

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – March 13, 2013

There will be a meeting of the Planning Advisory Committee on Wednesday, March 13, 2013 at 2:00 p.m. The meeting will be held in the City Planning Commission conference room, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the February 27, 2013 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 027/13** - Request by HOLY CROSS COLLEGE for a Conditional Use to permit a development in excess of 10,000 square feet and a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District on Square 229, all lots; Square 192, all lots; Square 120, all lots and Square 121, Lot 6; and a Zoning Change from an LI Light Industrial District to a C-1A General Commercial District on Square 121, Lots 1 through 5, in the Third Municipal District, bounded by Deslonde, Burgundy, Reynes Streets and the Mississippi River. The municipal address is 4950 DAUPHINE STREET. (ZBM E-14/PD-8)
- 3) **Consideration:** **ZONING DOCKET 028/13** – Request by LAKE FOREST PLAZA LLC for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a proposed gas station/convenience store in a C-2 General Commercial District within the Eastern New Orleans Renaissance Corridor District and the Eastern New Orleans Renaissance Corridor Interim Zoning District, on an undesignated Square, Lot 7F-2B-1 or 7-H-1A, in the Third Municipal District, bounded by Lake Forest and Read Boulevards, Plaza Drive and Interstate 10. The municipal address in 5700 READ BOULEVARD, (ZBM H-11/PD-9)
- 4) **Consideration:** **ZONING DOCKET 031/13** – Request by JULIEN ENGINEERING & CONSULTING, INC. for a Conditional Use to permit the construction of a development exceeding 10,000 square feet within a C-1 General Commercial District, within the General DeGaulle Urban Corridor District, on Square 23, Lot N6, in the Fifth Municipal District, bounded by General De Gaulle, Life Center and Sandra Drives. The municipal address is UNASSIGNED. (ZBM E-16/PD-12)
- 5) **Consideration:** Grant of servitude of ground rights on/over a portion of Pauline St. and Alvar St. public right-of-ways, adjacent to Square 409, 3rd M.D., bounded by: Marais St., Alvar St., Pauline St., and St. Claude Ave. for proposed encroachments of steps, landings ramps, and handrails. The municipal address is 3819 St. Claude Ave.

- 6) **Consideration:** A grant of servitude of ground rights on/over a portion of Saint Anthony Street, adjacent to Square 499, Lot 11, 3rd M.D., bb: Urquhart St., Annette St., Marais St., and Saint Anthony St. for proposed encroachments of wooden landings, stairs, and handrails. The municipal address is 1338 Saint Anthony St.
- 7) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, March 27, 2013, at 2:00 p.m. in the City Planning Commission conference room (City Hall Room 7W03).

Respectfully yours,

Yolanda W. Rodriguez, Executive Director

March 6, 2013

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – February 27, 2013

A meeting of the Planning Advisory Committee was held on Wednesday, February 27, 2013 at 2:00 PM in the Conference Room of the City Planning Commission, City Hall Room 7W03. Those in attendance were:

MEMBERS

Edward Horan (S&P)
Denise McCray (SWB)
Brian Jones (SWB)
Elsie Cobb-Wright (RER)
Martha Griset (RER)
Arlen Brunson (CPC)
Richard Schierman (DPW)
Bao Vu (DPW)
LaJoyce Steib (DPW)
Lindsay Smith (PPW)

GUESTS

Susan Danielson
Kenneth Haik
Edwin J. Mazoué
Rick Query
Ron Bogard
George Crawford
Troy M. Gant
Jamie Saxon

CPC STAFF

Editha Amacker
Stephen Kroll
Kelly Cottrell
Leila Manouchehri
Dubravka Gilic

NON-VOTING DEPARTMENTS

None present

- 1) **Consideration:** Minutes from the February 6, 2013 PAC meeting.

CPC made a motion to approve the minutes as written, which was seconded by DPW and adopted.

- 2) **Consideration:** **ZONING DOCKET 023/13** – Request by DUTCH PROPERTIES LLC to permit a Wine Bar, Wine Shop and Wine Education as a Conditional Use in an HMC-1 Historic Marigny/Tremé Commercial District, on Square 263, Pt. Lot 13, in the Third Municipal District, bounded by Burgundy, Dauphine, Pauger and Touro Streets. The Municiple Address is 1938-40 BURGUNDY STREET. (ZBM D-13, PD-7)

Troy Gant appeared before the committee. He explained that the proposal includes a wine shop with delivery that serves espresso and sells complimentary items such as cheese. He noted that there is an apartment upstairs and that he is trying to secure off-street parking in a lot on Touro Street. The representative from HDLC informed the applicant that they will need to apply to HDLC for approval of any signage. The representative from RER noted that the applicant needs to apply for a lease due to the encroachment of the balcony over the public right-of-way. The committee passed a motion of no objection, subject to further review by CPC, RER, and HDLC.

- 3) **Consideration: ZONING DOCKET 024/13** – Request by ST. CLAUDE PROPERTIES LLC to permit the expansion of an existing Conditional Use as a Dental Clinic in a B-1A Neighborhood Business District, on Square 351, Lots 2B, C or 3, Pt 1 and Pt 4, in the Third Municipal District, bounded by France, Lesseps and North Rampart Streets and Saint Claude Avenue, The municipal addresses 4228-4234 SAINT CLAUDE AVENUE. (ZBM E-14/PD-7)

The applicant's architect was present to describe the project. The representative from the DPW stated that the rollover curb access to the parking area is against the DPW standards and recommended some design solutions for the parking lot. The representative from the CPC instructed the architect to revise the site plan to include the design for the corner lot on-site parking. The Committee passed the motion of no objection subject to further review by the DPW and CPC.

- 4) **Consideration: ZONING DOCKET 026/13** – Request by SARATOGA LOFTS LLC for a Conditional use to permit a Cocktail Lounge in a CBD-1 Central Business District, on Square 299, Lot X, in the First Municipal District, bounded by Gravier Street, South Rampart Street, Loyola and Tulane Avenues. The municipal address is 212 LOYOLA AVENUE. (ZMB C-14/PD-1A)

RER noted that a lease of servitude would need to be finalized prior to closing of the conditional Use. CPC made a motion of no objection, subject to further review by CPC and RER. The motion passed unanimously.

- 5) **Consideration:** Grant of servitude of air and ground rights on/over portions of Spanish Plaza South Arcade, Julia St., and Canal St. public right-of-ways, adjacent to Square 3A-30A, 1st M.D., bb: Poydras St., Convention Center Blvd, and Mississippi River for proposed and existing encroachments of planters, stairs, railings and mall entry portals. The municipal address is One Poydras St

The applicant's architects were present to describe the request.

SWB said it would require revised plans showing the locations of SWB's utilities.

DPW said it would require a copy of the same utility plan.

The committee passed a motion of no objection subject to further review by SWB and DPW.

- 6) **Consideration:** Grant of servitude of ground rights on/over a portion of Julia St. public right-of-way, adjacent to Square 573, Lot Z, 1st M.D., bounded by: Poydras St., South Rocheblave St., South Dorgenois St., and Julia St. for existing encroachments (raised concrete slab and ramp) and proposed concrete landing, stairs and railings. The municipal address is 2532 Poydras St.

The applicant was present to describe the project.

DPW asked questions about the specifics of the area for which the servitude would be granted but did not object to the request.

The committee passed a motion of no objection subject to further review by RER.

- 7) **Consideration:** Grant of servitude of air rights on/over a portion of O'Keefe Ave. public right-of-way, adjacent to Square 259, 1st M.D., bounded by: O'keefe Ave., Lafayette St., Poydras St., and Baronne St. for proposed encroachments of a canopy and marquee. The municipal address is 533 Baronne St.

The applicant's architect was present to describe the request.

There were no comments or objections to the proposal.

The committee passed a motion of no objection subject to further review by RER.

- 8) **Consideration:** Sale of a strip of land between Lot -1 and Jourdan Rd., adjacent to Square F, 3rd M.D., bounded by: Inner Harbor Navigation Canal, U.S. Highway 90 (Chef Menteur Hwy.), Inter-State Highway (I-10), and Jourdan Road.

RER described the application, noting that it was a request by the Port of New Orleans.

SWB said it would require a full width servitude due to the location of utilities within the strip of land.

The committee passed a motion of no objection subject to further review by RER, SWB, DPW, and CPC.

- 9) **Consideration:** Sale or long-term lease of a triangular lot (rear portions of former Lots 22, 23, 24, and a fraction of 21), Square 144, 7th M.D. This is a request by the adjacent property owner, Krewe of Carrollton. The municipal address is 1215 General Ogden St.

The applicant's representative was present to describe the request. He noted that the area is intended for use for off-street parking and that it could potentially be developed in the future.

The committee passed a motion of no objection to the sale of the property subject to further review by RER and CPC.

10) Any other matters:

Consideration: A servitude agreement for ground rights in/on/over a portion of Nashville Avenue, adjacent to Hurstville, Square 25, Lot 7, 6th M.D., bounded by Nashville Avenue, Magazine Street, Constance Street, and Arabella Street for the proposed encroachments of a driveway. The municipal address is 727 Nashville Avenue.

The applicant was present, noting that this request is associated with a variance application that is currently pending before the Board of Zoning Adjustments (BZA 025-13).

The committee passed a motion of objection to the application because the proposal to park in the required front yard is in conflict with the Comprehensive Zoning Ordinance.

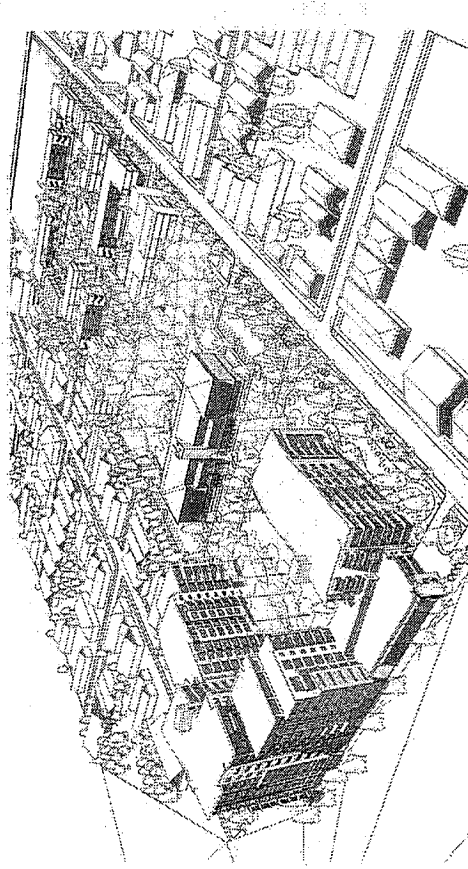
Item # 2

Consideration: **ZONING DOCKET 027/13** - Request by HOLY CROSS COLLEGE for a Conditional Use to permit a development in excess of 10,000 square feet and a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District on Square 229, all lots; Square 192, all lots; Square 120, all lots and Square 121, Lot 6; and a Zoning Change from an LI Light Industrial District to a C-1A General Commercial District on Square 121, Lots 1 through 5; in the Third Municipal District, bounded by Deslonde, Burgundy, Reynes Streets and the Mississippi River. The municipal address is 4950 DAUPHINE STREET. (ZBM E-14/PD-8)

HOLY CROSS CAMPUS REDEVELOPMENT

4950 Dauphine St New Orleans, LA 70117

CITY OF NEW ORLEANS CITY PLANNING COMMISSION CONDITIONAL USE



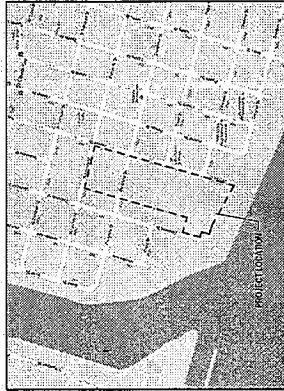
PROJECT DIRECTORY

315 PULASKI STREET, SUITE 11
NEW ORLEANS, LA 70112
PHONE: (504) 584-5100
FAX: (504) 584-5180

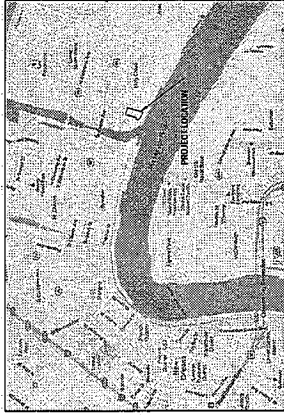
INDEX OF DRAWINGS

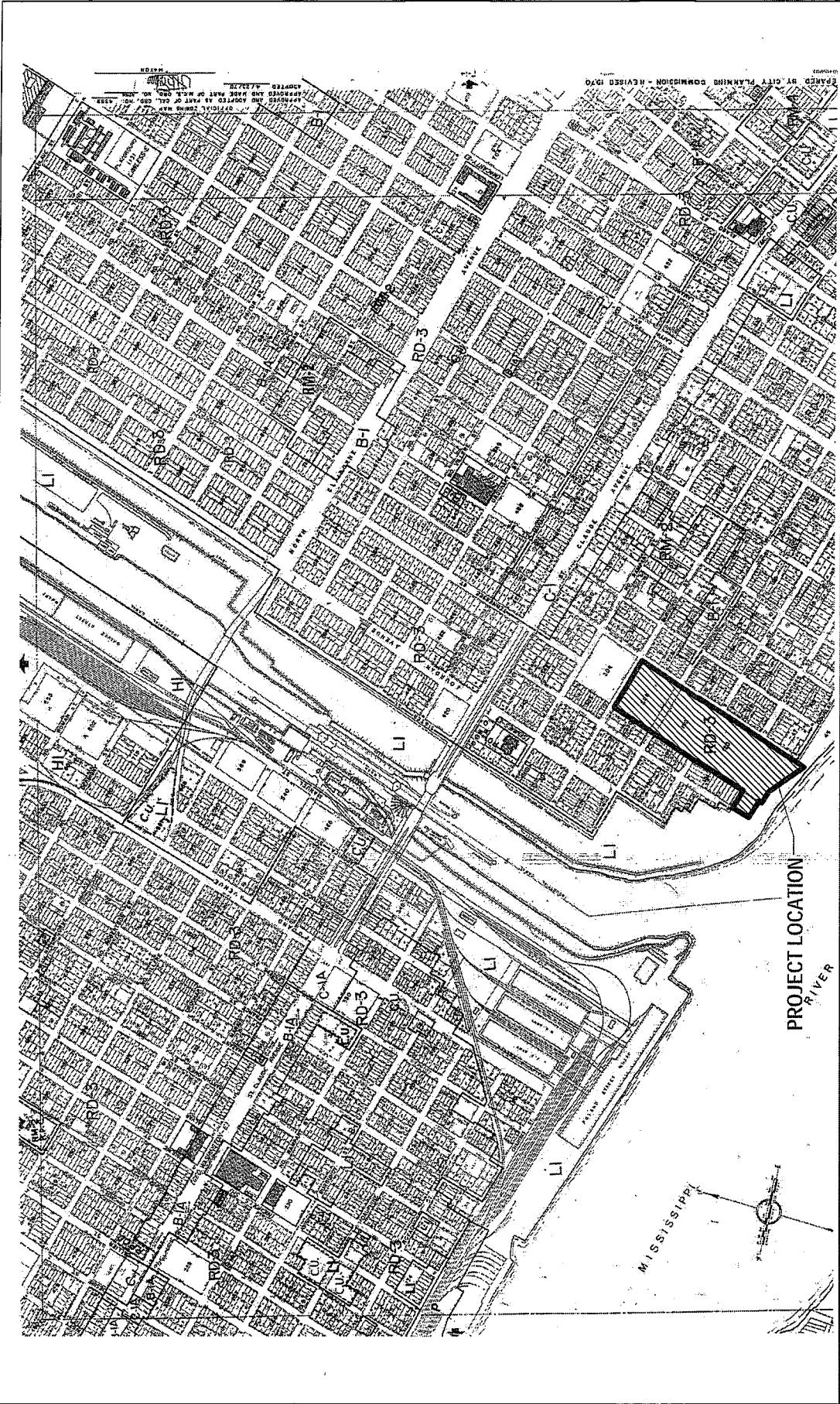
- A.01 COVER SHEET
- A.02 ZONING MAP
- A.03 ZONING CHANGE REQUEST
- A.04 CONDITIONAL USE PERMIT REQUEST
- A.05 CONTEXTUAL MASTER PLAN
- A.06 CONTEXTUAL USE PERMIT PLAN
- A.07 EXISTING BUILDING FIRST FLOOR PLAN
- A.08 EXISTING BUILDING SECOND FLOOR PLAN
- A.09 EXISTING BUILDING ATTIC PLAN
- A.10 EXISTING BUILDING ELEVATIONS
- A.11 BUILDING 1 - FLOOR PLANS
- A.12 BUILDING 1 - FLOOR PLANS
- A.13 BUILDING 1 - FLOOR PLANS
- A.14 BUILDING 1 - ELEVATIONS
- A.15 BUILDING 1 - ELEVATIONS
- A.16 BUILDING 1 - ELEVATIONS
- A.17 BUILDING 1 - ELEVATIONS
- A.18 BUILDING 1 - ELEVATIONS
- A.19 BUILDING 1 - ELEVATIONS
- A.20 BUILDING 1 - ELEVATIONS
- A.21 BUILDING 1 - ELEVATIONS
- A.22 POTENTIAL DEVELOPMENT APARTMENT TYPES

PROJECT LOCATION MAP



SITE VICINITY MAP

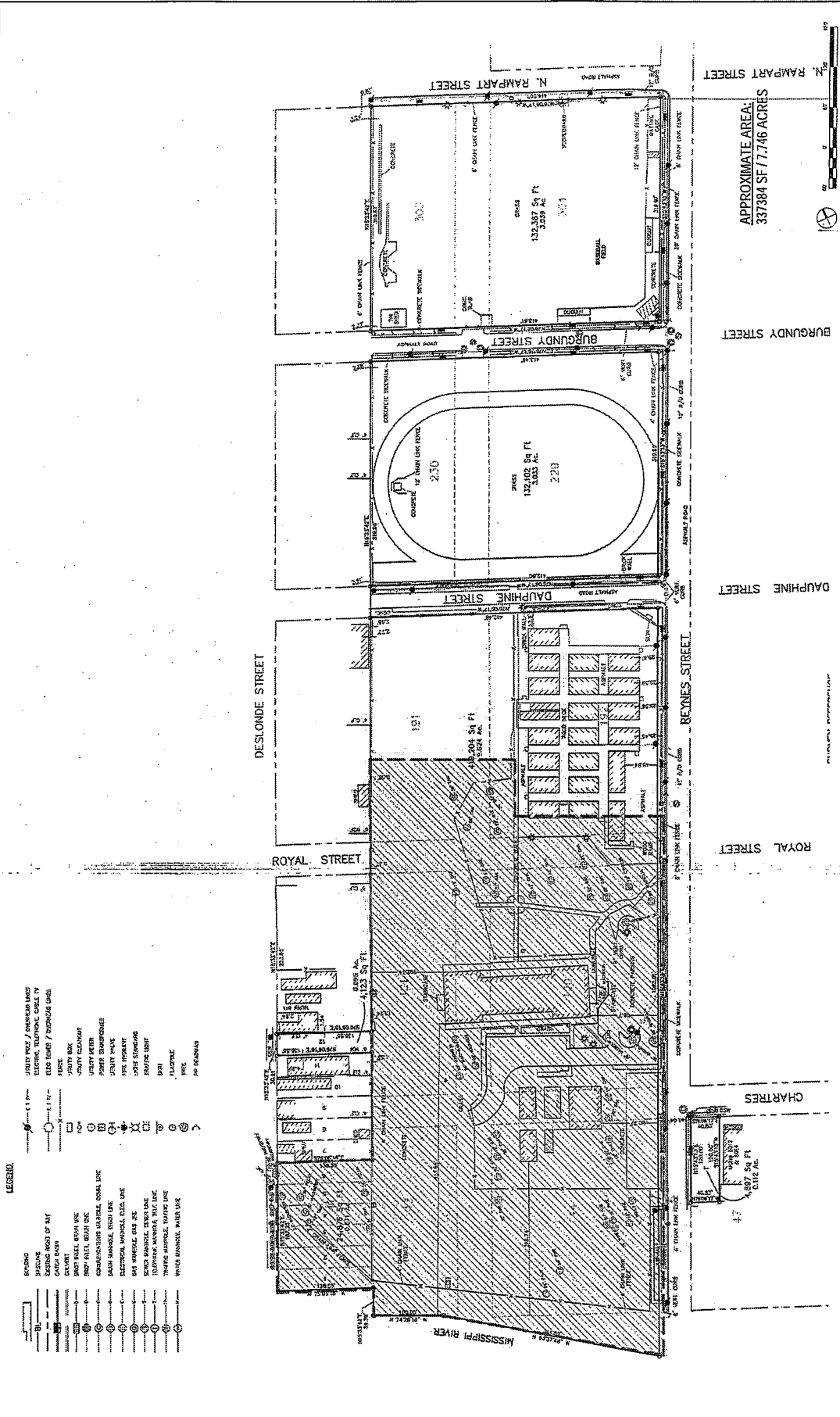




Perez

HOLY CROSS REDEVELOPMENT

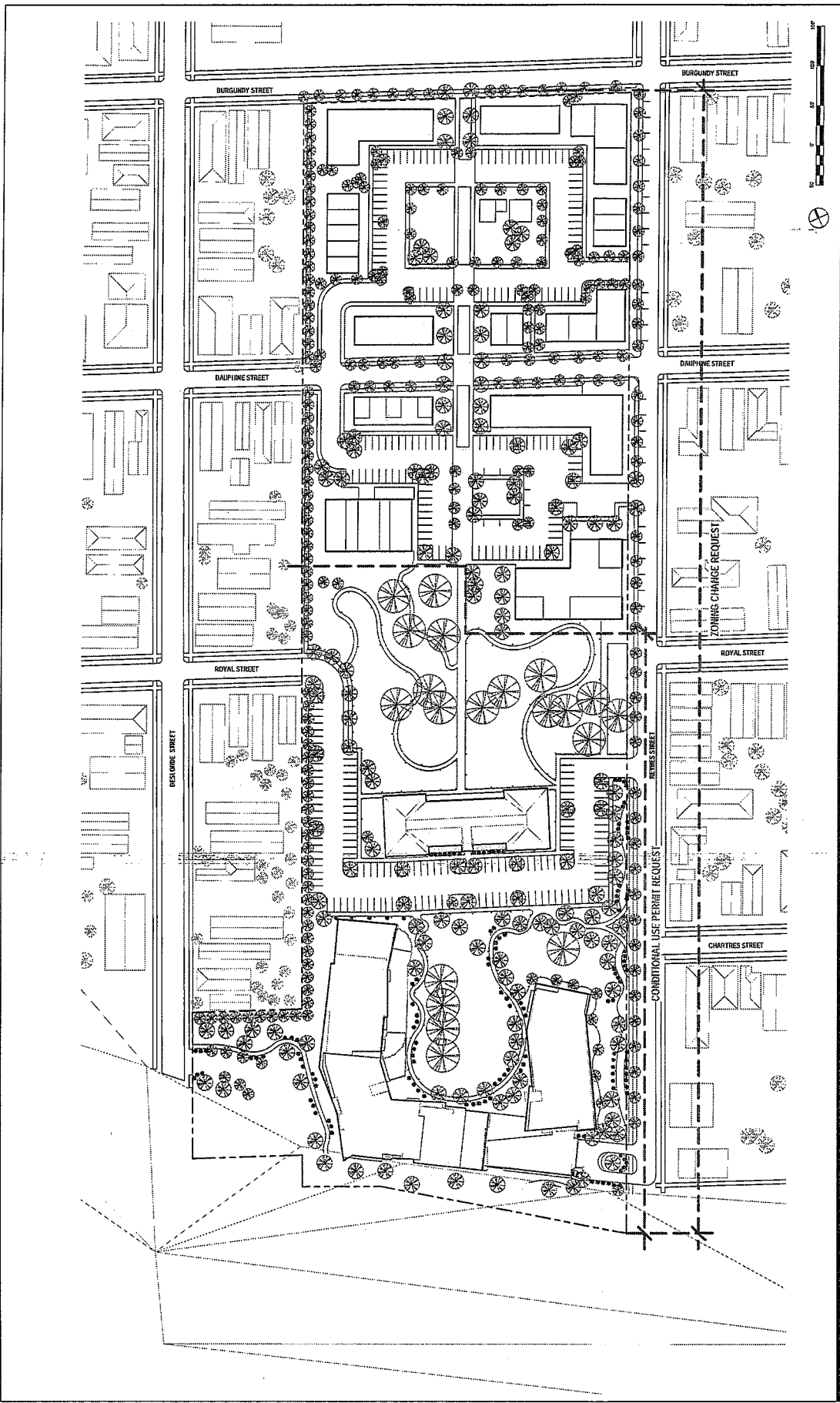
2010 10/15/10
Perez + Associates, Inc.
NEW ORLEANS, LA 70112
WWW.PEREZ.COM



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HOLY CROSS REDEVELOPMENT

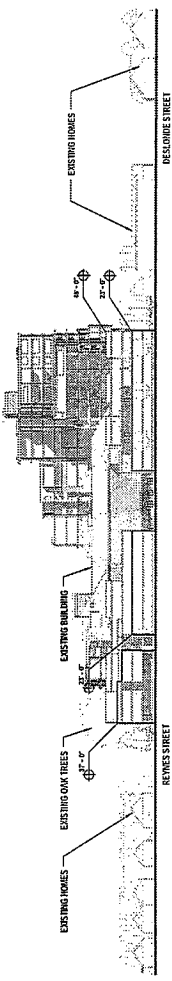
CONDITIONAL USE PERMIT REQUEST
 PEREZ & PROFESSIONAL CORPORATION
 NEW ORLEANS, LOUISIANA 70112-2200



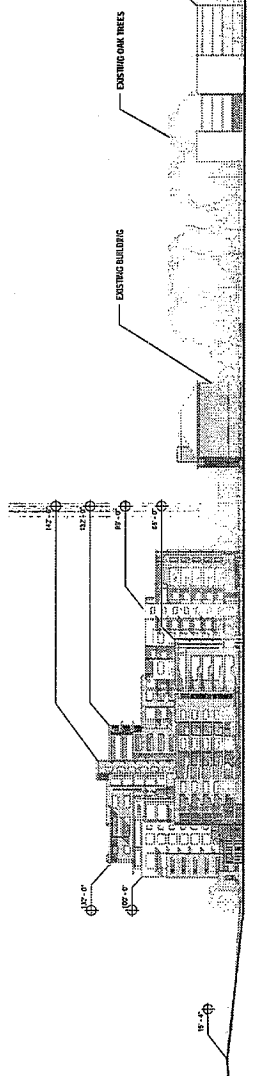
Perez

HOLY CROSS REDEVELOPMENT

CONCEPTUAL MASTER PLAN
 02/2013
 PEREZ, A PROFESSIONAL CORPORATION
 NEW ORLEANS, LOUISIANA WWW.PEREZ.COM



SITE ELEVATION FROM BURGUNDY STREET LOOKING SOUTH
SCALE: 1"=50'-0"



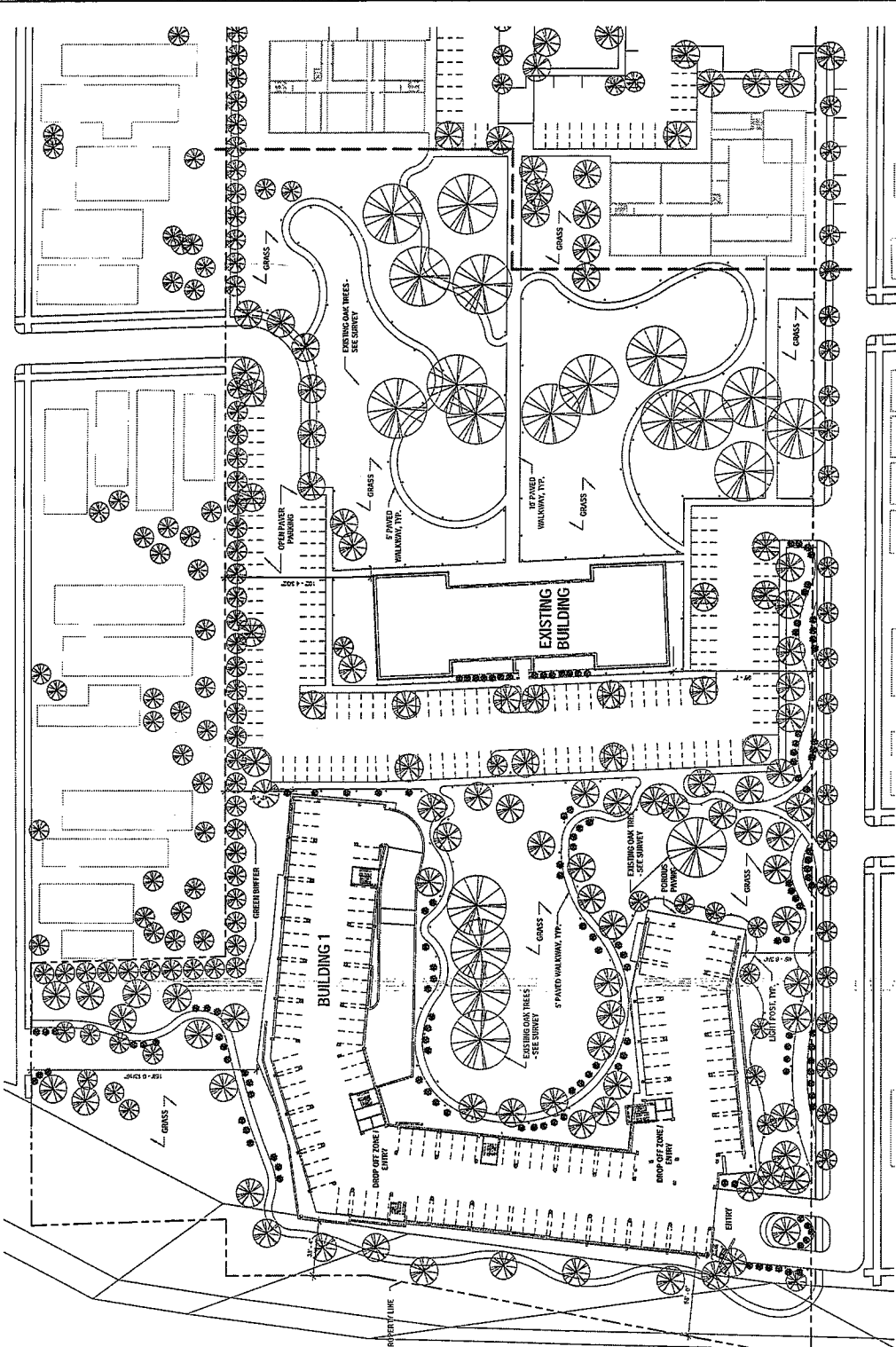
SITE ELEVATION FROM REYNES STREET LOOKING WEST
SCALE: 1"=50'-0"



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HOLY CROSS REDEVELOPMENT

CONCEPTUAL SITE ELEVATIONS
PROJECT # 020313
PEREZ & ASSOCIATES ARCHITECTS
NEW ORLEANS, LOUISIANA WWW.PEREZARCHITECTS.COM



BUILDING AREAS - LOT 1	
1ST FLOOR GROSS	4708 SF
2ND FLOOR GROSS	4748 SF
3RD FLOOR GROSS	4748 SF
4TH FLOOR GROSS	4118 SF
5TH FLOOR GROSS	12877.7807 SF
6TH FLOOR GROSS	12877.7807 SF
7TH FLOOR GROSS	2806 SF
8TH FLOOR GROSS	2806 SF
9TH FLOOR GROSS	1701 SF
10TH FLOOR GROSS	1701 SF
11TH FLOOR GROSS	1701 SF
12TH FLOOR GROSS	1701 SF
TOTAL GROSS	40395 SF
1ST FLOOR GROSS	1098 SF
2ND FLOOR GROSS	1098 SF
3RD FLOOR GROSS	1098 SF
4TH FLOOR GROSS	955 SF
5TH FLOOR GROSS	955 SF
TOTAL GROSS	4760 SF

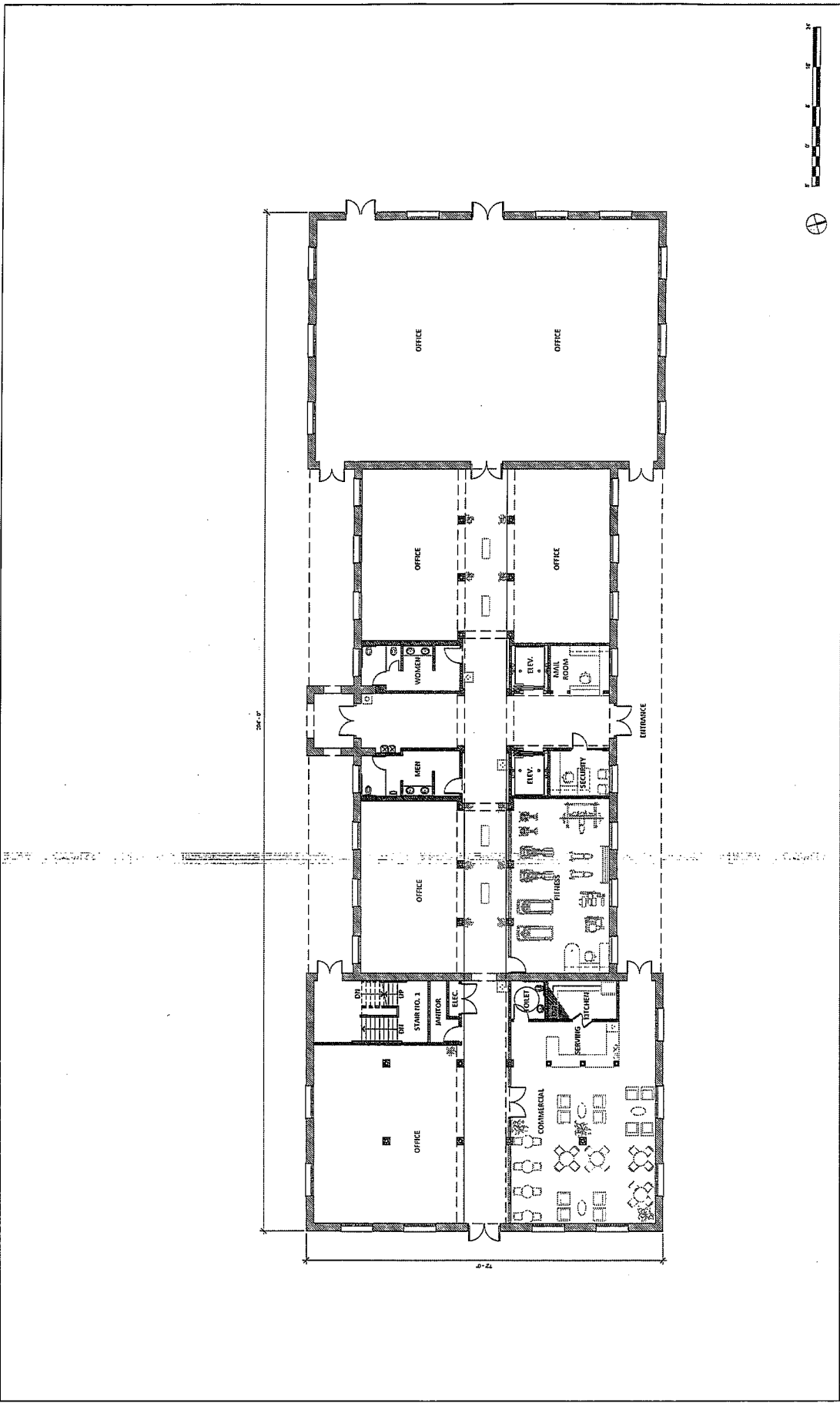
PARKING SCHEDULE - LOT 1	
BUILDING 1 1ST FLOOR DROP OFF ZONE	2
BUILDING 1 2ND FLOOR DROP OFF ZONE	105
9' X 18' PARKING SPACES	5
ADA PARKING SPACES	5
TOTAL PARKING SPACES	117
BUILDING 1 SECOND FLOOR DROP OFF ZONE	2
9' X 18' PARKING SPACES	3
ADA PARKING SPACES	3
TOTAL PARKING SPACES	11
TOTAL UNCOVERED PARKING SPACES	128
EXISTING UNDERGROUND PARKING SPACES	225
TOTAL PARKING SPACES	353
EXISTING UNDERGROUND PARKING SPACES	1
8' X 18' PARKING SPACES	116
ADA PARKING SPACES	3
ADA PARKING SPACES	3
TOTAL OFF-PARKING SPACES	123
GRAND TOTAL PARKING SPACES	476

LIGHTING FEATURES	
0' 11" TROPIC LIGHTS	201

EXHIBIT 10: FINAL USE PERMIT SITE PLAN
 HOLY CROSS REDEVELOPMENT
 PREPARED BY PEREZ ARCHITECTS
 NEW ORLEANS, LOUISIANA 70112-1501

HOLY CROSS REDEVELOPMENT

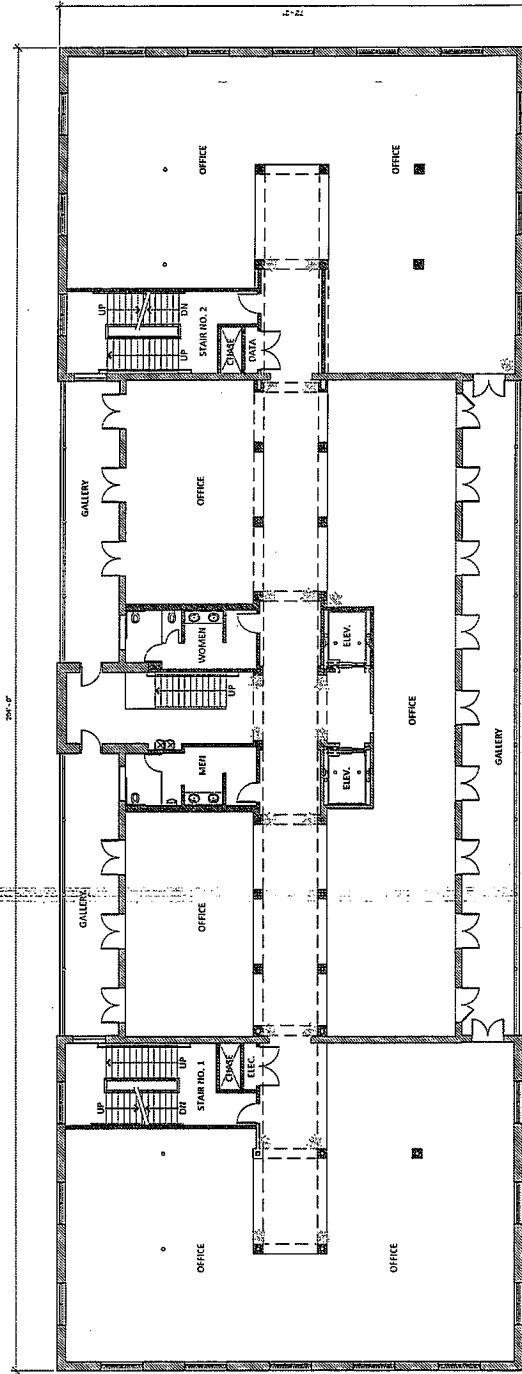


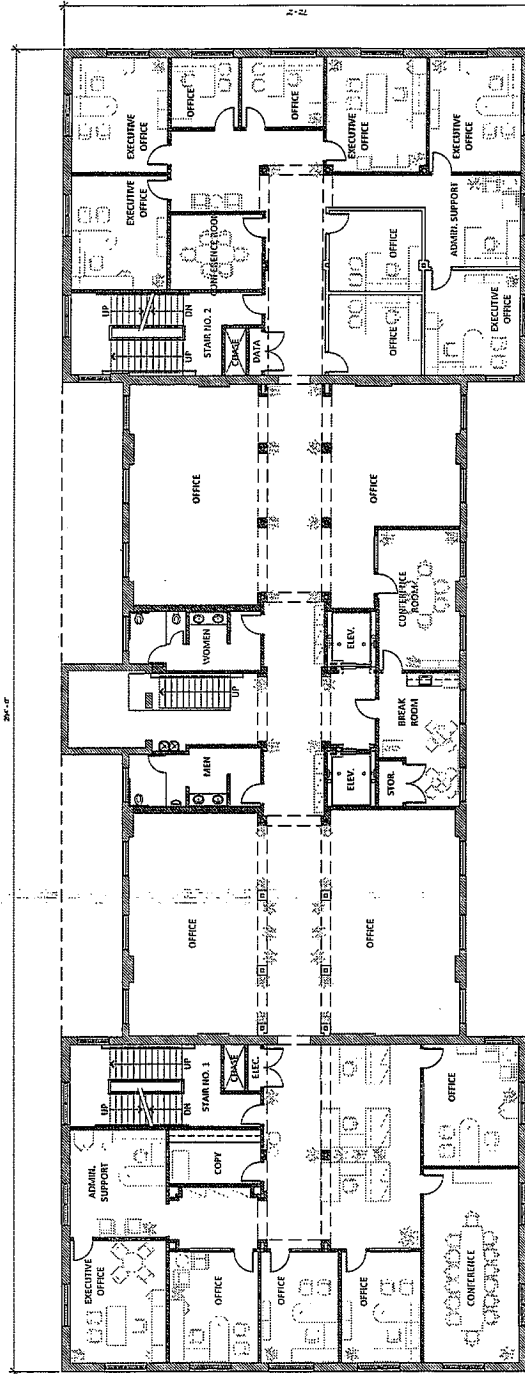


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HOLY CROSS REDEVELOPMENT

EXISTING BUILDING FIRST FLOOR PLAN
 PEREZ, A PROFESSIONAL CORPORATION
 NEW ORLEANS, LOUISIANA WWW.PEREZ.COM

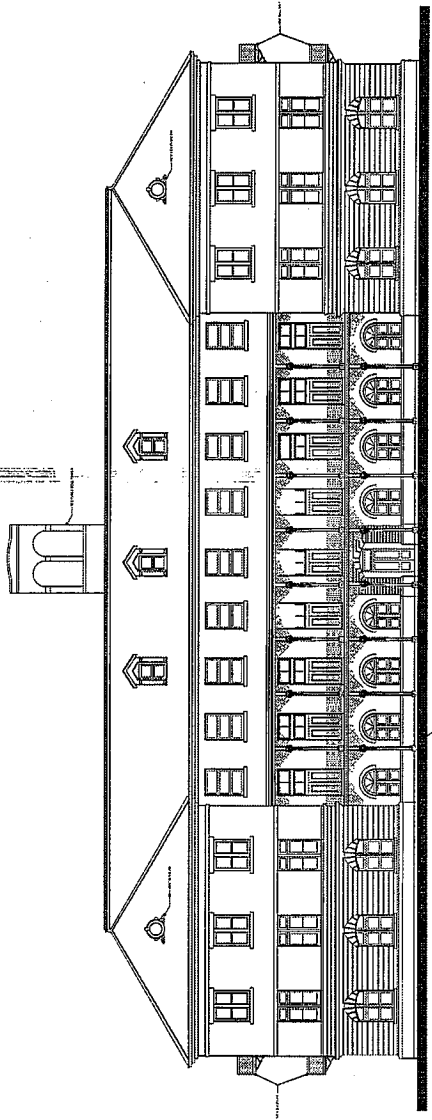




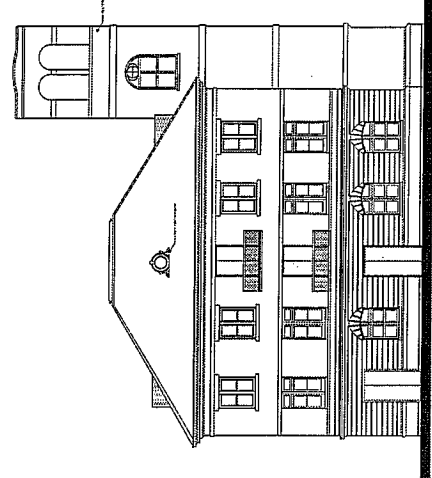
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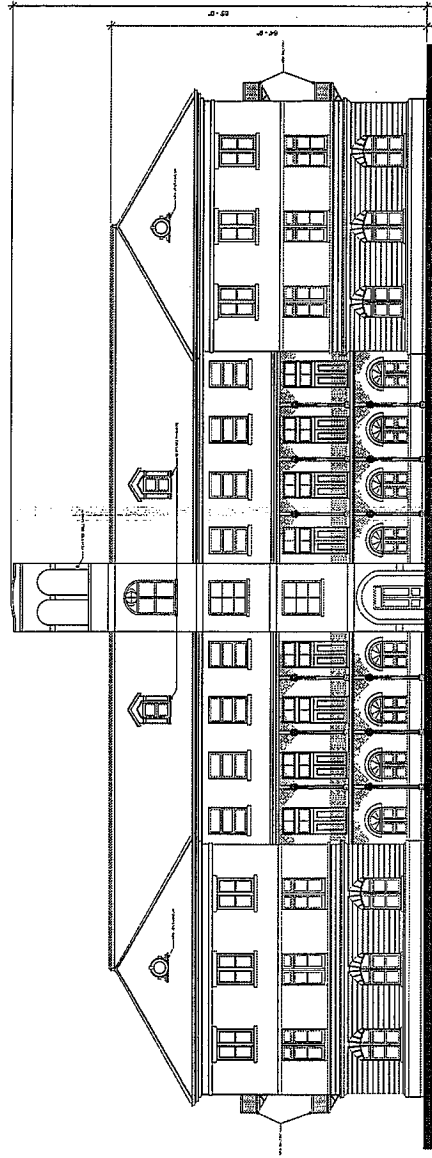
EXISTING BUILDING THIRD FLOOR PLAN
 PEREZ, A PROFESSIONAL CORPORATION
 NEW ORLEANS, LOUISIANA WWW.PEREZ.COM



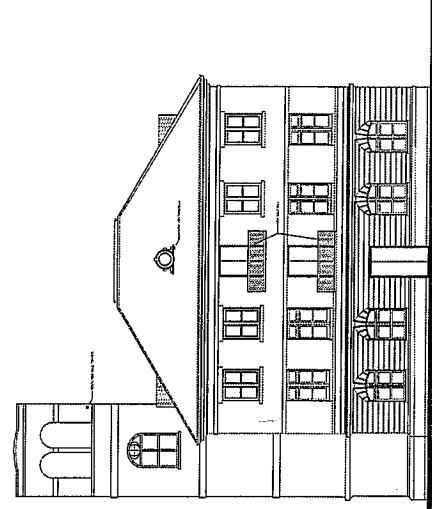
FRONT ELEVATION (NORTH FACING)



WEST ELEVATION



REAR ELEVATION (SOUTH FACING)

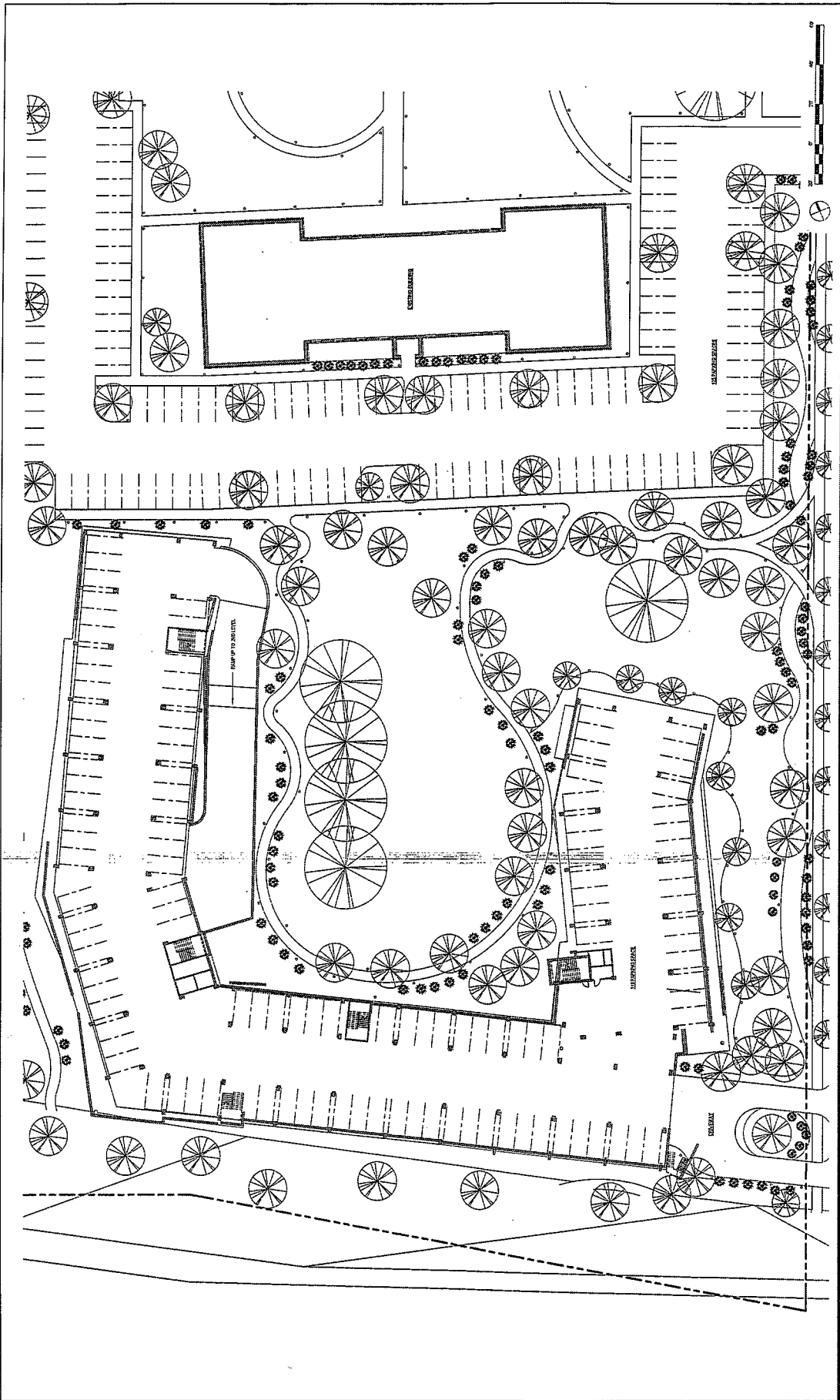


EAST ELEVATION

Perez

HOLY CROSS REDEVELOPMENT

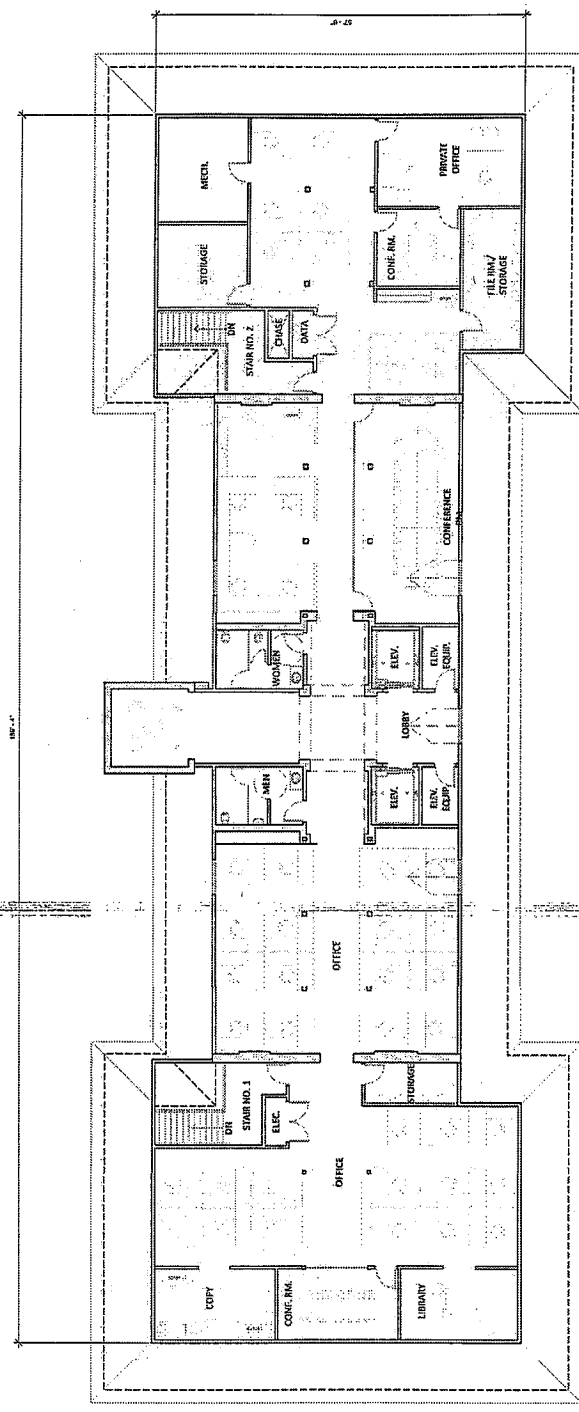
EXISTING BUILDING ELEVATIONS
 2017/18
 PEREZ, A PROFESSIONAL CORPORATION
 NEW GREYSIDE COLLEGE AVENUE, PETERBOROUGH



BUILDING 1 - FIRST FLOOR PLAN
 PEREZ ARCHITECTURAL ASSOCIATES
 NEW ORLEANS, LOUISIANA 70115-5500

HOLY CROSS CAMPUS REDEVELOPMENT

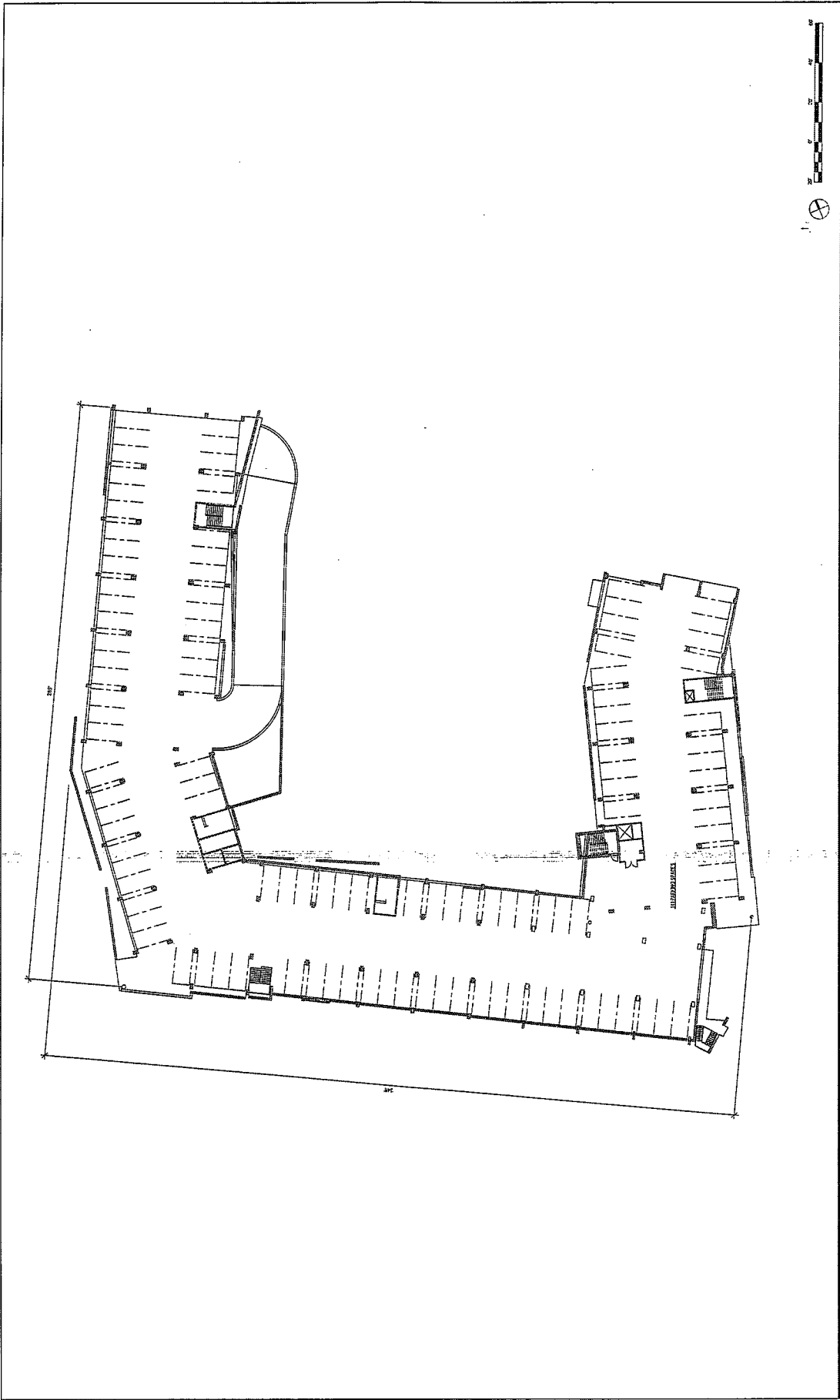
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EXISTING BUILDING ATTACHED PLAN
 PEREZ & ASSOCIATES, INC.
 NEW ORLEANS, LOUISIANA WWW.PEREZCOI.COM



BUILDING 1 - SECOND FLOOR PLAN
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NEW ORLEANS, LOUISIANA WWW.PEREZ.COM

HOLY CROSS CAMPUS REDEVELOPMENT

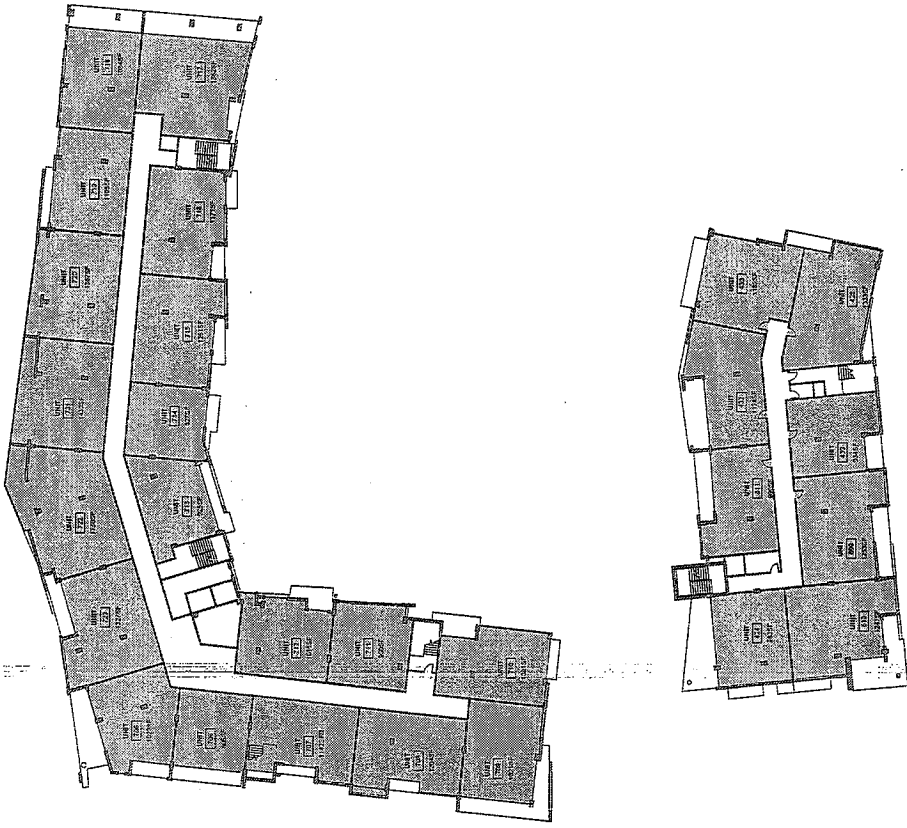




BUILDING 3 - THIRD FLOOR PLAN
 0 5 10 15 20
 FEET
 PEREZ A PROFESSIONAL CORPORATION
 MEMPHIS, TENNESSEE
 WWW.PEREZ.COM

HOLY CROSS CAMPUS REDEVELOPMENT

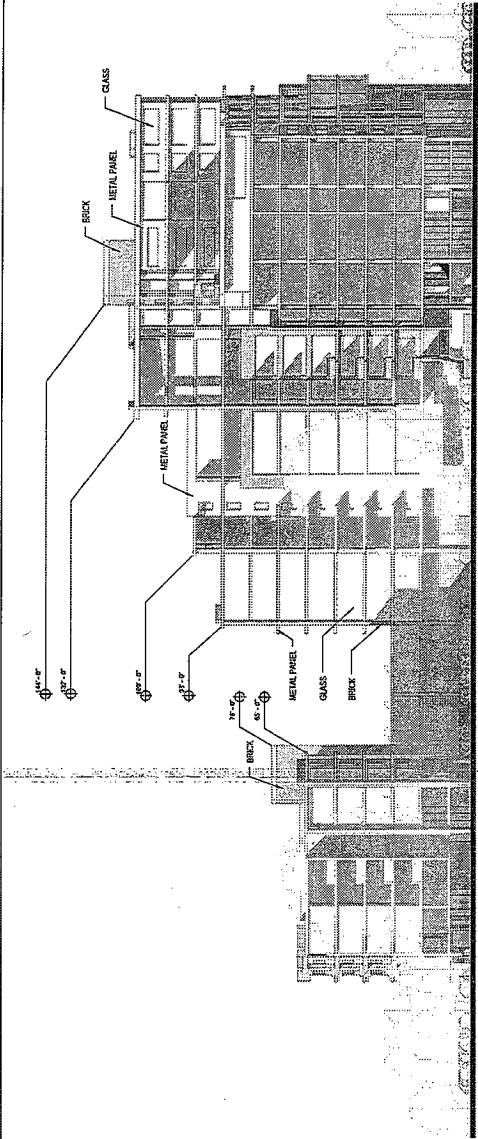
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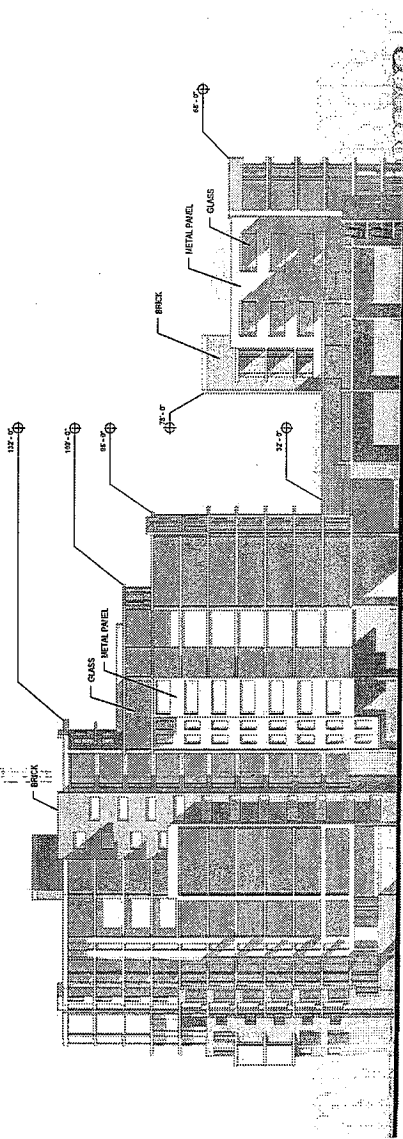
BUILDING - TYPICAL LEVEL
2007/08
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NEW ORLEANS, LOUISIANA WWW.PEREZ.COM

HOLY CROSS CAMPUS REDEVELOPMENT

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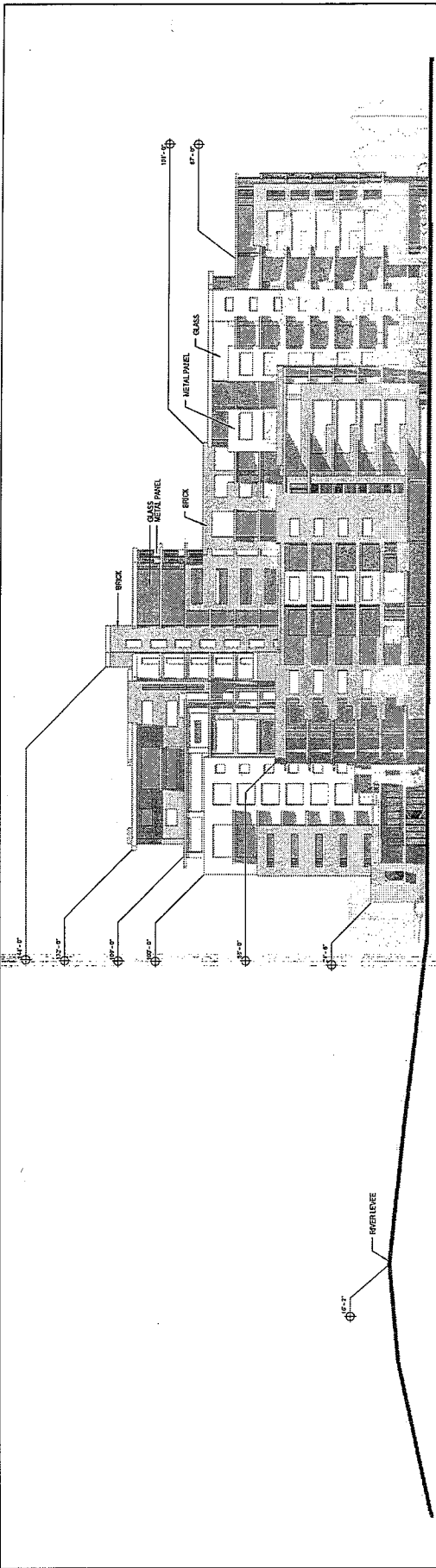


NORTH ELEVATION - BUILDING 1
SCALE: 1/4" = 1'-0"

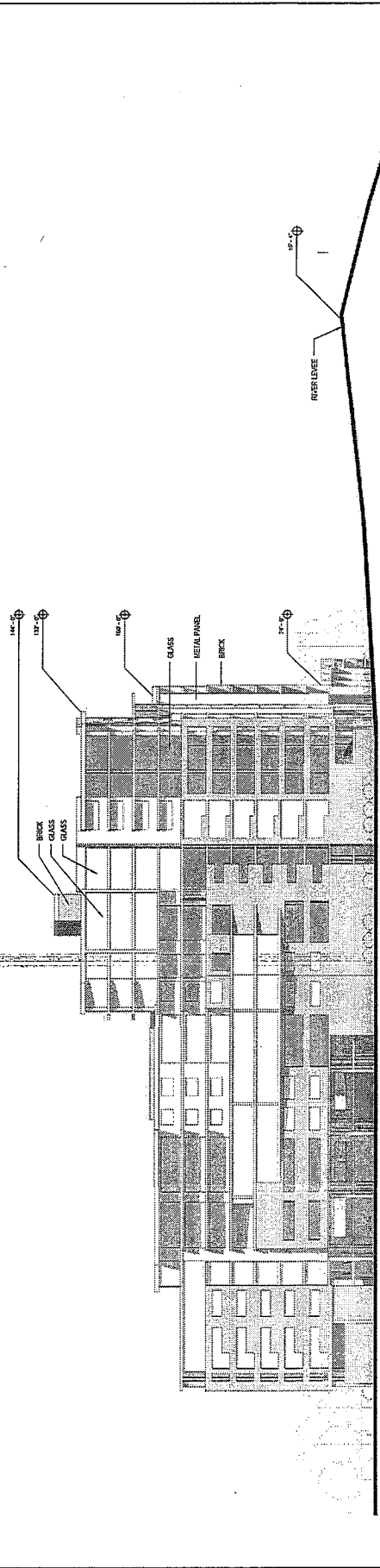


SOUTH ELEVATION - BUILDING 1
SCALE: 1/4" = 1'-0"





EAST ELEVATION - BUILDING 1
SCALE 1"=20'



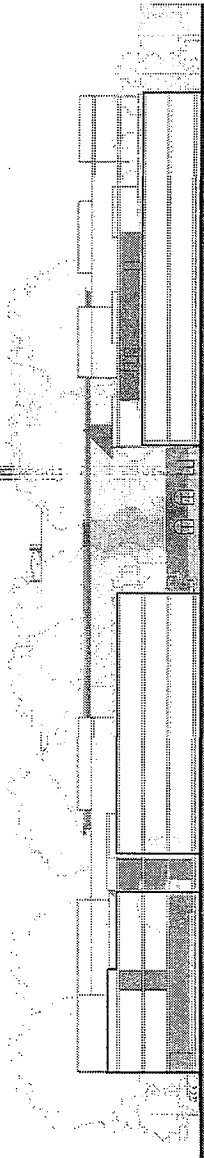
WEST ELEVATION - BUILDING 1
SCALE 1"=20'



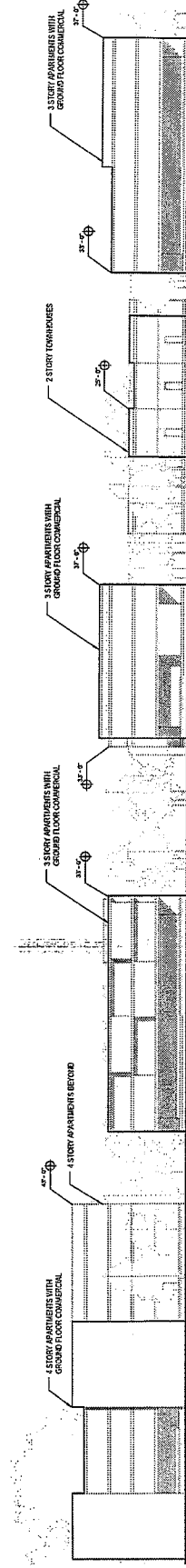
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HOLY CROSS REDEVELOPMENT

BUILDING 1 ELEVATIONS
02/25/13
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NEW ORLEANS, LOUISIANA WWW.PEREZ.COM



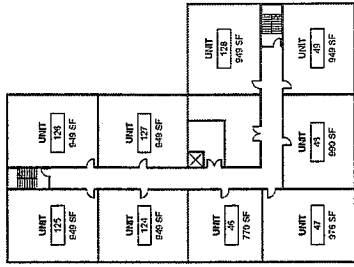
ELEVATION - LOT 3 FROM BURGUNDY STREET LOOKING SOUTH
SCALE 1/4\"/>



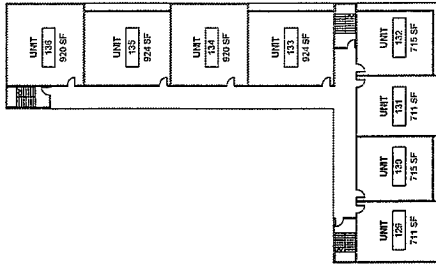
ELEVATION - LOTS 2 AND 3 FROM REYNES STREET LOOKING WEST
SCALE 1/4\"/>

POTENTIAL DEVELOPMENT PLAN FOR
FUTURE CONDITIONAL USE REQUEST

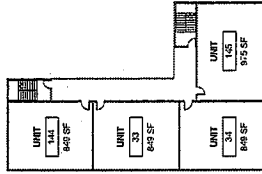
POTENTIAL DEVELOPMENT PLAN FOR
FUTURE CONDITIONAL USE REQUEST



TYPE 1 - RESIDENTIAL
SCALE 1" = 20'-0"



TYPE 2 - RESIDENTIAL
SCALE 1" = 20'-0"



Item #3

Consideration: ZONING DOCKET 028/13 – Request by LAKE FOREST PLAZA LLC for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a proposed gas station/convenience store in a C-2 General Commercial District within the Eastern New Orleans Renaissance Corridor District and the Eastern New Orleans Renaissance Corridor Interim Zoning District, on an undesignated Square, Lot 7F-2B-1 or 7-H-1A, in the Third Municipal District, bounded by Lake Forest and Read Boulevards, Plaza Drive and Interstate 10. The municipal address is 5700 READ BOULEVARD. (ZBM H-11/PD-9)

NEW ORLEANS, TX
PROJECT # 1093

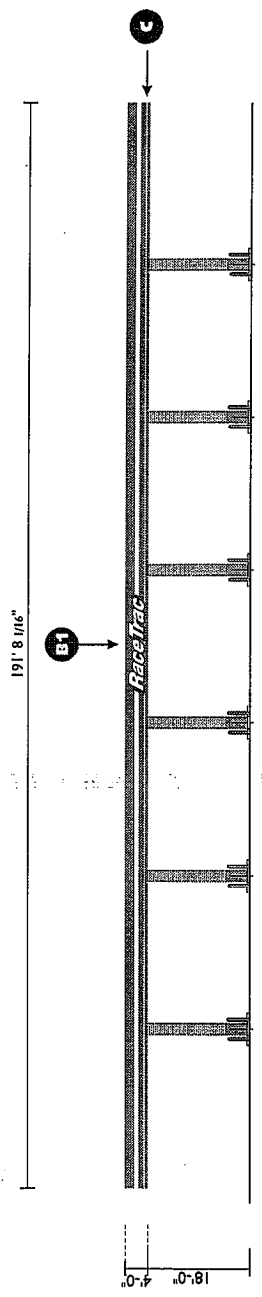
RaceTrac

Date #	12-1509
Sheet	5 of 10
Location	# 1093
<p>NEW ORLEANS, LA READ ROAD NEW ORLEANS, LA</p>	
Site No.	KRISTEN HAMILTON
Contractor	PHM COPI
Designer	KRYSTAL WRIGHT ABRISTRONG
Date	11/29/12
<p>Approved / Date</p>	
Client	
Architect	
Engineer	
Inspector	
Landlord	
<p>Revision / Date</p>	

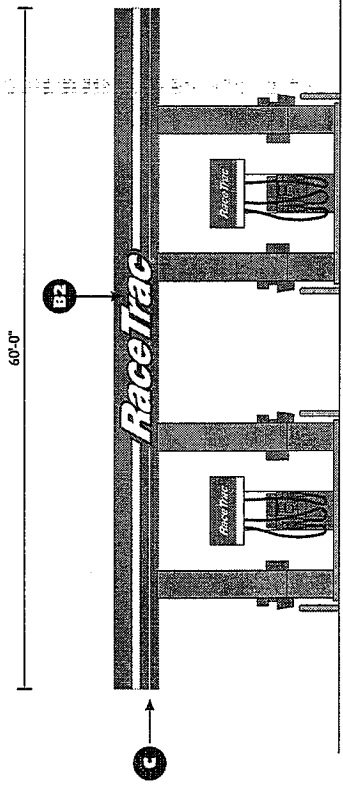
<p>Chandler Signs www.chandler-signs.com</p>	
281 New Ave. Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200
2114 W. Loop South Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200
4435 West Loop South Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200
1815 East 10th Street Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200
200 E. 10th Street Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200
1200 E. 10th Street Dallas, TX 75219	Phone: 972-442-3200 Fax: 972-442-3200

FINAL ELECTRICAL CONNECTION BY CUSTOMER

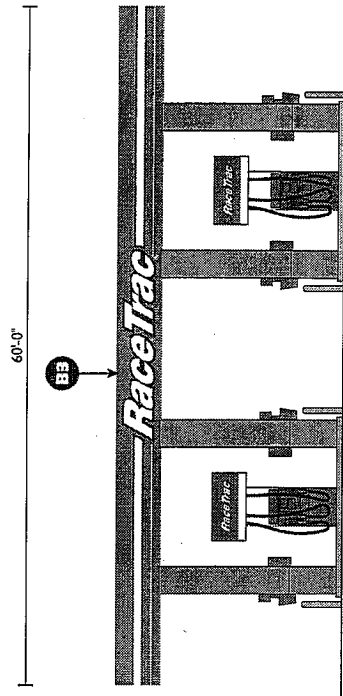
UL



FRONT CANOPY ELEVATION
SCALE: 3/64" = 1'-0"



LEFT SIDE CANOPY ELEVATION
SCALE: 3/32" = 1'-0"



RIGHT SIDE CANOPY ELEVATION
SCALE: 3/32" = 1'-0"

NEW ORLEANS, TX
PROJECT # 1093

RaceTrac

Order #	12-1509
Sheet	8 of 10
Location	# 1093
Customer	NEW ORLEANS, LA
Project	KRISTEN HAMILTON TRUCK CENTER
Designer	KRYSTAL WIGHT ARKSTRONG
Date	11/29/12
Approval / Date	
Revision / Date	

Office	
Phone	
Fax	
Address	
City	
State	
Zip	
Country	
Language	
Unit	

Chandler Signs
www.chandler-signs.com

1311 Phoenix Ave
Dallas, TX 75245
Phone: 972-342-3200
Fax: 972-342-3244

2116 Old Iron Road
Dallas, TX 75245
Phone: 972-342-3200
Fax: 972-342-3244

143 Stone Arch, Suite 300
Fayetteville, NC 28531
Phone: 919-432-5111
Fax: 919-432-5111

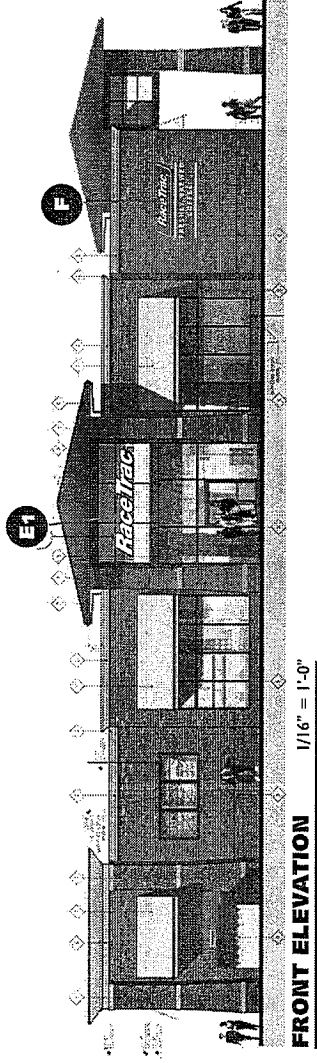
2116 Southpark Drive
Fayetteville, NC 28531
Phone: 919-432-5111
Fax: 919-432-5111

2740 S. Highway 101
Fayetteville, NC 28531
Phone: 919-432-5111
Fax: 919-432-5111

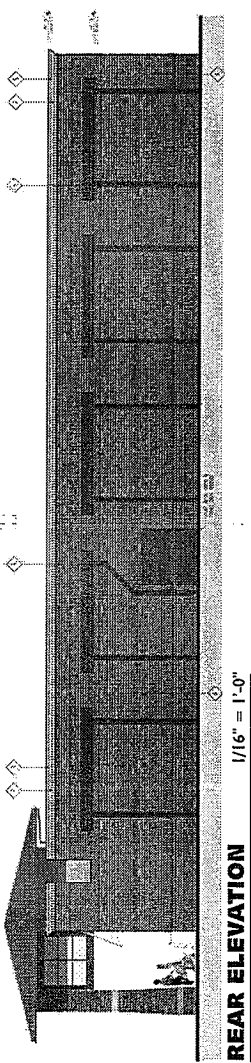
2116 Southpark Drive
Fayetteville, NC 28531
Phone: 919-432-5111
Fax: 919-432-5111

FINAL ELECTRICAL CONNECTION BY CUSTOMER

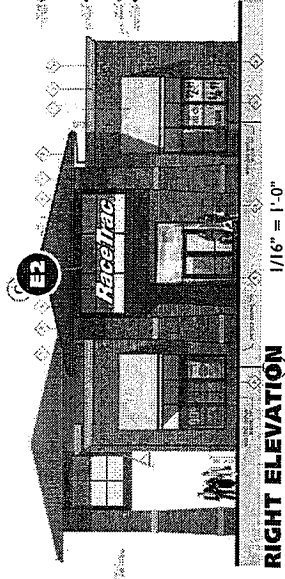
UNIVERSITY MICROFILMS
SERIALS ACQUISITION
300 N ZEEB RD
ANN ARBOR MI 48106
TEL: 734 763 0700
WWW.UMI.COM



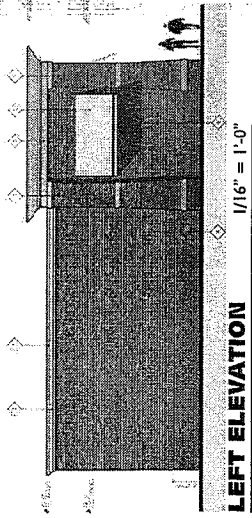
FRONT ELEVATION 1/16" = 1'-0"



REAR ELEVATION 1/16" = 1'-0"



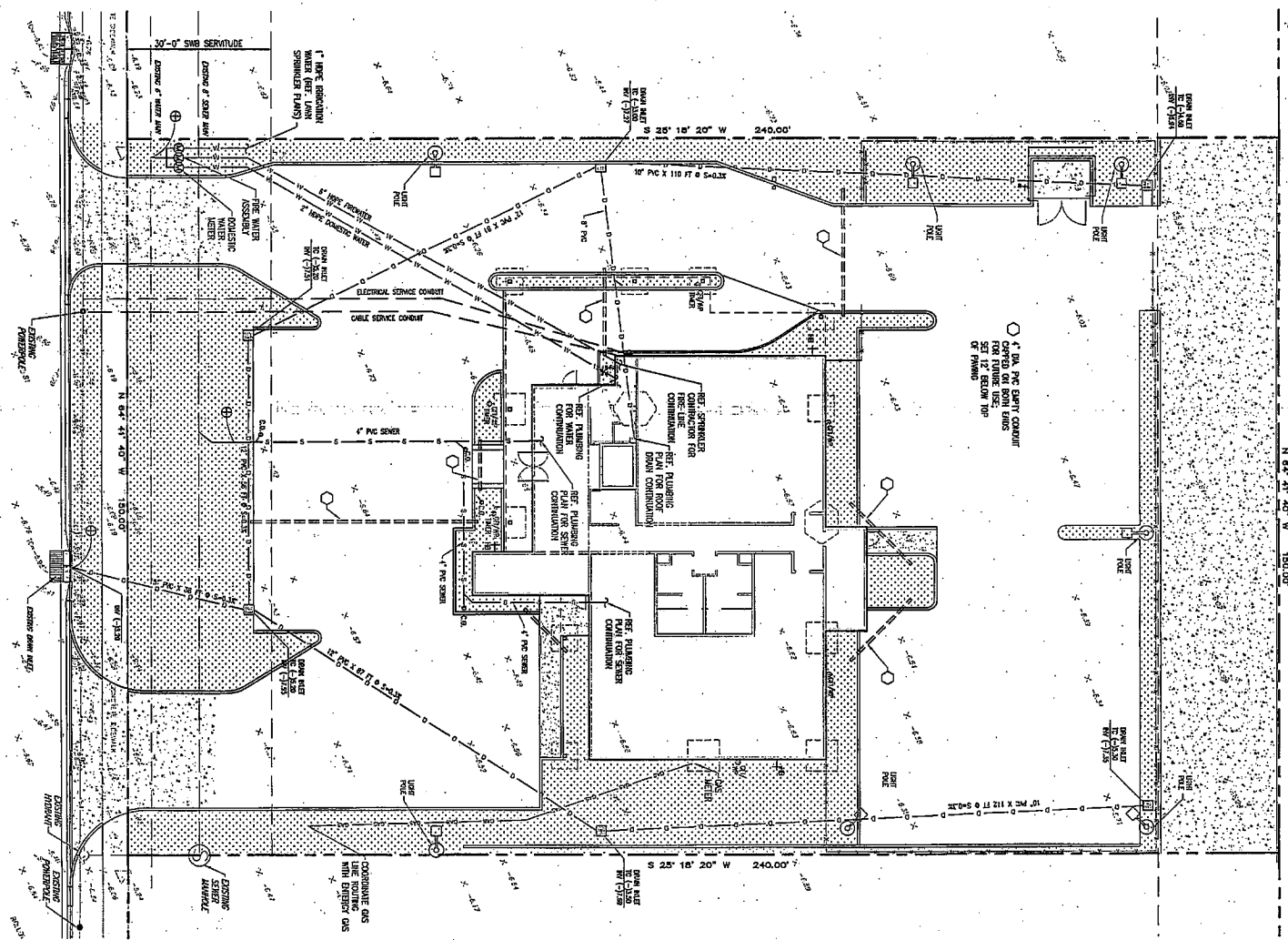
RIGHT ELEVATION 1/16" = 1'-0"



LEFT ELEVATION 1/16" = 1'-0"

Item # 4

Consideration: ZONING DOCKET 031/13 – Request by JULIEN ENGINEERING & CONSULTING, INC. for a Conditional Use to permit the construction of a development exceeding 10,000 square feet within a C-1 General Commercial District, within the General DeGaulle Urban Corridor District, on Square 23, Lot N6, in the Fifth Municipal District, bounded by General De Gaulle, Life Center and Sandra Drives. The municipal address is UNASSIGNED. (ZBM E-16/PD-12)



Utility Plan
Scale: 1/8" = 1'-0"

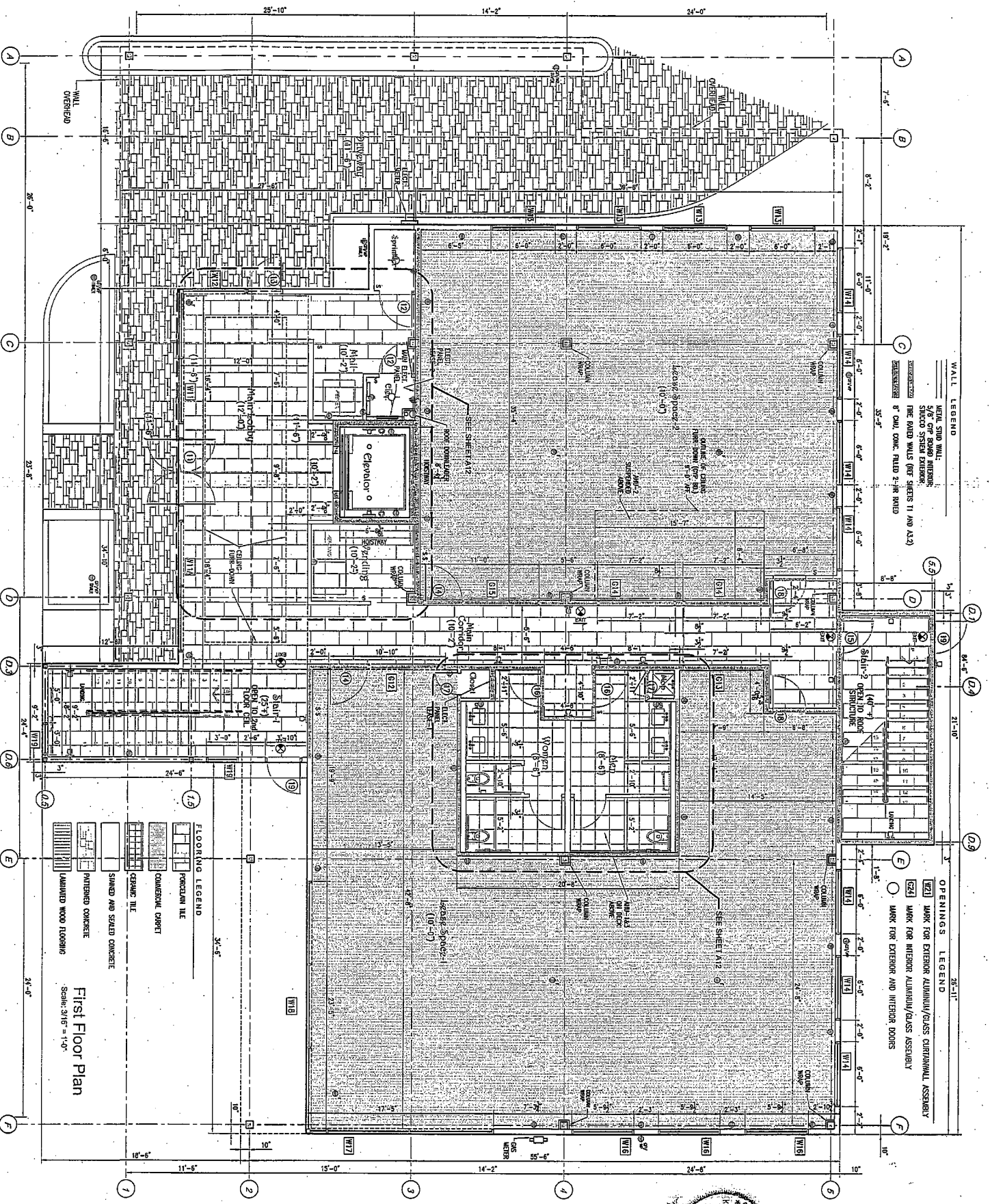
LEGEND	
(Symbol: Circle with dot)	EXISTING SAND ANCHOR
(Symbol: Circle with cross)	EXISTING MILEY LINE
(Symbol: Circle with horizontal line)	GAS LINE
(Symbol: Circle with vertical line)	WATER LINE
(Symbol: Circle with diagonal line)	SEWER LINE
(Symbol: Circle with 'S')	SEWER MALT
(Symbol: Circle with 'E')	CONNECTION TO PUBLIC MAIN
(Symbol: Circle with 'H')	HOSE SERVO
(Symbol: Circle with 'L')	LIGHT POLES
(Symbol: Circle with 'P')	EXISTING PERMANENT
(Symbol: Circle with 'R')	REVISIONS (BY DATE)

C2

LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114

07 DECEMBER 2012





FLOORING LEGEND

[Pattern]	PERCELANE TILE
[Pattern]	COMMERCIAL CARPET
[Pattern]	CERAMIC TILE
[Pattern]	SHAPED AND SEALED CONCRETE
[Pattern]	PATTERNED CONCRETE
[Pattern]	HARDED WOOD FLOORING

First Floor Plan
Scale: 3/16" = 1'-0"

WALL LEGEND

[Symbol]	HEAVY STUB WALL
[Symbol]	STUB WALL
[Symbol]	STUB WALL WITH INTERIOR FINISH
[Symbol]	INTERIOR FINISH WALLS (SEE SIGNS 11 AND A2.2)
[Symbol]	EXTERIOR FINISH WALLS (SEE SIGNS 11 AND A2.2)

OPENINGS LEGEND

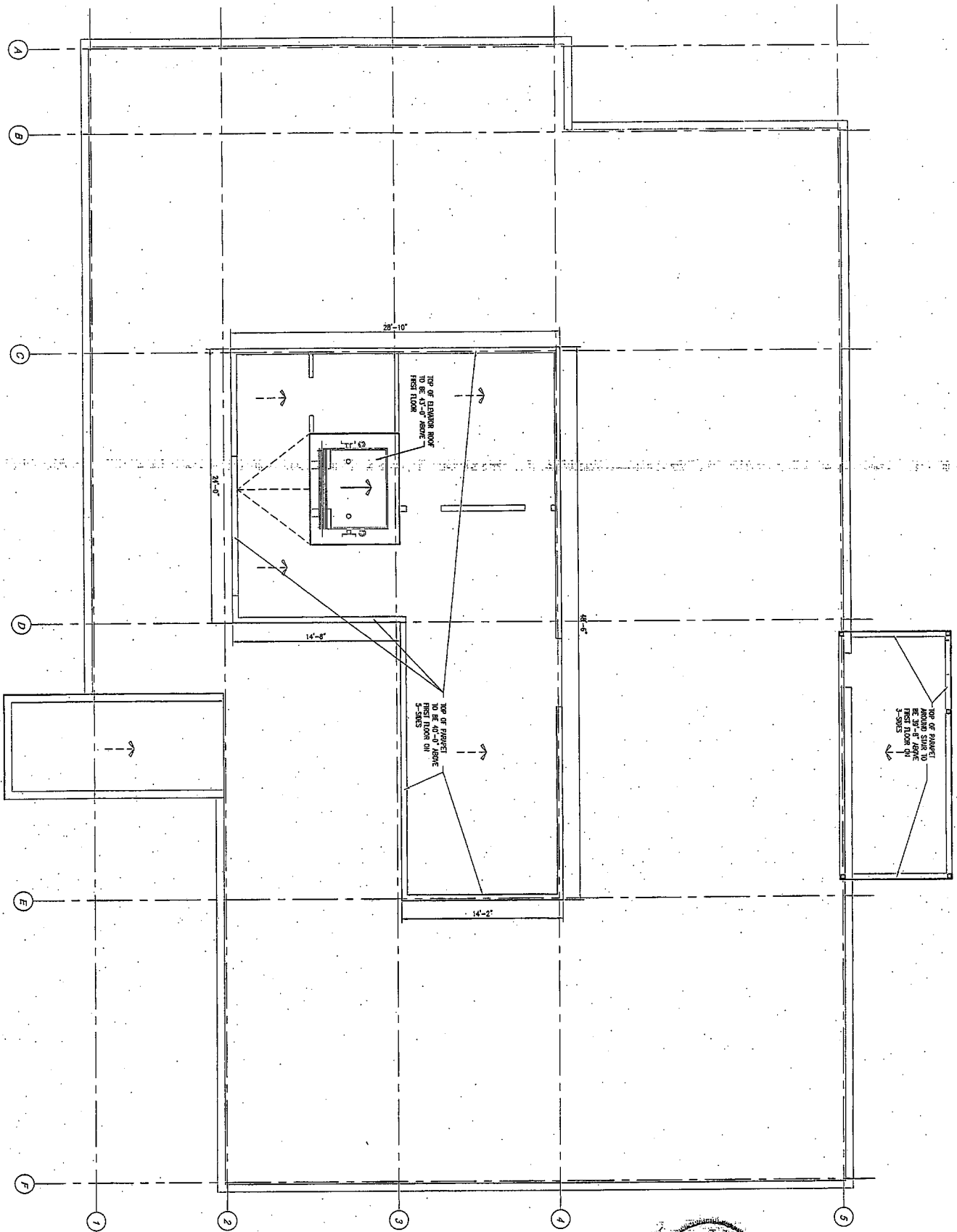
[Symbol]	MARK FOR EXTERIOR ALUMINUM/GLASS CURTAIN WALL ASSEMBLY
[Symbol]	MARK FOR INTERIOR ALUMINUM/GLASS ASSEMBLY
[Symbol]	MARK FOR EXTERIOR AND INTERIOR DOORS

A1

LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114

07 DECEMBER 2012



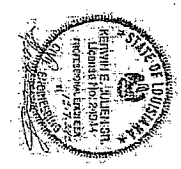


High Roof Plan
Scale: 3/16" = 1'-0"

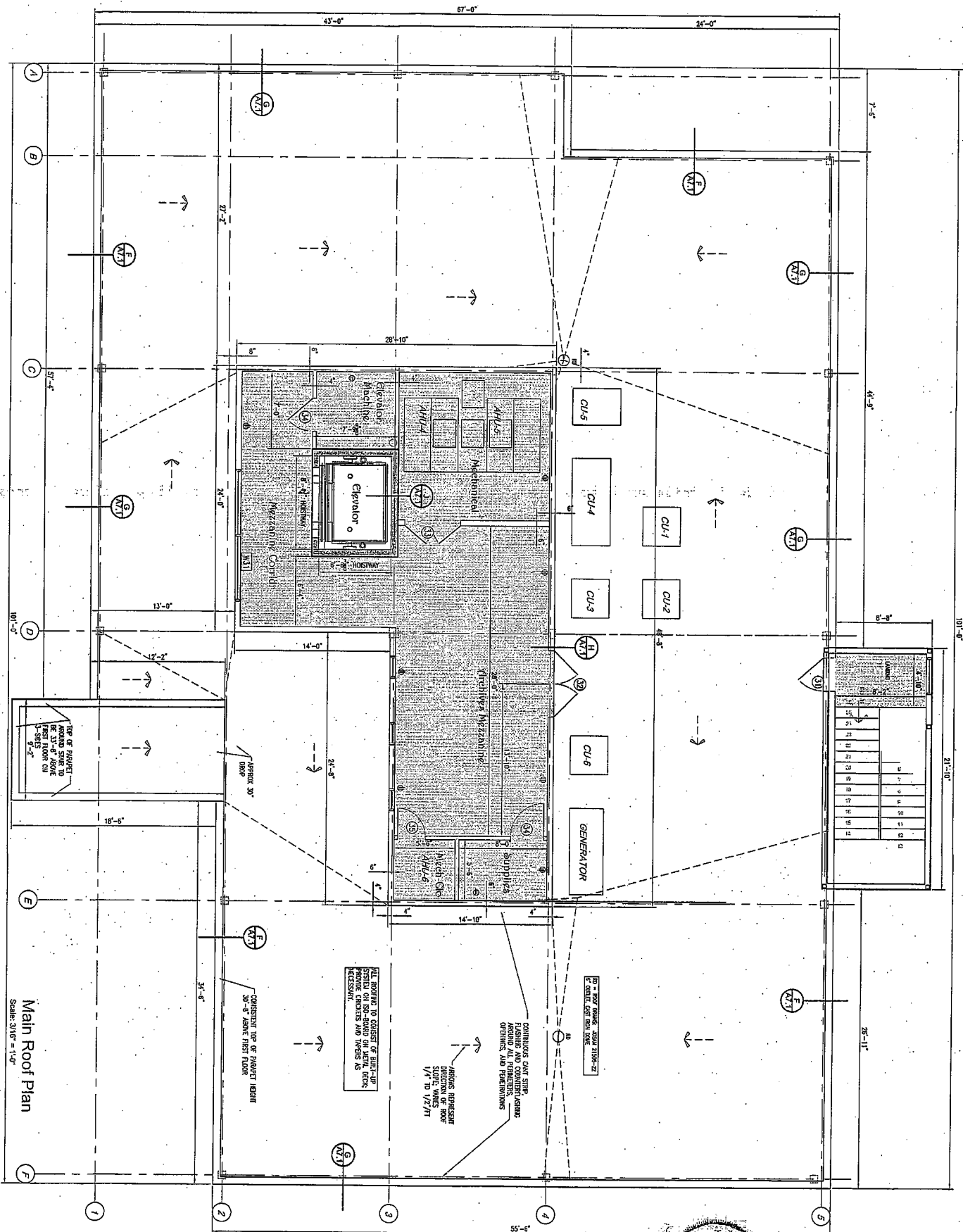
A3.1

LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114

07 DECEMBER 2012



South of
Main
North of
Main



Main Roof Plan
Scale: 3/16" = 1'-0"

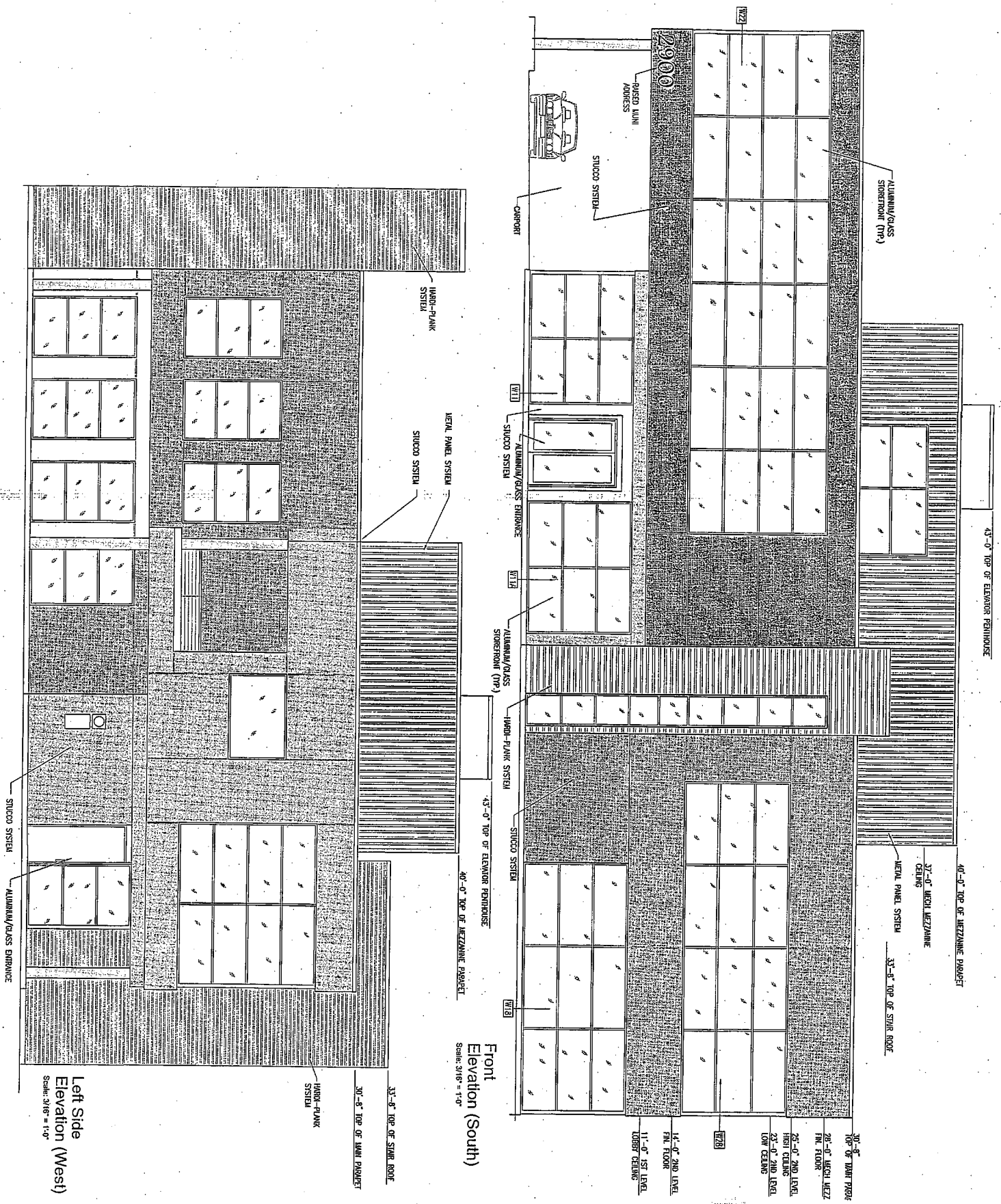
LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114

07 DECEMBER 2012

A3

Scale: 3/16" = 1'-0"
Date: 12/07/12
Drawn: J. Julien
Checked: J. Julien
Approved: J. Julien





Front Elevation (South)
Scale: 3/16" = 1'-0"

Left Side Elevation (West)
Scale: 3/16" = 1'-0"

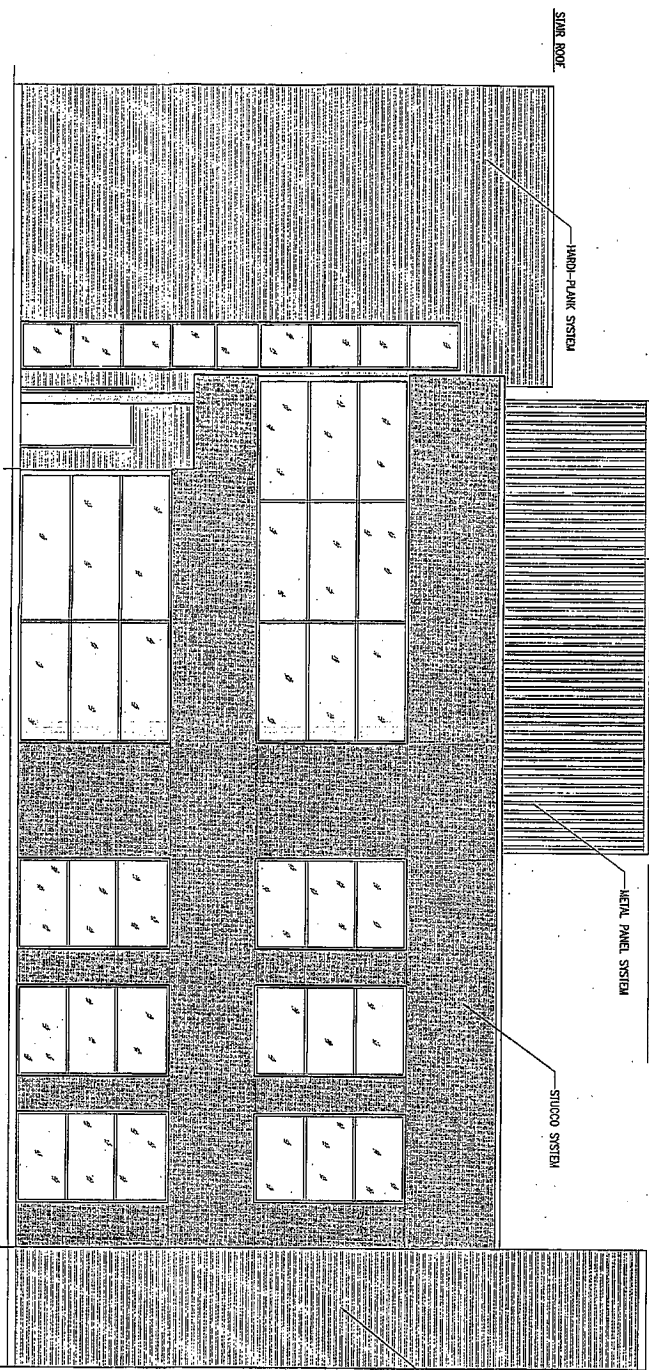
LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114

07 DECEMBER 2012

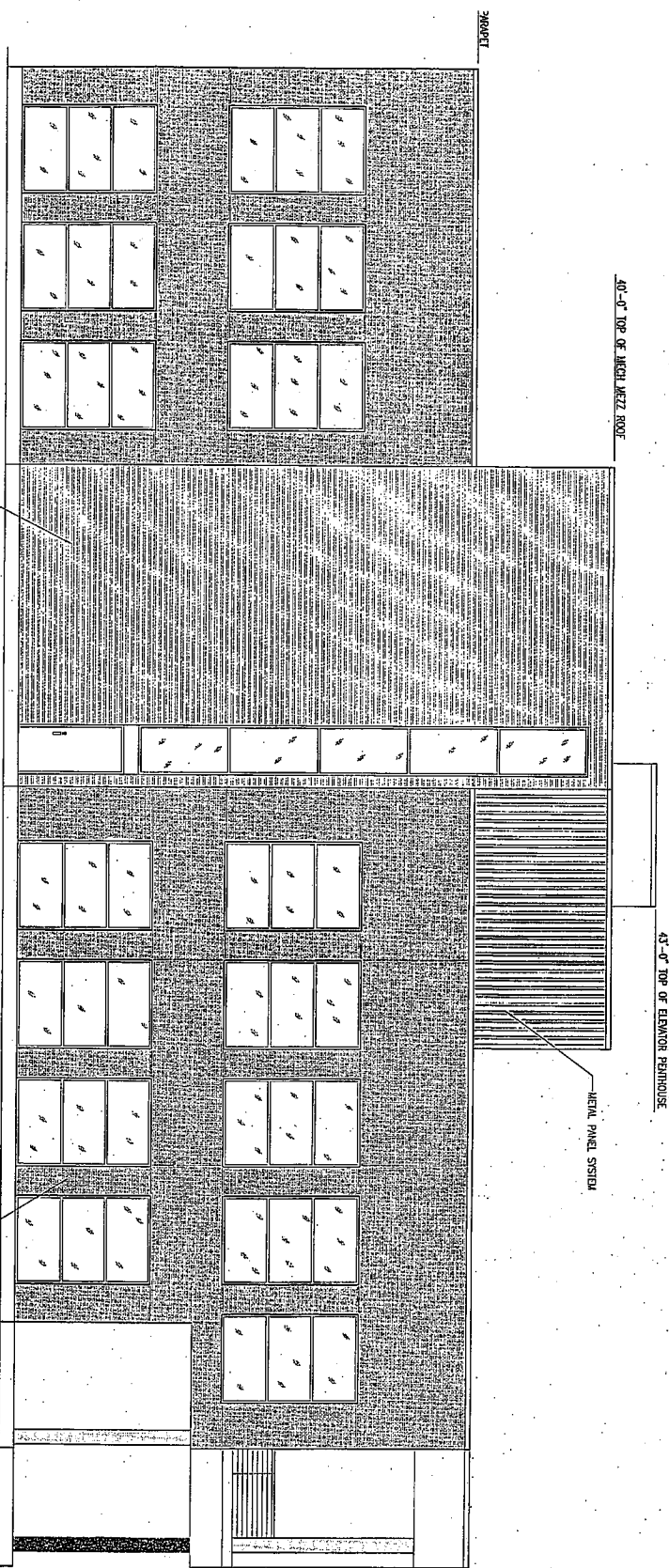
A4



Scale: 3/16" = 1'-0"
DATE: 11/27/2011
DRAWN BY: [illegible]



Right Side Elevation (East)
Scale: 3/16" = 1'-0"



Rear Elevation (North)
Scale: 3/16" = 1'-0"

A5

Scale: 3/16" = 1'-0"

LOT N6 DEVELOPMENT
GENERAL DEGAULLE DR., NOLA, 70114


07 DECEMBER 2012



Item #5

Consideration: Grant of servitude of ground rights on/over a portion of Pauline St. and Alvar St. public right-of-ways, adjacent to Square 409, 3rd M.D., bounded by: Marais St., Alvar St., Pauline St., and St. Claude Ave. for proposed encroachments of steps, landings ramps, and handrails. The municipal address is 3819 St. Claude Ave.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

To: Yolanda Rodriguez, Director
City Planning Commission
From: Martha J. Griset, Real Estate Administrator 
CC: File
Date: March 1, 2013
Re: PAC Agenda

Please place the following item on the PAC agenda:

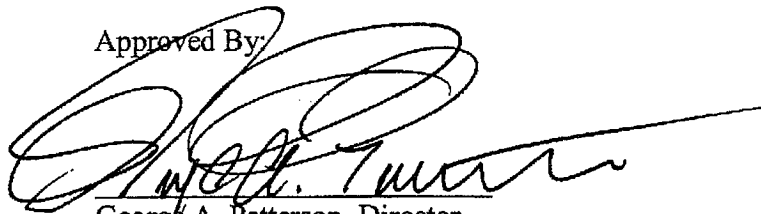
Consideration: Grant of servitude of ground rights on/over a portion of Pauline St. and Alvar St. public right-of-ways, adjacent to Square 409, 3rd M.D., bounded by: Marais St., Alvar St., Pauline St., and St. Claude Ave. for proposed encroachments of steps, landings ramps, and handrails.

The municipal address is 3819 St. Claude Ave.

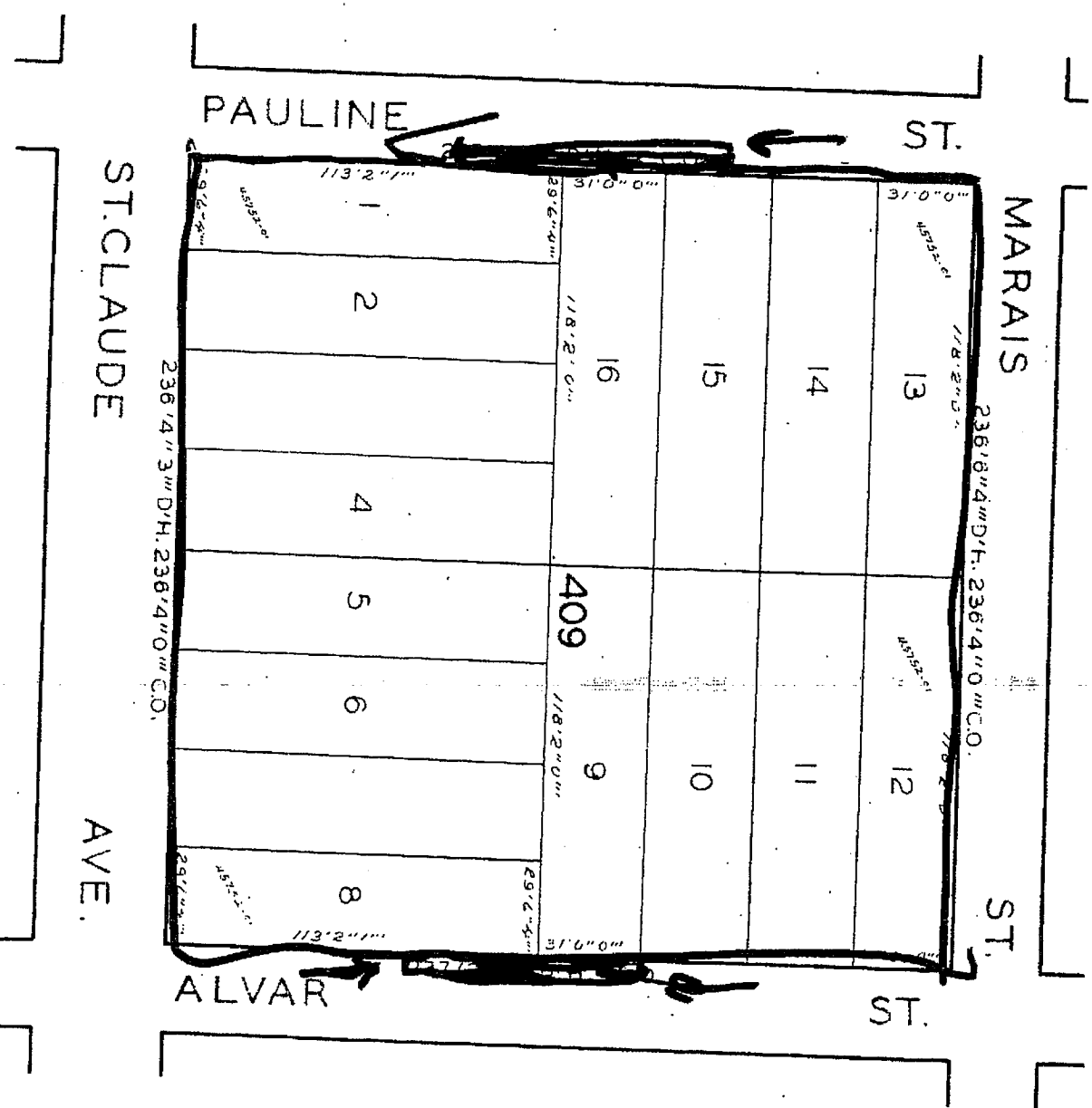
If you have any questions, please contact Elsie Cobb-Wright at 658-3615

Attachment: (4)

Approved By:


George A. Patterson, Director

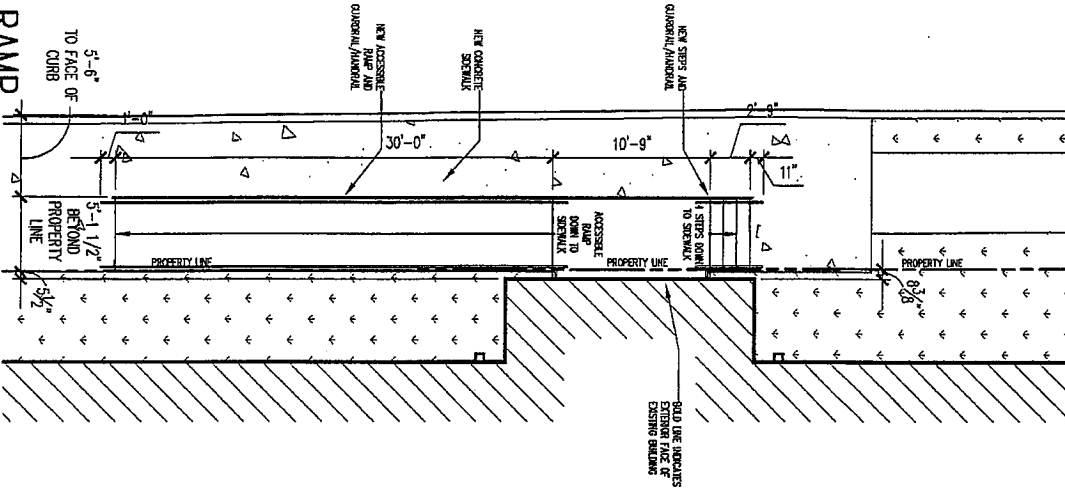
GAP:MJG:ecw



3M-9W SCALE 1" = 50'

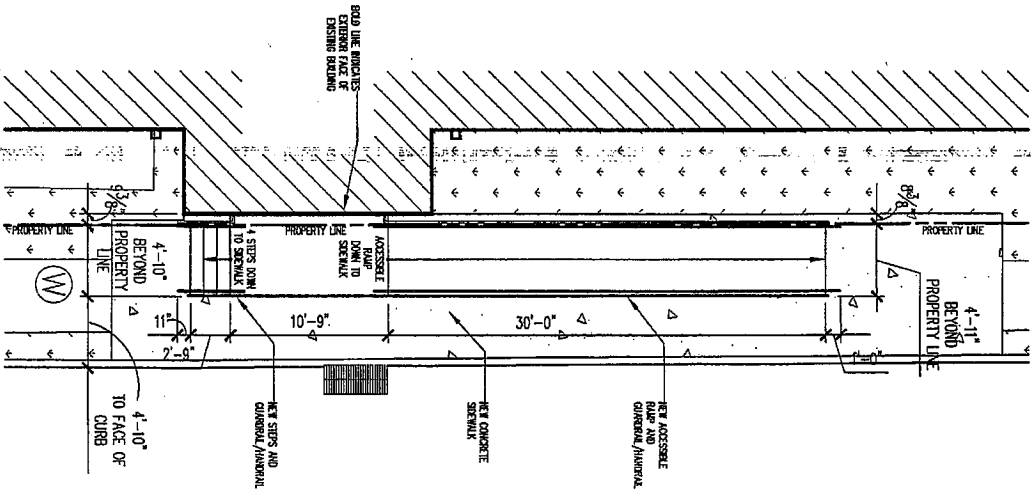
A1

WEST RAMP
1/8" = 1'-0"



A2

EAST RAMP
1/8" = 1'-0"



PROJECT NO.:	1202
ISSUED DATE:	2/18/2013
DESCRIPTION:	
SHEET TITLE:	ENLARGED RAMP/STEPS PLAN
DRAWING NUMBER:	SK_AS-102

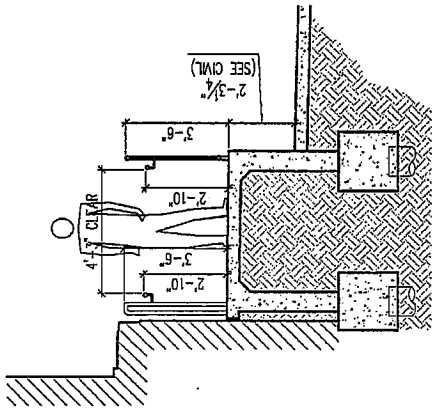
DREW ELEMENTARY SCHOOL RENOVATION

3819 ST. CLAUDE AVENUE
NEW ORLEANS, LA 70117

BlitchKnevel
ARCHITECTS

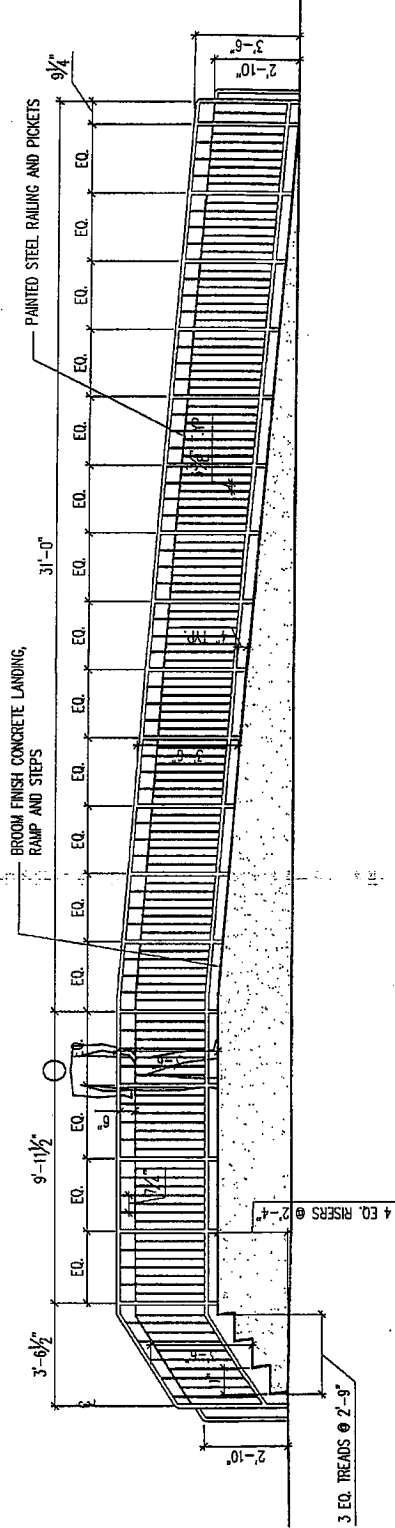
757 ST. CHARLES AVENUE NEW ORLEANS, LOUISIANA 70130
(504) 524-4634 FAX (504) 524-5128

© 2008 BY:
BLITCH KNEVEL ARCHITECTS, INC.



B1 RAMP SECTION (TYPICAL BOTH LOCATIONS)

1/4" = 1'-0"



A1 RAMP ELEVATION (TYPICAL BOTH LOCATIONS)

1/4" = 1'-0"



Item #6

Consideration: A grant of servitude of ground rights on/over a portion of Saint Anthony Street, adjacent to Square 499, Lot 11, 3rd M.D., bb: Urquhart St., Annette St., Marais St., and Saint Anthony St. for proposed encroachments of wooden landings, stairs, and handrails. The municipal address is 1338 Saint Anthony St.

City of New Orleans
Department of Property Management
INTER-OFFICE MEMO

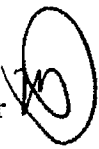
To: Yolanda Rodriguez, Director
City Planning Commission

From: Martha J. Griset, Real Estate Administrator

CC: File

Date: March 1, 2013

Re: PAC Agenda



Please place the following item on the PAC agenda:

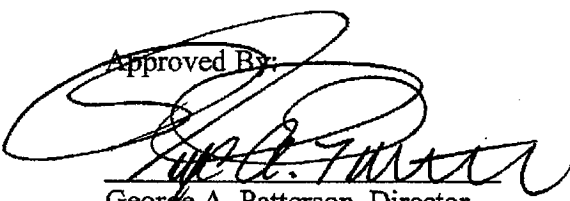
Consideration: A grant of servitude of ground rights on/over a portion of Saint Anthony Street, adjacent to Square 499, Lot 11, 3rd M.D., bb: Urquhart St., Annette St., Marais St., and Saint Anthony St. for proposed encroachments of wooden landings, stairs, and handrails.

The municipal address is 1338 Saint Anthony St.

If you have any questions, please contact Elsie Cobb-Wright at 658-3615.

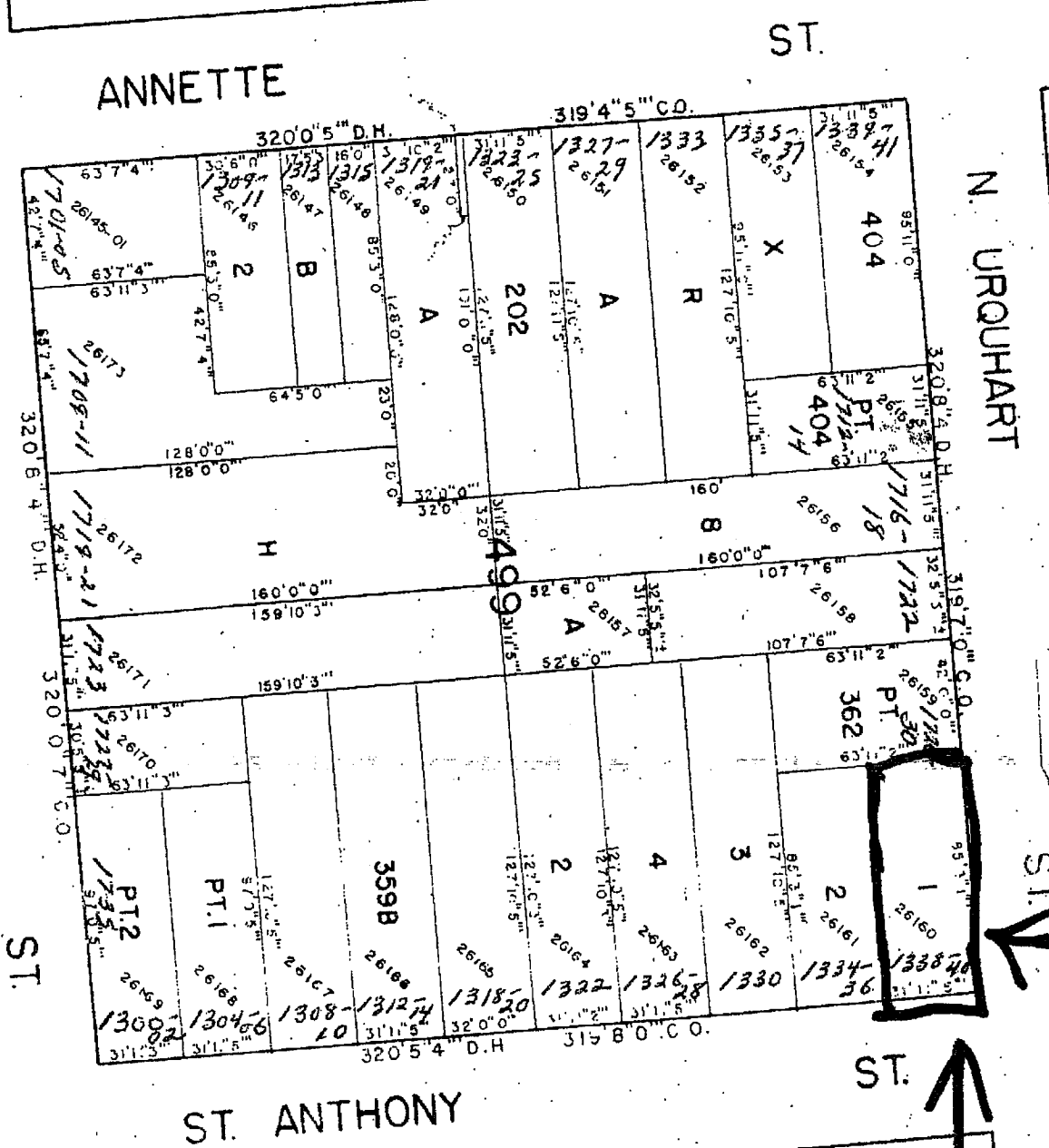
Attachment: (5)

Approved By:



George A. Patterson, Director

GAP:MJG:ecw



3M-7W
SCALE 1"=60'

GENERAL NOTES:

1. ENGINEER DID NOT INSPECT THIS SITE AND DOES NOT ATTEST TO ANY EXISTING UNUSUAL SITE OR SOIL CONDITIONS ON THE BUILDING SITE.
2. ENGINEER DOES NOT ATTEST THAT SETTLEMENT OF THE FOUNDATION WILL NOT OCCUR.
3. ENGINEER DOES NOT INSPECT THIS FOUNDATION FOR PLAN COMPLIANCE (UNLESS BY SEPARATE CONTRACT).
4. OWNER IS CAUTIONED TO EXERCISE POSITIVE DRAINAGE OF THE SITE BOTH FROM RAINFALL AND ANY INSTALLED SPRINKLER SYSTEMS.
5. CONCRETE DESIGN IS BASED UPON A CONCRETE MIX HAVING A MAXIMUM OF 3.0 GALLONS OF FREE AND ADDED WATER PER CUBIC YARD. SITE SPECIFIC MIX DESIGN SHALL BE IN ACCORDANCE WITH THE A.C.I. 318-77 AND LOCAL BUILDING CODE REQUIREMENT.
6. ALL CONVENTIONAL REINFORCING STEEL SHALL BE A5 DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
7. MESH AND BARS SHALL BE ADEQUATELY AND SECURELY SUPPORTED TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
8. REINFORCEMENT SHALL HAVE A MINIMUM OF 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS.
9. ALL SECTIONS SHOWN ARE AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
10. ENGINEER DOES NOT ATTEST TO THE STRUCTURAL DESIGN OR ADEQUACY OF THE PROPOSED BUILDING.
11. ANY DEVIATION FROM THIS PLAN OR SPECIFICATIONS WILL VOID ENGINEER'S LIABILITY AND RESPONSIBILITY.
12. THIS DESIGN SHALL BE USED ONLY FOR THE ATTACHED REFERENCED PROJECT.
13. CONTRACTOR TO PROVIDE GRAB, SPACE VENTILATION PER IRC 2009, SECTION R308.1, (1) SQUARE FOOT OF VENT AREA PER 150 SQUARE FEET OF GROSS FLOOR AREA.) VENTS SHALL BE PLACED WITHIN 36" FROM ALL CORNERS. ALL VENTS SHALL BE PLACED AT NO MORE THAN 12" ABOVE FINISHED GRADE.
14. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES FOR ALL UTILITY RELOCATIONS PRIOR TO CONSTRUCTION & ENSURE ELECTRIC METER IS ADJUSTED TO BE BETWEEN 5 TO 6 FEET FROM THE GRADE. IF THE BUILDING STRUCTURE IS RAISED MORE THAN 5 FEET WOOD STAMPS PER SHEET 5 SHALL BE PROVIDED FOR ACCESS.
15. PILING LOCATIONS ARE ONLY AN APPROXIMATION BY ENGINEER, FIELD TO VERIFY EXISTING PILING LOCATIONS.
16. MAXIMUM ALLOWABLE SPAN ON CONCRETE SLAB SHALL NOT EXCEED 14'.
17. CONTRACTOR TO ENSURE THAT EXISTING SLAB ADJUSTS AND FOOTINGS ARE STRUCTURALLY CAPABLE TO BE RAISED WITH THE HOUSE. OTHERWISE SLABS SHALL REMAIN AT GRADE.
18. SEPTIC SYSTEM TO BE UPGRADED TO MEET CURRENT HEALTH DEPARTMENT CODES.
19. WIND BORN DEBRIS DAMAGE PROTECTION TO BE PROVIDED UNDER SEPARATE CONTRACT.
20. THESE PLANS WERE PREPARED FOR THE FOLLOWING ELEVATION CONTRACTOR, ELEVATION CONTRACTOR SHALL VERIFY THE ENGINEERING IS NOT RESPONSIBLE FOR VERIFICATION OF STATE DESIGNING REQUIREMENTS.

LIFT DESIGN CRITERION
(NEW FOOTING, PILES, AND PIERS)

1. THE PILES BELOW THE BUILDING SHALL FIRST BE EXPOSED BY REMOVING THE SURROUNDING SOILS FOR A DEPTH OF APPROXIMATELY 3 FEET, THEN APPROXIMATELY EVERY OTHER PILE IS CUT LEAVING ROOM FOR A HYDRAULIC JACK TO BE INSTALLED BETWEEN CUT OFF PILE AND BUILDING'S EXISTING SLAB.
2. A UNIFIED HYDRAULIC JACKING SYSTEM SHALL BE USED TO RAISE THE BUILDING IN A UNIFIED MANNER UNTIL THE DESIGNED ULTIMATE HEIGHT IS ACHIEVED. AT THIS STAGE 8"x8"x8" SOLID CONCRETE SEGMENTAL BLOCKS ARE PLACED TOGETHER WITH INTERLOCKING #5 DOMES ON TOP OF THE EXPOSED PILE WHICH DOES NOT HAVE A JACK ON IT. THE JACKS ARE THEN REMOVED FROM THE PILES AND 8"x8"x8" CONCRETE SEGMENTAL BLOCKS ARE INSTALLED ON THESE REMAINING PILES. SINCE THE CONCRETE SEGMENTAL PILES ARE GENERALLY INSTALLED UNTIL A MINIMUM LEFT OF ONE HALF INCH IS ACHIEVED ON THE STRUCTURE, THE CORRESPONDING GAUGE PRESSURE CONVERTS TO A PILE LOAD CAPACITY OF APPROXIMATELY 7 TONS.
3. A 24"x18" FOOTING AND 8" CONTINUOUS CMU WALL SHALL BE INSTALLED AROUND THE PERIMETER OF THE BUILDING ALONG WITH AN ANCHOR SYSTEM, WHEN REQUIRED, SECURED WITH TENSION RODS AT THE BUILDING'S CORNERS TO ELIMINATE LATERAL AND TORSIONAL MOVEMENT DURING HURRICANE WIND FORCES. THE CMU WALL WILL ALSO BE USED TO BE ALL THE CONCRETE SEGMENTAL PILES TOGETHER AND TO CLOSE ACCESS TO THE UNDERSIDE OF THE FOUNDATION.
4. ANCHOR SYSTEMS SHALL BE PROVIDED FOR LATERAL MOVEMENTS, HOWEVER BASED ON OUR CALCULATIONS THEY ARE NOT REQUIRED FOR UPLIFT, SINCE THE DEAD LOAD OF THE HOUSE IS GREATER THAN THE UPLIFT FORCE GENERATED BY HURRICANE WINDS. GENERALLY THE DEAD LOAD IS TWICE HIGHER THAN THE UPLIFT FORCE.
5. THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC 2009). DESIGN CENTER BASIC WIND SPEED 3 SECOND GUST = 130 MPH
 a. WIND IMPORTANCE FACTOR = 1.0
 b. WIND EXPOSURE CATEGORY = B
 c. WIND EXPOSURE CATEGORY = B
6. CONTRACTOR TO VERIFY BUILDING RAISE HEIGHT WITH ELEVATION CERTIFICATE, LOCAL BUILDING DEPARTMENT, AND PERTINENT GREAT ELEVATION MITIGATION ANALYSIS.

OPENING PROTECTION

WINDOWS SHALL HAVE GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS THAT MEETS THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1988 AND OF ASTM E 1886 REFERENCED THEREIN.

THE OWNER/CONTRACTOR MAY ELECT TO PROVIDE ALTERNATE PROTECTION AS LISTED:

- 1) WOOD STRUCTURAL PANELS WITH A MINIMUM OF 7/16" AND A MAXIMUM SPAN OF 6' SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE- AND TWO-STORY BUILDINGS. PANELS SHALL BE PRECUT SO THAT THEY SHALL BE ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE SCREWS AS LISTED BELOW.

FASTENER TYPE		FASTENER SPACING (Inches)	
No.6 SCREWS	Panel Span ≤ 4'-0"	Panel Span ≤ 6'-0"	Panel Span ≤ 8'-0"
	16"	12"	9"
No.8 SCREWS	Panel Span ≤ 4'-0"	Panel Span ≤ 6'-0"	Panel Span ≤ 8'-0"
	16"	12"	9"

- A FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF THE WOOD STRUCTURAL PANELS. FASTENERS SHALL BE LOCATED A MINIMUM OF 1 inch FROM THE EDGE OF THE PANEL.
- FASTENERS SHALL BE LONG ENOUGH TO PENETRATE THROUGH THE EXTERIOR WALL COVERING AND A MINIMUM OF 1 1/4" INTO WOOD WALL FRAMING AND A MINIMUM OF 3 EXPOSED THREADS. FASTENERS SHALL BE LOCATED A MINIMUM OF 2 1/2" FROM THE EDGE OF CONCRETE BLOCK OR CMU.
- WHERE SCREWS ARE ATTACHED TO MASONRY OR MASONRY/STUCCO, THEY SHALL BE ATTACHED USING VIBRATION-RESISTANT ANCHORS HAVING A MINIMUM ULTIMATE WITHDRAWAL CAPACITY OF 490 POUNDS.
- 2) INSTALLATION OF PERMANENTLY INSTALLED ALUMINUM ROLL DOWN SHUTTERS (POWERED OR MANUAL).
 - 3) INSTALLATION OF OPERABLE SHUTTERS.
 - 4) PRE-CUT INSTALLABLE CORRUGATED STEEL PANELS WITH MOUNTING BOLTS.
 - 5) ATTACHMENT SHALL COMPLY WITH TABLE R301.2.1.2 OF THE 2009 INTERNATIONAL RESIDENTIAL CODE. PANELS ARE TO BE ON THE JOB SITE AT COMPLETION OF CONSTRUCTION.

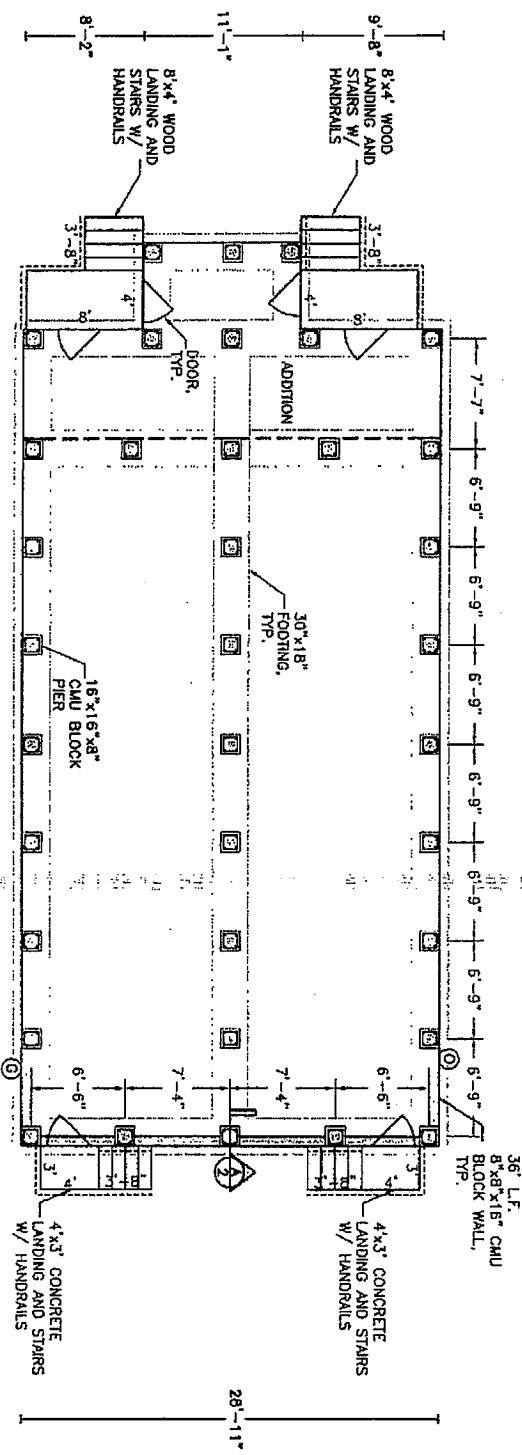
1338-40 ST. ANTHONY ST

GENERAL NOTES

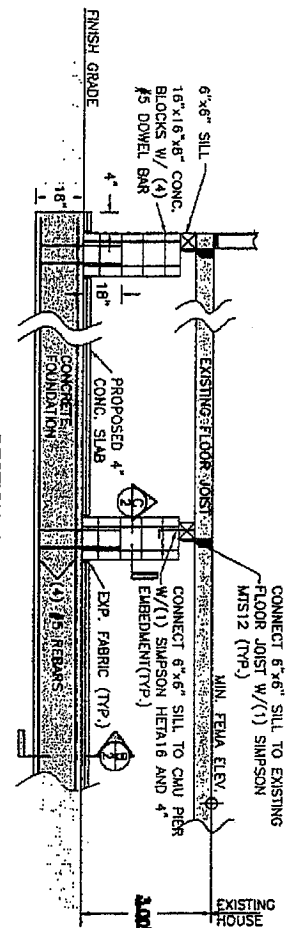
SCALE: A.S. SHEET 3 OF 4

H&E ENGINEERING

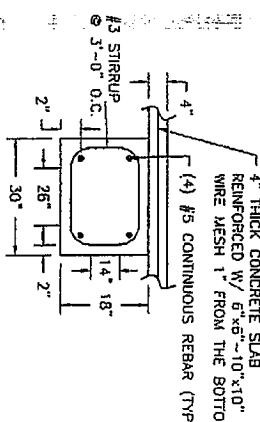
1433 DIXON ST SUITE 103
MERRILL, LA 70002
PHONE: 504-833-0300 FAX: 504-833-0044



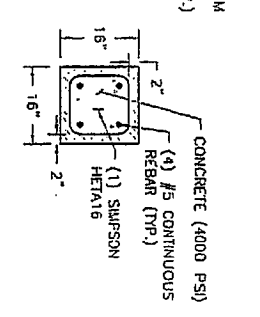
LEGEND		DRAWING INDEX		PROJECT INFO		FOUNDATION PLAN	
8"x8"x16" CONTINUOUS CMU BLOCK WALL	SUPPORT POST	1	FOUNDATION PLAN	<p>PLEASE BE ADVISED THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION BEING A PROFESSIONAL ENGINEER, AND THE DESIGN SPECIFICATIONS COMPLY WITH CITY, PARISH, AND STATE BUILDING CODE REQUIREMENTS TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS REVIEW DOES NOT OBTAIN COMPLIANCE WITH ZONING, ENVIRONMENTAL, SUBSOIL FOUNDATION, AND GOVERNMENTAL MITIGATION PROGRAM REQUIREMENTS. I WILL NOT ADMINISTER THE CONSTRUCTION WORK. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS OF THESE PLANS.</p>		<p>LISTINE SIMPSON 1338-48 ST. ANTHONY ST NEW ORLEANS, LA 70116 GROSS BUILDING AREA- 1887 SF NET BUILDING AREA- 1687 SF 2ND STORY AREA- 0 SF PILE COUNT ESTIMATION-N/A</p>	
OVERHEAD ELECTRIC	16"x16"x8" CMU PIER	2	CONSTRUCTION DETAILS	<p>FINISHED FLOOR = 3.00' ABOVE H.E.A.G. DRIVEWAY IS NOT SLOPED TO NEW ELEVATION GAS ON SITE</p>		<p>ENGINEERING 4223 DIVISION ST SUITE 103 MEMPHIS, TN 38117 PH: (901) 551-0500 FAX: (901) 551-0046</p>	
GAS CONNECTION	AIR CONDITIONING UNIT	3	GENERAL NOTES	<p>SCALE: 1/8" = 1'</p> <p>SHEET 1 OF 4</p>		<p>STATE OF MISSISSIPPI REGISTERED PROFESSIONAL ENGINEER No. 12325 Exp. 12/31/2013</p>	
ORNAMENTAL VENT	8"x8"x16" CMU PIER	4	STANDARD DETAILS 1				
SCREENED VENT	STEEL BEAM						
8" TIMBER PILES "TO REFUSAL"	CONCRETE FOOTING						
STEEL PLATES							



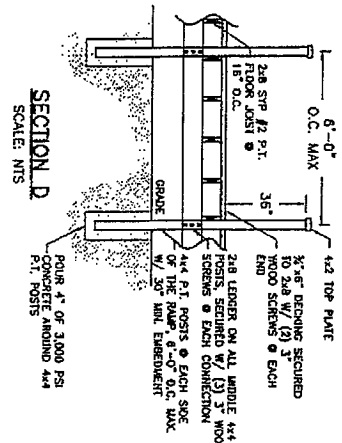
SECTION A
TYPICAL FOOTING, PIER, &
PILING DETAIL
SCALE: 1/2"=1'



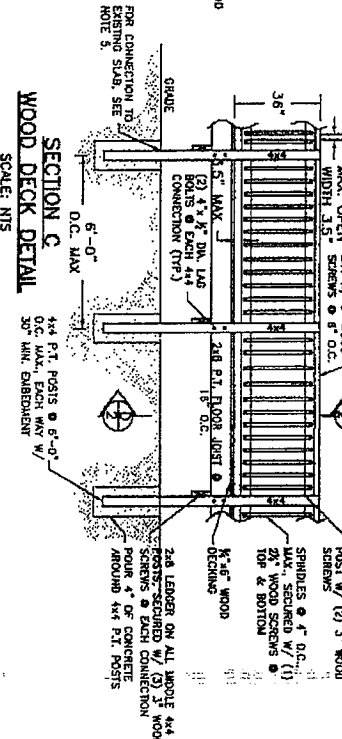
SECTION B
TYPICAL GRADE BEAM
FOOTING DETAIL
SCALE: 1/2"=1'



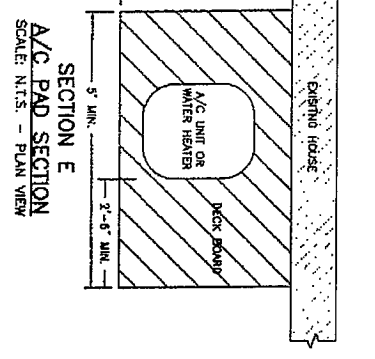
SECTION C
TYPICAL PIER DETAIL
SCALE: 1/2"=1'



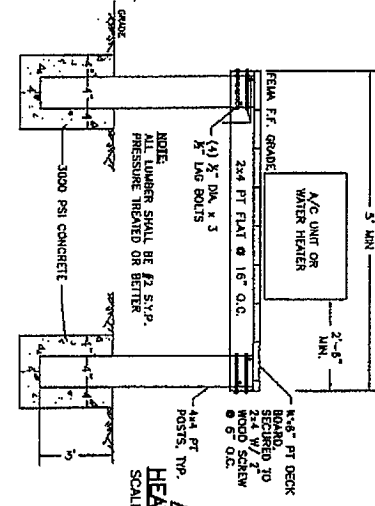
SECTION D
SCALE: N.T.S.



SECTION C
WOOD DECK DETAIL
SCALE: N.T.S.



SECTION E
A/C PAD SECTION
SCALE: N.T.S. - PLAN VIEW



SECTION F
A/C OR WATER
HEATER PAD SECTION
SCALE: N.T.S. ALTERNATE #1 -
SIDE VIEW

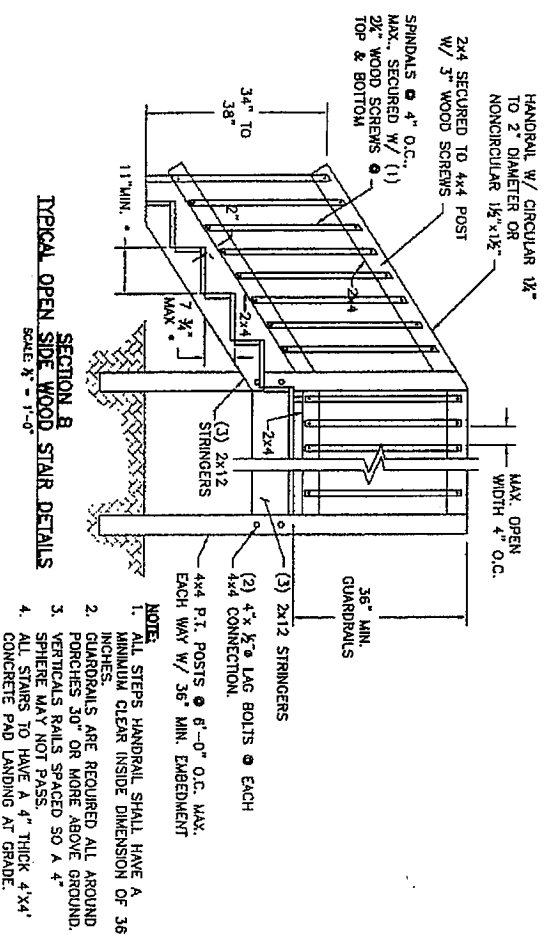
- NOTES:**
1. ALL DECK LUMBER SHALL BE BETTER SPECIES THAN SHOWN OR PRESSURE TREATED, NO. 2 SYP, OR BETTER.
 2. CENTER BUTT JOINT OVER 4x4 POST.
 3. CENTER IS BASED ON 2,000 PSF OR GREATER USE (1) SIMPSON AB44, SECURED WITH (1) 1/2" ANCHOR BOLT & (2) 1/2" POSTS.
 4. FOR WOOD POST CONNECTION 4x4 SLAB SECURED WITH (1) 1/2" ANCHOR BOLT & (2) 1/2" POSTS.
 5. FOR WOOD POSTS HEIGHT GREATER THAN 6'-0", USE 6x6 POSTS.

1338-40 ST. ANTHONY ST.
CONSTRUCTION DETAILS SCALE: A.S. SHEET 2 OF 4

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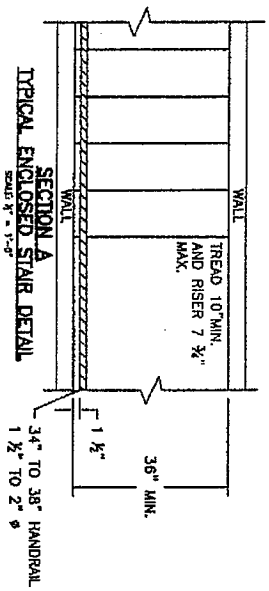
STATE OF LOUISIANA
Professional Engineer
No. 15312
Exp. 12/31/2024

SECTION B
TYPICAL OPEN SIDE WOOD STAIR DETAILS
SCALE: 1/2" = 1'-0"

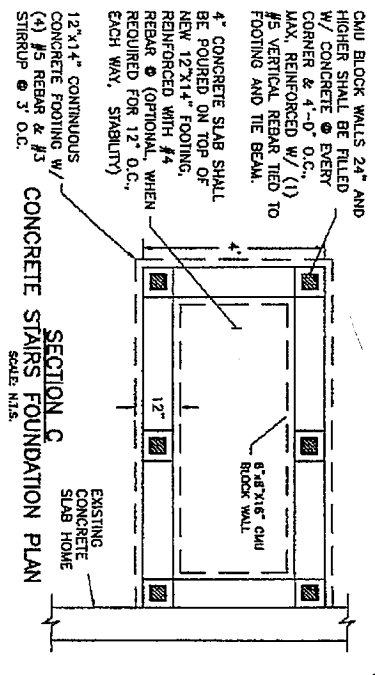
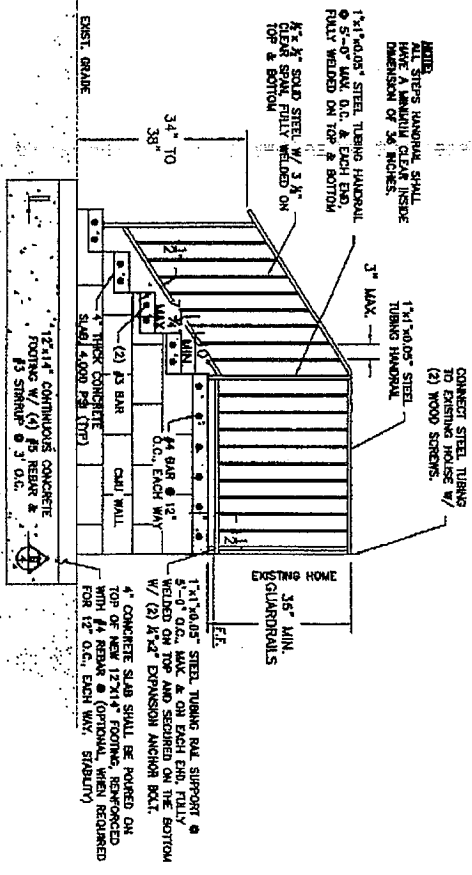


- NOTE:**
1. ALL STEPS HANDRAIL SHALL HAVE A MINIMUM CLEAR INSIDE DIMENSION OF 36 INCHES.
 2. GUARDRAILS ARE REQUIRED ALL AROUND PORCHES 30" OR MORE ABOVE GROUND.
 3. VERTICALS RAILS SPACED SO A 4" SPHERE MAY NOT PASS.
 4. ALL STAIRS TO HAVE A 4" THICK 4'x4' CONCRETE PAD LANDING AT GRADE.

- FOUNDATION & STRUCTURAL NOTES:**
1. SEE FLOOR PLAN FOR FILLED CELL LOCATIONS.
 2. CONCRETE FOR SLAB AND FOOTINGS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 3. MORTAR SHALL BE TYPE S.
 4. REINFORCING STEEL SHALL BE MIN. OF GRADE 40.
 5. ALL ANGLES ASSUMED TO BE 45 DEGREES, UNLESS NOTED OTHERWISE.
 6. ALL LUMBERS TO BE SOUTHERN YELLOW PINE NO. 2 OR SPRUCE NO. 2, OR BETTER, WITH MAXIMUM CONTENT OF MOISTURE 19%. LUMBER IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED.
 7. ALL CONCRETE WALKWAYS SHALL BE 4" THICK MIN., REINFORCED WITH 6"x6"-10'/10" WIRE MESH, 1" FROM THE BOTTOM OF THE SLAB.
 8. ALL CONCRETE DRIVEWAYS SHALL BE 5" THICK MIN., REINFORCED WITH 6"x6"-10'/10" WIRE MESH, 1" FROM THE BOTTOM OF THE SLAB, UNLESS NOTED OTHERWISE.



SECTION A
CONCRETE STAIRS DETAIL
SCALE: 1/2" = 1'-0"



1338-40 ST. ANTHONY ST.
STANDARD DETAILS | SCALE: AS SHOWN | SHEET 4 OF 4

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