

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – June 12, 2013

There will be a meeting of the Planning Advisory Committee on Wednesday, June 12, 2013 at 2:00 p.m. The meeting will be held in the City Planning Commission conference room, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the May 29, 2013 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 064/13** – Request by ARCHLAND PROPERTY LLC to amend Conditional Use Ordinance M.C.S. No. 21,997 which permits a fast food restaurant with a drive-thru facilities beverages for on-premise consumption to permit the expansion of the existing drive-thru facility, in a B-2 Neighborhood Business District within the UC Urban Corridor Overlay District, on Square A-3, Pt Lot A-3 or Lot A-31B or Lot A-31B-1, in the Fifth Municipal District, bounded by Vespian Street, General DeGaulle, Sandra and Cypress Acres Drives. The municipal address is 3250 GENERAL DE GAULLE DRIVE. (PD-12)
- 3) **Consideration:** **ZONING DOCKET 065/13** - Request SEVENTH MAGAZINE LLC to amend Conditional Use Ordinance M.C.S. 11,244 to permit the expansion of an existing retail development over 5,000 square feet, in a B-1A Neighborhood Business District, on Square 153, Lot 8A, in the Fourth Municipal District, bounded by Camp, 6th, 7th and Magazine Streets. The municipal addresses are 2929-37 MAGAZINE STREET. (PD-2)
- 4) **Consideration:** **ZONING DOCKET 067/13** – Request by 225 BARRONE COMPLEX LLC for a Conditional Use to permit a non-accessory parking garage and a cocktail lounge in a CBD-1 Central Business District, on Square 265, Lots 1 through 6, 32 and 33, in the First Municipal District, bounded by Barrone, Common, Gravier Streets and O’Keefe Avenue. The Municipal Addresses are 919 GRAVIER STREET and 225 BARONNE STREET. (PD-1A)
- 5) **Consideration:** **STREET NAME CHANGE 01/13:** Consideration of the re-naming of Jumonville Street between St. Bernard Avenue and Milton Street as ForeKids Drive. (PD 4)
- 6) **Consideration:** A grant of servitude of ground rights on/over a portion of N. Rampart St. public right-of-way, adjacent to Square 280, Lot 8, 3rd M.D., bounded by: St. Ferdinand St., Burgundy St., Press St., and N. Rampart St. for proposed

encroachments of hand railings, steps, landing, and existing roof overhang. The municipal address is 2822 N. Rampart St.

- 7) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, June 26, 2013, at 2:00 p.m. in the City Planning Commission conference room (City Hall Room 7W03).

Respectfully yours,

Yolanda W. Rodriguez, Executive Director

June 5, 2013

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – May 29, 2013

A meeting of the Planning Advisory Committee was held on Wednesday, May 29, 2013 at 2:00 PM in the Conference Room of the City Planning Commission, City Hall Room 7W03. Those in attendance were:

MEMBERS

Denise McCray (SWB)
Brian Jones (SWB)
Elsie Cobb-Wright (RER)
Martha Griset (RER)
Arlen Brunson (CPC)
LaJoyce Steib (DPW)
Tica Hartman (PPW)
Eleanore Burke (HDLC)

GUESTS

Mona Dogans
Jeff Good

CPC STAFF

Editha Amacker
Stephen Kroll

NON-VOTING DEPARTMENTS

None

- 1) **Consideration:** Minutes from the May 15, 2013 PAC meeting.

The committee passed a motion to approve the minutes with the modification of Item #8 to indicate that that the motion was of “no objection” rather than “objection”.

- 2) **Consideration:** **ZONING DOCKET 057/13** – Request by CLAIBORNE AVENUE VENTURES LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premise consumption at a standard restaurant in a B-2 Neighborhood Business District and the Inner-City Urban Corridor Overlay District, on Square 695, Lot 2, in the Sixth Municipal District, bounded by Milan, South Derbigny, General Pershing Streets and South Claiborne Avenue. The municipal address is 4235-37 SOUTH CLAIBORNE AVENUE. (PD-3)

The applicant appeared before the committee. The committee passed a motion of no objection subject to further review by CPC.

- 3) **Consideration: ZONING DOCKET 058/13** – Request by TOTAL FOOT CARE INC for a Conditional Use to permit a parking lot in an RO-1 General Office District and the Inner-City Urban Corridor Overlay District, on Square 450, Lots 20 and 21, in the Second Municipal District, bounded by North Jefferson Davis Parkway, Conti and North Rendon Streets and Bienville Avenue. The municipal addresses are 3311 and 3313 BIENVILLE AVENUE. (PD-4)

PPW noted the presence of a mature oak tree in the public street adjacent to the site and requested that the proposed curb cut be reconfigured to allow for the tree to be retained.

The committee passed a motion of no objection to the request subject to further review by CPC and PPW.

- 4) **Consideration: ZONING DOCKET 059/13** – Request by B-3 CONSULTING LLC for a Conditional Use to permit a cocktail lounge in a C-1A General Commercial District the Inner-City Urban Corridor Overlay District, on Square 585, Lots 23 and 24, in the First Municipal District, bounded by South Broad, Gravier and South Dorgenois Streets and Tulane Avenue. The municipal addresses are 2655-2661 GRAVIER STREET and 544-550 SOUTH BROAD STREET. (PD-4)

It was noted that the applicant must complete a lease for encroachments through RER. The committee passed a motion of no objection subject to further review by the CPC and RER.

- 5) **Consideration: ZONING DOCKET 060/13** – Request by XAVIER UNIVERSITY OF LOUISIANA for a Conditional Use to permit parkings lot in a C-1A General Commercial District, on Square 543, Lot 1; Square 545, Lot M; and Square 546, Lots 2 and R; in the Seventh Municipal District, bounded by Palm, Short, Edinburgh and Lowerline Streets. The municipal addresses are 7801 and 7901 EDINBURGH STREET AND 3501 and 3525 SHORT STREET. (PD-4)

DPW said that it would need to review curb cut plans, drainage plans, and other plans for the development.

PPW said it would require street trees to be planted along the perimeter of the site.

The committee passed a motion of no objection to the request subject to further review by CPC, PPW, and DPW.

- 6) **Consideration:** A grant of servitude of air and ground rights on/over a portion of Camp St. and Canal St. public right-of-ways, adjacent to Square 170, Lot A-1, 1st M.D., bounded by: St. Charles Ave., Common St., Canal St., and Camp St. for proposed encroachments of balcony, columns, outward swing doors, and existing encroachments of bay windows. The municipal address is 600 Canal St.

The committee passed a motion of no objection to the request subject to further review by RER, SWB, and DPW.

- 7) **Consideration:** A grant of servitude of air rights on/over a portion of Decatur St. and Ursuline Ave. public right-of-ways, adjacent to Square 19, Lot D-1, 2nd M.D., bounded by: Ursuline Ave., Decatur St., Chartres St., and Gov. Nicholls St. for proposed encroachment of cantilever canopy. The municipal address is 1101 Decatur St.

The committee passed a motion of no objection to the request subject to further review by RER and DPW.

- 8) **Consideration:** A grant of servitude of air and ground rights on/over portions of Oretha C. Haley Boulevard and Martin L. King Boulevard public right-of-ways, adjacent to Square 251, Lot A-2, 1st M.D., bounded by: Martin L. King Boulevard, Oretha C. Haley Boulevard, Thalia St., and Baronne St. for proposed encroachments of roof overhang, canopies, awnings, steps, ramps, outward swing doors, columns and enclosure dumpster. The municipal address is 1436 Oretha C. Haley Boulevard.

The committee passed a motion of no objection to the request subject to further review by RER, SWB, DPW, and PPW.

- 9) **Consideration:** A grant of servitude of air and ground rights on/over a portion of Lane St. public right-of-way, adjacent to Square 37, Lots 17-18, 2nd M.D., bounded by: Wuerple St., Smith St., Milne St., and Lane St. for proposed steps resulting from house elevation. The municipal address is 225 Lane St.

The committee passed a motion of no objection to the request subject to further review by RER.

10) **Any Other Matters:**

Consideration: A grant of servitude of air and ground rights on/over a portion of the Marengo Street and Loyola Avenue public rights-of-way, adjacent to Square 547 in the 6th M.D., bounded by South Liberty, Milan, and Marengo Streets and Loyola Avenue, for existing column and roof encroachments and the new encroachment of a building foundation which encroaches 1.5' under the sidewalk. The municipal addresses are 2200-06 Marengo Street.

The committee passed a motion of no objection subject to further review by RER, SWB, and DPW.

Item # 2

Consideration: ZONING DOCKET 064/13 – Request by ARCHLAND PROPERTY LLC to amend Conditional Use Ordinance M.C.S. No. 21,997 which permits a fast food restaurant with a drive-thru facilities beverages for on-premise consumption to permit the expansion of the existing drive-thru facility, in a B-2 Neighborhood Business District within the UC Urban Corridor Overlay District, on Square A-3, Pt Lot A-3 or Lot A-31B or Lot A-31B-1, in the Fifth Municipal District, bounded by Vespian Street, General DeGaulle, Sandra and Cypress Acres Drives. The municipal address is 3250 GENERAL DE GAULLE DRIVE. (PD-12)

CIVIL CONSTRUCTION PLANS

FOR

MCDONALD'S - L/C: 017-0501

MCDONALD'S SBS ADDITION 3250 GENERAL DEGAILLE DR

NEW ORLEANS, ORLEANS PARISH, LOUISIANA

MCDONALD'S SBS ADDITION
CYPRESS ACRES SUBDIVISION
LOT 2.3-181
CITY OF NEW ORLEANS
ORLEANS PARISH, LOUISIANA

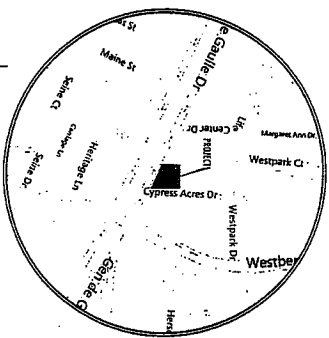


OWNER:
MCDONALD'S
3850 N CAUSEWAY BLVD, SUITE 1200
METairie, LA 70002
CONTACT: KYLE BOURGEOIS
PHONE: (504) 830-3240

CIVIL ENGINEER:
ADAMS ENGINEERING
910 S. KIMBALL AVE.
SOUTH LAKE, TEXAS 76092
CONTACT: THOMAS C. BARTKOWSKI, PE
PHONE: (817) 328-3200

SURVEYOR:
ACADIA LAND SURVEYING, LLC
314 E. BAYOU RD
THIBODAUX, LA 70301
CONTACT: BYRON J. ONCALE, PLS
PHONE: (985) 449-0094

PROJECT LOCATION: 3250 GENERAL DEGAILLE DR
NEW ORLEANS, LOUISIANA
ADAMS ENGINEERING JOB NUMBER: 2013-003



VIICINITY MAP
N 1/4"

Sheet List Table

Sheet Number	Sheet Title
C1.0	BOUNDARY & TOPOGRAPHICAL SURVEY COVER SHEET
C1.1	DEMO & EROSION CONTROL PLAN
C2.0	SITE & UTILITY PLAN
C3.0	PAVING & GRADING PLAN
C4.0	MCD STANDARD DETAILS
C5.0	MCD STANDARD DETAILS
C5.1	MCD STANDARD DETAILS
C5.2	MCD STANDARD DETAILS
C5.3	MCD STANDARD DETAILS
C5.4	MCD STANDARD DETAILS
C5.5	MCD STANDARD DETAILS
LP4.0	PHOTOMETRIC LIGHTING PLAN
SD-1	FOUNDATION DETAILS
SD-2	FOUNDATION DETAILS
SD-3	FOUNDATION DETAILS
SD-4	FOUNDATION DETAILS

**** FINAL NOTE ****
These drawings are prepared in accordance with the Louisiana Professional Seal Law, R.S. 37:221.1. The seal is required for all drawings submitted for permit. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect.

**** NOTICE TO CONTRACTOR - BIDDING ****
The drawings are prepared in accordance with the Louisiana Professional Seal Law, R.S. 37:221.1. The seal is required for all drawings submitted for permit. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect.

**** NOTICE TO CONTRACTOR - TOPOGRAPHIC SURVEY ****
Topographic information shown here is a reproduction of a survey performed by ACADIA LAND SURVEYING, LLC. The information is shown in accordance with the Louisiana Professional Seal Law, R.S. 37:221.1. The seal is required for all drawings submitted for permit. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect. The seal is not to be used on drawings prepared by the engineer or architect in his or her capacity as an employee or consultant of the engineer or architect.

PROJECT HAS BEEN DATED PERMIT & APPROVAL BY
Metairie Parish



Know what's below.
Call before you dig.

REVISION
1. 1.25 OF THE GENERAL DIVISION - 1.13.13
1.25 OF THE GENERAL DIVISION - 1.13.13

C1.0

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	02/15/13	ISSUE FOR PERMIT	CBR	

OFFICE: GREAT SOUTHERN REGION
ADDRESS: KRIOC DRIVE - OAK BROOK, ILLINOIS 60021

McDonald's

3250 GENERAL DEGAILLE DR
NEW ORLEANS, LOUISIANA

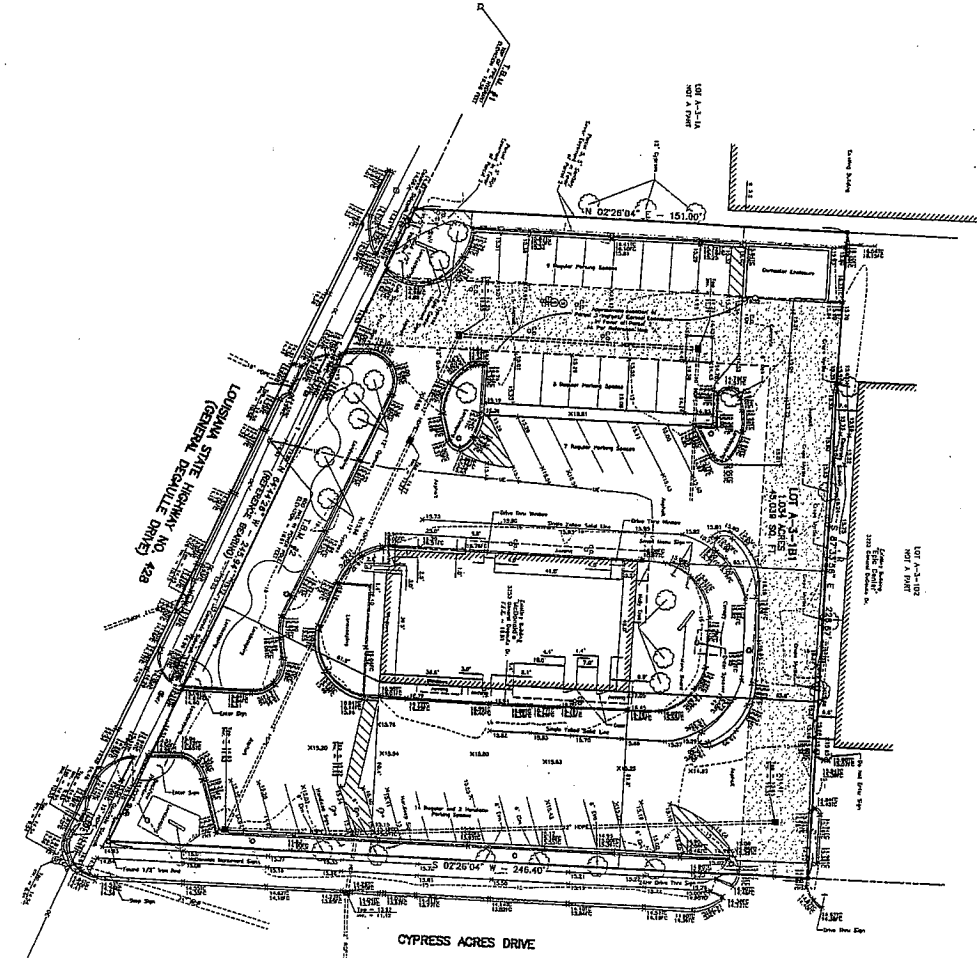
Professional Seal of the State of Louisiana

THOMAS C. BARTKOWSKI, PE
Civil Engineer
No. 007048

DATE	BY	REVISION	DATE	BY	REVISION
11/13/12	TCB				

AS BUILT

T 13 S - R 24 E
SECTION 16



LEGEND

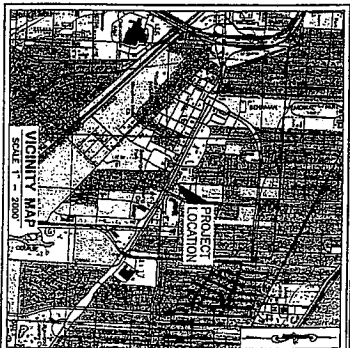
●	Location of Tree or Shrub	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Well or Cistern	20' - 1/4" = 1/4" = 1/4" = 1/4"
□	Location of Barn or Shed	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Pond or Lake	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Stream or Run	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Road or Highway	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Fence or Wall	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Utility Pole	20' - 1/4" = 1/4" = 1/4" = 1/4"
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○	Location of Encumbrance	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Error	20' - 1/4" = 1/4" = 1/4" = 1/4"
○	Location of Note	20' - 1/4" = 1/4" = 1/4" = 1/4"

SCALE OF 1" = 20'

DATE: 10/11/2011

PROJECT: LOT A-3-181

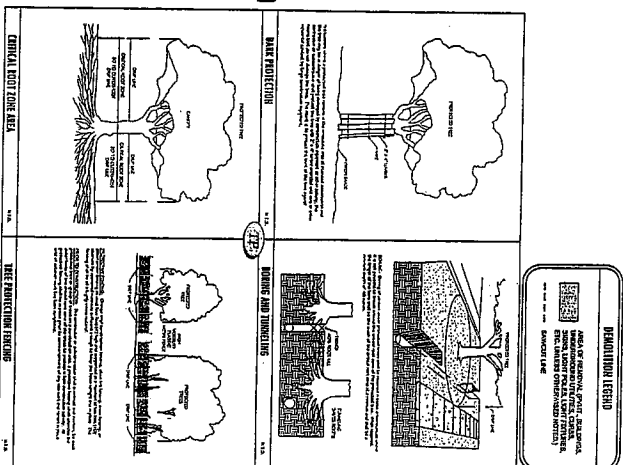
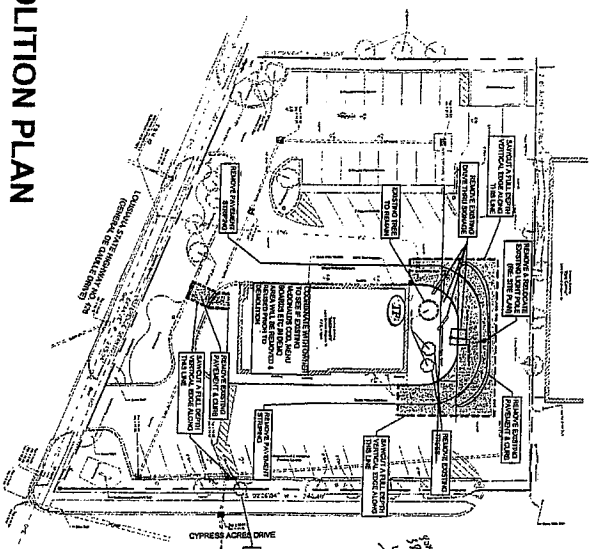
ACADIA
LAND SURVEYING, LLC
LOUISIANA • MISSISSIPPI • TEXAS
3160 Highway 200, Metairie, Louisiana 70002
Phone: 504-885-9000
FAX: 504-885-9001
WWW.ACADIASURVEYING.COM



PLAT SHOWING SURVEY
of
LOT A-3-181
CYPRESS ACRES SUBDIVISION
TOWNSHIP 13N, SECTION 16E, RANGE 24E
FIFTH MUNICIPAL DISTRICT
ORLEANS PARISH, LOUISIANA
FOR
MCDONALD'S REAL ESTATE COMPANY
AND ADAMS ENGINEERING

- NOTES:**
- 1) Survey of Land (Surveyor's Name)
 - 2) Reference to Survey of Land (Surveyor's Name)
 - 3) Reference to Survey of Land (Surveyor's Name)
 - 4) Reference to Survey of Land (Surveyor's Name)
 - 5) Reference to Survey of Land (Surveyor's Name)
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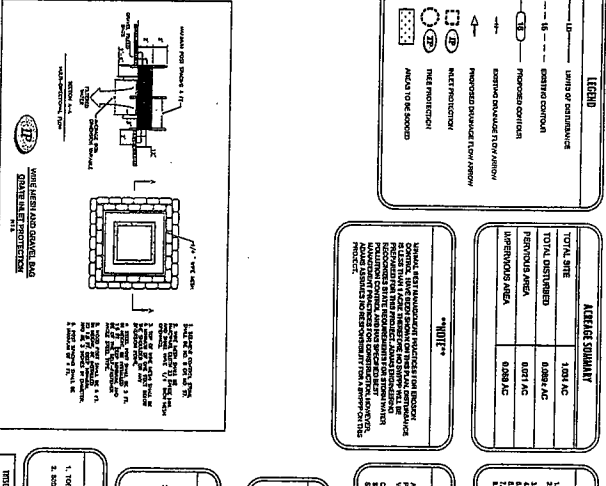
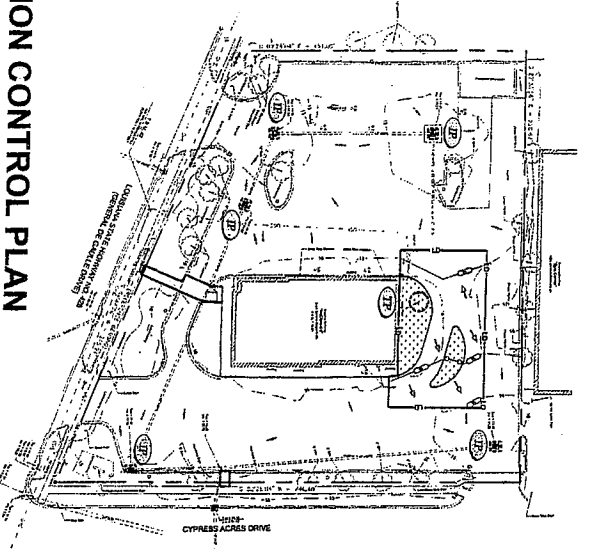
DEMOLITION PLAN



DEMOLITION NOTES

- CONTRACTOR RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES.
- PROTECT ALL EXISTING UTILITIES ACCORDING TO THE CITY OF NEW ORLEANS STANDARDS.
- CONTRACTOR TO BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS TO AN APPROPRIATE DISPOSAL SITE.
- ALL TREE CUTTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF NEW ORLEANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE.

EROSION CONTROL PLAN

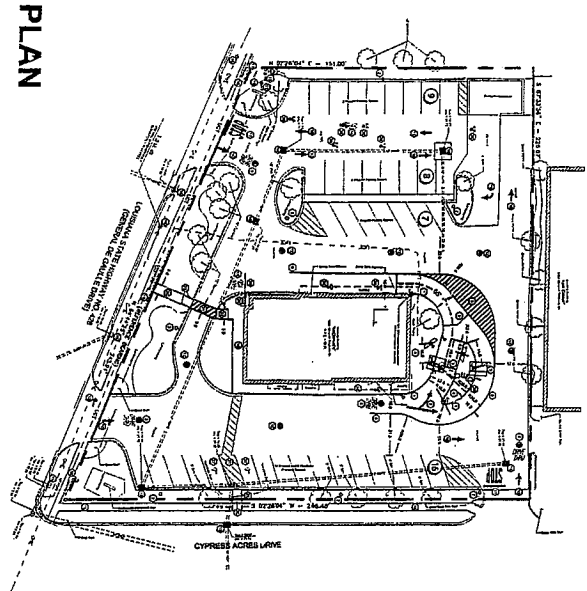


EROSION CONTROL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE.

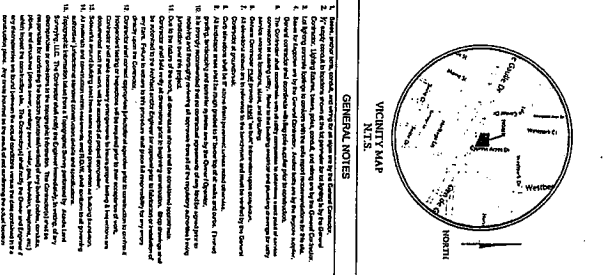
GENERAL NOTES 1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES FROM DAMAGE. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES FROM DAMAGE. 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FROM DAMAGE. 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SITE FROM DAMAGE.		VICINITY MAP 	
PERMITS AND APPROVALS CITY OF NEW ORLEANS: [] PLANNING DEPARTMENT: [] PUBLIC WORKS DEPARTMENT: [] ENVIRONMENTAL DEPARTMENT: []			
OWNER INFORMATION CLIENT: [] PROJECT: []		CONTRACTOR INFORMATION CONTRACTOR: [] PROJECT: []	
EROSION CONTROL MEASURES 1. [] 2. [] 3. [] 4. [] 5. []			
DEMOLITION MEASURES 1. [] 2. [] 3. [] 4. [] 5. []			
PLAN APPROVALS SIGNATURE (2 REQUIRED): [] DATE: []		CO-SIGN SIGNATURES CONTRACTOR: [] OWNER: []	
PROJECT INFORMATION PROJECT NAME: [] ADDRESS: [] CITY: []			
GENERAL INFORMATION SHEET NO.: [] TOTAL SHEETS: []			

SITE PLAN



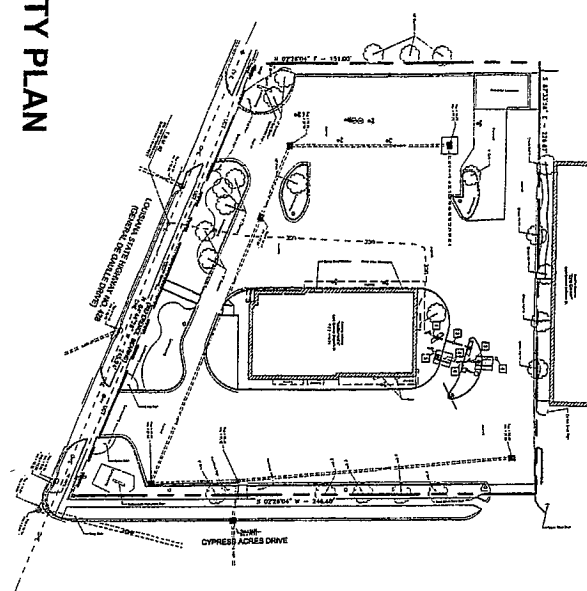
- #### NOTE TO CONTRACTOR
- CONTRACTOR SHALL CONFORM TO THE DESIGN PROCEDURE IN ALL LOCAL, STATE AND FEDERAL ORDINANCES AND REGULATIONS RELATIVE TO THE LOCATION AND CONSTRUCTION OF THE PROPOSED PROJECT.
 - CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE CONTRACTOR FOR THE DESIGN OF THE PROJECT.
 - ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.

- #### KEY NOTES SITE & PAVEMENT MARKING
- 1. FINISH GRADE
 - 2. EXISTING GRADE
 - 3. EXISTING CURB
 - 4. EXISTING SIDEWALK
 - 5. EXISTING DRIVE
 - 6. EXISTING DRIVE
 - 7. EXISTING DRIVE
 - 8. EXISTING DRIVE
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 - 10. EXISTING DRIVE
 - 11. EXISTING DRIVE
 - 12. EXISTING DRIVE
 - 13. EXISTING DRIVE
 - 14. EXISTING DRIVE
 - 15. EXISTING DRIVE



REV	DATE	DESCRIPTION	BY	ISSUE REF
02/17/13		ISSUE FOR PERMIT	CBR	1

UTILITY PLAN



- #### UTILITY NOTE SCHEDULE
- | MARKER | MARKER DESCRIPTION | DEPTH |
|--------|--------------------|-------|
| 1 | 1" WATER | 48" |
| 2 | 4" SEWER | 48" |
| 3 | 4" GAS | 48" |
| 4 | 4" ELECTRIC | 48" |

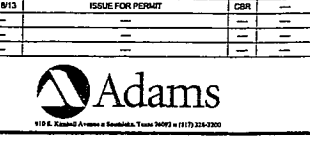
- #### OTHER INFORMATION
1. THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE UTILITY RECORDS OF THE CITY OF NEW ORLEANS AND THE RESULTS OF FIELD SURVEYS.
 2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 3. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.

DATE	DESCRIPTION	BY
02/17/13	ISSUE FOR PERMIT	CBR

McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS ALLOWED WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S.

3250 GENERAL DEGAULLE DR
NEW ORLEANS, LOUISIANA



Adams

11373 General De Gaulle Blvd., Suite 200, New Orleans, Louisiana 70117, (504) 288-2200

UTILITY PLAN

1. THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE UTILITY RECORDS OF THE CITY OF NEW ORLEANS AND THE RESULTS OF FIELD SURVEYS.

2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

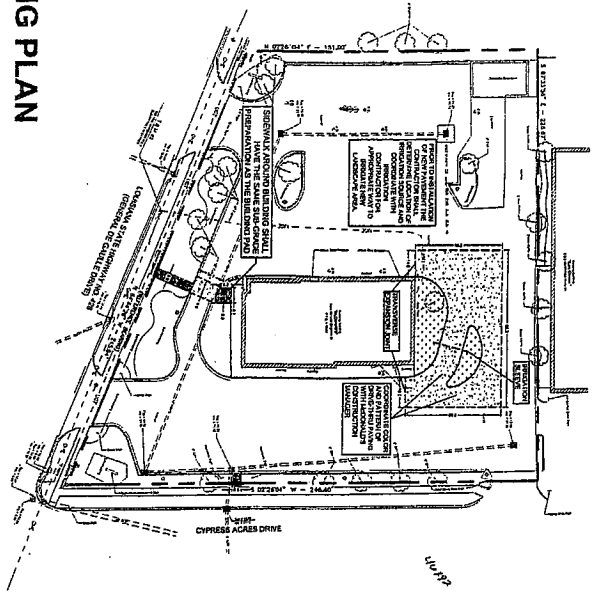
3. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.

McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S. NO REPRODUCTION OR TRANSMISSION OF ANY KIND IS ALLOWED WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S.

3250 GENERAL DEGAULLE DR
NEW ORLEANS, LOUISIANA

PAVING PLAN



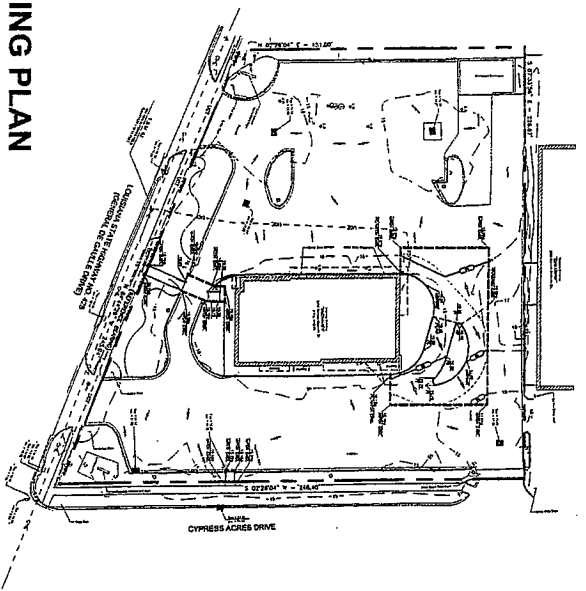
- ### NOTES
- REFER TO SHEET PLACING THE NEIGHBORING CANTONMENT TRUCK ETC.
 - PAVING SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS AS APPLICABLE TO THE STATE OF LOUISIANA.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - ASPHALT SHALL BE 9.5 GRADE WITH 5% RUBBER MODIFICATION.
 - STONE SHALL BE 1 1/2" TO 2" GRADE.
 - FOLLOW USDA EROSION CONTROL PLAN.

NOTE TO CONTRACTORS - SHIMERS

The Contractor is responsible for obtaining the necessary permits for the work shown on this plan. The Contractor shall be responsible for obtaining the necessary permits for the work shown on this plan. The Contractor shall be responsible for obtaining the necessary permits for the work shown on this plan.

- ### CONSTRUCTION NOTES
- PAVING SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS AS APPLICABLE TO THE STATE OF LOUISIANA.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - ASPHALT SHALL BE 9.5 GRADE WITH 5% RUBBER MODIFICATION.
 - STONE SHALL BE 1 1/2" TO 2" GRADE.
 - FOLLOW USDA EROSION CONTROL PLAN.

GRADING PLAN



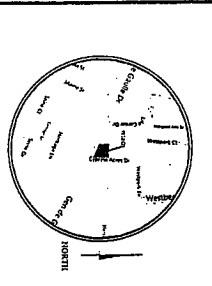
- ### STANDARD ACCEPTANCE REQUIREMENTS
- PAVING SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS AS APPLICABLE TO THE STATE OF LOUISIANA.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - CONCRETE SHALL BE 32 MPA (4600 PSI) WITH 1% CHLORINE DOPPING.
 - ASPHALT SHALL BE 9.5 GRADE WITH 5% RUBBER MODIFICATION.
 - STONE SHALL BE 1 1/2" TO 2" GRADE.
 - FOLLOW USDA EROSION CONTROL PLAN.

GRADING LEGEND

OTHER INFORMATION: 1. TOP OF FINISH ELEVATION = 1.58; 2. 2.00% SLOPE FOR ROADWAY = 1.58

SCALE: 1" = 30'

811: Know what's below. Call before you dig.



REV	DATE	DESCRIPTION	BY	ISSUE REF.
02/28/13		ISSUE FOR PERMIT	CBR	

McDONALD'S

3250 GENERAL DEGAULLE DR
NEW ORLEANS, LOUISIANA

3250 GENERAL DEGAULLE DR
NEW ORLEANS, LOUISIANA

SB'S ADDITION

3250 GENERAL DEGAULLE DR
NEW ORLEANS, LOUISIANA

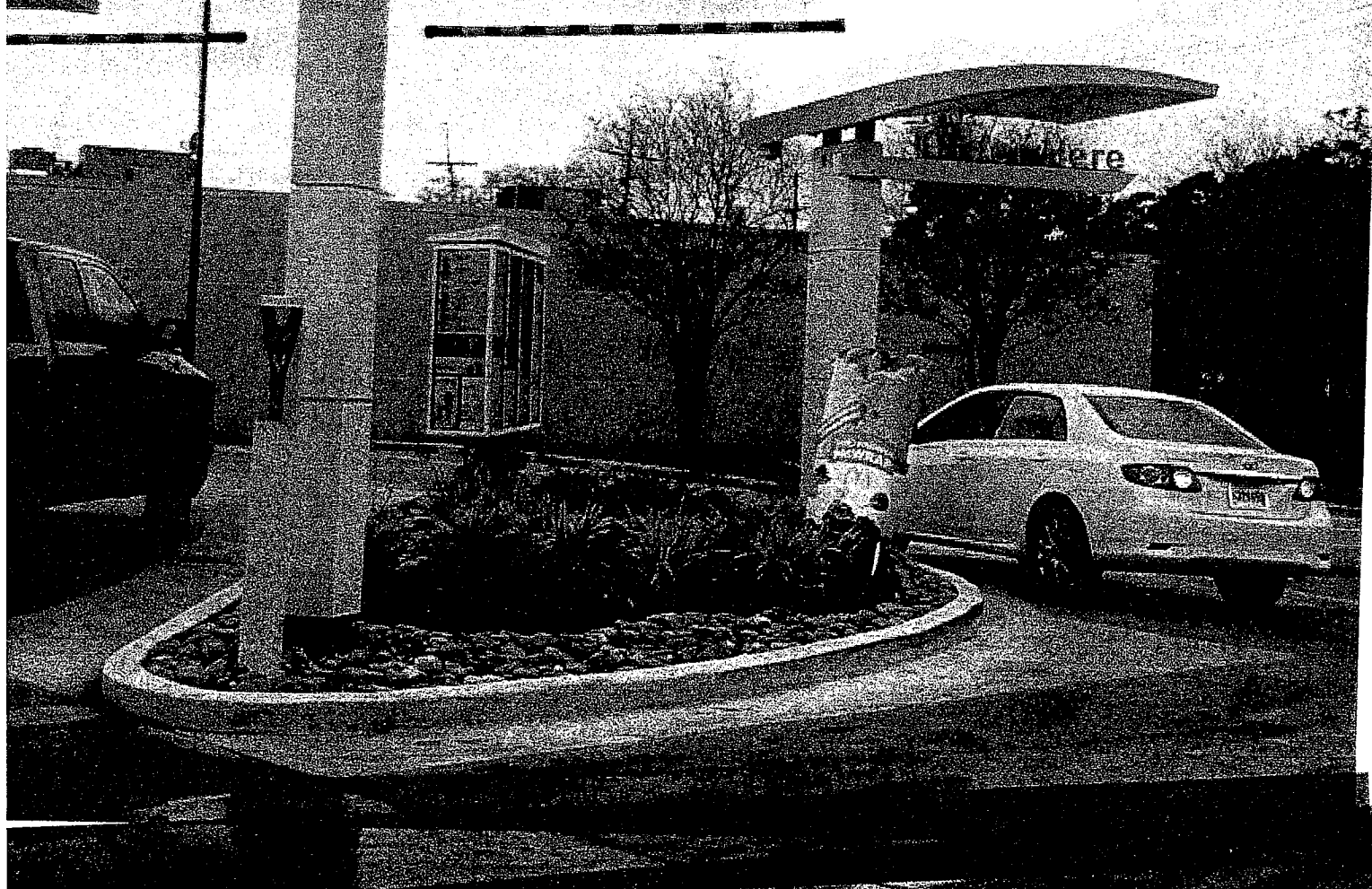
173-0-001 PAVING & GRADING PLAN

ADAMS COPY

310 S. Campbell Avenue & Southlake, Texas 79091 or (817) 236-2200

ve-Thru
ance 9 Feet

Drive-Thru
Clearance 9 Feet



Item #3

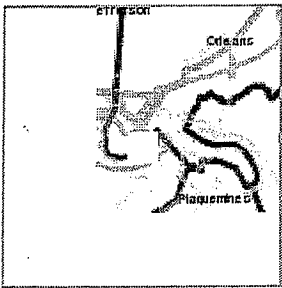
Consideration: ZONING DOCKET 065/13 - Request SEVENTH MAGAZINE LLC to amend Conditional Use Ordinance M.C.S. 11,244 to permit the expansion of an existing retail development over 5,000 square feet, in a B-1A Neighborhood Business District, on Square 153, Lot 8A, in the Fourth Municipal District, bounded by Camp, 6th, 7th and Magazine Streets. The municipal addresses are 2929-37 MAGAZINE STREET. (PD-2)

Additio

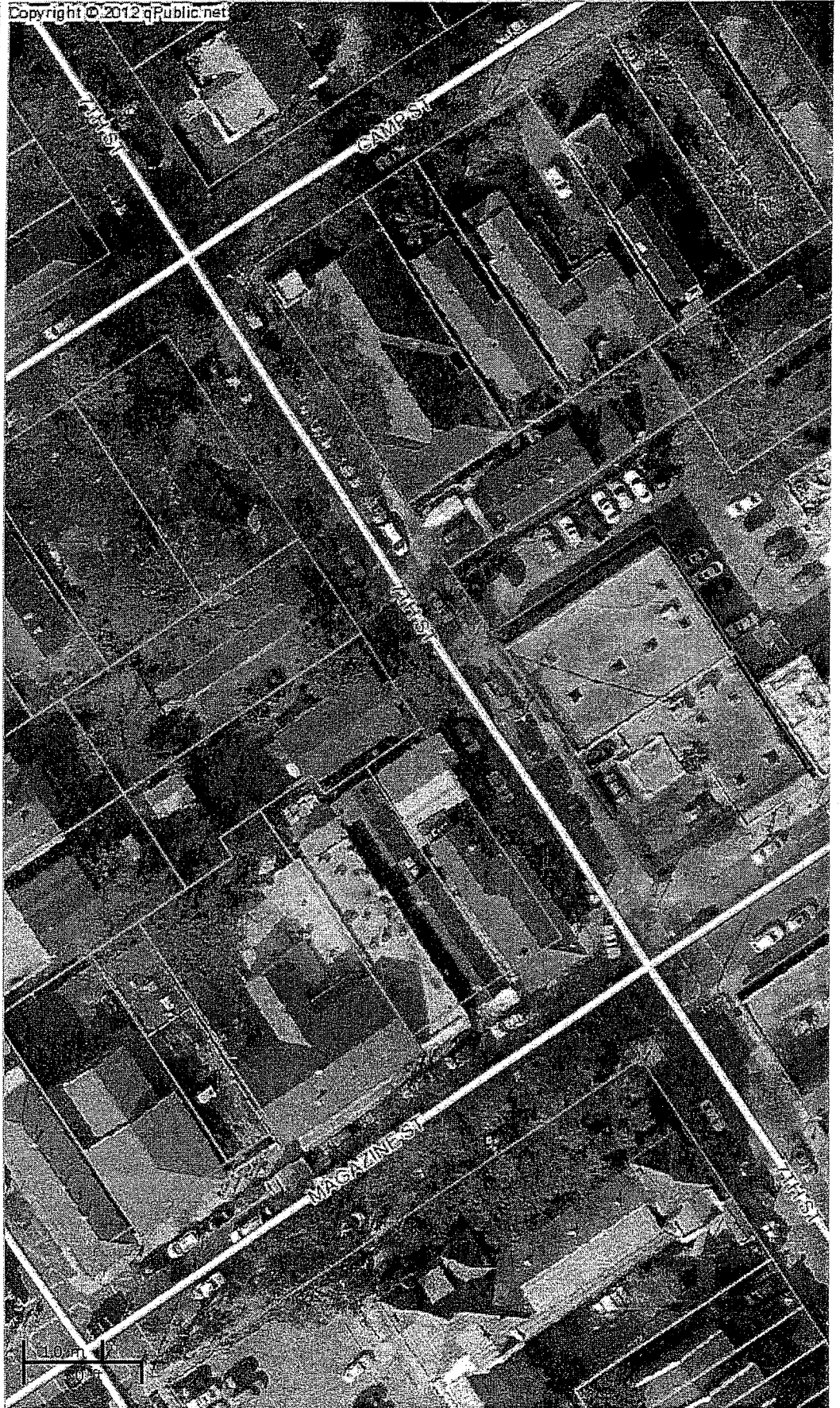
Controls

Available Layers

- Assessment Districts
- Base Map
- Council Districts
- Parcels
- Address Numbers
- Parcel Numbers
- Yearly Sales
- Water
- Roads
- Aerial Photos

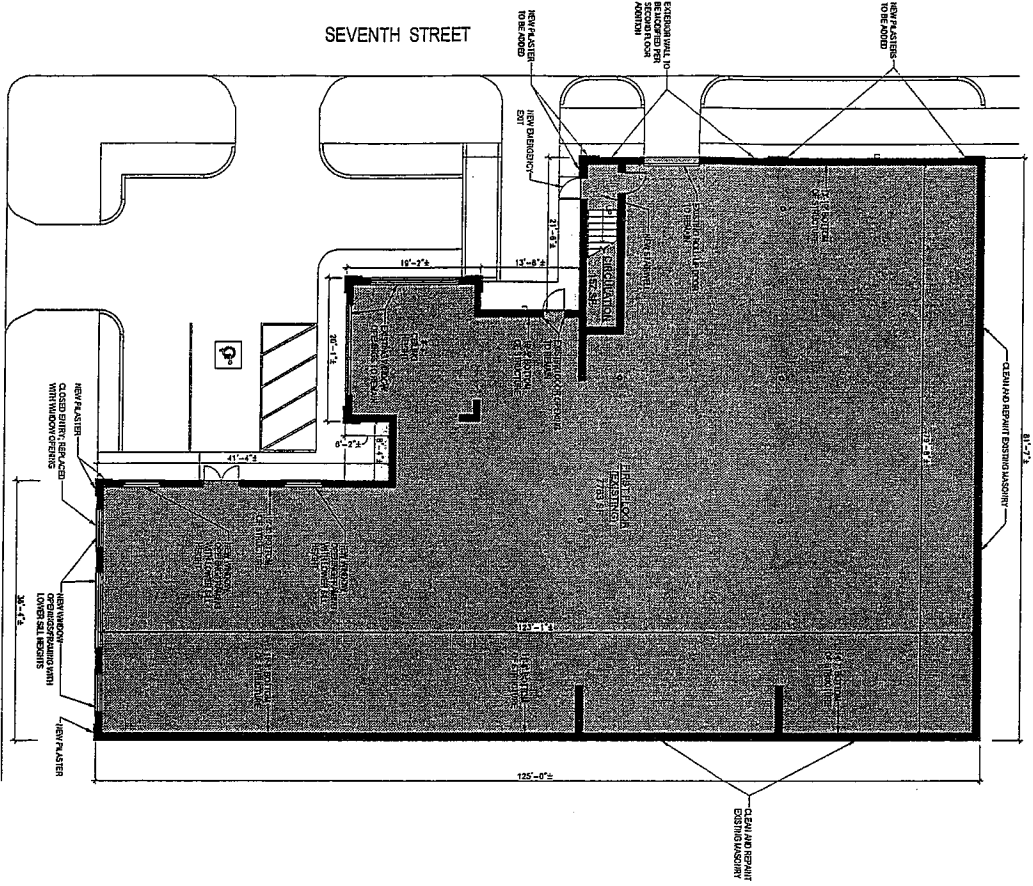


[show scale](#)

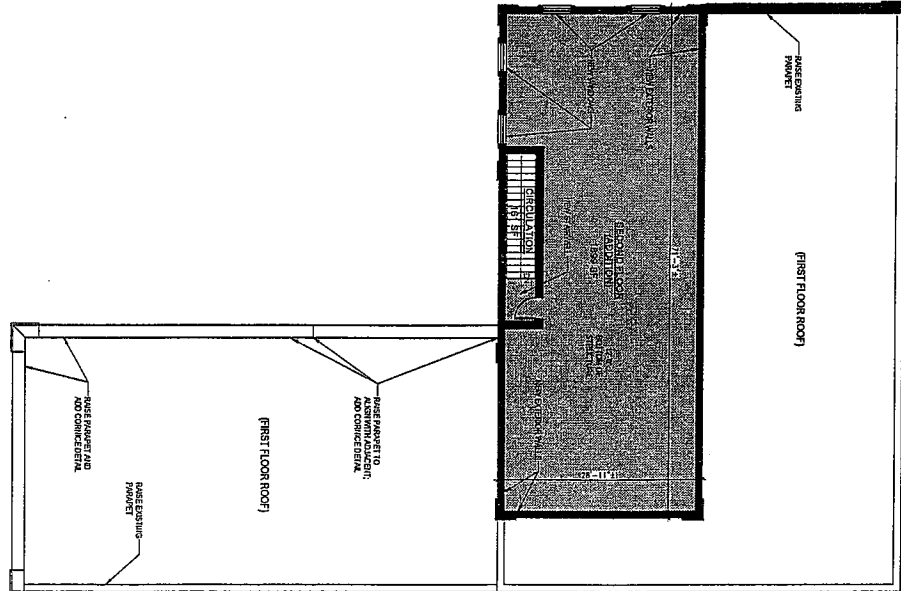


Orleans Parish makes every effort to produce the most accurate information possible. No warranties, expressed or implied, certified taxroll. All data is subject to change before the next certified taxroll.

① FIRST FLOOR
1/8" = 1'-0"



② SECOND FLOOR
1/8" = 1'-0"

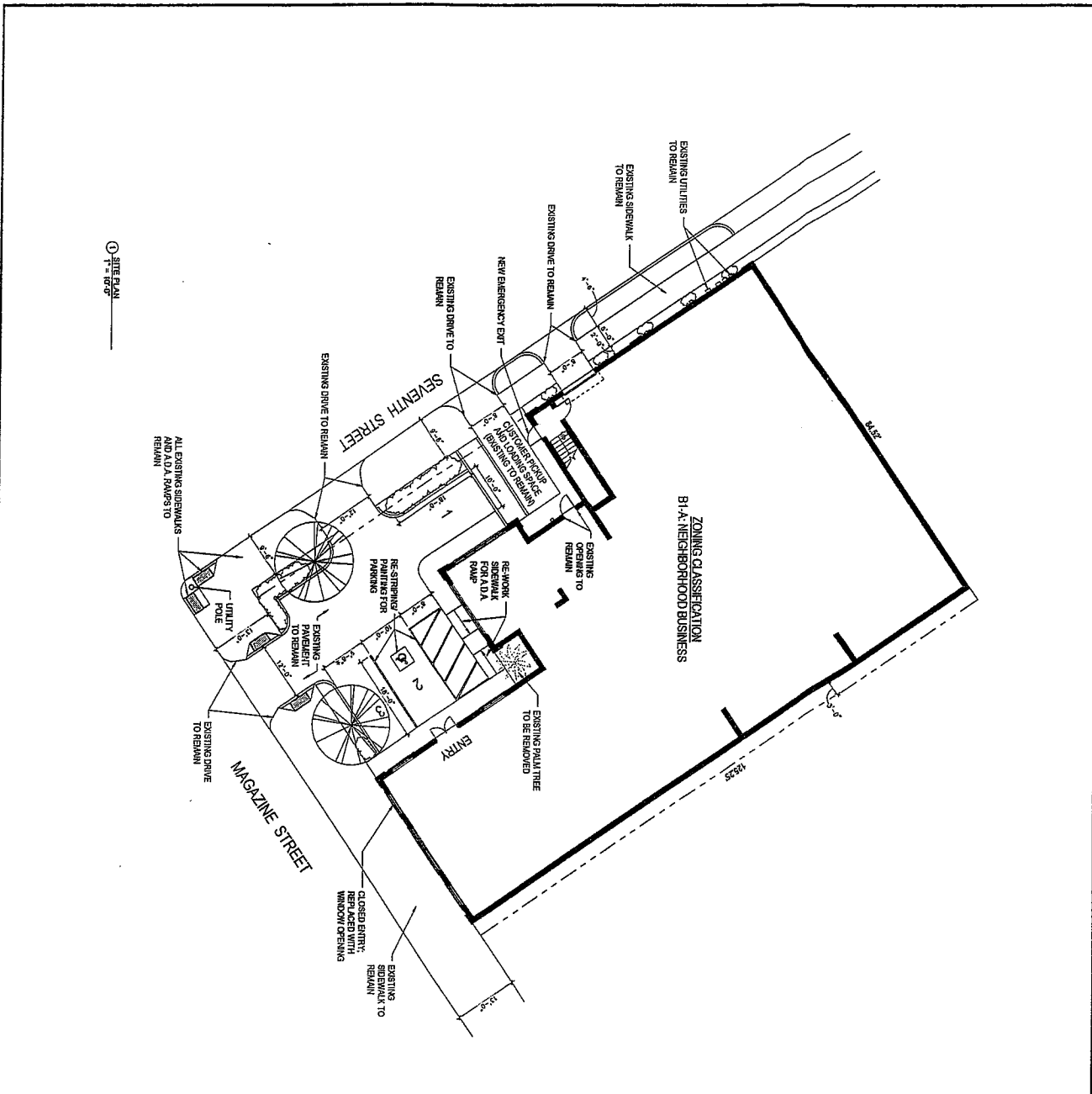


Area Schedule

FIRST FLOOR	CIRCULATION	157 SF	1.8%
FIRST FLOOR	FIRST FLOOR EXISTING	7383 SF	77.8%
SECOND FLOOR	RECEPTION	141 SF	1.8%
SECOND FLOOR	SECOND FLOOR EXISTING	1888 SF	19.2%
TOTAL		10000 SF	100.0%

NOTE: ALL BUILDING DIMENSIONS ARE APPROXIMATED AS PROVIDED BY OWNER

<p>G-102</p>	GENERAL FLOOR PLANS			<p>WEST ELM</p> <p>2929 Magazine Street New Orleans, LA 70115</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY	DESCRIPTION								
	NO.	DATE	BY	DESCRIPTION													
<p>CADD PLOT: DRAWN BY: DATE: 05/01/2013 REVIEWED: BY:</p>				<p>INHERIT GETTY TRUST PLAN AND PROVISIONS WHEREBY THE ONLY OWNER DIRECT OR INDIRECT SHALL BE THE TRUSTEE OF THE STATE OF LOUISIANA AS STATED IN PARAGRAPHS 10.01 AND 10.02.</p>													
		<p>jared ducote · architect</p> <p>600 South Barracks Street, Suite 210-G Perseus, France 70202 850.438.1552 (p) 850.438.1554 (f)</p>															

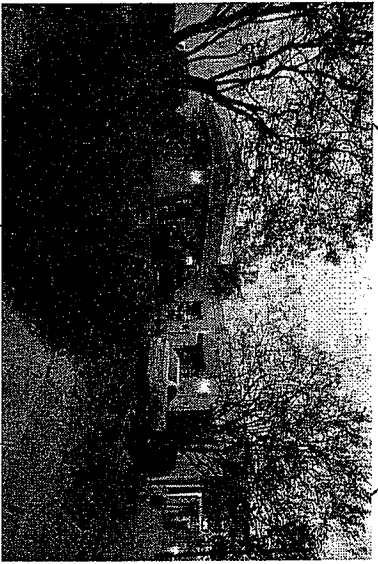
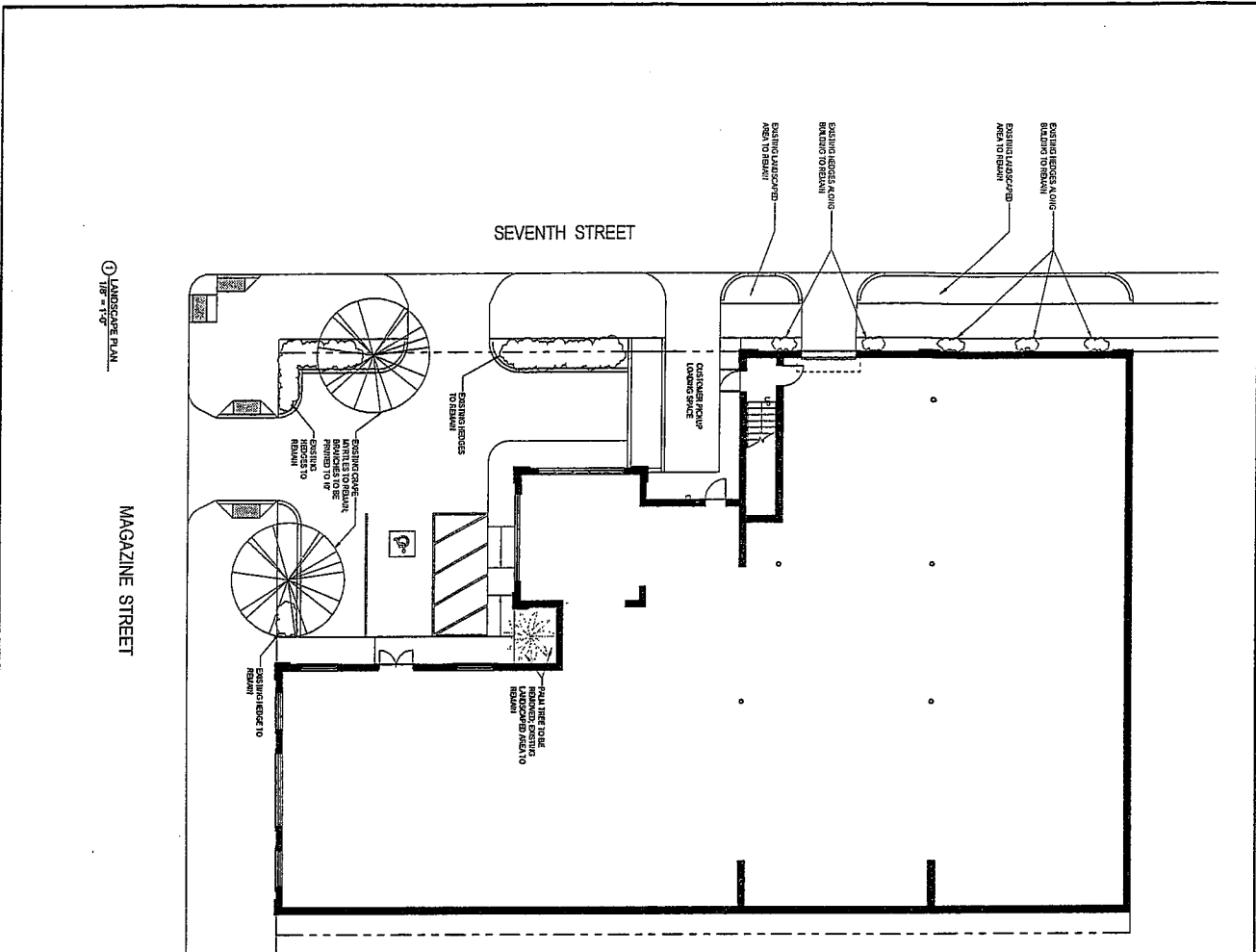


① SITE PLAN
1-1000



GENERAL INFORMATION:		CALCULATIONS:	
OWNER:	AVENUE D DEVELOPMENT	LOT AREA:	10,566 SF
SITE ADDRESS:	2929 MAGAZINE STREET NEW ORLEANS, LA 70115	FLOOR AREA EXISTING:	7,747 SF
ZONING:	B-1A NEIGHBORHOOD BUSINESS	FIRST FLOOR:	7,747 SF
FLOOR AREA:	7,747 SF	FLOOR AREA PROPOSED:	9,641 SF
MINOR FRONT:	NONE	FIRST FLOOR:	1,894 SF
MINOR SIDE:	NONE	EXISTING PROPOSED:	1,894 SF
MINOR REAR:	STANFORD M. JE. BRINDLEY	STAIRWELL:	2
REAR:	STANFORD M. JE. BRINDLEY	HATCHWAY DEPT:	2

G-100	SITE PLAN				jared ducote . architect 600 South Berwick Street, Suite 210-6 Metairie, France 70002 850.436.1652 (p) 850.439.1554 (f)																		
	CADD PLOT: DRAWN BY: BLH DATE: 05/07/2013 REVIEWED: JS FR	WEST ELM 2829 Magazine Street New Orleans, LA 70115	I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF LOUISIANA. AS SUPERSEDED BY HOWARD B. LA																				
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> <th style="width: 75%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td colspan="4" style="text-align: center;">REVISIONS</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		NO.	DATE	BY	DESCRIPTION	REVISIONS																THESE SETS THAT THE PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF LOUISIANA. AS SUPERSEDED BY HOWARD B. LA	
NO.	DATE	BY	DESCRIPTION																				
REVISIONS																							



SOUTH CORNER OF SITE

EXISTING HEDGE LINE TO BE PRUNED AND MAINTAINED

EXISTING COVE PLANTING TO BE PRUNED TO BE MAINTAINED TO HEIGHT OF 10'0"

NOTE: EXISTING VEGETATION TO BE PROTECTED DURING CONSTRUCTION, PRUNED, AND MAINTAINED FOR PROPOSED USE



G-101	LANDSCAPE PLAN	
	CADD PLOT:	
	DRAWN BY:	BLH
	DATE:	06/02/2011
	REVIEWED:	JD

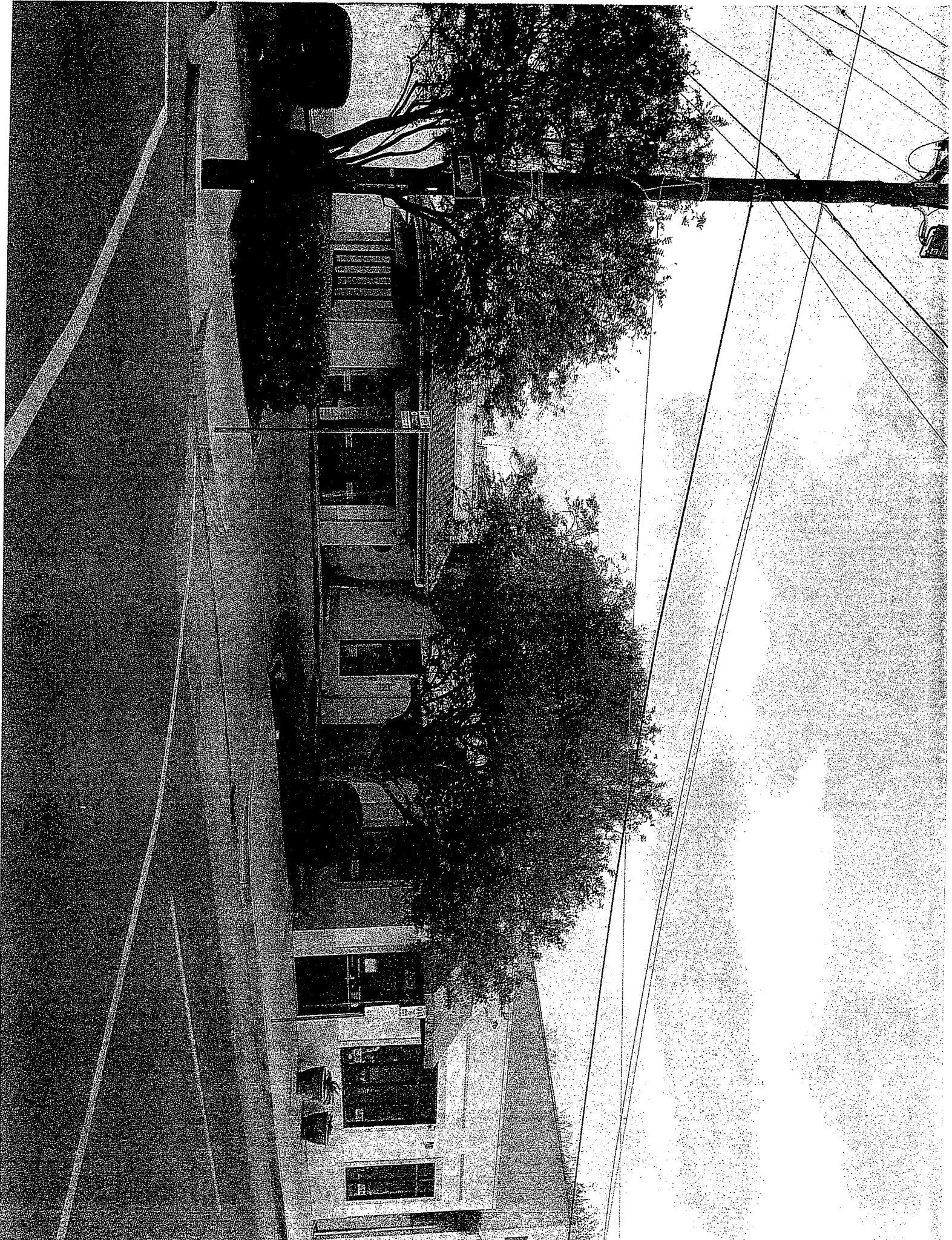
WEST ELM			
2829 Magazine Street			
New Orleans, LA 70115			
NO.	DATE	BY	DESCRIPTION
REVISIONS			

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF LOUISIANA.

AS PREPARED BY: JARED DUCOTE



jared ducote · architect
 603 South Barracks Street, Suite 210-6
 Metairie, Louisiana 70006
 504-885-1552 (p)
 504-885-1554 (f)



Item # 4

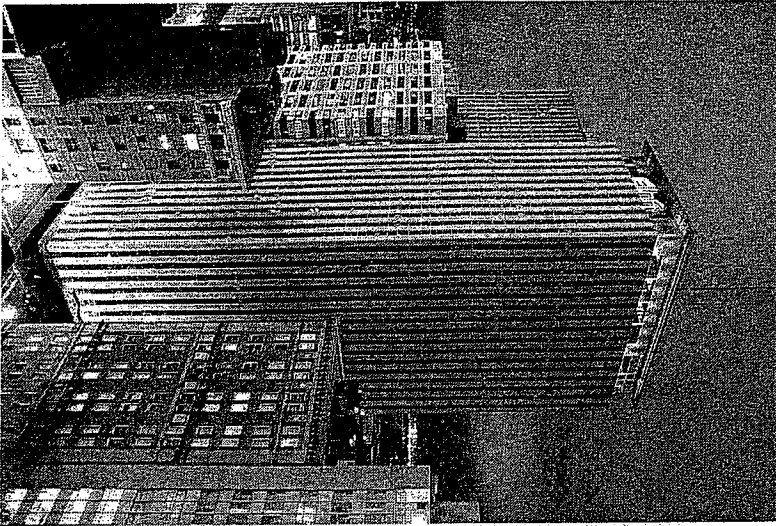
Consideration: ZONING DOCKET 067/13 – Request by 225 BARRONE COMPLEX LLC for a Conditional Use to permit a non-accessory parking garage and a cocktail lounge in a CBD-1 Central Business District, on Square 265, Lots 1 through 6, 32 and 33, in the First Municipal District, bounded by Barrone, Common, Gravier Streets and O’Keefe Avenue. The Municipal Addresses are 919 GRAVIER STREET and 225 BARONNE STREET. (PD-1A)

225 BARONNE MIXED-USE CITY BARONNE ST. NEW ORLEANS, LOUISIANA

Owner:
225 Baronne Complex, LLC
812 Greater Street Suite 200
New Orleans, LA 70112
PH: (504) 566-0204
FAX: (504) 565-5352

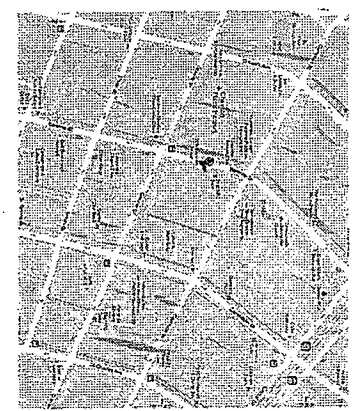
Architect:
HCl Architecture, Inc. APC
812 Greater Street Suite 200
New Orleans, LA 70112
PH: (504) 566-0204
FAX: (504) 565-5352

Builder:
Brice Building Company, LLC
3500 Causeway Blvd #500
Metairie, LA 70002
PH: (504) 887-7020



Code	Description	Code	Description
GENERAL			
G001	Cover/Title Sheet	A123	23rd Floor Plan
G002	Abbreviations & Symbol Legend	A124	24th Floor Plan
G003	Reference Survey	A125	25th Floor Plan
DEMOLITION			
D001	General Notes - Demolition	A126	26th Floor Plan
D101	First Floor Plan - Demolition	A127	27th Floor Plan
D102	Second Floor Plan - Demolition	A128	28th Floor Plan
D103	Third Floor Plan - Demolition	A129	29th Floor Plan
ARCHITECTURAL			
A001	Code Data	A130	29th Floor Plan
A100	Basement Floor Plan	A131	Penhouse Floor Plan
A101	Site Plan	A132	Penhouse Mezzanine Floor Plan
A101.1	1st. Floor Plan (South)	A133	Mechanical Penhouse Plan
A101.2	1st. Floor Plan (North)		
A102	2nd Floor Plan		
A103	3rd Floor Plan		
A104	4th Floor Plan		
A105	5th Floor Plan	A201	East Exterior Elevation
A106	6th Floor Plan	A202	South Exterior Elevation
A107	7th Floor Plan	A203	North Exterior Elevation
A108	8th Floor Plan	A204	West Exterior Elevation
A109	9th Floor Plan		
A110	10th Floor Plan		
A111	11th Floor Plan		
A112	12th Floor Plan		
A113	13th Floor Plan		
A114	14th Floor Plan		
A115	15th Floor Plan		
A116	16th Floor Plan		
A117	17th Floor Plan		
A118	18th Floor Plan		
A119	19th Floor Plan		
A120	20th Floor Plan		
A121	21st Floor Plan		
A122	22nd Floor Plan		

INDEX OF DRAWINGS



PARKING SPACES

FLOOR #	PARKING SPACES	BUILDING AREA (SQUARE FEET)	RAVINE AREA (SQUARE FEET)
1	8	10,033 sq. ft.	5,991 sq. ft.
2	31	10,033 sq. ft.	3,991 sq. ft.
3	31	10,033 sq. ft.	4,322 sq. ft.
4	29	10,033 sq. ft.	4,232 sq. ft.
5	48	10,033 sq. ft.	4,232 sq. ft.
6	126	10,033 sq. ft.	4,232 sq. ft.
7	126	10,033 sq. ft.	4,232 sq. ft.
8	126	10,033 sq. ft.	4,232 sq. ft.
9	126	10,033 sq. ft.	4,232 sq. ft.
10	126	10,033 sq. ft.	4,232 sq. ft.
11	126	10,033 sq. ft.	4,232 sq. ft.
12	126	10,033 sq. ft.	4,232 sq. ft.
13	126	10,033 sq. ft.	4,232 sq. ft.
14	126	10,033 sq. ft.	4,232 sq. ft.
15	126	10,033 sq. ft.	4,232 sq. ft.
16	126	10,033 sq. ft.	4,232 sq. ft.
17	126	10,033 sq. ft.	4,232 sq. ft.
18	126	10,033 sq. ft.	4,232 sq. ft.
19	126	10,033 sq. ft.	4,232 sq. ft.
20	126	10,033 sq. ft.	4,232 sq. ft.
21	126	10,033 sq. ft.	4,232 sq. ft.
22	126	10,033 sq. ft.	4,232 sq. ft.
23	126	10,033 sq. ft.	4,232 sq. ft.
24	126	10,033 sq. ft.	4,232 sq. ft.
25	126	10,033 sq. ft.	4,232 sq. ft.
26	126	10,033 sq. ft.	4,232 sq. ft.
27	126	10,033 sq. ft.	4,232 sq. ft.
28	126	10,033 sq. ft.	4,232 sq. ft.
29	126	10,033 sq. ft.	4,232 sq. ft.
30	126	10,033 sq. ft.	4,232 sq. ft.
31	126	10,033 sq. ft.	4,232 sq. ft.
TOTAL	318	10,033 sq. ft.	14,917 sq. ft.

NOTE:

FLOOR #	TYPE	PER. OR. TYPE	NET AREA (SQUARE FEET)	GROSS AREA (SQUARE FEET)
12	12	12	7,346	10,485 sq. ft.
13	12	12	7,346	10,485 sq. ft.
14	12	12	7,346	10,485 sq. ft.
15	12	12	7,346	10,485 sq. ft.
16	12	12	7,346	10,485 sq. ft.
17	12	12	7,346	10,485 sq. ft.
18	12	12	7,346	10,485 sq. ft.
19	12	12	7,346	10,485 sq. ft.
20	12	12	7,346	10,485 sq. ft.
21	12	12	7,346	10,485 sq. ft.
22	12	12	7,346	10,485 sq. ft.
23	12	12	7,346	10,485 sq. ft.
24	12	12	7,346	10,485 sq. ft.
25	12	12	7,346	10,485 sq. ft.
26	12	12	7,346	10,485 sq. ft.
27	12	12	7,346	10,485 sq. ft.
28	12	12	7,346	10,485 sq. ft.
29	12	12	7,346	10,485 sq. ft.
30	12	12	7,346	10,485 sq. ft.
31	12	12	7,346	10,485 sq. ft.
TOTAL	126	126	7,346	10,485 sq. ft.

APARTMENTS

FLOOR #	1 BR	2 BR	3 BR	NET AREA (SQUARE FEET)	GROSS AREA (SQUARE FEET)
12	4	4	4	12,448 sq. ft.	16,551 sq. ft.
13	4	4	4	12,448 sq. ft.	16,551 sq. ft.
14	4	4	4	12,448 sq. ft.	16,551 sq. ft.
15	4	4	4	12,448 sq. ft.	16,551 sq. ft.
16	4	4	4	12,448 sq. ft.	16,551 sq. ft.
17	4	4	4	12,448 sq. ft.	16,551 sq. ft.
18	4	4	4	12,448 sq. ft.	16,551 sq. ft.
19	4	4	4	12,448 sq. ft.	16,551 sq. ft.
20	4	4	4	12,448 sq. ft.	16,551 sq. ft.
21	4	4	4	12,448 sq. ft.	16,551 sq. ft.
22	4	4	4	12,448 sq. ft.	16,551 sq. ft.
23	4	4	4	12,448 sq. ft.	16,551 sq. ft.
24	4	4	4	12,448 sq. ft.	16,551 sq. ft.
25	4	4	4	12,448 sq. ft.	16,551 sq. ft.
26	4	4	4	12,448 sq. ft.	16,551 sq. ft.
27	4	4	4	12,448 sq. ft.	16,551 sq. ft.
28	4	4	4	12,448 sq. ft.	16,551 sq. ft.
29	4	4	4	12,448 sq. ft.	16,551 sq. ft.
30	4	4	4	12,448 sq. ft.	16,551 sq. ft.
31	4	4	4	12,448 sq. ft.	16,551 sq. ft.
TOTAL	126	126	126	12,448 sq. ft.	16,551 sq. ft.

1 ABBREVIATIONS

Abbreviation	Description	Abbreviation	Description
AD	APPROVED	LAV	LAVATORY
ADJ	ADJUNCT	LF	LEADER FOOT
ADJ	ADJUNCT	LI	LEAD IN
AE	ASBESTOS	LJ	LOCKER
AF	AIR CONDITIONING	LM	LOOKER
AG	ADMINISTRATION	LN	LOOKER
AH	ABOVE FINISHED FLOOR	LO	LONG LED VERTICAL
AI	AT FINISHED GRADE	LV	LONG VERTICAL
AK	AT FINISHED GRADE	LV	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL
AL	ALUMINUM	LX	LONG VERTICAL

1 SYMBOL LEGEND

TYPICAL SHEET LAYOUT

LEGEND OF MATERIALS

- CONCRETE SOL
- TORSOL
- SUB-SLAB AS SECOND
- STEEL ROOF
- ALUMINUM
- CONCRETE MASONRY UNITS
- BRICK
- PLASTER
- WOOD (ROUGH FRAMING)
- WOOD (SIMU OR BLOCKING)
- WOOD (FINISH)
- CONCRETE
- MORTAR, SAND, PLASTER, MESH CONC
- BUTT INSULATION
- RIGID INSULATION
- SPRAY / FOAM INSULATION
- METAL LATH
- FOAM INSULATION
- PLASTIC
- ASPHALT
- GLASS (EXAMINATION)
- GROUT

IDENTIFICATION SYMBOLS

- ELEVATION MARK
- SECTION MARK
- ENLARGED DETAIL
- SUBTITLE
- DRAWING TITLE

OTHER SYMBOLS

- AD ABBREVIATIONS
- GRAPHIC SCALE
- NOTE TAG
- ROOM TAG
- WINDOW MARK
- DOOR MARK
- COLUMN GRID LINE
- HIDDEN ARROW





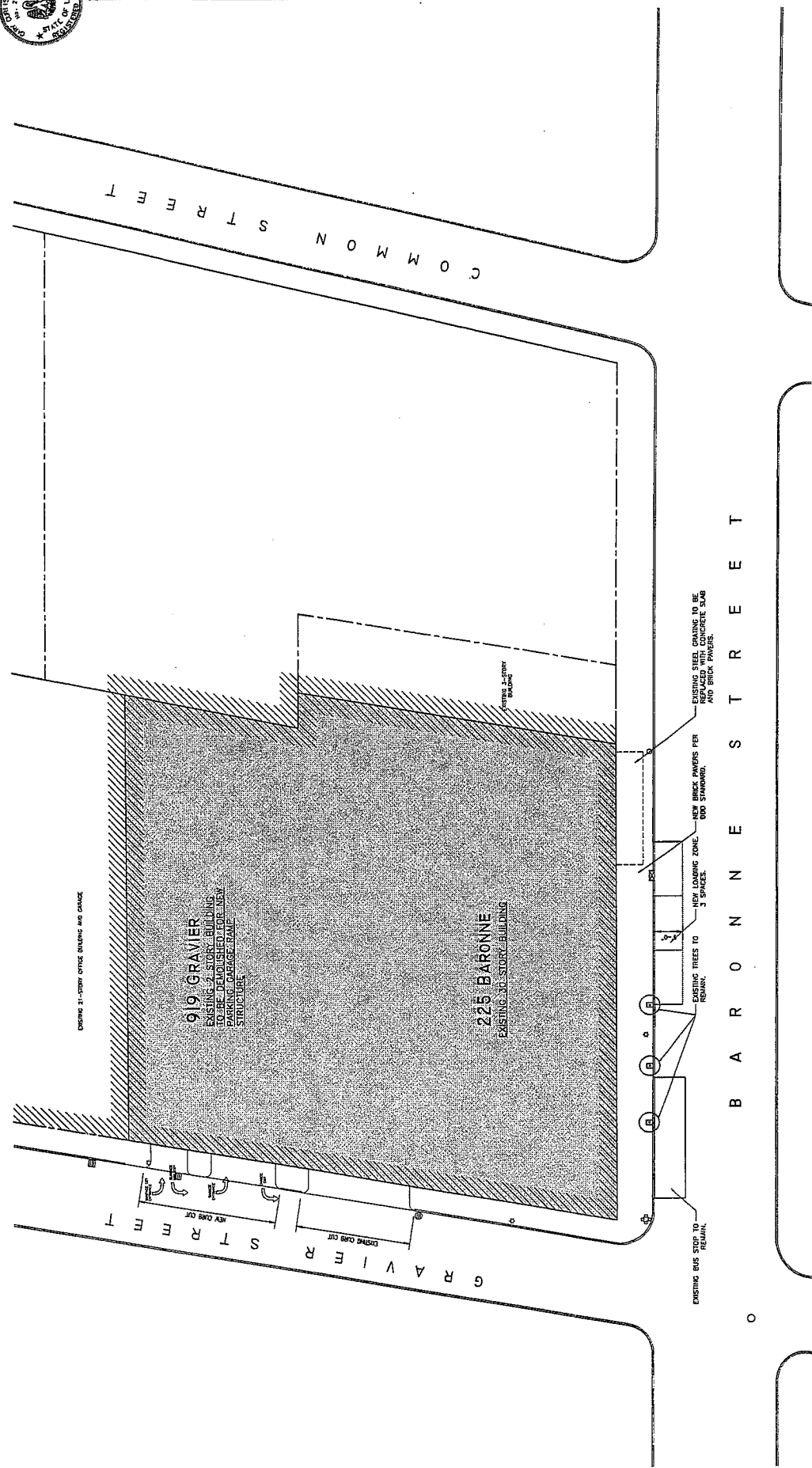
225 BARONNE MIXED - USE
 225 BARONNE ST. NEW ORLEANS, LOUISIANA

PROJECT NO.	
DATE	
FORMING FILE	
C.S.	

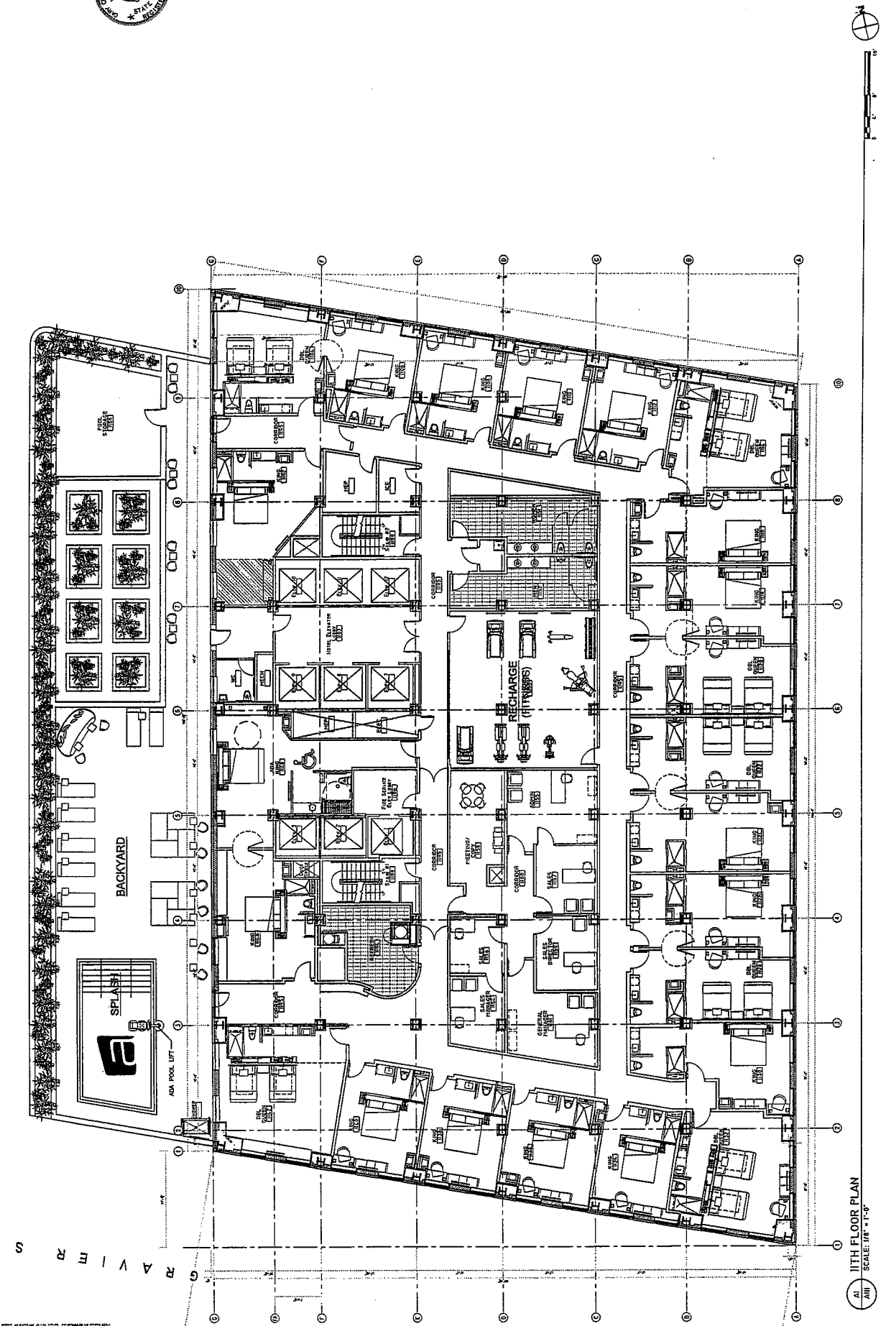
225 BARONNE MIXED - USE
 225 BARONNE ST. NEW ORLEANS, LOUISIANA



- GENERAL PLAN NOTES:**
1. ALL DIMENSIONS ARE FACE OF STUD OR CENTER OF STRUCTURAL MEMBER UNLESS NOTED OTHERWISE.
 2. ALL NEW VERTICAL STRUCTURAL MEMBERS TO BE 3-HOUR RATED.
 3. ALL NEW HORIZONTAL STRUCTURAL MEMBERS TO BE 2-HOUR RATED.
 4. SEE A601-A602 FOR PARTITION TYPES.
 5. ENSURE THAT ALL VERTICAL CHANGES ARE SEALED AIRTIGHT.
6. ALL FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED. PROVIDE STEEL FRAMES, SLEEVES, AND LUTELS REQUIRED AROUND PENETRATIONS IN WALLS OR FLOORS. FIRE SEAL WHERE THROUGH FIRE-RATED CONSTRUCTION.



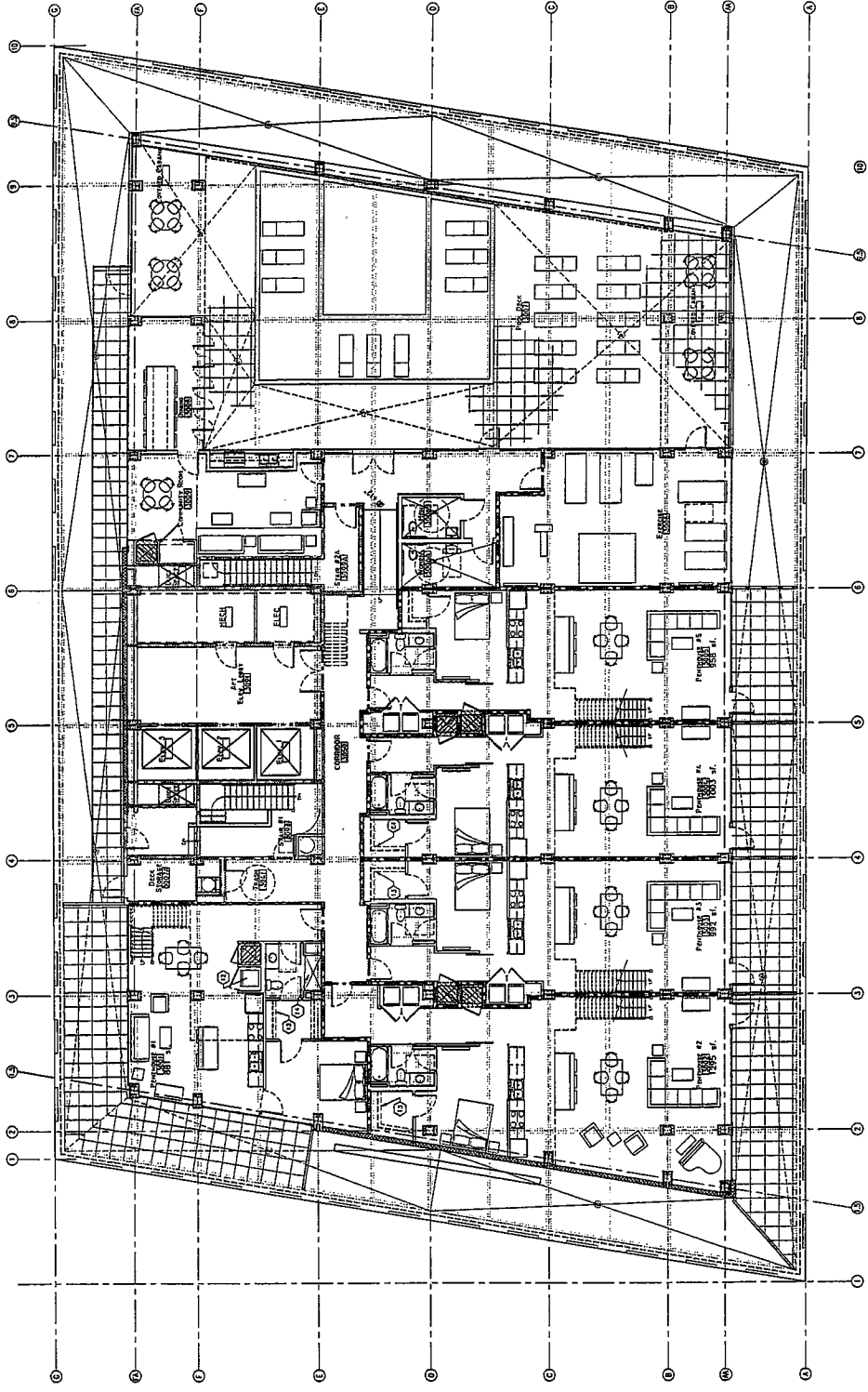
AI
 ADD
 SITE PLAN
 SCALE: 1/16" = 1'-0"



11TH FLOOR PLAN
 AT ALL SCALE: 1/8" = 1'-0"



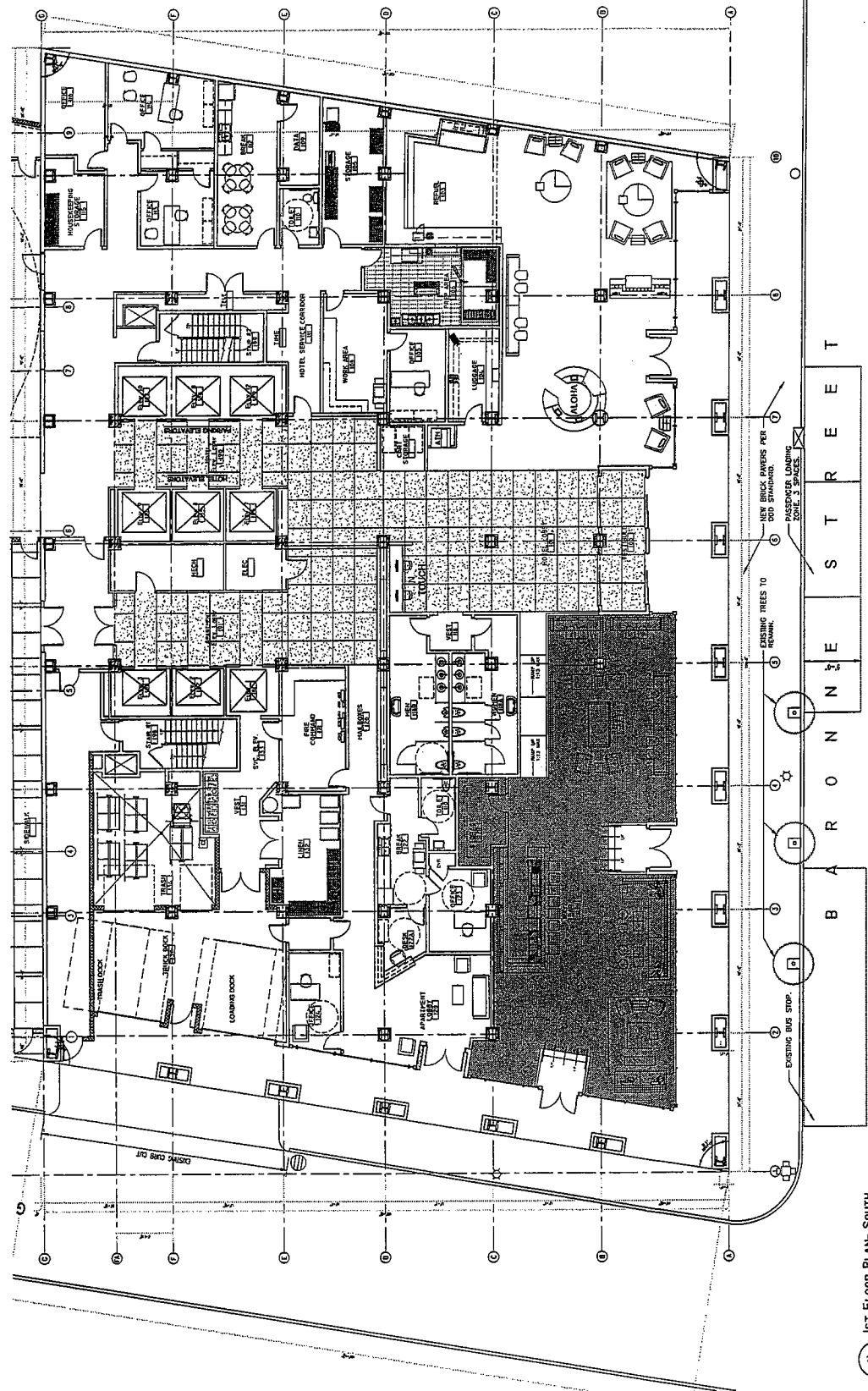
- GENERAL PLAN NOTES:**
1. ALL DIMENSIONS ARE FACE OF STUD OR CENTER OF STRUCTURAL MEMBER UNLESS NOTED OTHERWISE.
 2. ALL NEW VERTICAL STRUCTURAL MEMBERS TO BE 3-HOUR RATED
 3. ALL NEW HORIZONTAL STRUCTURAL MEMBERS TO BE 2-HOUR RATED
 4. SEE A601-A602 FOR PARTITION TYPES
 5. ENSURE THAT ALL VERTICAL CHASIS ARE SEALED AIRTIGHT
 6. ALL FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED. PROVIDE STEEL FRAMES, SLEEVES, AND UNITS REQUIRED AROUND PENETRATIONS IN WALLS OR FLOORS. FIRE SEAL WHERE THROUGH FIRE-RATED CONSTRUCTION.



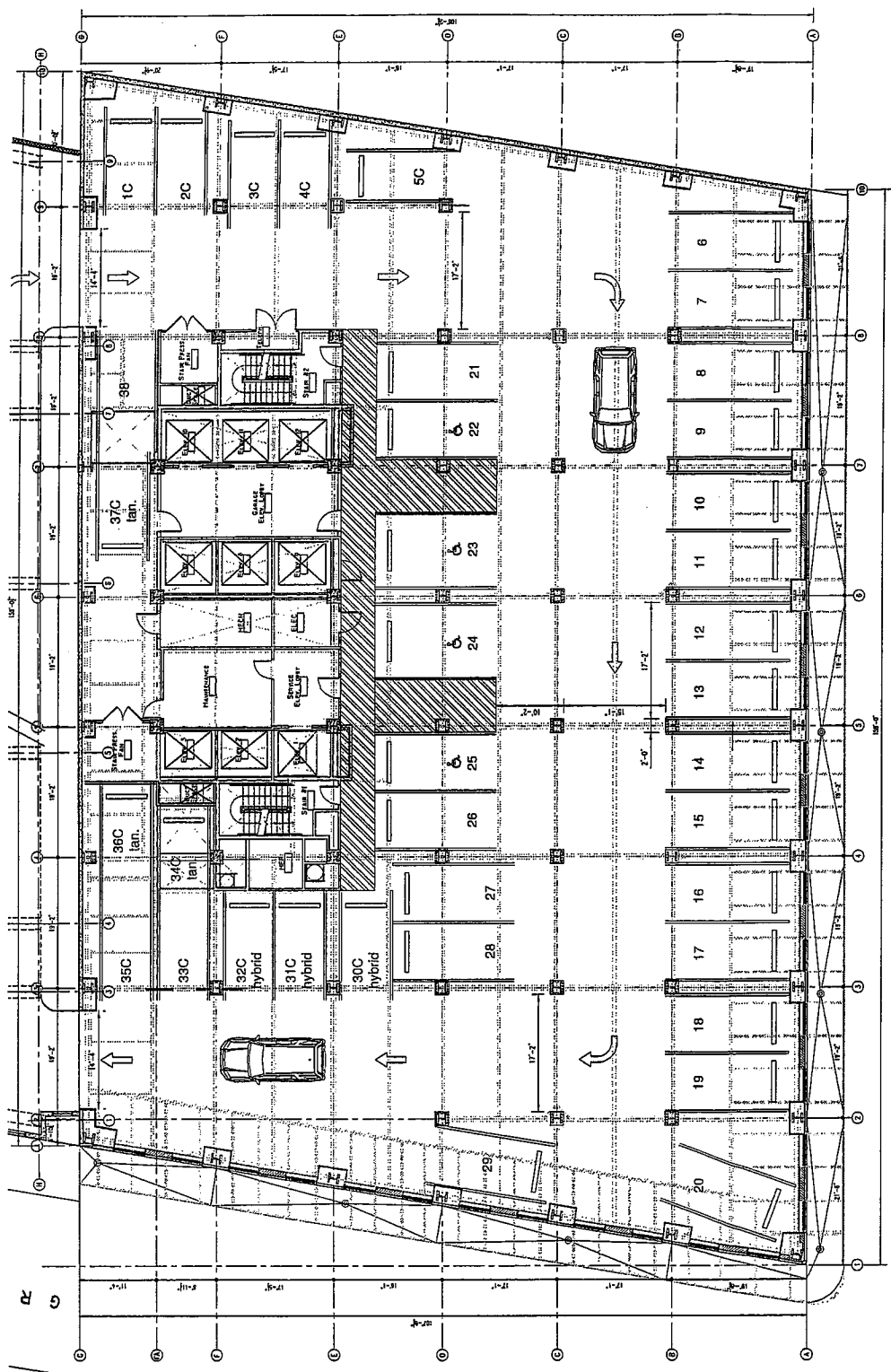
30TH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



- GENERAL PLAN NOTES:**
1. ALL DIMENSIONS ARE FACE OF STUD OR CENTER OF STRUCTURAL MEMBER UNLESS NOTED OTHERWISE.
 2. ALL NEW VERTICAL STRUCTURAL MEMBERS TO BE 3-HOUR RATED
 3. ALL NEW HORIZONTAL STRUCTURAL MEMBERS TO BE 2-HOUR RATED
 4. SEE A501-1502 FOR PARTITION TYPES
 5. ENSURE THAT ALL VERTICAL CHASES ARE SEALED AIRTIGHT
 6. ALL FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED. PROVIDE STEEL FRAMES, SLEEVES, AND LINTELS REQUIRED AROUND PENETRATIONS IN WALLS OR FLOORS. FIRE SEAL WHERE THROUGH FIRE-RATED CONSTRUCTION.



1ST FLOOR PLAN - SOUTH
 SCALE: 1/8" = 1'-0"



- GENERAL PLAN NOTES:**
1. ALL DIMENSIONS & SPACING UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS & SPACING UNLESS NOTED OTHERWISE.
 3. ALL NEW HORIZONTAL STRUCTURAL MEMBERS TO BE 3-HOUR RATED.
 4. SEE A501-A502 FOR PARTITION TYPES.
 5. ENSURE THAT ALL VERTICAL CHANGES ARE SEALED AIRTIGHT.
 6. ALL FLOOR AND WALL OPENINGS AND ROOF PENETRATIONS ARE TO BE COORDINATED WITH ALL TRADES INVOLVED. PROVIDE STEEL FRAMES, SLEEVES, AND UNITS REQUIRED AROUND PENETRATIONS IN WALLS OR FLOORS. FIRE SEAL WHERE THROUGH FIRE-RATED CONSTRUCTION.

2ND. FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Item #5

Consideration: STREET NAME CHANGE 01/13: Consideration of the re-naming of Jumonville Street between St. Bernard Avenue and Milton Street as ForeKids Drive. (PD 4)

Planning and Zoning Lookup Tool



Search



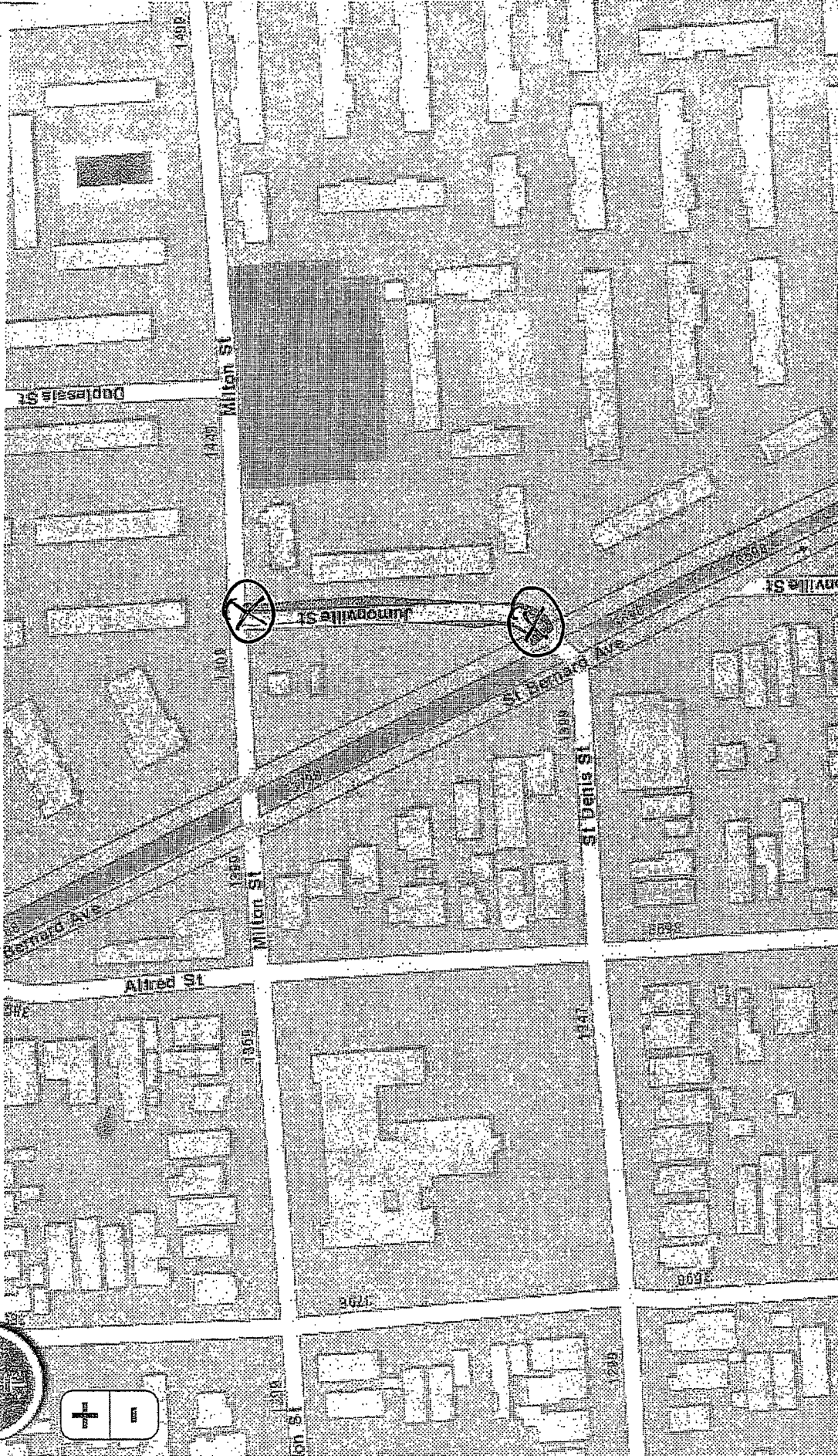
Layers

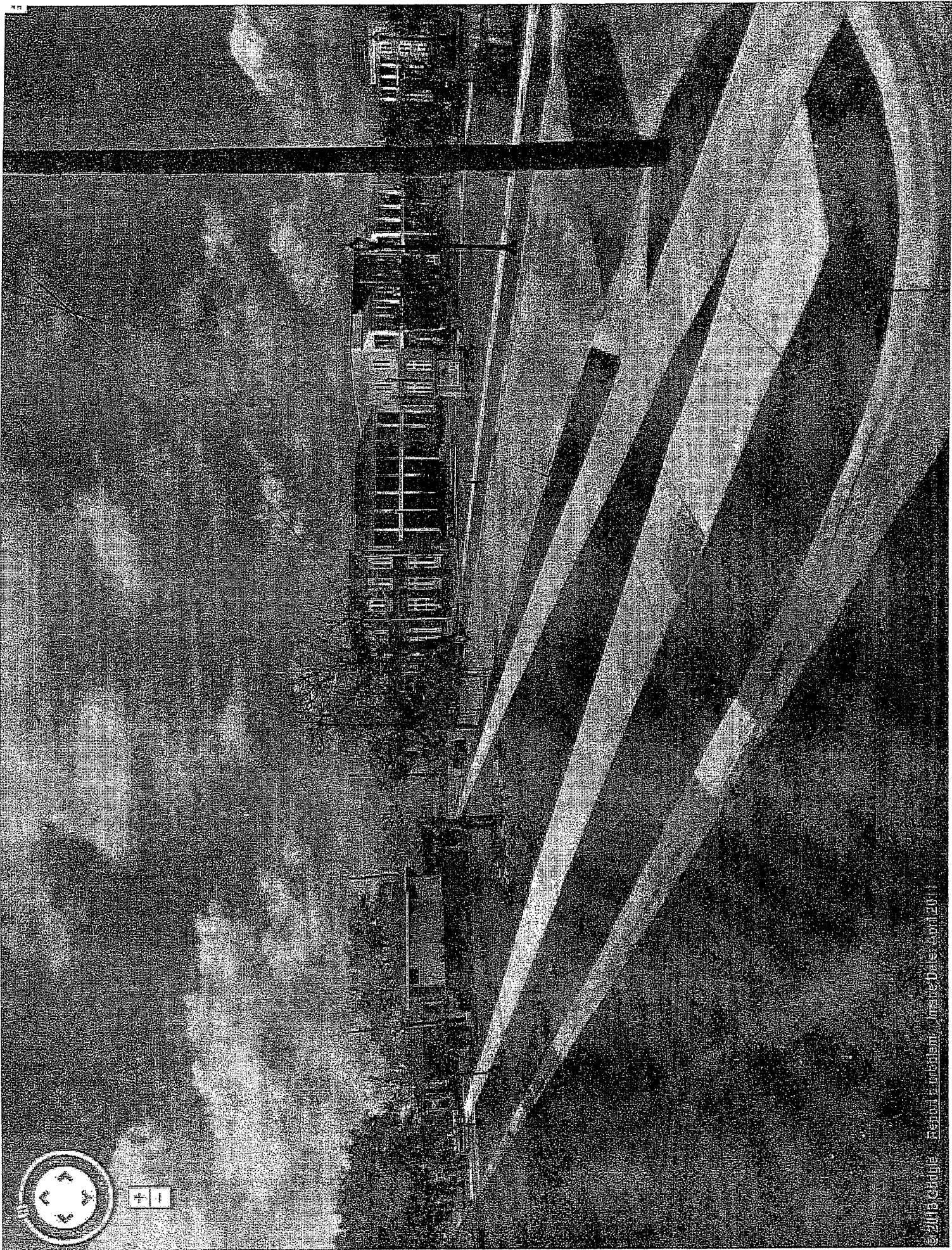


Presets



Help





1941

Item #6

Consideration: A grant of servitude of ground rights on/over a portion of N. Rampart St. public right-of-way, adjacent to Square 280, Lot 8, 3rd M.D., bounded by: St. Ferdinand St., Burgundy St., Press St., and N. Rampart St. for proposed encroachments of hand railings, steps, landing, and existing roof overhang. The municipal address is 2822 N. Rampart St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator
CC: File
Date: June 3, 2013
Re: PAC Agenda



Please place the following item on the PAC agenda:

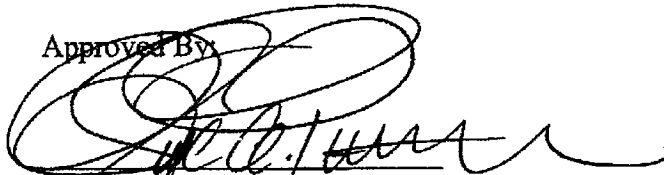
Consideration: A grant of servitude of ground rights on/over a portion of N. Rampart St. public right-of-way, adjacent to Square 280, Lot 8, 3rd M.D., bounded by: St. Ferdinand St., Burgundy St., Press St., and N. Rampart St. for proposed encroachments of hand railings, steps, landing and existing roof overhang.

The municipal address is 2822 N. Rampart St.

If you have any questions, please contact Elsie Cobb-Wright at 658-3615

Attachments: (5)

Approved By:



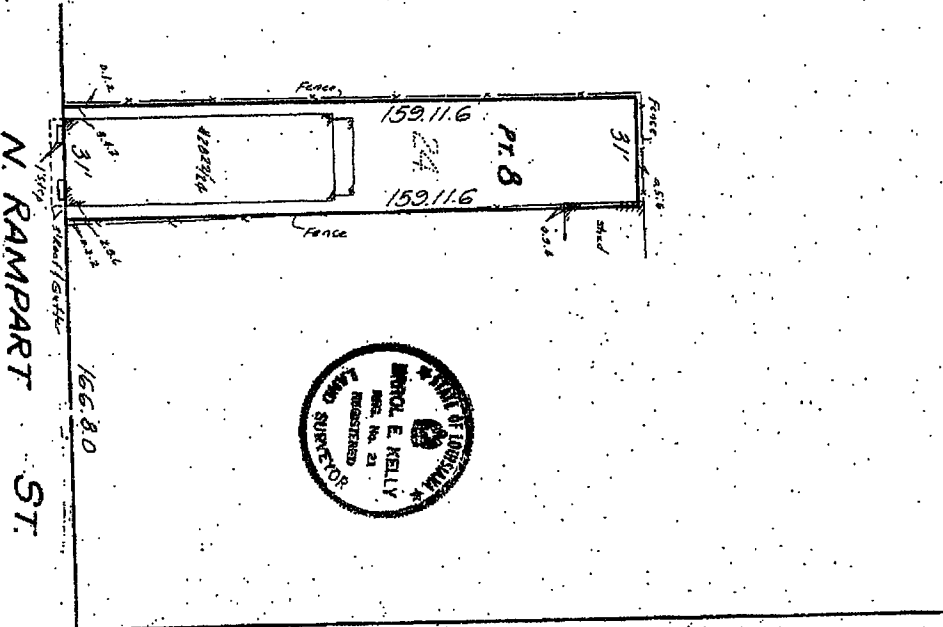
George A. Patterson, Director

GAP:MJG:ecw

SQ. NO. 280
THIRD DISTRICT

BURGUNDY ST. SIDE

ST. FERDINAND ST.



N. RAMPART ST.

New Orleans, La.

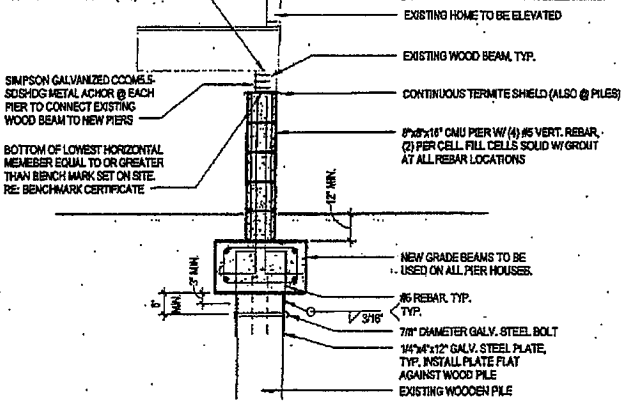
Dec. 15, 1976

Survey certified correct made at the request
of Louis H. Strickland
Gilbert, Kelly & Couturier, Inc., Surveying Engineering

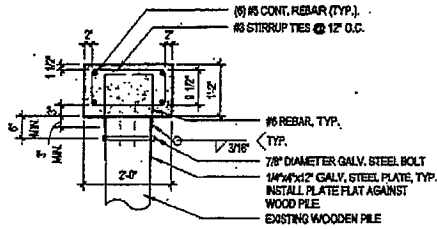
824097

CONTRACTOR SHALL PROVIDE ADEQUATE CONNECTION OF EXISTING BUILDING TO EXISTING WOOD BEAM, (N/C)

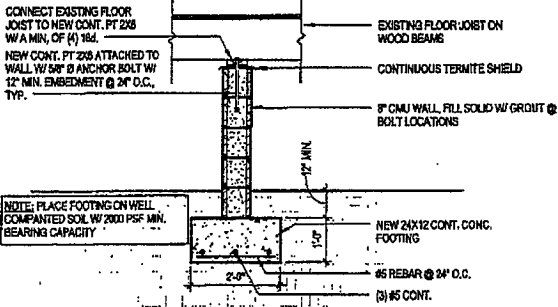
NOTE:
CONNECT ALL EXISTING FIRST FLOOR WOOD BEAMS BEARING ON INTERIOR MASONRY PIERS WITH ONE EACH SIMPSON MASONRY CONNECTOR LTA2, TYP.



1 PIER (8x16) @ GRADE BEAM OPTION
1/2" = 1'-0"



2 TYPICAL GRADE BM. DETAIL "24X14"
1/2" = 1'-0"



3 SECTION - CMU WALL
1/2" = 1'-0"

PROFESSIONAL DESIGN CONSULTANTS & ENGINEERS
 889 Westbank Park Blvd., West Gramme Lakeside, 70134
 504-885-1111, 504-885-1112, www.pdsinc.com

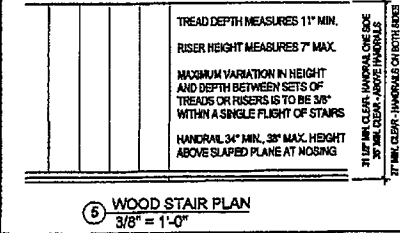
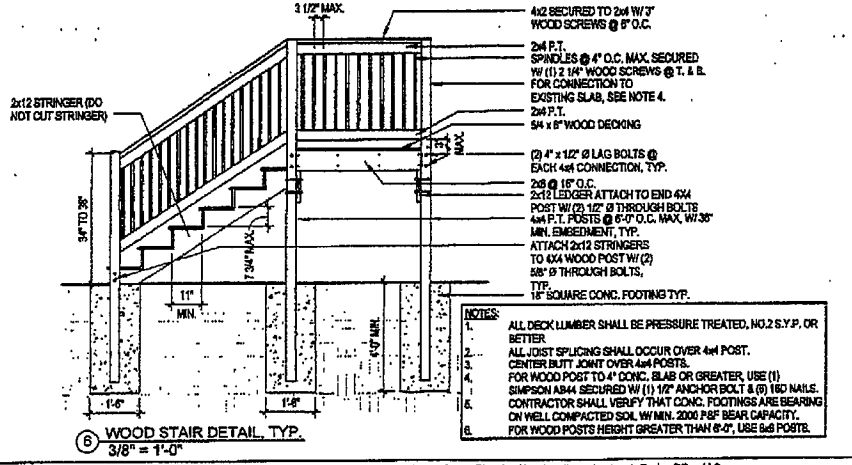
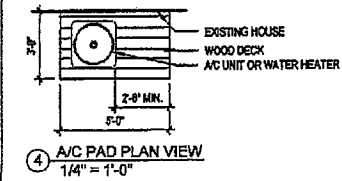
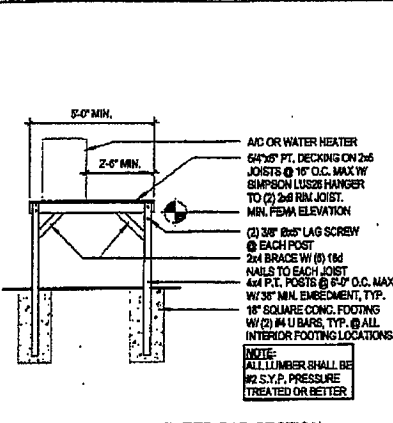
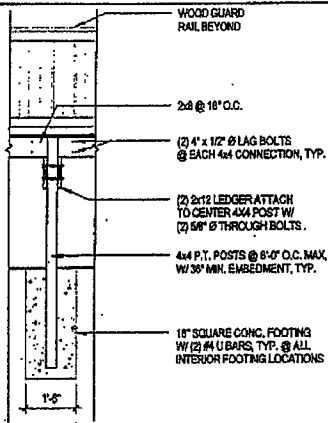
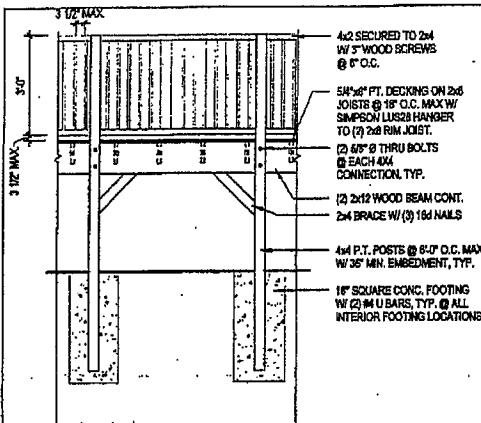
BOBBIE WHITE
 2822-24 RAMPART STREET
 NEW ORLEANS, LA 70117
 DO Product Number: PS 13034



EMMANUEL EKEKE ANKA, P.E.
 LICENSE NO. 36338
 I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND I AM A PROFESSIONAL ENGINEER, AND I AM FULLY RESPONSIBLE FOR THE CONTENTS OF THESE PLANS. THE ENGINE SPECIFICATIONS COMPLY WITH CITY, PARISH AND STATE BUILDING CODE REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS REVIEW DOES NOT ATTEMPT TO CORRELATE WITH OTHER GOVERNMENTAL OR AGENCY FOUNDATION REQUIREMENTS. I WILL NOT ADMINISTER THE CONSTRUCTION WORK.

Project: _____
 Date: _____

Sheet No.		CONSTRUCTION DETAILS	
Sheet	PS	Block Number	
Project	01	Sheet	
Date	08/03/2011	Block	A102
Scale	1/2" = 1'-0"	Sheet	



PROFESSIONAL DESIGN CONSULTANTS & ENGINEERS
2822-24 PAMPART STREET
NEW ORLEANS, LA 70117
DO Project Number: PS 13034

STATE OF LOUISIANA
ERIN MAREE KEENE A.M.A.
License No. 36239

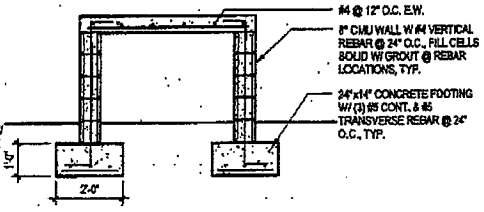
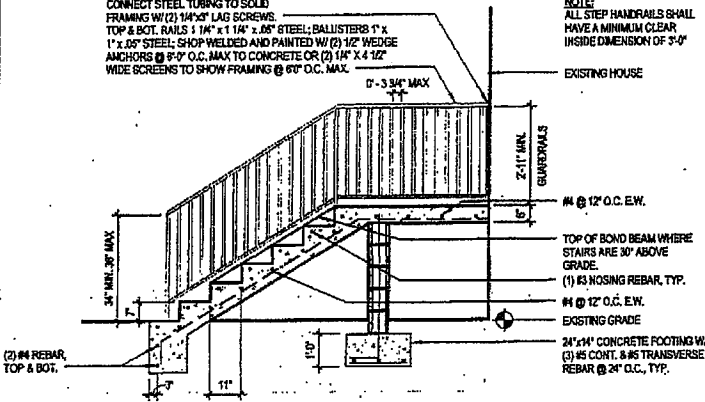
ERIN MAREE KEENE
PROFESSIONAL ENGINEER
LICENSED IN THE STATE OF LOUISIANA

PLEASE BE ADVISED THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AS A PROFESSIONAL ENGINEER, AND I HAVE FULL RESPONSIBILITY FOR THE CORRECTNESS OF THESE PLANS. THE DESIGN SPECIFICATION COMPLY WITH CITY, FEDERAL AND STATE BUILDING CODE REQUIREMENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS REPORT DOES NOT RELY TO COMPLY WITH FEDERAL, ENVIRONMENTAL OR BLACK PIONEER REQUIREMENTS. I WILL NOT WARRANT THE CONSTRUCTION WORK.

STANDARD DETAILS
A105

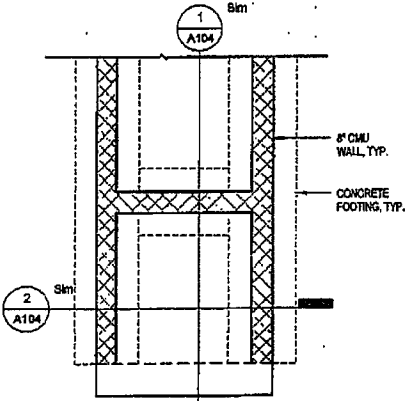
CONNECT STEEL TUBING TO SOLID FRAMING W/ (2) 1/4"x3" LAG SCREWS. TOP & BOT. RAILS 1 1/4" x 1 1/4" x .06" STEEL; BALLISTERS 1" x 1" x .06" STEEL; SHOP WELDED AND PAINTED W/ (2) 1/2" WEDGE ANCHORS @ 9'-0" O.C. MAX TO CONCRETE OR (2) 1/4" x 4-1/2" WIDE SCREENS TO SHOW FRAMING @ 6' O.C. MAX.

NOTE: ALL STEP HANDRAILS SHALL HAVE A MINIMUM CLEAR INSIDE DIMENSION OF 3'-0"



1 CONCRETE STAIRS DETAIL
3/8" = 1'-0"

2 STAIR SECTION
3/8" = 1'-0"



3 STAIR SECTION 2
3/8" = 1'-0"

PROFESSIONAL DESIGN CONSULTANTS & ENGINEERS
 8801 Magazine Road, Suite 2000, Metairie, LA 70001
 (504) 885-1111

BOSSIE WHITE
 2822-24 RAMPART STREET
 NEW ORLEANS, LA 70117
 DO Project Number: PS 13334

STATE OF LOUISIANA
 EMANUEL ERING ANNA
 License No. 38288
 PROFESSIONAL ENGINEER

EMANUEL ERING ANNA, PE
 LICENSE # 38288

PLEASE BE ADVISED THAT THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A PROFESSIONAL ENGINEER, AND I SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THESE PLANS. THE DESIGN PROFESSIONAL OCCUPY WITH CITY, FEDERAL AND STATE REGULATIONS. AGREEMENTS TO THE LIMIT OF MY KNOWLEDGE AND BELIEF, THIS PROFESSIONAL WILL BE HELD TO COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. I WILL NOT BE HELD RESPONSIBLE FOR THE CONSTRUCTION WORK.

DATE: _____

SCALE: STANDARD DETAILS

Sheet: A104