDING - JOHNSON ST
ELEVATION
TIF = 1'-0"



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PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 • New Orleans, LA 70119 T. 504.561.1622 F. 504.524.6222

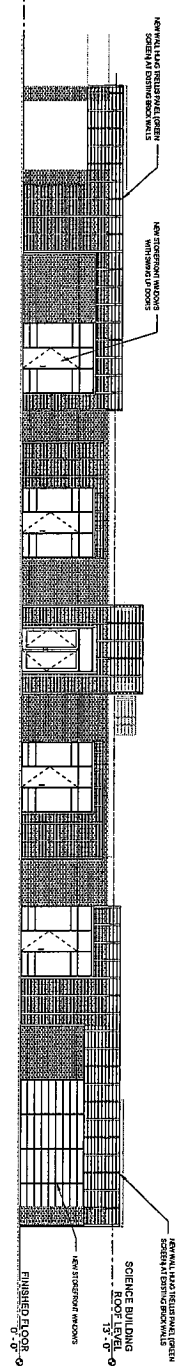
ARTSPACE NEW ORLEANS
BELL SCHOOL ART CAMPUS |
PHASE II

1818 GALVEZ STREET NEW
ORLEANS, LA 70119

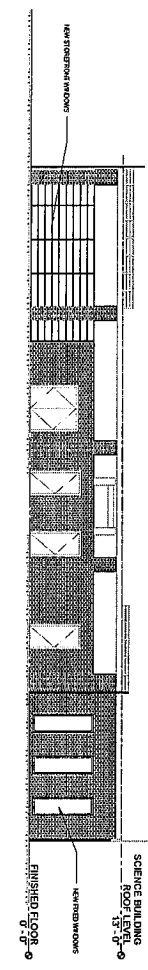
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| | |
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| PROJECT NO. | 11.0283.10 |
| DATE | 11/10/18 |
| DESIGNER | DAVID J. BILES |
| CHECKER | DAVID J. BILES |
| SCALE | AS SHOWN |
| DATE | 11/10/18 |
| PROJECT NAME | ARTSPACE NEW ORLEANS BELL SCHOOL ART CAMPUS PHASE II |
| PROJECT ADDRESS | 1818 GALVEZ STREET NEW ORLEANS, LA 70119 |
| PROJECT NO. | 11.0283.10 |
| PROJECT NAME | BAND BUILDING - FLOOR PLAN |
| PROJECT NO. | SP-A1.18 |

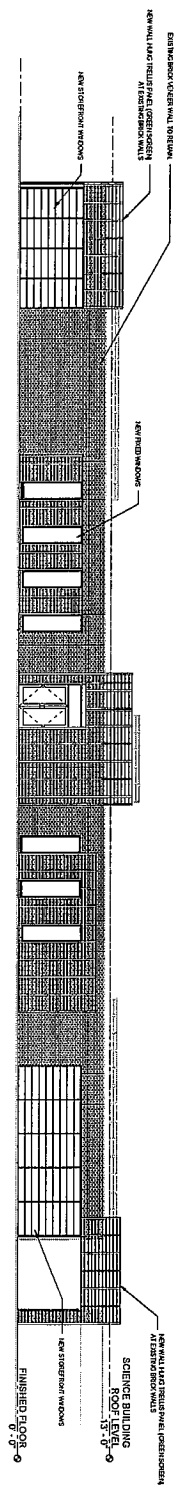
1 ELEVATION
 1/8" = 1'-0"



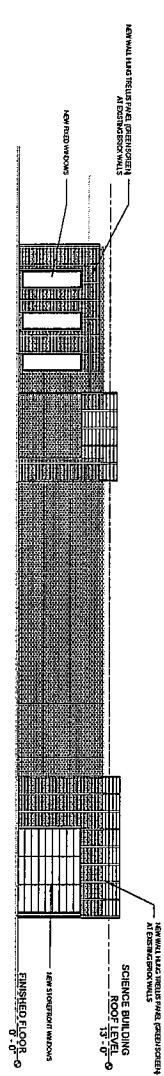
2 ELEVATION
 1/8" = 1'-0"



3 Construction
 1/8" = 1'-0"



4 Construction
 1/8" = 1'-0"



| | |
|--------------|----------------------|
| DATE: | 11/20/10 |
| PROJECT: | ARTSPACE NEW ORLEANS |
| CLIENT: | THE CALVEZ GROUP |
| ARCHITECT: | BILLES PARTNERS |
| SCALE: | 1/8" = 1'-0" |
| PROJECT NO.: | SP.A1.19 |
| DESIGNER: | ARCHITECT |
| CHECKED BY: | ARCHITECT |
| DATE: | 11/20/10 |
| SCALE: | 1/8" = 1'-0" |
| PROJECT NO.: | SP.A1.19 |

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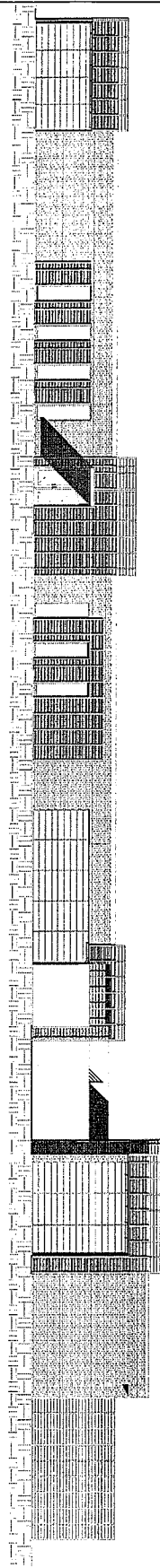
ARTSPACE NEW ORLEANS
 BELL SCHOOL ART CAMPUS |
 PHASE II

1114 N CALVEZ STREET NEW ORLEANS, LA 70116

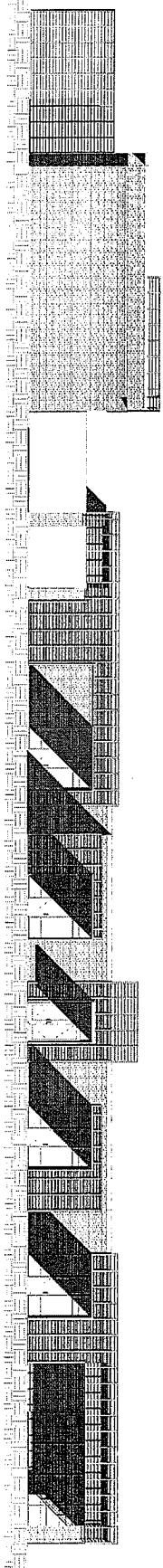
billespartners

PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN

Biles Partners, LLC 1055 St. Charles Avenue, Suite 220 New Orleans, LA 70130 T: 504.581.1622 F: 504.524.6222



① OVERALL ST. PHILIP ST. ELEVATION
1/8" = 1'-0"



② OVERALL COURTYARD ELEVATION
1/8" = 1'-0"

Project Name: ARTSPACE NEW ORLEANS
 Project Location: BELL SCHOOL ART CAMPUS | PHASE II
 Project Number: SPA-1.20
 Date: 11/08/2010

ARTSPACE NEW ORLEANS
 BELL SCHOOL ART CAMPUS |
 PHASE II

1819 N GALVEZ STREET | NEW ORLEANS, LA 70119

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PLANNING | PROJECT DEVELOPMENT | ARCHITECTURE | INTERIOR DESIGN | GRAPHIC DESIGN
 Billes Partners, LLC | 1055 St. Charles Avenue, Suite 220 | New Orleans, LA 70119 | T. 504.201.1622 | F. 504.284.0222

| | |
|------------------|-----------------------------------|
| PROJECT NO. | 11-0823.10 |
| DATE | 11/08/2010 |
| PROJECT NAME | ARTSPACE NEW ORLEANS |
| PROJECT LOCATION | BELL SCHOOL ART CAMPUS PHASE II |
| PROJECT NUMBER | SPA-1.20 |
| DATE | 11/08/2010 |
| PROJECT NAME | ARTSPACE NEW ORLEANS |
| PROJECT LOCATION | BELL SCHOOL ART CAMPUS PHASE II |
| PROJECT NUMBER | SPA-1.20 |
| DATE | 11/08/2010 |
| PROJECT NAME | ARTSPACE NEW ORLEANS |
| PROJECT LOCATION | BELL SCHOOL ART CAMPUS PHASE II |
| PROJECT NUMBER | SPA-1.20 |
| DATE | 11/08/2010 |

Item # 5

Consideration: ZONING DOCKET 102/13 – Request by CORPUS CHRISTI EPIPHANY ROMAN CATHOLIC CHURCH for a Conditional Use to permit a Community Center in an RD-3 Two-Family Residential District and a C-1 General Commercial District, on Square 1036, All lots, in the Third Municipal District, bounded by Dabadie, North Galvez, North Johnson, Onzaga Streets and Saint Bernard Avenue. The municipal address is 2022 SAINT BERNARD AVENUE. (PD-4)

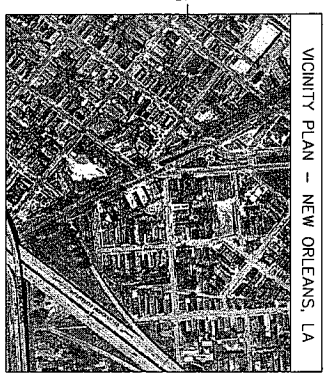
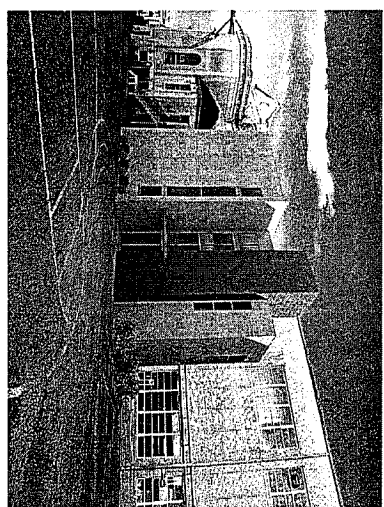
SHEET INDEX

VOLUME 1 / 2

VOLUME 2 / 2

| | |
|------|--|
| 4000 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4001 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4002 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4003 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4004 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4005 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
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| 4037 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4038 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4039 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4040 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4041 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4042 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4043 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4044 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4045 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4046 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4047 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4048 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4049 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4050 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4051 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4052 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4053 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4054 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4055 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4056 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4057 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4058 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4059 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4060 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4061 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4062 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4063 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4064 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4065 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4066 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4067 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4068 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4069 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4070 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4071 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4072 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4073 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4074 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4075 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4076 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4077 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4078 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4079 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4080 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4081 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4082 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4083 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4084 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4085 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4086 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4087 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4088 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4089 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4090 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4091 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4092 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4093 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4094 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4095 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4096 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4097 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4098 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4099 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |
| 4100 | MECHANICAL, PLUMBING, AND ELECTRICAL (MPE) GENERAL NOTES |

RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING VOLUME 1 / 2



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FUTCH DESIGN ASSOCIATES
 8868 INTERLINE AVE., SUITE C
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MATHES BRIERE ARCHITECTS

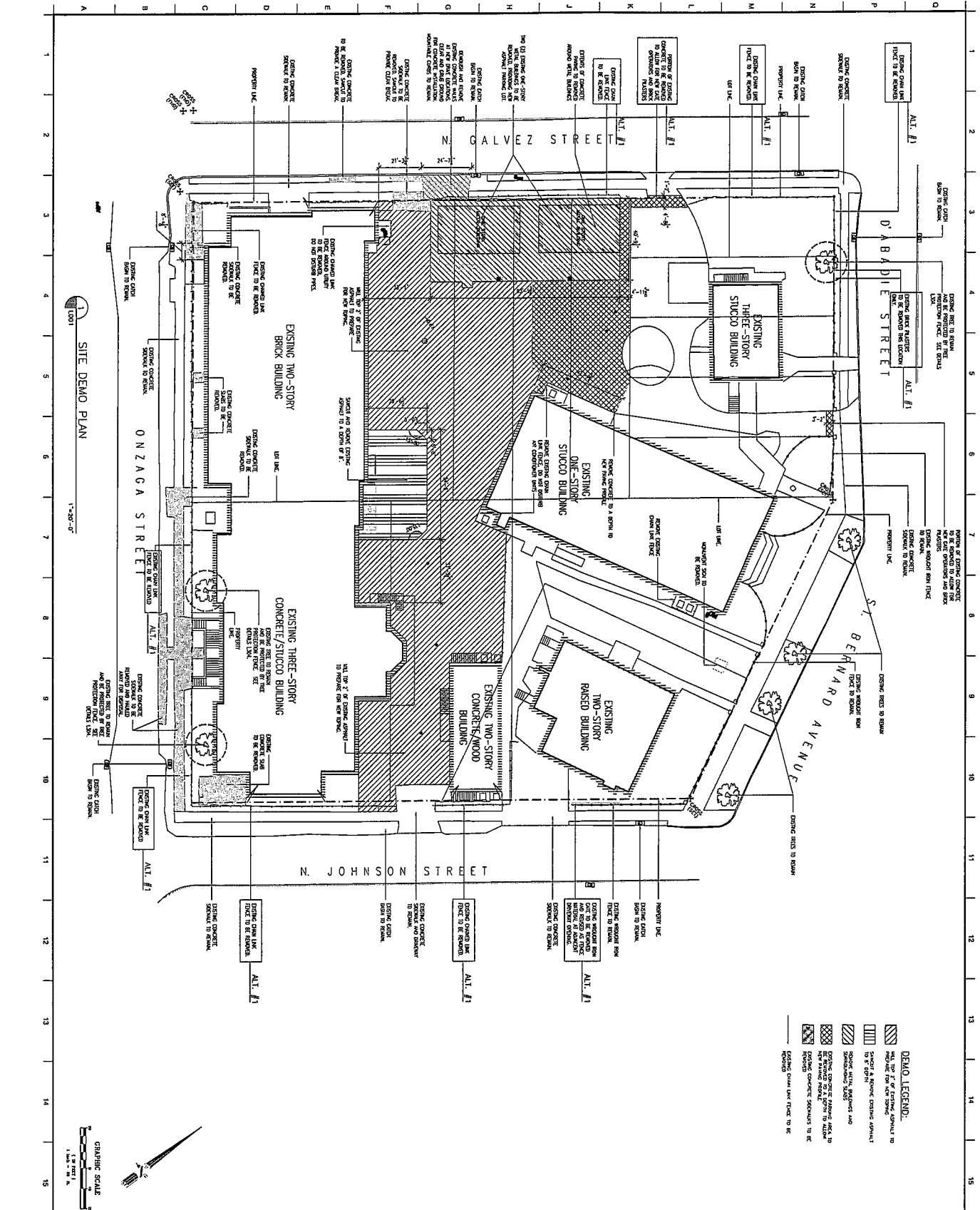
201 St. Charles Avenue, Suite 4100
 Mandeville, Louisiana 70471-4100
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 Website: www.mathesbriere.com

PROJECT TITLE
 RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING

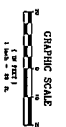
DESIGNED BY RR **CHECKED BY** RR
DRAWN BY NB **DATE** 5/17/2013

PRODUCT NO. 10507 **SHEET NO.** A000

CONSTRUCTION DOCUMENTS



SITE DEMO PLAN
1"=30'-0"



UNLESS OTHERWISE SPECIFIED, ALL BUILDINGS SHALL INCLUDE THE REMOVAL OF ALL CURBS, RAISERS, AND OTHER ELEMENTS ASSOCIATED WITH THESE BUILDINGS.

- DEMO LEGEND:**
- ALL UP TO 2" OF EXISTING ASPHALT TO BE REMOVED FOR NEW TOPPING TO 5" DEPTH
 - REMOVE EXISTING ASPHALT TO 5" DEPTH
 - REMOVE ALL EXISTING BRICK AND CONCRETE TO SKIN
 - REMOVE EXISTING BRICK AND CONCRETE TO SKIN TO BE RECONSTRUCTED
 - REMOVE EXISTING CONCRETE TO SKIN TO BE RECONSTRUCTED
 - REMOVE EXISTING CONCRETE TO SKIN TO BE RECONSTRUCTED

| NO. | REVISION/SUBMISSIONS | DATE |
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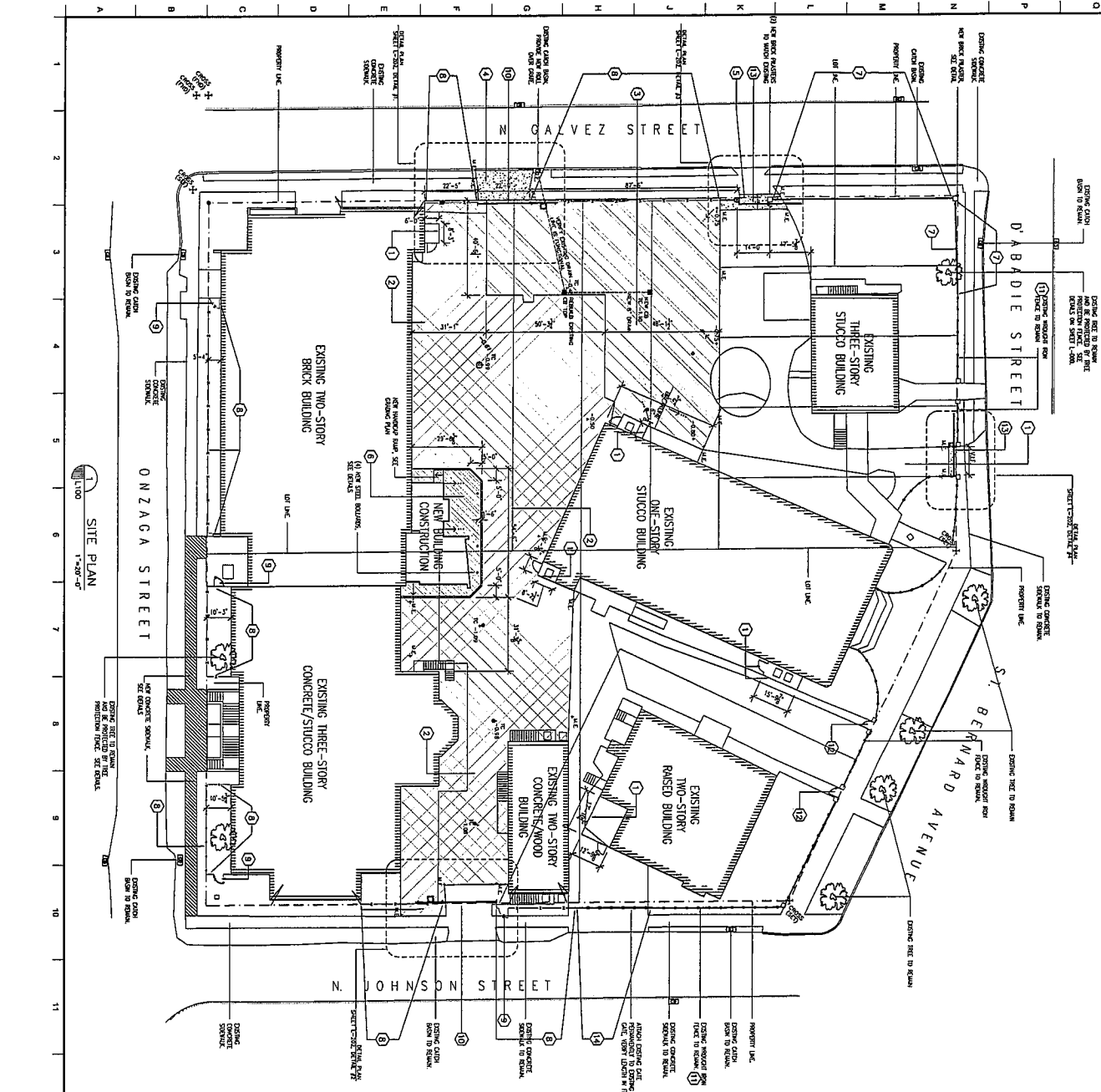
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2215 Grady Avenue, Suite 110
New Orleans, Louisiana 70114-1100
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PROJECT TITLE
RENOVATIONS
TO
CORPUS CHRISTI
SCHOOL BUILDING
2022 ST. BERNARD AVE.
NEW ORLEANS, LOUISIANA

CONSTRUCTION DOCUMENTS

DESIGNED BY NS CHECKED BY NS
DRAWN BY SH DATE 5/17/2013
PROJECT NO. 10507 SHEET NO. L001



1 SITE PLAN
1"=20'-0"

- PAVEMENT NOTES**
1. IN AREAS TO RECEIVE FOOTING, THE SURFACE SHALL BE EXCAVATED AND UNLINED AND OTHER EXISTING UTILITIES. ALL EXCAVATION AND BACKFILL FOR FOOTING SHALL BE COMPACTED TO 95% OF THE UNF. FOR DESIGN. NEW SPOTS SHALL BE PLACED AT THE CORNER OF EXISTING FOOTINGS. EXISTING FOOTINGS SHALL RECEIVE NEW TOP COURSE ONLY.
 2. ALL SUBGRADE MATERIAL WHICH WILL NOT SUFFICIENTLY COMPACT SHALL BE REMOVED AND REPLACED WITH 4" MINIMUM THICKNESS OF 100% COMPACTED GRANULAR FILL. ALL SUBGRADE SHALL BE AT LEAST 6 INCHES FROM THE WALL AND THE ADJACENT DRIVE AND BROADWAY TO USE AND GRADE AND COMPACTED AS SPECIFIED ABOVE.
 3. STRUCTURE, FILL SHALL COMPLY WITH SECTION 12.01 (CONCRETE AND BRICK) OF THE SPECIFICATIONS.
 4. SLOPE COURSE FOR CONCRETE STRUCTURES SHALL COMPLY WITH SECTION 12.01 (CONCRETE AND BRICK) OF THE SPECIFICATIONS. ALL OTHER MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
 5. REINFORCING BARS SHALL BE 5/8" DIA. UNLESS OTHERWISE SPECIFIED. BARS SHALL BE LAPPED AND COMPACTED TO 95% OF THE UNF. FOR DESIGN. NEW SPOTS SHALL BE PLACED AT THE CORNER OF EXISTING FOOTINGS. EXISTING FOOTINGS SHALL RECEIVE NEW TOP COURSE ONLY.
 6. CONSTRUCTION SHALL PROVIDE CURBS FOR TRANSVERSE DRAINAGE DURING CONSTRUCTION.
 7. CONSTRUCTION SHALL INSTALL CONCRETE SIDEWALK AT DETAILS SHOWN AND SHALL COMPLY WITH ALL APPLICABLE ADA STANDARDS.
 8. CONSTRUCTION SHALL PROVIDE CURBS FOR TRANSVERSE DRAINAGE DURING CONSTRUCTION.
 9. CONSTRUCTION SHALL PROVIDE CURBS FOR TRANSVERSE DRAINAGE DURING CONSTRUCTION.
 10. CONTRACTOR SHALL PROVIDE AND PLACE DESIGN CONCRETE STRUCTURES TO ALLOW FOR POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.

- ALT. #1**
- 1 NEW WOOD SCREEN FENCE AND 4'-0" GATE TYP. EACH. SEE DETAILS.
 - 2 NEW 2" ASPHALT WEARING COURSE OVER EXISTING ASPHALT BASE.
 - 3 CONCRETE SIDEWALK. SEE DETAILS.
 - 4 NEW CONCRETE DRIVE APRON, DEPTH Varies.
 - 5 NEW CONCRETE PATIO, PORCH AND WALKWAYS FOR SHEDS AND LANDSCAPE.
 - 6 NEW CONCRETE ENTRY AREA SLAB. SEE DETAILS.
 - 7 NEW CUSTOM WELDED STEEL FENCE TO MATCH EXISTING FROM FENCE IN HEIGHT AND FINISH. SEE DETAILS.
 - 8 NEW 7'-0" HIGH STEEL PERENNIAL GATE. MATCH EXISTING. SEE DETAILS.
 - 9 NEW 7'-0" HIGH STEEL PERENNIAL GATE. MATCH EXISTING. SEE DETAILS.
 - 10 ELECTRONICALLY OPERATED ALUMINUM GATE. MATCH EXISTING. SEE DETAILS.
 - 11 ALL NEW CURBS AND EXISTING STEEL FENCES TO BE FINISHED AND PAINTED TO MATCH EXISTING. SEE DETAILS.
 - 12 NEW CUSTOM WELDED STEEL FENCE WITH 1/2" THICK HANDRAIL. RETURN TO EXISTING FENCE LINE.
 - 13 NEW CUSTOM WELDED STEEL FENCE WITH 1/2" THICK HANDRAIL. RETURN TO EXISTING FENCE LINE.
 - 14 EXISTING WOODWORK TO REMAIN TO BE FINISHED AND PAINTED TO MATCH EXISTING.

- MATERIALS REVIEW GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.
- 1 NEW WOOD SCREEN FENCE AND 4'-0" GATE TYP. EACH. SEE DETAILS.
 - 2 NEW 2" ASPHALT WEARING COURSE OVER EXISTING ASPHALT BASE.
 - 3 CONCRETE SIDEWALK. SEE DETAILS.
 - 4 NEW CONCRETE DRIVE APRON, DEPTH Varies.
 - 5 NEW CONCRETE PATIO, PORCH AND WALKWAYS FOR SHEDS AND LANDSCAPE.
 - 6 NEW CONCRETE ENTRY AREA SLAB. SEE DETAILS.
 - 7 NEW CUSTOM WELDED STEEL FENCE TO MATCH EXISTING FROM FENCE IN HEIGHT AND FINISH. SEE DETAILS.
 - 8 NEW 7'-0" HIGH STEEL PERENNIAL GATE. MATCH EXISTING. SEE DETAILS.
 - 9 NEW 7'-0" HIGH STEEL PERENNIAL GATE. MATCH EXISTING. SEE DETAILS.
 - 10 ELECTRONICALLY OPERATED ALUMINUM GATE. MATCH EXISTING. SEE DETAILS.
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 - 13 NEW CUSTOM WELDED STEEL FENCE WITH 1/2" THICK HANDRAIL. RETURN TO EXISTING FENCE LINE.
 - 14 EXISTING WOODWORK TO REMAIN TO BE FINISHED AND PAINTED TO MATCH EXISTING.

Mathes Briere
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301 St. Charles Avenue, First Floor
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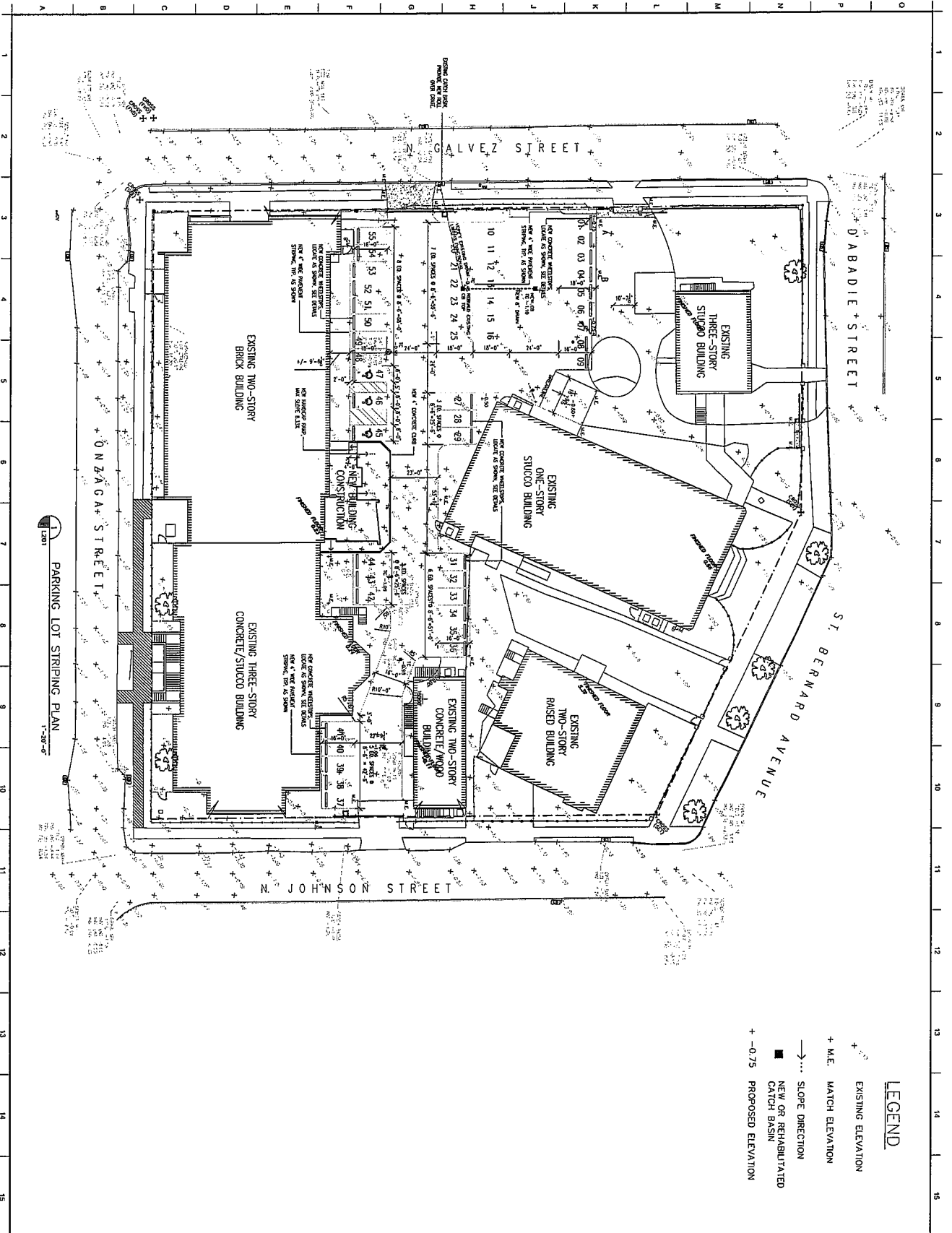
PROJECT TITLE
CORPUS CHRISTI
SCHOOL BUILDING
TO
RENOVATIONS

2022 ST. BERNAUD AVE.
NEW ORLEANS, LOUISIANA

CONSTRUCTION DOCUMENTS

DESIGNED BY: NS
DRAWN BY: SH
DATE: 5/17/2013

PROJECT NO.: 10507
SHEET NO.: L100



LEGEND

- + EXISTING ELEVATION
- + M.E. MATCH ELEVATION
- SLOPE DIRECTION
- NEW OR REHABILITATED CATCH BASIN
- 0.75 PROPOSED ELEVATION

NOTE:

IN GENERAL, WHERE NEW PAVING ABUTS EXISTING, ALL EXISTING GRADES ARE TO BE MATCHED TO ENSURE A SEAMLESS CONNECTION. EXISTING PAVEMENT ARE TO BE MAINTAINED AND GRADES TO SLOPED TOWARDS THEM TO PROVIDE PROPER DRAINAGE OF THE SITE.

CONTRACTOR TO SUPPLY NEW ROLL BARS ALONG THE RIGHT OF WAY. SUBMIT CUT SHEET OF PROPOSED PRODUCT TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.

MATERIALS REVIEW GENERAL NOTES

| NO. | REVISION/SUBMISSIONS | DATE |
|-----|----------------------|------|
| | | |
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**Mathes Brierre
ARCHITECTS**

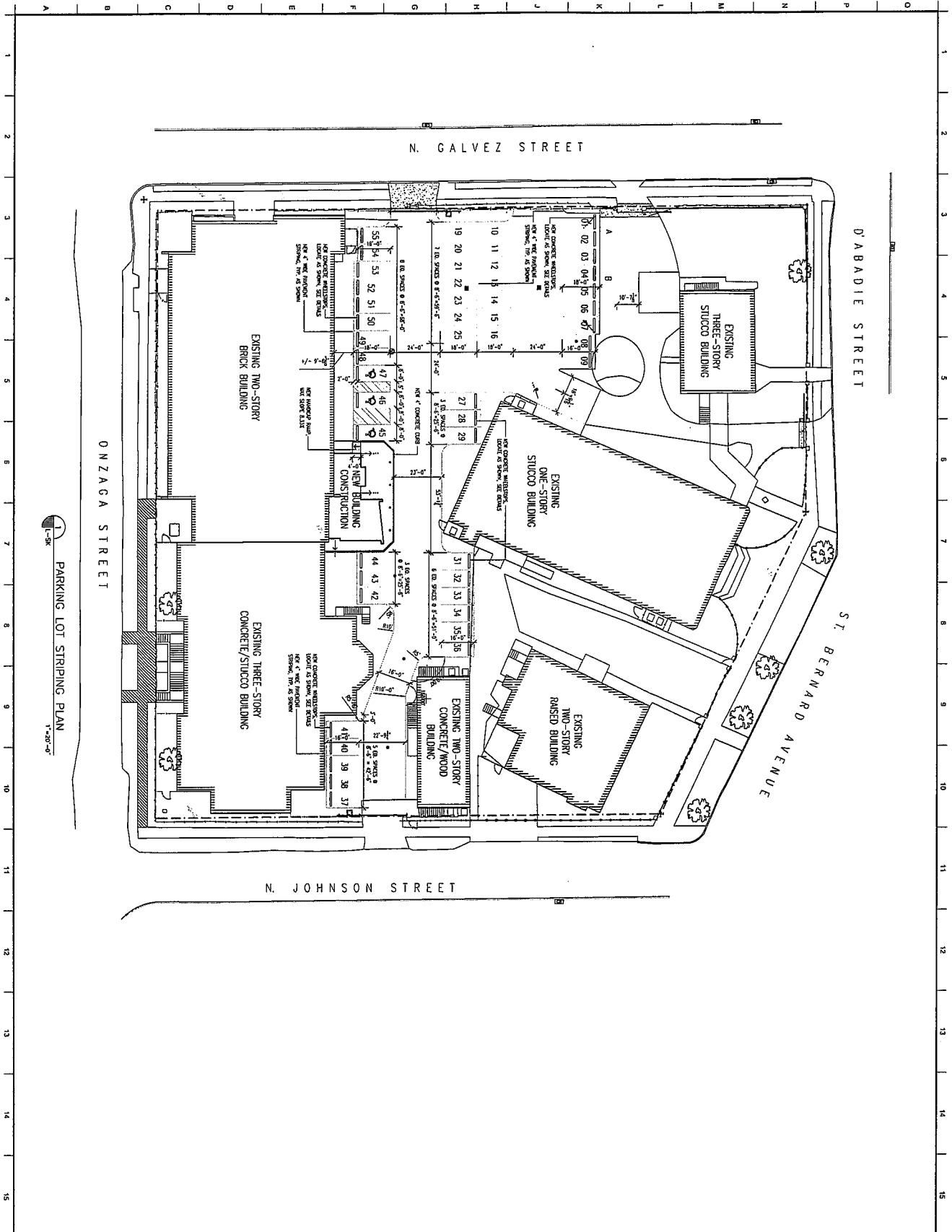
2015 Maple Avenue, First Floor
Metairie, Louisiana 70001-4100
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www.mathesbrierre.com

PROJECT TITLE
RENOVATIONS
TO
CORPUS CHRISTI
SCHOOL BUILDING
2022 ST. BERNARD AVE.
NEW ORLEANS, LOUISIANA

CONSTRUCTION DOCUMENTS

| | | | |
|---|-------|------------|-----------|
| DESIGNED BY | NS | CHECKED BY | NS |
| DRAWN BY | SH | DATE | 5/17/2013 |
| SHEET TITLE STRIPING & GRADING PLAN | | | |
| PROJECT NO. | 10507 | SHEET NO. | L201 |

1 PARKING LOT STRIPING PLAN
1'-20" = 1"

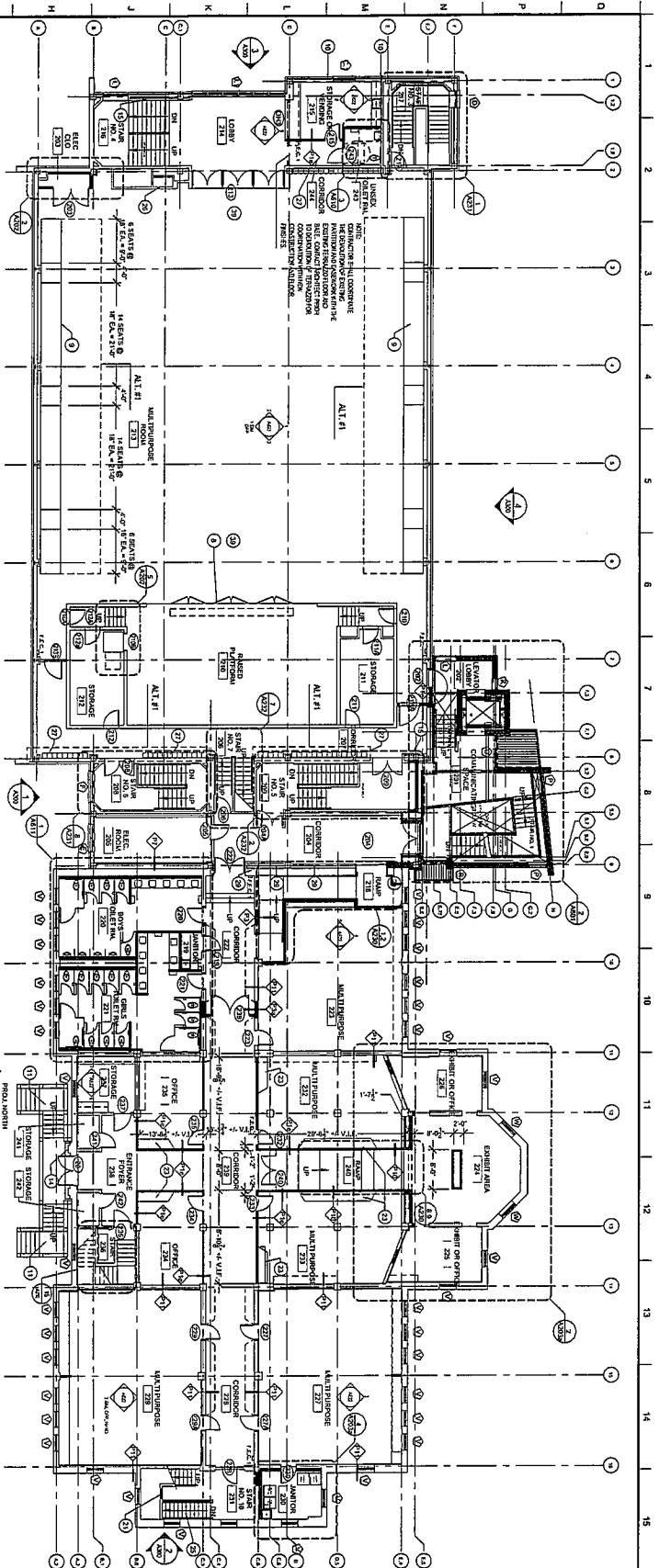


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|----------------------------------|--|-------|----------------|-----------|
| DESIGNED BY | | KS | CHECKED BY | NS |
| DRAWN BY | | SH | DATE | 5/17/2013 |
| SHEET TITLE: PARKING PLAN SKETCH | | | | |
| PROJECT NO. | | 10507 | SHEET NO. L-SK | |

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| NO. | REVISION/SUBMISSIONS | DATE |
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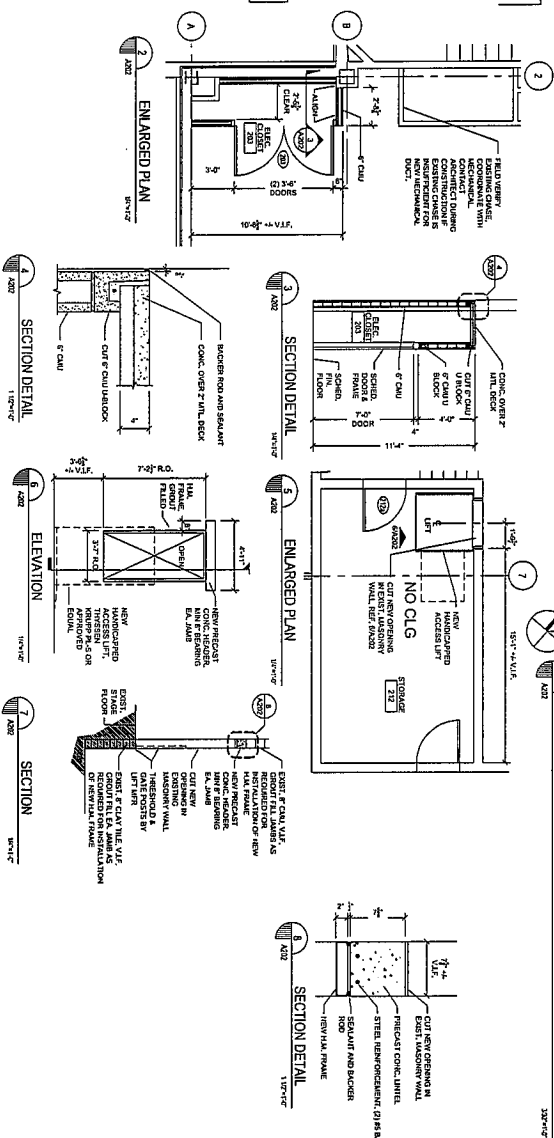
| | |
|--|--|
| Mathes Brierre ARCHITECTS 221 St. Bernard Avenue, First Floor New Orleans, Louisiana 70114-1400 Phone: 504.586.1303 Fax: 504.586.1305 Website: www.mathesbrierre.com | |
| PRODUCT TITLE RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING 2023 ST. BERNARD AVE. NEW ORLEANS, LOUISIANA | |

DATE PLOTTED: 5/17/2013 10:50 AM



KEY NOTES

1. REMOVE EXISTING PAINT, TONGUE GROUDED AND SCAP REMOVE 3/4" x 2" x 10' AND NEW SCAP W/STAINLESS STEEL BRICKS.
2. REMOVE EXIST. FLOORING, REMOVE EXIST. GROUT AND REPAIR TO MATCH EXISTING. REPAIR.
3. REMOVE EXIST. WALL, INSTALL NEW PLASTER ON METAL LATH TO MATCH EXISTING.
4. REPAIR EXIST. WALL, MATCH AS REQUIRED, MATCH EXISTING.
5. REPAIR EXIST. CEILING, DOWNPUMP, AND OUTLET AND COMPARTMENT TO MATCH EXISTING.
6. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
7. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
8. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
9. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
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12. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
13. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
14. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.
15. REPAIR EXIST. WOOD SKIN TO MATCH EXISTING, REFINISH AS REQUIRED.



| NO. | REVISION/SUBMISSION | DATE |
|-----|---------------------|------|
| 1 | REVISED SUBMISSIONS | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
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Mathes Brierre
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TO
RENOVATIONS

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PROJECT TITLE: 2ND FLOOR PLAN

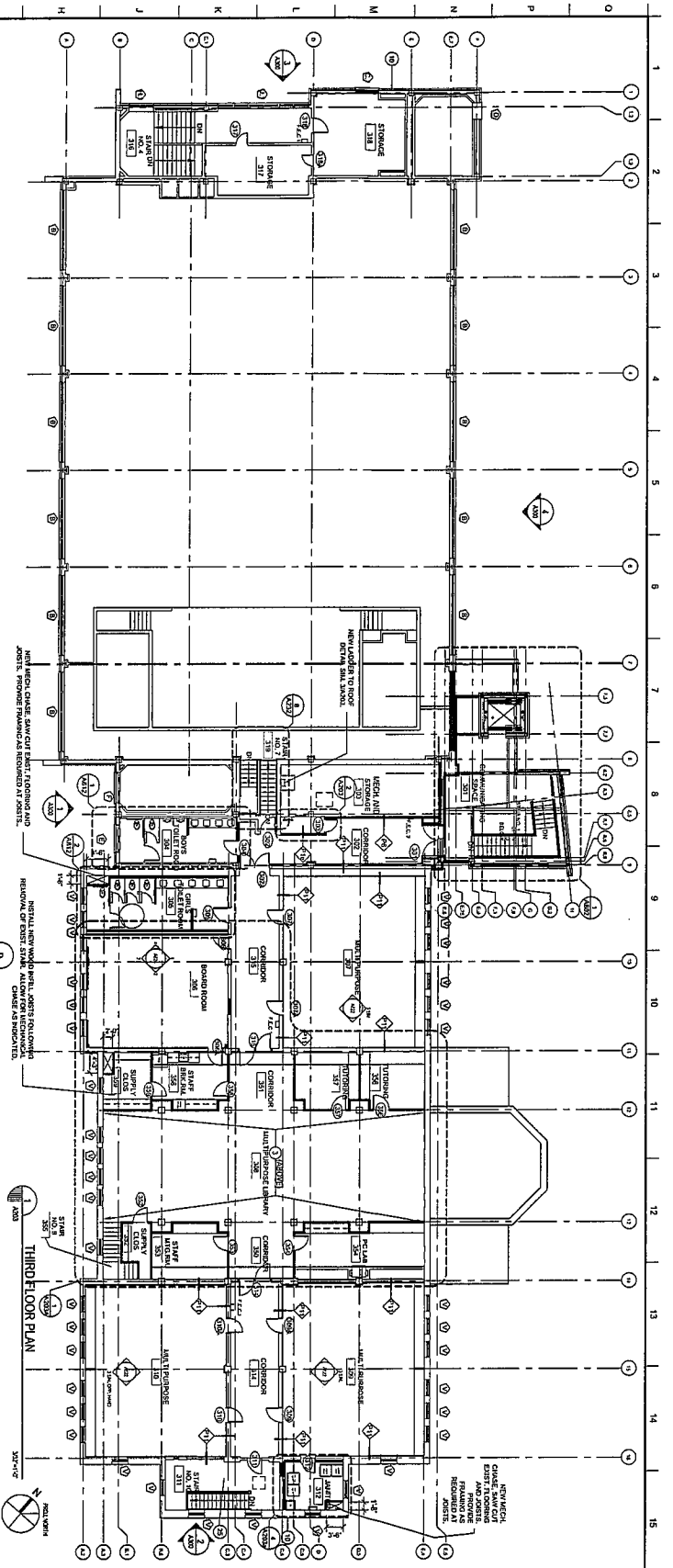
DESIGNED BY: RRR
DRAWN BY: NB
DATE: 5/17/2013

CONSTRUCTION DOCUMENTS

PRODUCT NO. 10507
SHEET NO. A202

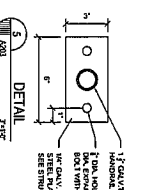
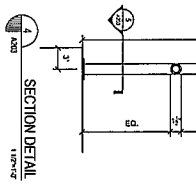
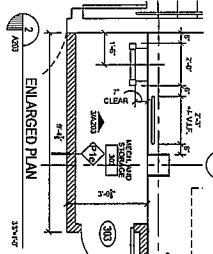
MATERIALS REFERRED GENERAL NOTES

1. F.E.C. 1 - WALL MOUNTED FIRE EXTINGUISHER CABINET
2. EXTINGUISHER CABINET
3. EXTINGUISHER CABINET
4. EXTINGUISHER CABINET
5. EXTINGUISHER CABINET
6. EXTINGUISHER CABINET
7. EXTINGUISHER CABINET
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9. EXTINGUISHER CABINET
10. EXTINGUISHER CABINET



KEY NOTES

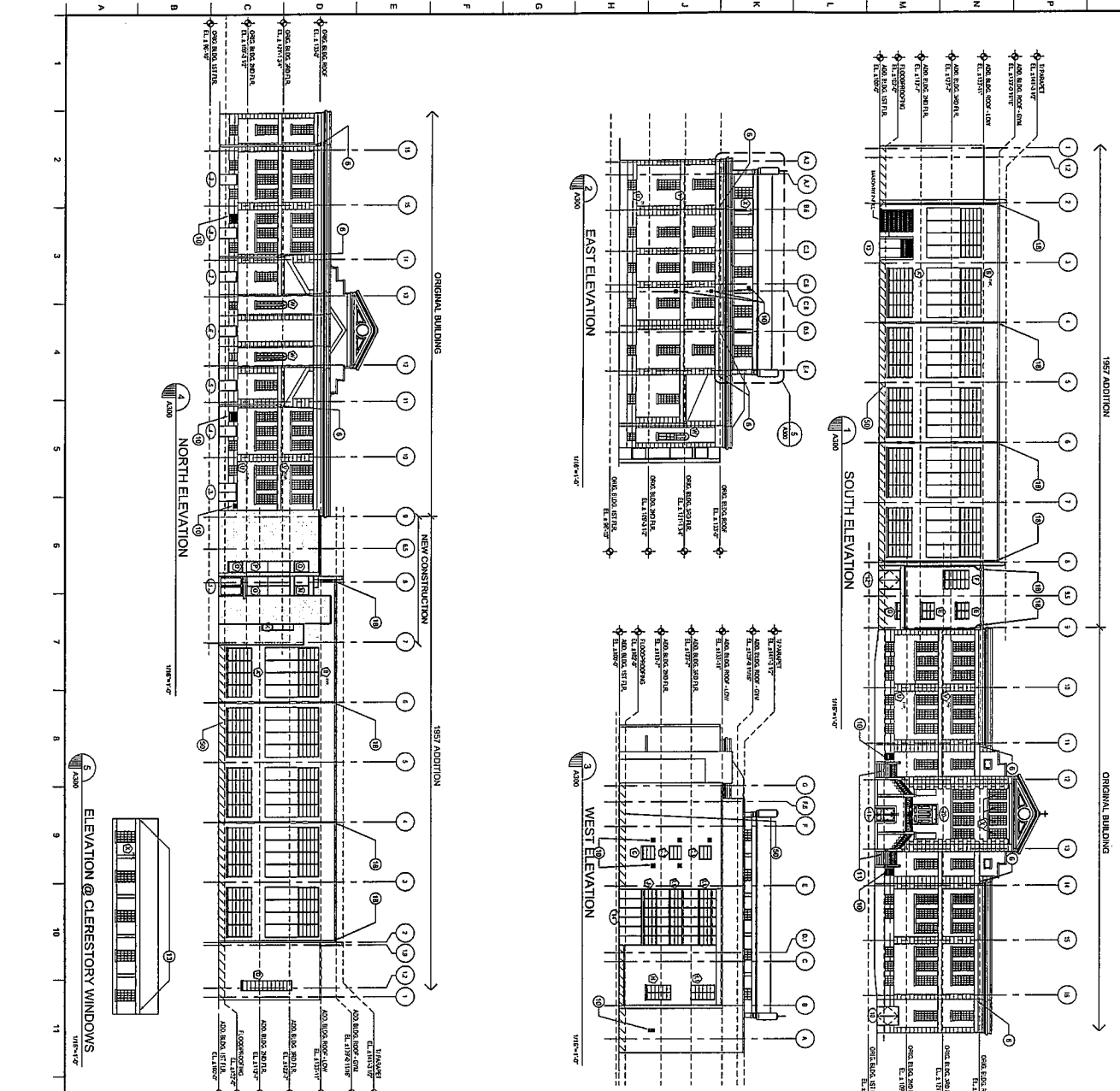
1. INSTALL NEW GLASS IN EXIST. FRAME, MATCH EXISTING.
2. REMOVE EXISTING PAPER, TONEL, INSULATION AND SCAP. REPAIR TO MATCH EXISTING. REMOVE TO MATCH EXISTING. REPAIR TO MATCH EXISTING. REPAIR TO MATCH EXISTING.
3. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
4. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
5. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
6. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
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13. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
14. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.
15. REPAIR EXIST. WOOD TRIM, INSTALL NEW PLASTER ON REPAIR LANE TO MATCH EXISTING.



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A B C D E F G H J K L M N O

| | |
|--|--|
| <p>MATERIALS KEYING GENERAL NOTES</p> <ol style="list-style-type: none"> 1. F.E.C. 1 WALL LABORED FIRE 2. EXTENSOR CABINET, FIRE 3. EXTENSOR CABINET, FIRE 4. PATCH ALL EXIST. WALLS WHERE DAMAGED 5. PATCH ALL EXIST. WALLS WHERE DAMAGED 6. PATCH ALL EXIST. WALLS WHERE DAMAGED 7. PATCH ALL EXIST. WALLS WHERE DAMAGED 8. PATCH ALL EXIST. WALLS WHERE DAMAGED 9. PATCH ALL EXIST. WALLS WHERE DAMAGED 10. PATCH ALL EXIST. WALLS WHERE DAMAGED | |
| <p>CONSTRUCTION DOCUMENTS</p> <p>2021 ST. BERNARD AVE. NEW ORLEANS, LOUISIANA</p> | |
| <p>Mathes Bricre ARCHITECTS</p> <p>201 St. Charles Avenue, First Floor New Orleans, Louisiana 70114-1100 Phone: 504.586.5303 Fax: 504.581.1305 www.mathesbricre.com</p> | |
| <p>PROJECT TITLE: RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING</p> | |
| <p>DESIGNED BY: RFR/CHEK/BV/RR</p> <p>DRAWN BY: NB DATE: 5/17/2013</p> | |
| <p>PROJECT NO: 10507 SHEET NO: A203</p> | |



- ### KEY NOTES
- 1) INSTALL NEW GLASS IN EXIST. FRAME, MATCH EXISTING.
 - 2) REMOVE EXISTING WINDOW FRAME, DISPOSE AND SOUP. DISPENSE, INSTALL NEW WINDOW FRAME, DISPENSE, DISPOSE, MATCH EXISTING AND NEW WINDOW FRAME. DISPOSE AND SOUP.
 - 3) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 4) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 5) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 6) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 7) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 8) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 9) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 10) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 11) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 12) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 13) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 14) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.
 - 15) REMOVE EXIST. WINDOW FRAME, MATCH EXISTING, REPAIR, METAL LAMINATE TO MATCH EXISTING.

| | |
|---|----------------------|
| MATERIALS LISTING GENERAL NOTES | |
| 1. PRESSURE WASH ENTIRE | |
| 2. PAINT ALL ROUGH TEXTURED SURFACES WITH ELASTOMERIC COLORED TO BE ORIGINAL BUILDING. | |
| 3. PAINT ALL OTHER SMOOTH TEXTURED TRIM ELEMENTS TO BE SELECTED BY ARCH AT THE ORIGINAL BUILDING. | |
| 4. PAINT EXTERIOR STONE PERMANENT PERMANENT BUILDING WITH STONE PAINT WINDOW SILL AT THE ORIGINAL BUILDING WITH DUCHECERRE COCCOLO TO BE SELECTED BY ARCH AT THE ORIGINAL BUILDING. | |
| 5. PAINT WINDOW SILL AT THE ORIGINAL BUILDING WITH DUCHECERRE COCCOLO TO BE SELECTED BY ARCH AT THE ORIGINAL BUILDING. | |
| 6. FILL ALL HOLES W/ADHESIVE TO MATCH EXIST. @ DEMO'D REPAIRATIONS. | |
| GENERAL NOTES | |
| 1. PRESSURE WASH ENTIRE | |
| 2. PAINT ALL ROUGH TEXTURED SURFACES WITH ELASTOMERIC COLORED TO BE ORIGINAL BUILDING. | |
| 3. PAINT ALL OTHER SMOOTH TEXTURED TRIM ELEMENTS TO BE SELECTED BY ARCH AT THE ORIGINAL BUILDING. | |
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| 5. PAINT WINDOW SILL AT THE ORIGINAL BUILDING WITH DUCHECERRE COCCOLO TO BE SELECTED BY ARCH AT THE ORIGINAL BUILDING. | |
| 6. FILL ALL HOLES W/ADHESIVE TO MATCH EXIST. @ DEMO'D REPAIRATIONS. | |
| NO. IN PLAN | REVISION/SUBMISSIONS |
| DATE | DATE |

Mathes Brierre ARCHITECTS

301 St. Charles Avenue, First Floor
New Orleans, Louisiana 70114-4100
Phone: 504.588.5505 Fax: 504.588.1595
www.mathesbrierre.com

PROJECT TITLE: RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING

2023 ST. BERNARD AVE.
NEW ORLEANS, LOUISIANA

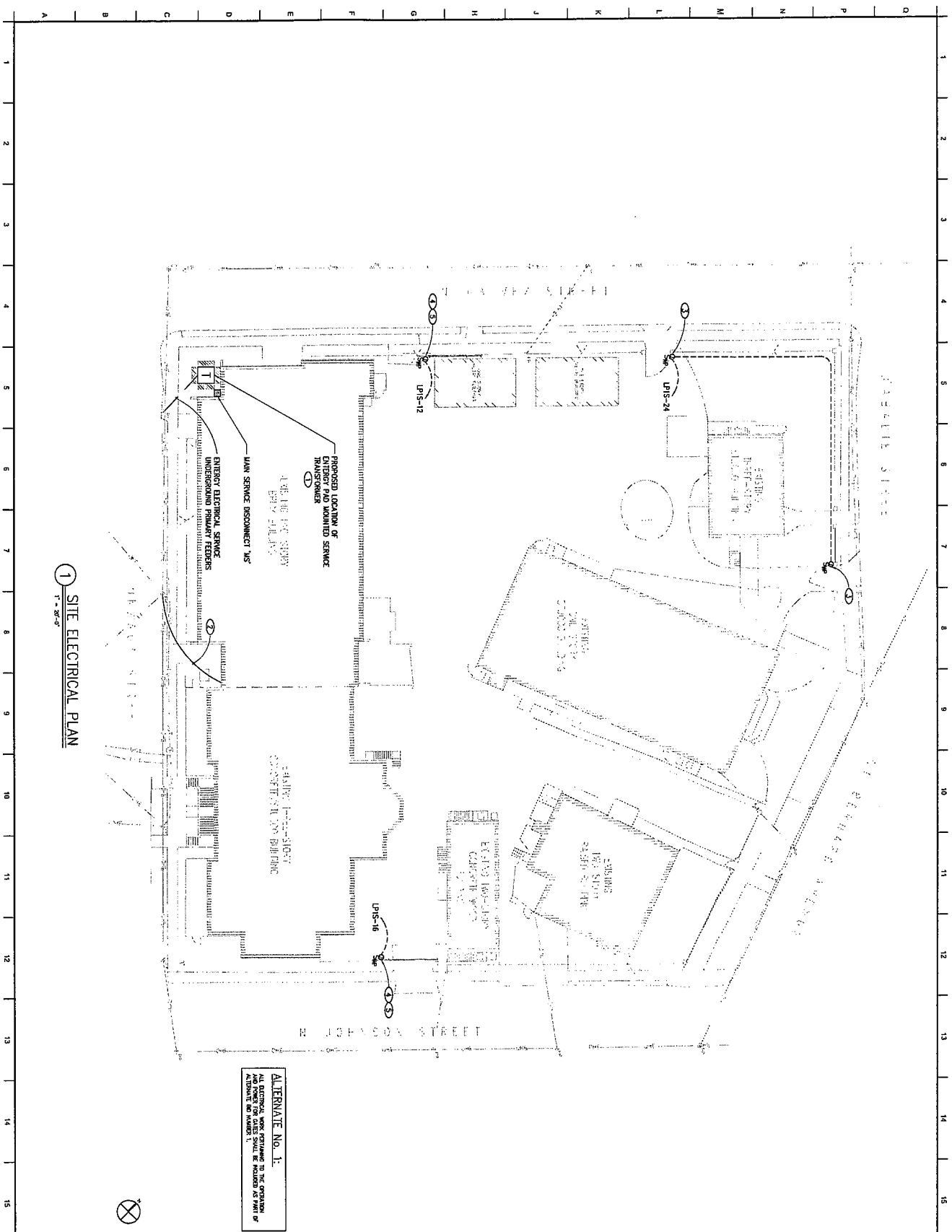
DESIGNED BY: RR/NB CHECKED BY: RR
DRAWN BY: NB DATE: 5/17/2013

SHEET NO.: ELEVATIONS

PROJECT NO.: 10507

SHEET NO.: A300

CONSTRUCTION DOCUMENTS



1 SITE ELECTRICAL PLAN
1-28-09

ALTERNATE No. 1:
HAS BEEN PREPARED BY THE ENGINEER
AND DOES NOT CONSTITUTE PART OF THE
CONTRACT. ANY CHANGES TO THE
DRAWING SHALL BE MADE BY THE ENGINEER
AND NOTED ON NUMBER 1.

- NOTES**
- 1) ALL WANTED ELECTRICAL SERVICE TRANSFORMERS BY THE CONTRACTOR TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 2) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 3) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 4) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
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 - 7) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 8) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 9) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.
 - 10) OVERHEAD SERVICE CONDUITS FOR TELEPHONE AND DATA SERVICES TO BE INSTALLED AND WANTED TO BE INSTALLED IN THE NORTH SIDE OF THE BUILDING.

Mathes Brierre ARCHITECTS

301 St. Charles Avenue, First Floor
New Orleans, Louisiana 70114-1400
Phone: 504.586.3000 Fax: 504.586.1999
www.mathesbrierre.com

ibba
International Brotherhood of Building Artists
2015 Poydras Street, Suite 500
New Orleans, Louisiana 70112-3013
Phone: 504.586.3000 Fax: 504.586.1999

REGISTERED PROFESSIONAL ENGINEER
STATE OF LOUISIANA
No. 10113

| | |
|---|---|
| PROJECT TITLE | RENOVATIONS TO CORPUS CHRISTI SCHOOL BUILDING |
| PROJECT NO. | 10507 |
| SHEET NO. | ES100 |
| DESIGNED BY | AJS |
| CHECKED BY | RHR |
| DRAWN BY | OWEB/LR |
| DATE | 5.17.2013 |
| CONSTRUCTION DOCUMENTS | |
| SITE ELECTRICAL PLAN | |
| 2022 ST. BERNARD AVE. NEW ORLEANS, LOUISIANA | |

Item # 6

Consideration: A grant of servitude of air rights on/over a portion of N. Rampart St. public right-of-way adjacent to Square 363, Lot D, 3rd M.D., bounded by: Clouet St., Montegut St., N. Rampart St., and St. Claude Ave. for a proposed encroachment of an awning and existing sign. The municipal address is 3053 N. Rampart St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Leslie T. Alley, Deputy Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator
CC: File
Date: August 15, 2013
Re: PAC Meeting Agenda

Please place the following item on the PAC meeting agenda:

Consideration: A grant of servitude of air rights on/over a portion of N. Rampart St. public right-of-way adjacent to Square 363, Lot D, 3rd M.D., bounded by: Clouet St., Montegut St., N. Rampart St., and St. Claude Ave. for a proposed encroachment of an awning and existing sign.

The municipal address is 3053 N. Rampart St.

If you have any questions, please contact Elsie Cobb-Wright at 658-3615

Attachments: (2)

Approved By:



George A. Patterson, Director

GAP:ecw

AVE.

ST. CLAUDE

537'6"0" D.H. 538'2"2" C.O.

ST.

ST.

396'5"5" D.H. 396'5"4" C.O.

396'5"5" D.H. 396'2"2" C.O.

MONTEGUT

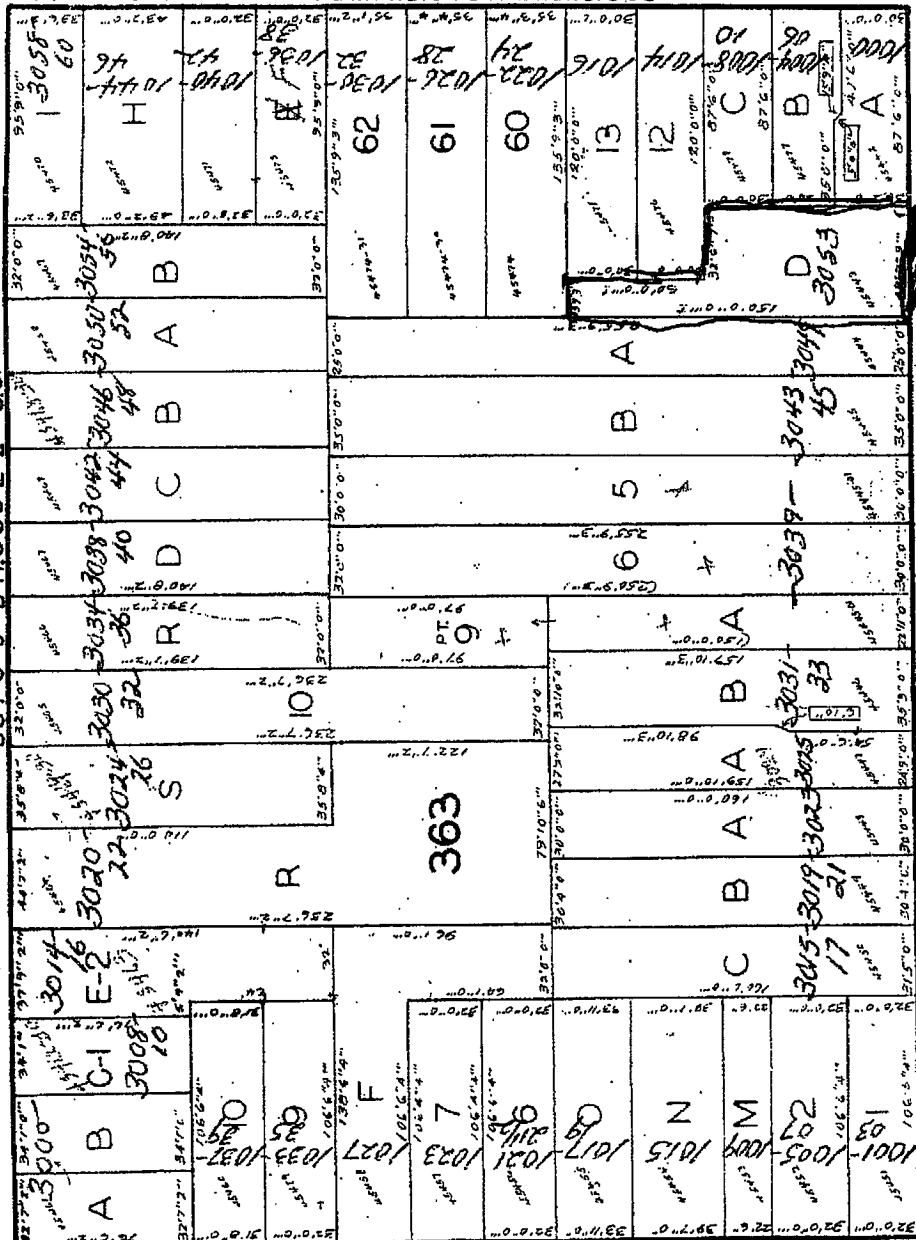
CLOUET

537'3"6" D.H. 536'1"1" C.O.

ST.

N. RAMPART

3M-9W

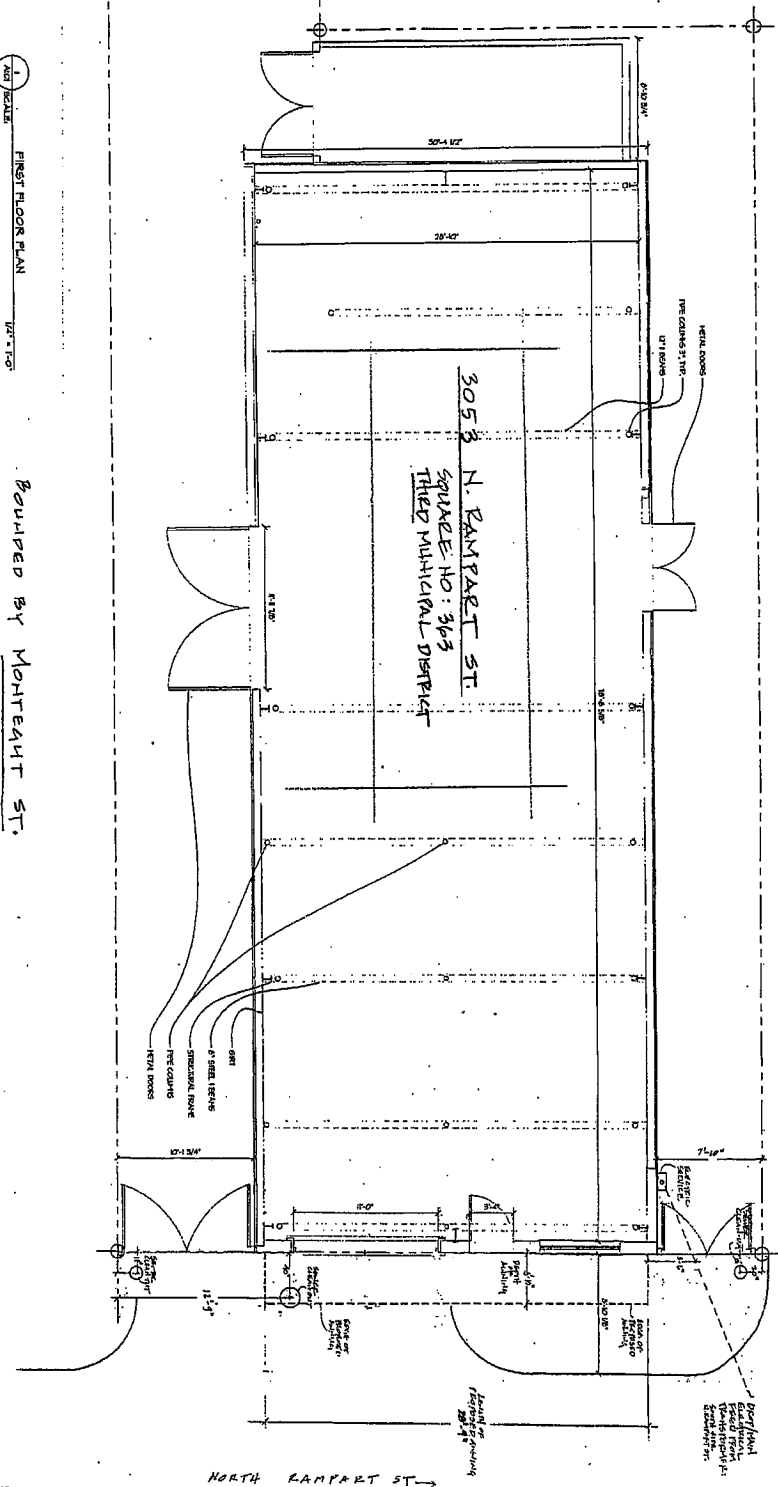


BOUNDED BY ST. CLAUDE AVE.

BOUNDED BY CLOUET ST.

1/4" = 1'-0" FIRST FLOOR PLAN

BOUNDED BY MONTEAULT ST.



LEGEND

- Existing to remain
- Proposed construction
- Structural elements
- Structural to be removed

NORTH RAMPART ST.

A101
1 of 6

DATE: 02/12/13
REVISIONS:

PROJECT NAME:

PROJECT NO.:

RENOVATION TO:
"MUTLEDGE & COMPANY"
505 1/2 NORTH RAMPART
NEW ORLEANS, LA 70117



PROJECT CLIENT NAME:

Item # 7

Consideration: A grant of servitude of air and ground rights on/over a portion of Congress St. public right-of-way adjacent to Square 136, Lot 17-20, 3rd M.D., bounded by: Independence St., Chartres St., Royal St., and Congress St. for proposed encroachments of roof overhang, balcony, columns, steps, landing, and hand railings. The municipal address is 605 Congress St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Leslie T. Alley, Deputy Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator
CC: File
Date: August 19, 2013
Re: PAC Meeting Agenda

Please place the following item on the PAC meeting agenda:

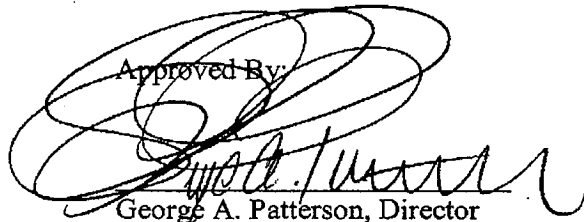
Consideration: A grant of servitude of air and ground rights on/over a portion of Congress St. public right-of-way adjacent to Square 136, Lot 17-20, 3rd M.D., bounded by: Independence St., Chartres St., Royal St., and Congress St. for proposed encroachments of roof overhang, balcony, columns, steps, landing, and hand railings.

The municipal address is 605 Congress St.

If you have any questions, please contact Elsie Cobb-Wright at 658-3615

Attachments: (4)

Approved By:



George A. Patterson, Director

GAP:ecw

CHARTRES ST

197173mD'H.1976mC.O.

CONGRESS ST.

316'2"5"D'H.316'2"3mC.O.

| | | | | | | | | | |
|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|
| 317'0" 601-03 | 317'4" 605-07 | 317'4" 609-11 | 317'4" 617-20 | 317'4" 621-24 | 317'4" 624-25 | 317'4" 627-29 | 317'4" 631-32 | 317'4" 635-33 | 317'4" 639-34 |
| 3 | 4 | 19-B | 17-20 | 21 | 24 | 25 | 28 | 29 | 33 |
| 600-02 | 604-06 | 608-10 | 614-18 | 618-20 | 622-24 | 626-28 | 629-31 | 630-32 | 634-36 |
| 90-515H | 90-515H | 90-515H | 90-515H | 90-515H | 90-515H | 90-515H | 90-515H | 90-515H | 90-515H |
| 317'0" | 317'4" | 33'0" | 317'4" | 317'4" | 317'4" | 317'4" | 317'4" | 317'4" | 317'4" |
| 60'0" | 60'0" | 60'0" | 60'0" | 60'0" | 60'0" | 60'0" | 60'0" | 60'0" | 60'0" |

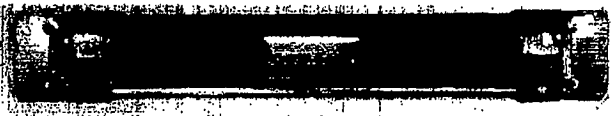
INDEPENDANCE ST.

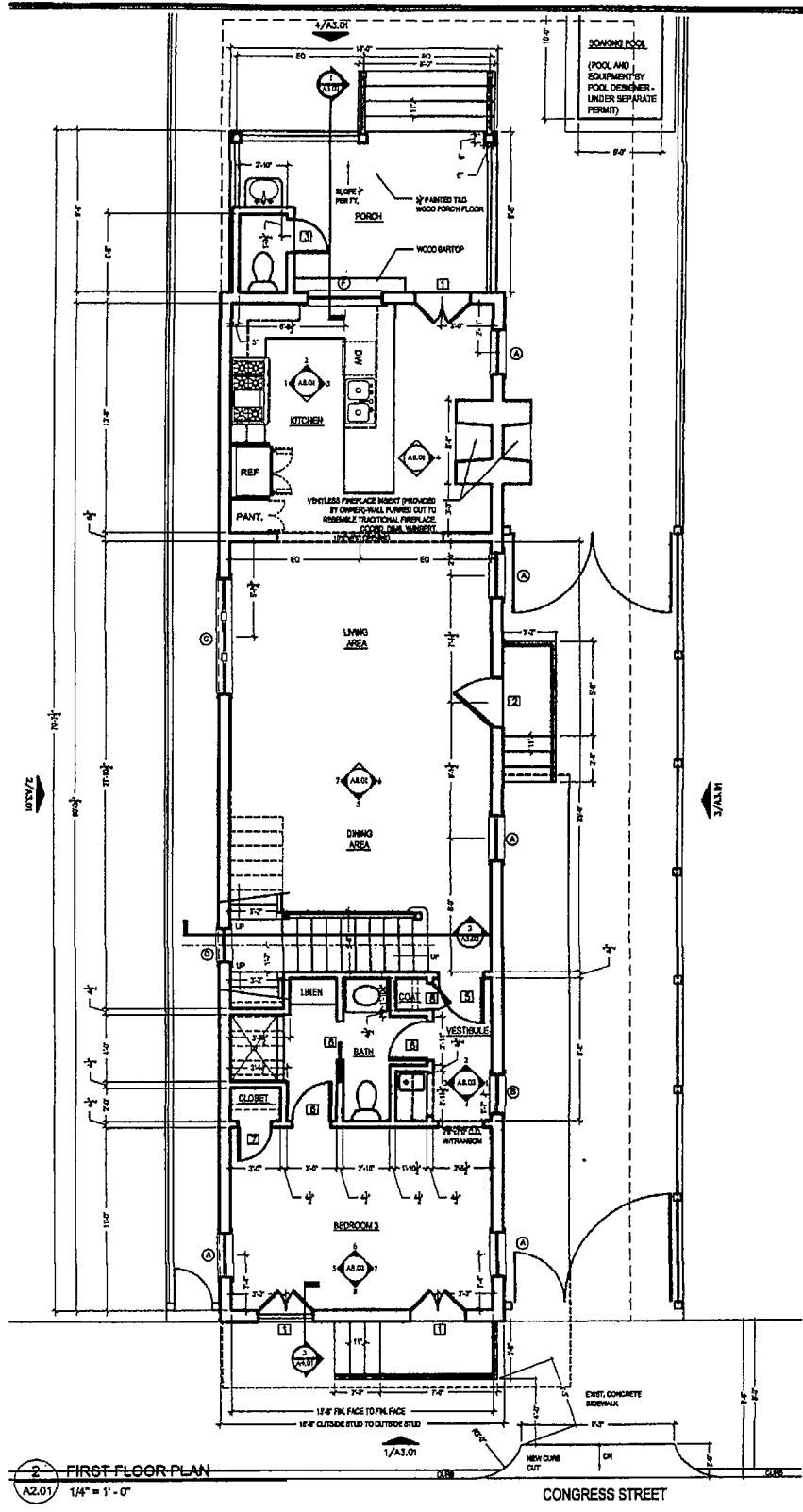
316'2"5"D'H.316'2"3mC.O.

ROYAL ST.

197173mD'H.19717mC.O.

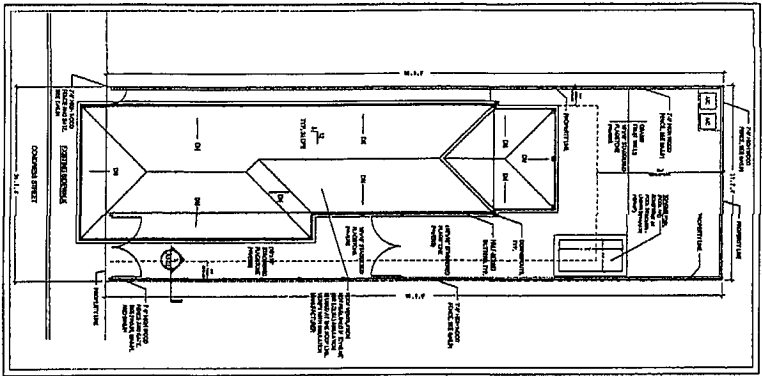
ST.





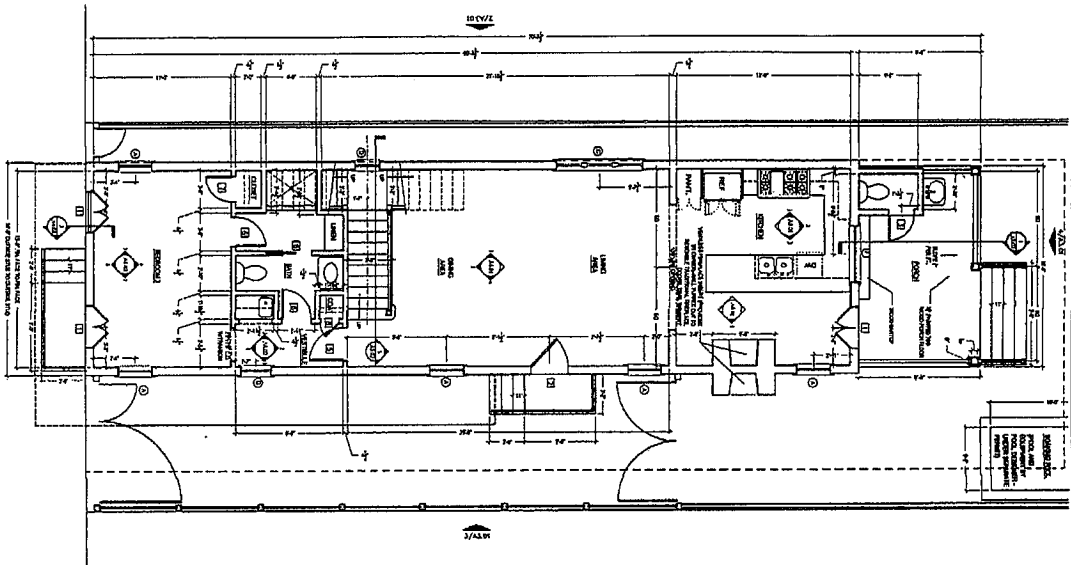
2 FIRST FLOOR PLAN
 A2.01 1/4" = 1'-0"

CONGRESS STREET

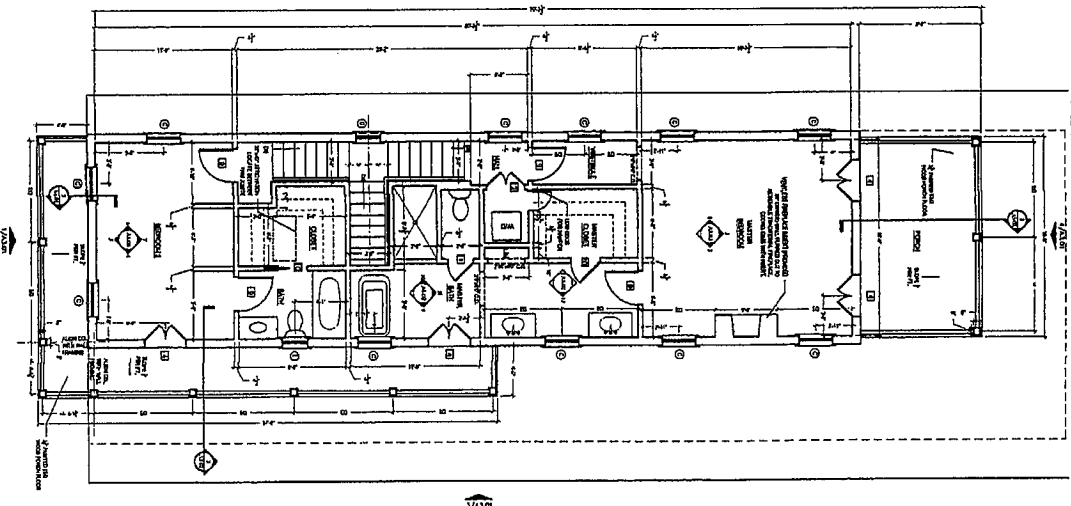


1 SITE AND ROOF PLAN
1/8" = 1'-0"

- EXHIBIT NOTES:**
1. ALL EXISTING WALLS TO BE CONFORMED TO ALL APPLICABLE CODES.
 2. ALL EXISTING ROOF JOISTS TO REMAIN UNLESS OTHERWISE NOTED.
 3. ALL EXISTING ROOF STRUCTURE TO BE CONFORMED TO ALL APPLICABLE CODES.
 4. ALL EXISTING ROOF DRAINAGE TO BE CONFORMED TO ALL APPLICABLE CODES.
- GENERAL NOTES:**
1. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.
 2. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.
 3. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.
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 8. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.
 9. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.
 10. THE EXISTING ROOF SHALL BE REPAIRED AND REFINISHED TO MEET ALL APPLICABLE CODES.





2 FIRST FLOOR PLAN
1/8" = 1'-0"



3 SECOND FLOOR PLAN
1/8" = 1'-0"

ALL DIMENSIONS ARE TABLED TO FACE OF WALL UNLESS OTHERWISE NOTED.

| | | | |
|---|--|---------------|---|
|  | 605 CONGRESS STREET Bywater Neighborhood New Orleans, Louisiana | June 24, 2013 |  1311 Frenchmen St. NOLA 70116 504.298.4728 |
| | SITE, ROOF AND FLOOR PLANS | A2.01 | |

Item # 8

Consideration: A grant of servitude of air rights on/over a portion of South Peters St. and Fulton St. public right-of-ways adjacent to Square 17, Lots A-1 and 7, 1st M.D., bounded by: Lafayette St., Girod St., Fulton St., and South Peters St. for proposed awnings and outward swing doors. The item was last considered on June 24, 2009 (Zoning Docket 061/09). The municipal address is 612-18 S. Peters St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Leslie T. Alley, Deputy Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator
CC: File
Date: August 19, 2013
Re: PAC Meeting Agenda

Please place the following item on the PAC meeting agenda:

Consideration: A grant of servitude of air rights on/over a portion of South Peters St. and Fulton St. public right-of-ways adjacent to Square 17, Lots A-1 and 7, 1st M.D., bounded by: Lafayette St., Girod St., Fulton St., and South Peters St. for proposed awnings and outward swing doors.

Previous consideration was on 6/24/09 (Zoning Docket 61-09).

The municipal address is 612-18 S. Peters St.

If you have any questions, please contact Elsie Cobb-Wright at 658-3615

Attachments: (5)

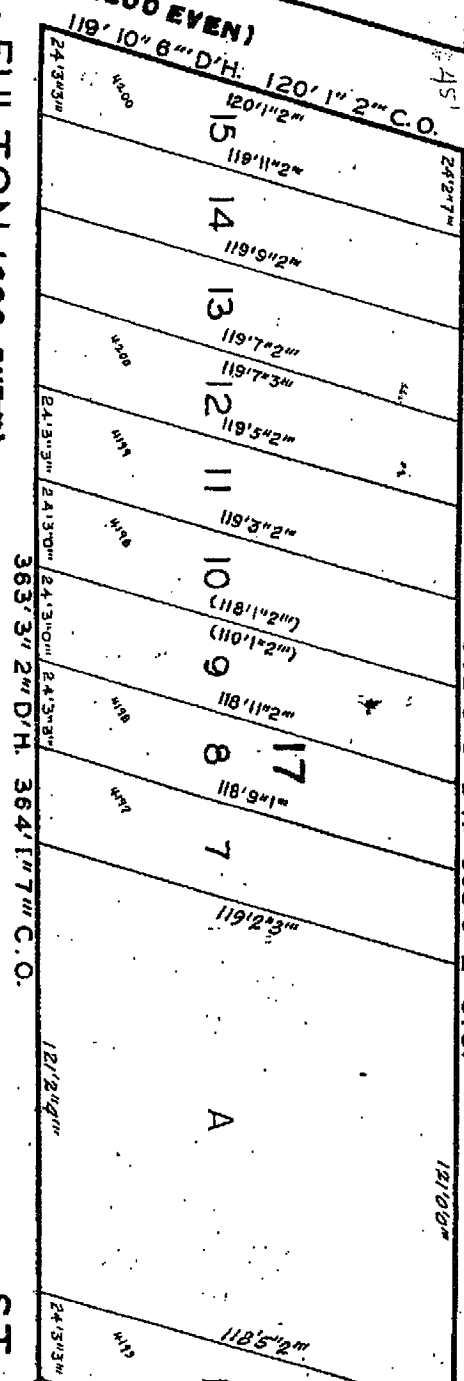
Approved By:


George A. Patterson, Director

GAP:ecw

GIROD (200 EVEN)

FULTON (600 ODD)



ST.

S. PETERS (600 EVEN)

362' 8" 3" D.H. 363' 6" 2" C.O.

ST.

ST.

LAFAYETTE (200 ODD)

IM-3A SCALE 1" = 50'



GENERAL NOTES

1. See Plans for layout and dimensions.
2. See Section Elevation (West) for details of window and door openings.
3. See Section Elevation (East) for details of window and door openings.
4. See Section Elevation (East) for details of window and door openings.
5. See Section Elevation (East) for details of window and door openings.
6. See Section Elevation (East) for details of window and door openings.
7. See Section Elevation (East) for details of window and door openings.
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13. See Section Elevation (East) for details of window and door openings.
14. See Section Elevation (East) for details of window and door openings.
15. See Section Elevation (East) for details of window and door openings.
16. See Section Elevation (East) for details of window and door openings.
17. See Section Elevation (East) for details of window and door openings.
18. See Section Elevation (East) for details of window and door openings.

KEYNOTES

1. See Section Elevation (West) for details of window and door openings.
2. See Section Elevation (East) for details of window and door openings.
3. See Section Elevation (East) for details of window and door openings.
4. See Section Elevation (East) for details of window and door openings.
5. See Section Elevation (East) for details of window and door openings.
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15. See Section Elevation (East) for details of window and door openings.
16. See Section Elevation (East) for details of window and door openings.
17. See Section Elevation (East) for details of window and door openings.
18. See Section Elevation (East) for details of window and door openings.

STUDIO WTA
 ARCHITECTS
 612 South Peters Street
 New Orleans, Louisiana 70130

| NO. | DATE | DESCRIPTION |
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| 1 | | |
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