# AUDUBON LOUISIANA NATURE CENTER

11000 LAKE FOREST BLVD, NEW ORLEANS, 70128

OWNER:

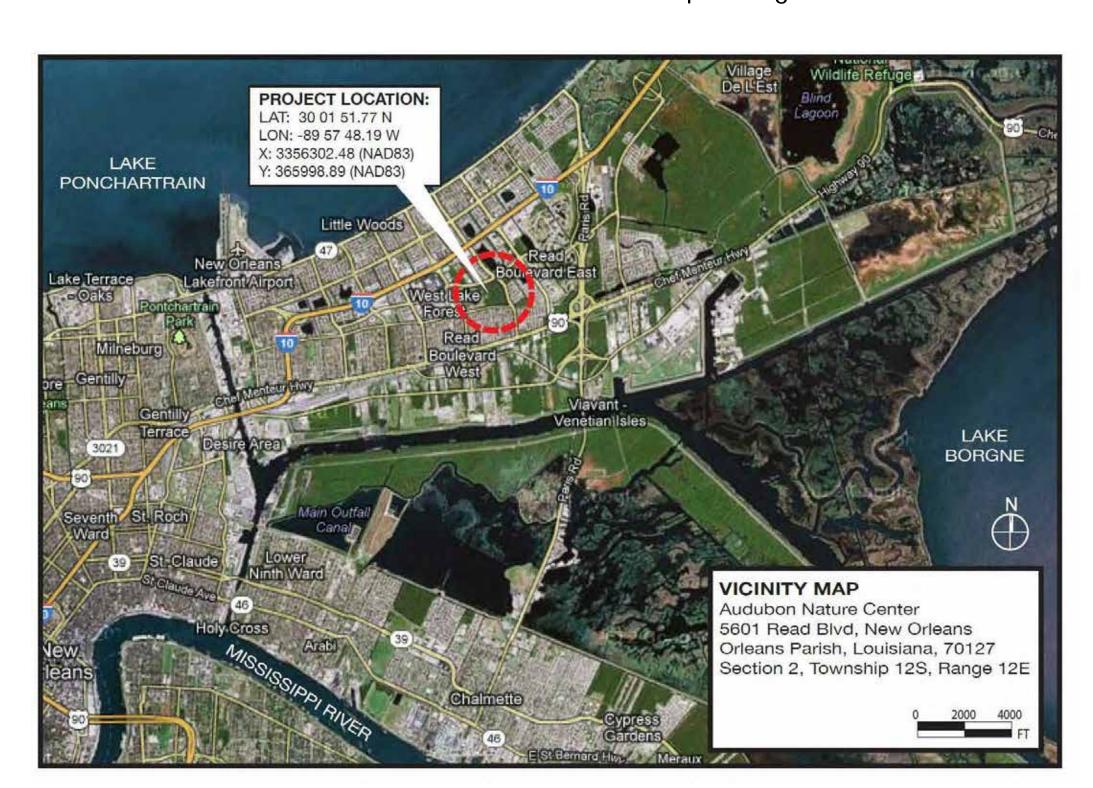
AUDUBON NATURE INSTITUTE 5600 MAGAZINE ST NEW ORLEANS, LA 70118 ARCHITECT:

BILLES PARTNERS, LLC 1055 ST CHARLES AVE, SUITE 220 NEW ORLEANS, LA 70130

TOTAL SITE AREA: APPROX. 3,800,000 SF BUILDING AREA: 13,500 SF DECK AREA: 7,000 SF

### PROJECT SUMMARY

The Audubon Nature Center is situated on approximately 83 acres of bottom land hardwood and bald cypress-tupelo swamp habitat surrounded by urban development. The center will provide nature based environmental education and outdoor recreational opportunities benefitting the Greater New Orleans Metro area and surrounding Parishes/Counties. The scope of the project consists of demolition of the existing Gift Shop and boardwalk. The Scope of construction consists of a replacement facility combining the programs of those buildings demolished, the renovation of an existing botany center and maintenance building, a replacement boardwalk, and extension of the service drive, new bus drop off and parking. The replacement facility consists of 13,500sf interior space, 7000sf of covered outdoor decking and 4045lf of Boardwalk constructed of long lasting regional materials that require minimal maintenance. In alignment with its nature based environmental education mission the new Audubon Nature Center is pursuing LEED Certification.

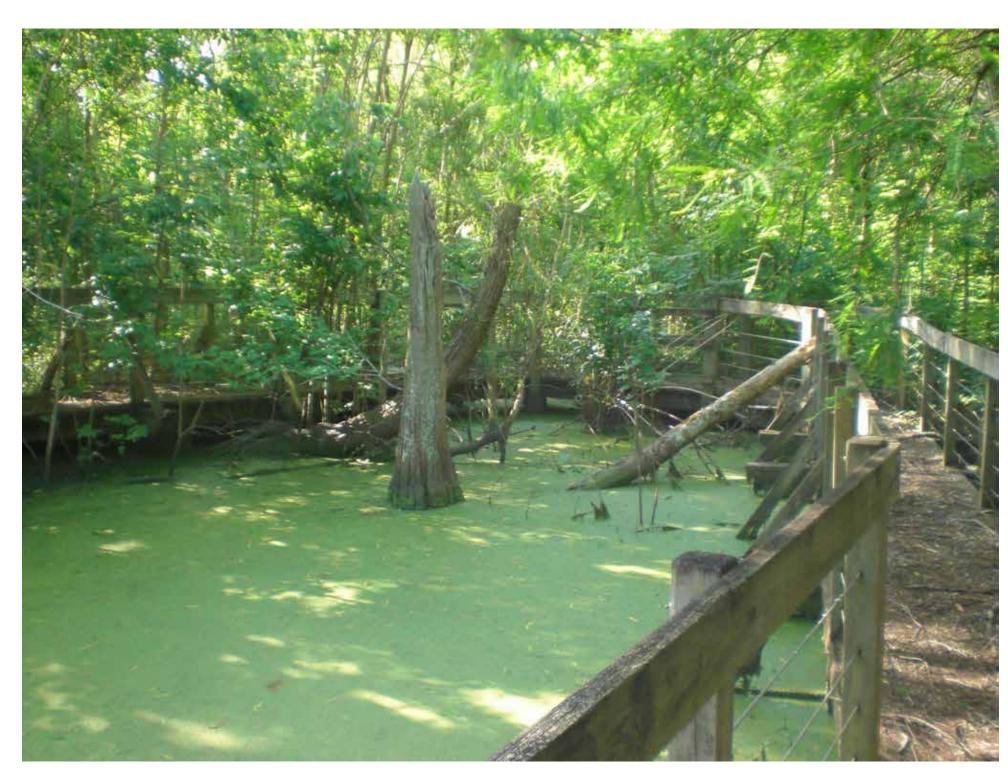








Existing Boardwalk



Existing Cypress Lagoon



**Existing Amphitheatre** 



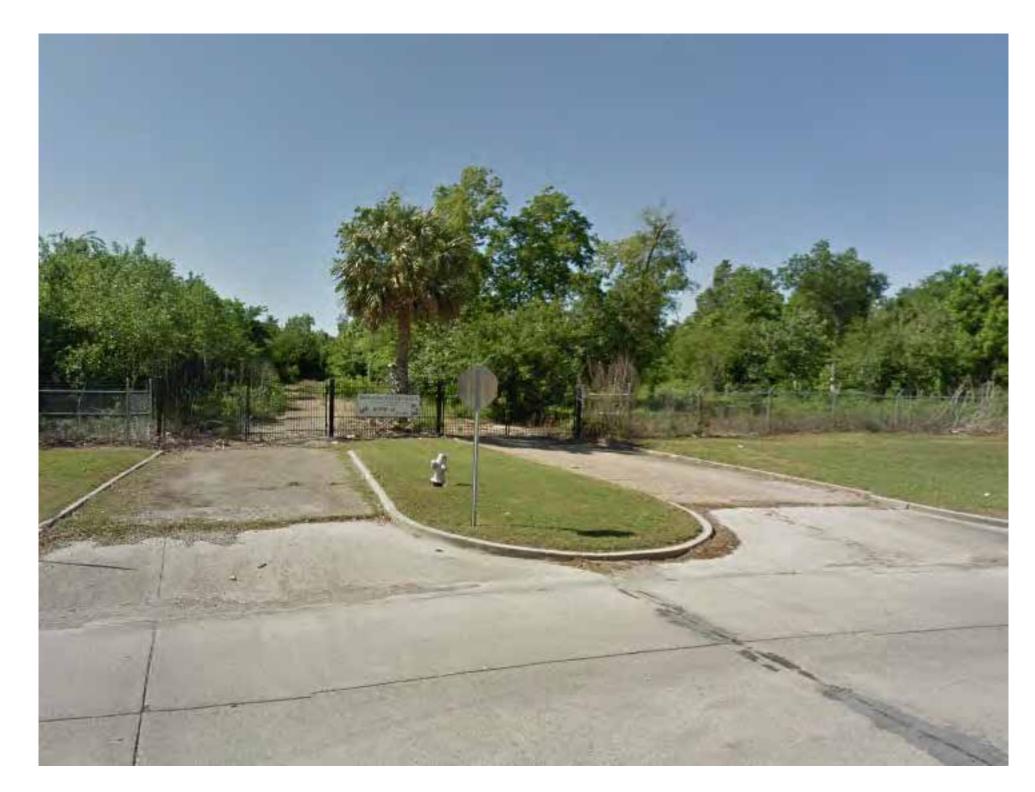
**Existing Service Drive** 



Site of Proposed New Construction



Site of Proposed New Construction



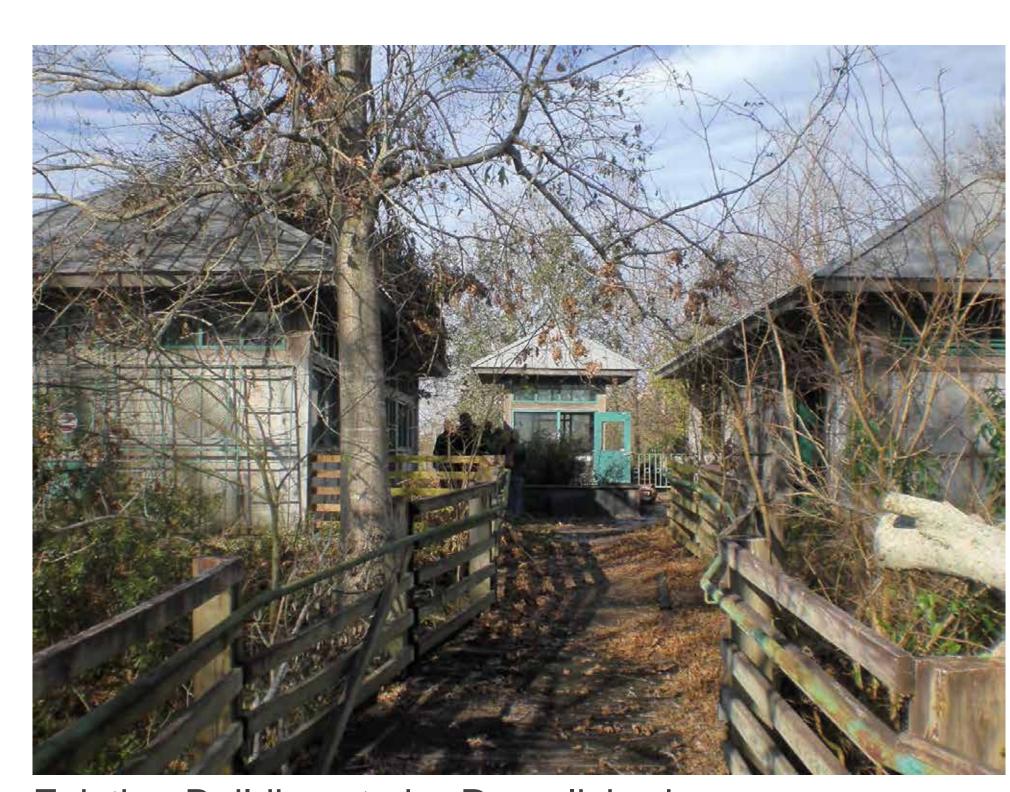
Site Entrance at Lake Forest Blvd



Existing Boardwalk



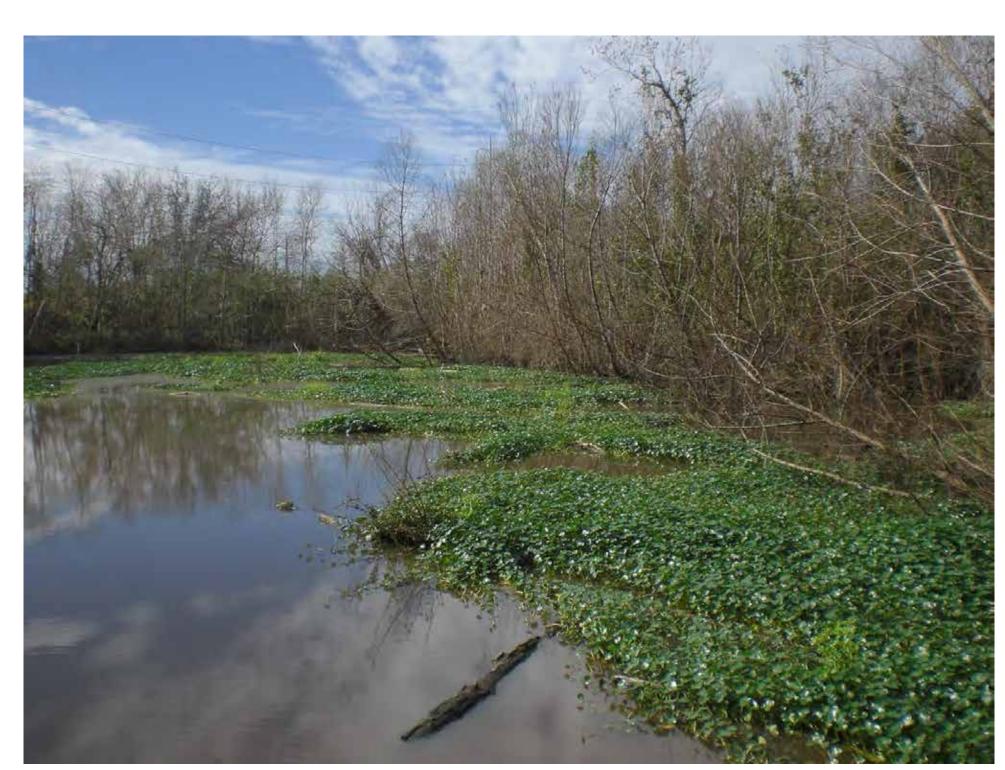
Existing Cypress Lagoon



Existing Buildings to be Demolished



**Existing Service Drive** 



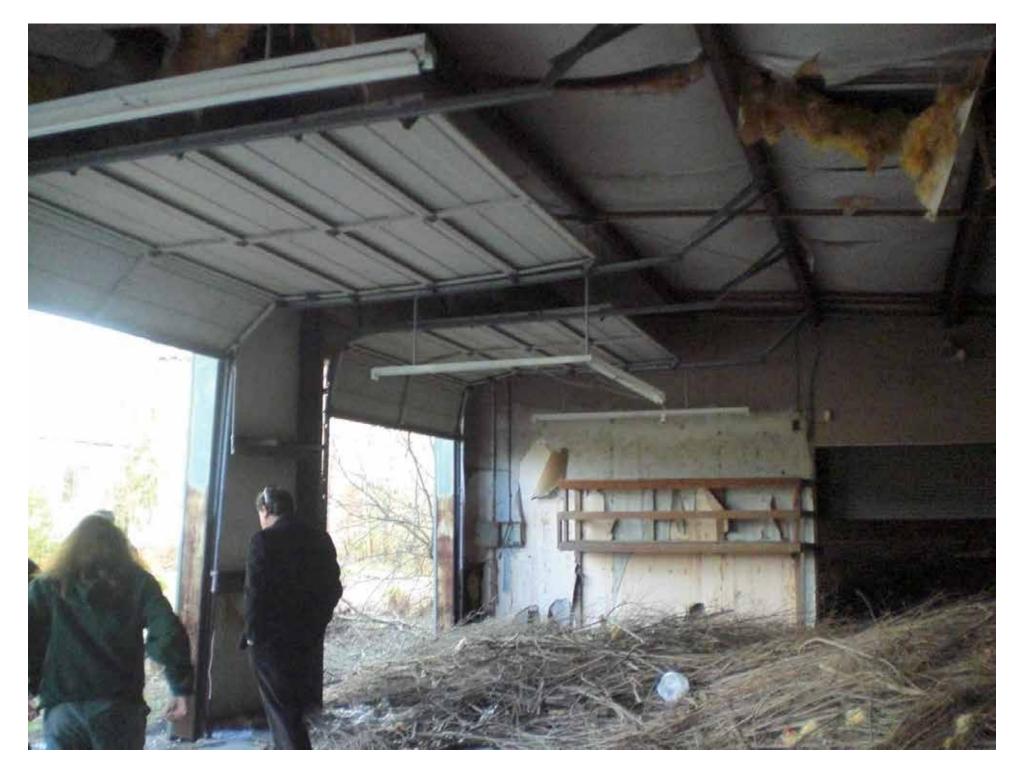
**Existing Pond** 



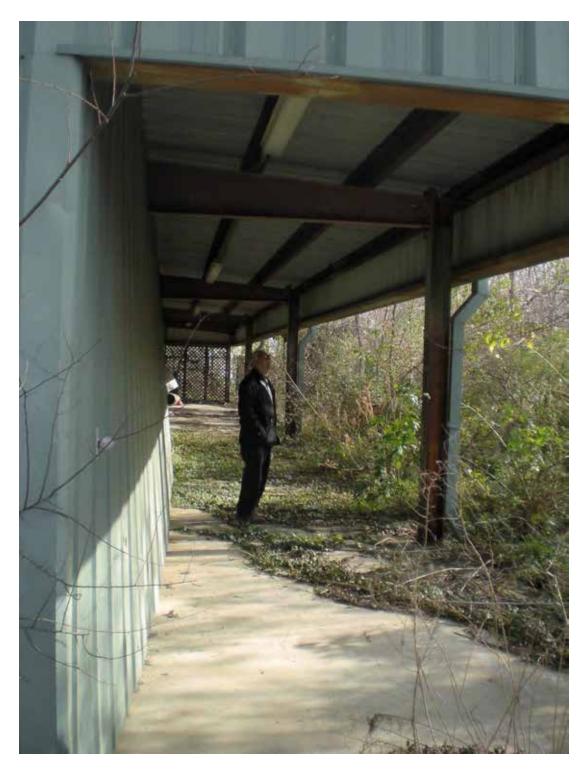
Existing Maintenance Building



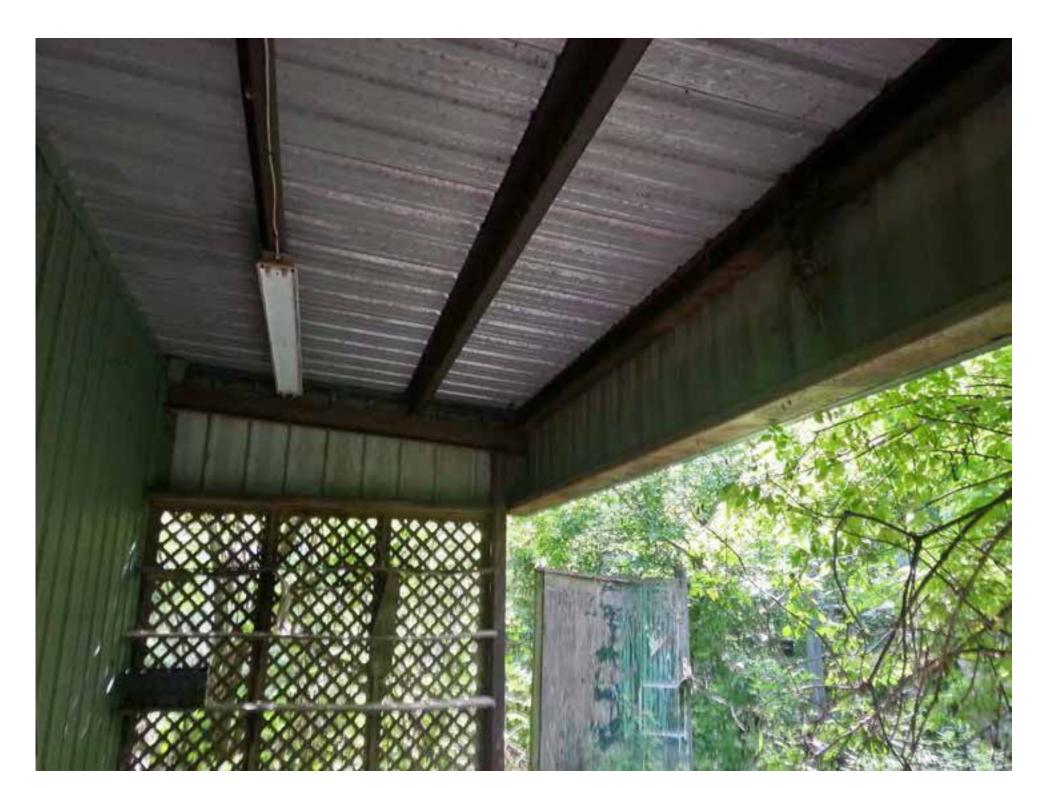
Existing Maintenance Building



Existing Maintenance Building



Existing Maintenance Building



Existing Maintenance Building



Existing Maintenance Building

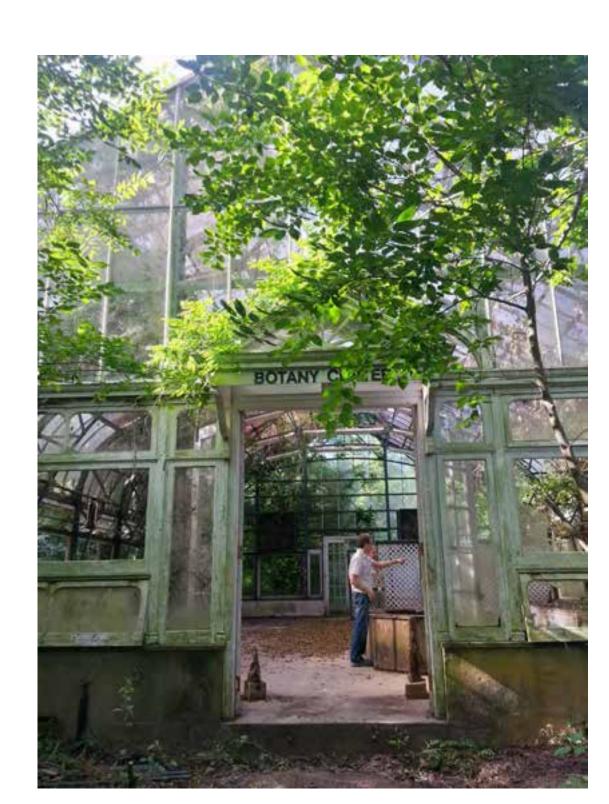








**Existing Botany Center** 



**Existing Botany Center** 



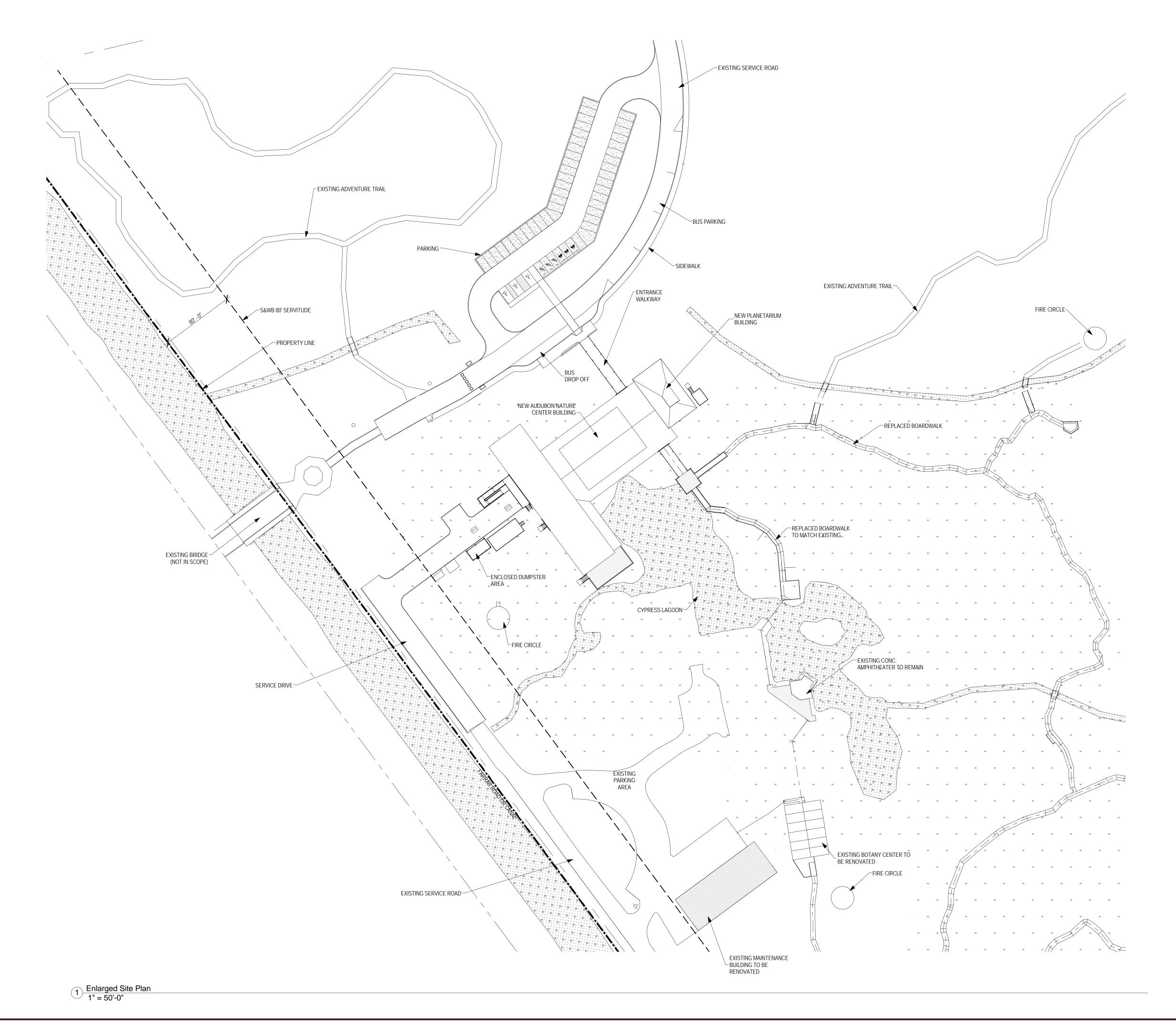
**Existing Botany Center** 

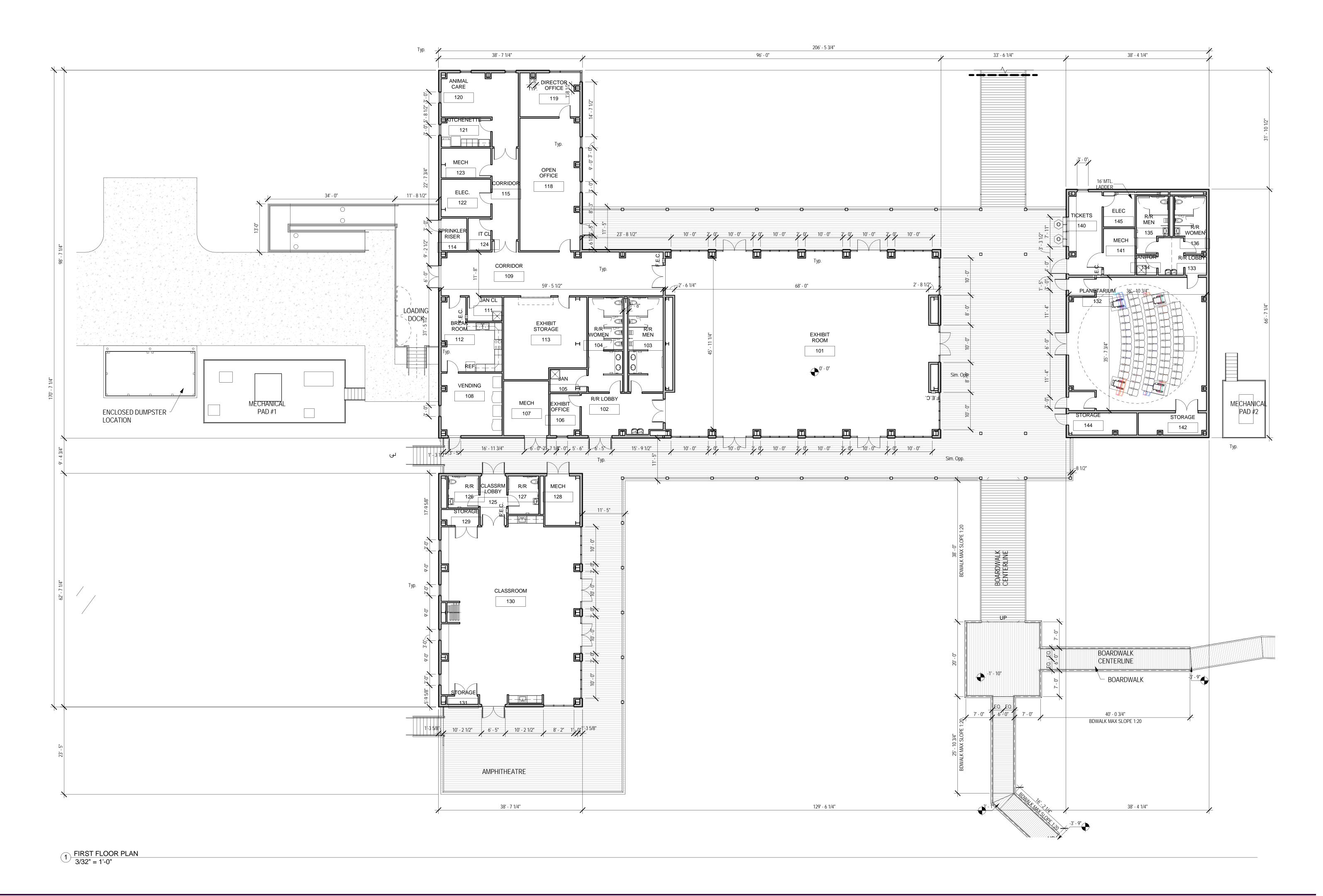


**Existing Botany Center** 

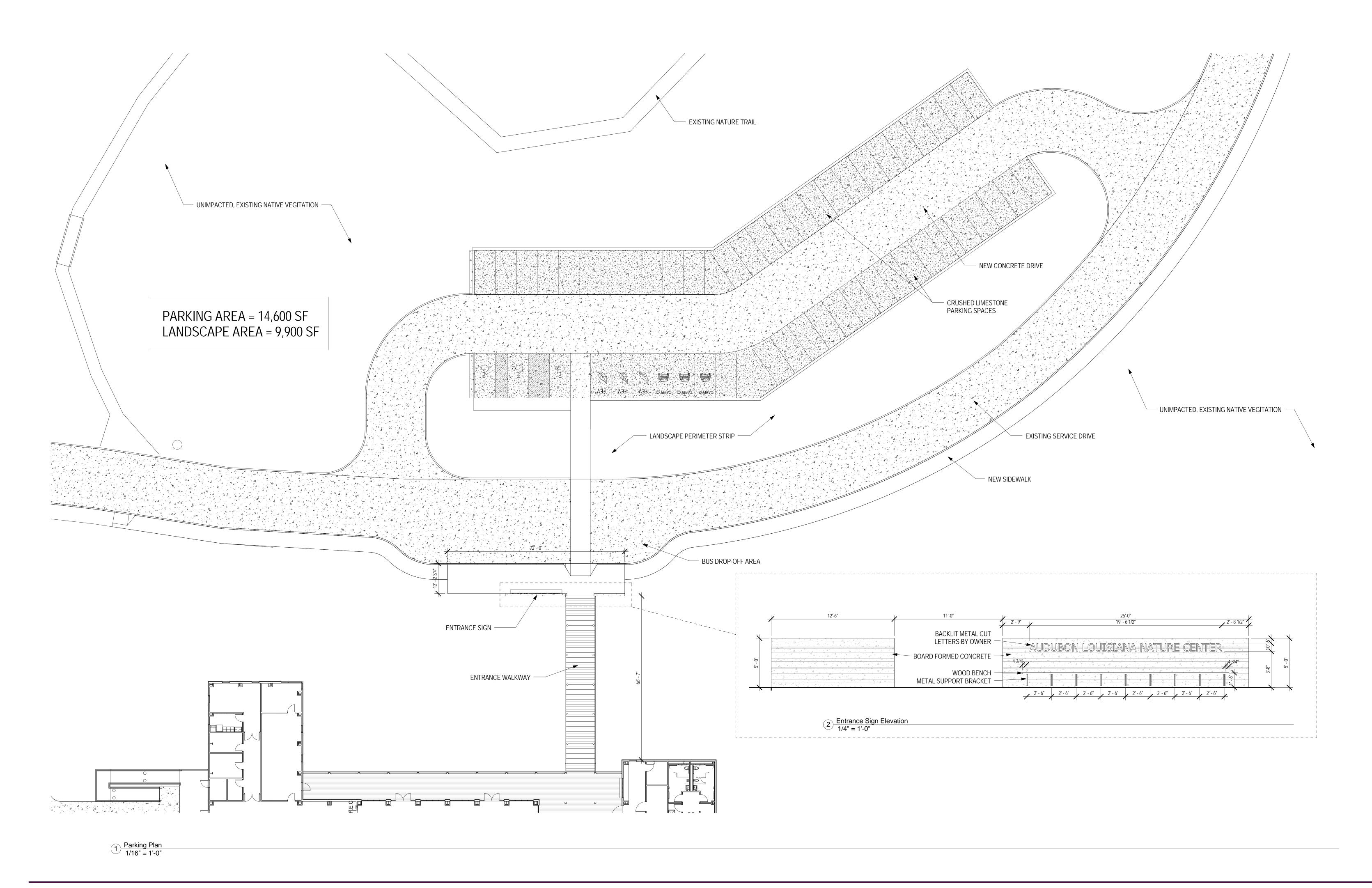


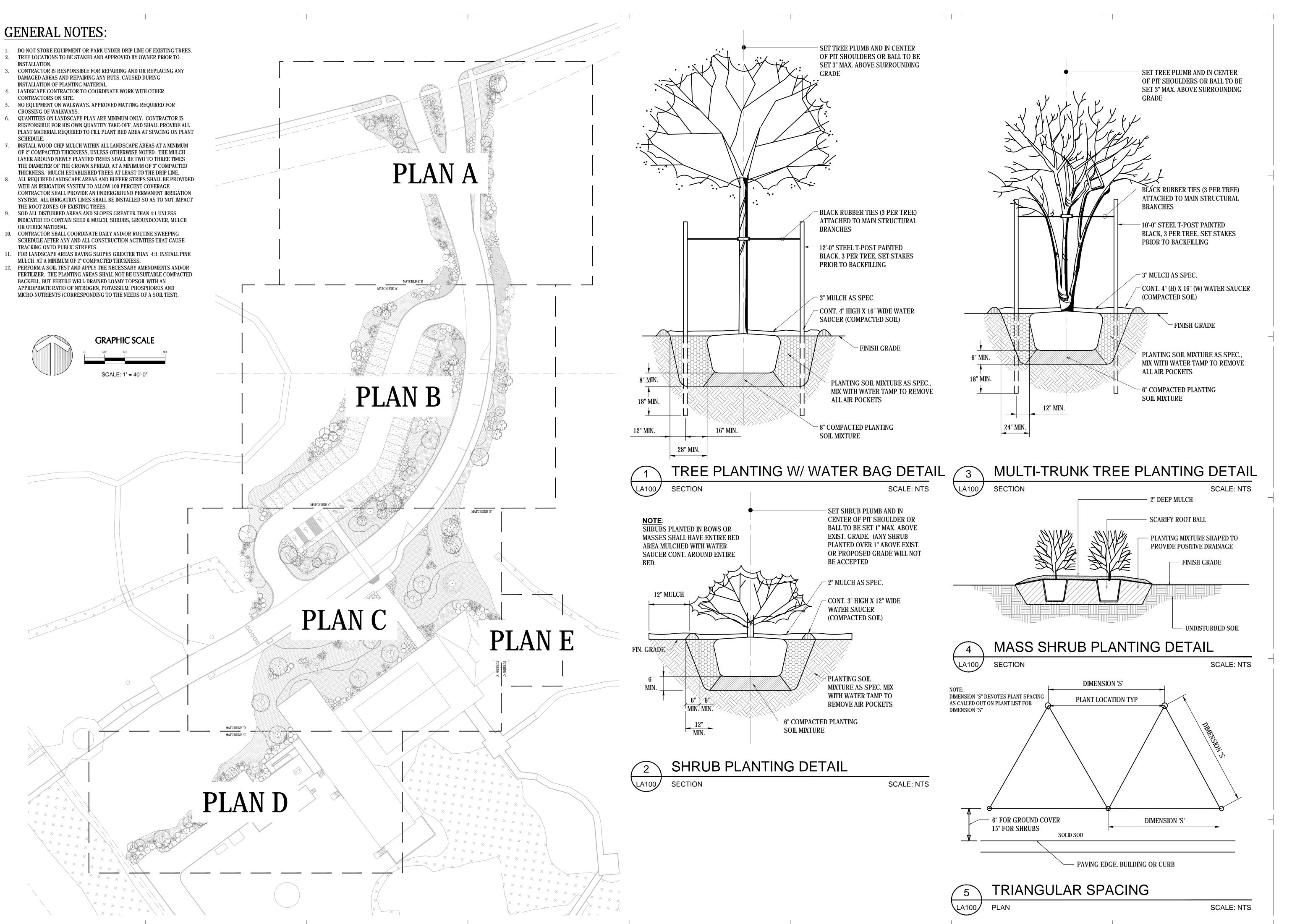
**Existing Botany Center** 











Center Nature Cel Improvement Landscap Audubon Audubon Lo A Facility of



LANDSCAPE PLAN **OVERALL** 

Project No. -07/11/2014 Scale: Drawn By: KMc Checked By:

LA100

Audubon Nature Institute
6500 Magazine Street \* New Orleans, Louisiana 70118

ARCHITECT .

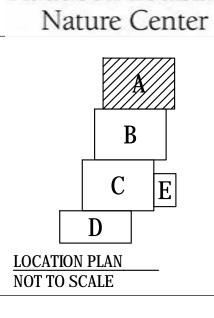
CONTRACTOR .

Permit and Pricing Set

Audubon Louisiana Nature Canter

Audubon Louisiana Nature Center

Audubon Louisiana Nature Center



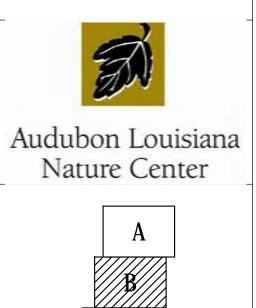
### LANDSCAPE PLAN PLAN 'A'

Project No.	-
Date:	07/11/2014
Scale:	•
Drawn By:	KMc
Checked By:	
Revisions:	
,	LA101



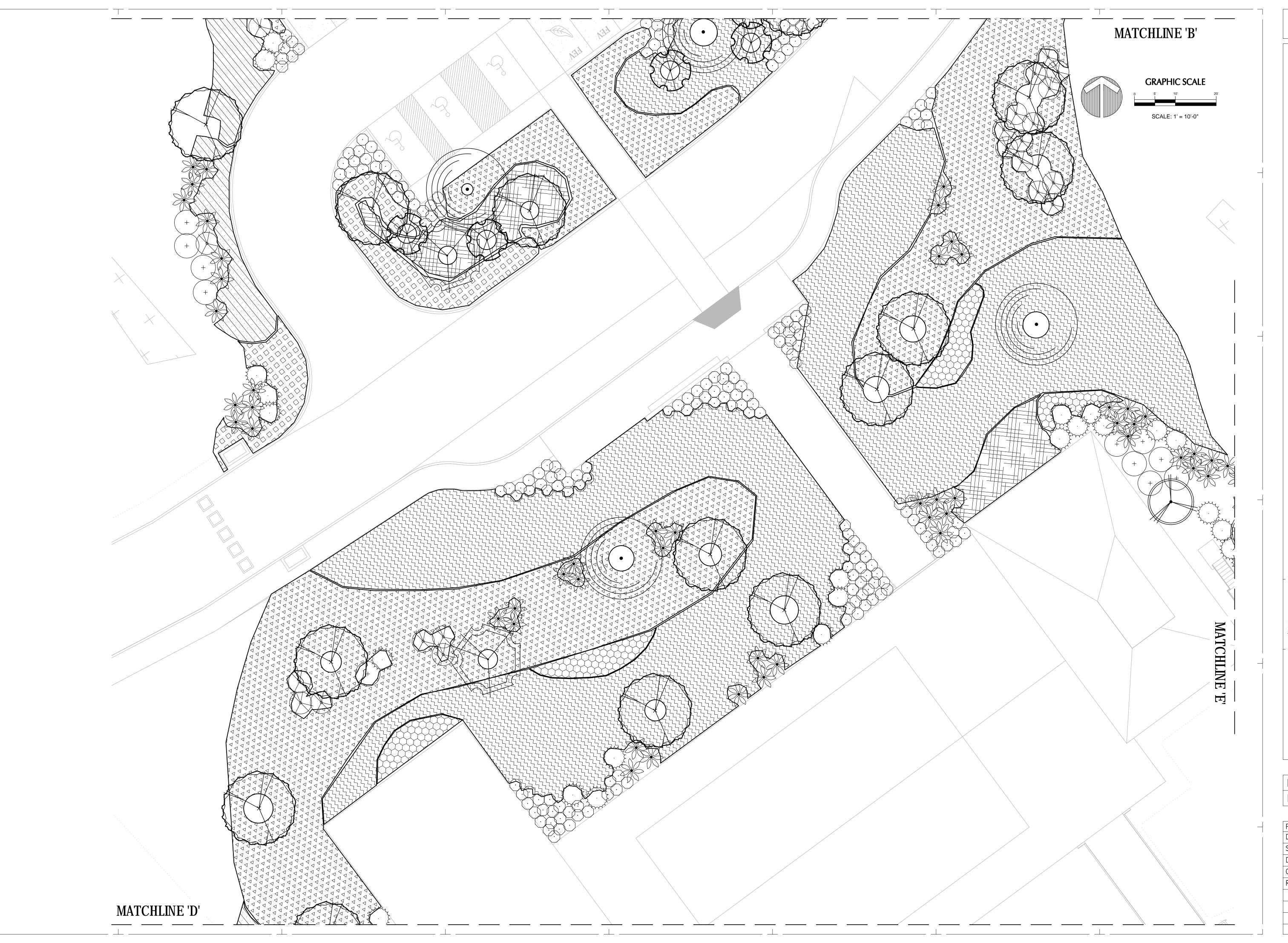
Center

Audubon Louisiana Nature Center A Facility of the Audubon Nature Institute Audubon Landscap



LOCATION PLAN NOT TO SCALE LANDSCAPE PLAN

PLAN 'B' Project No. -07/11/2014 Drawn By: KMc Checked By: LA102



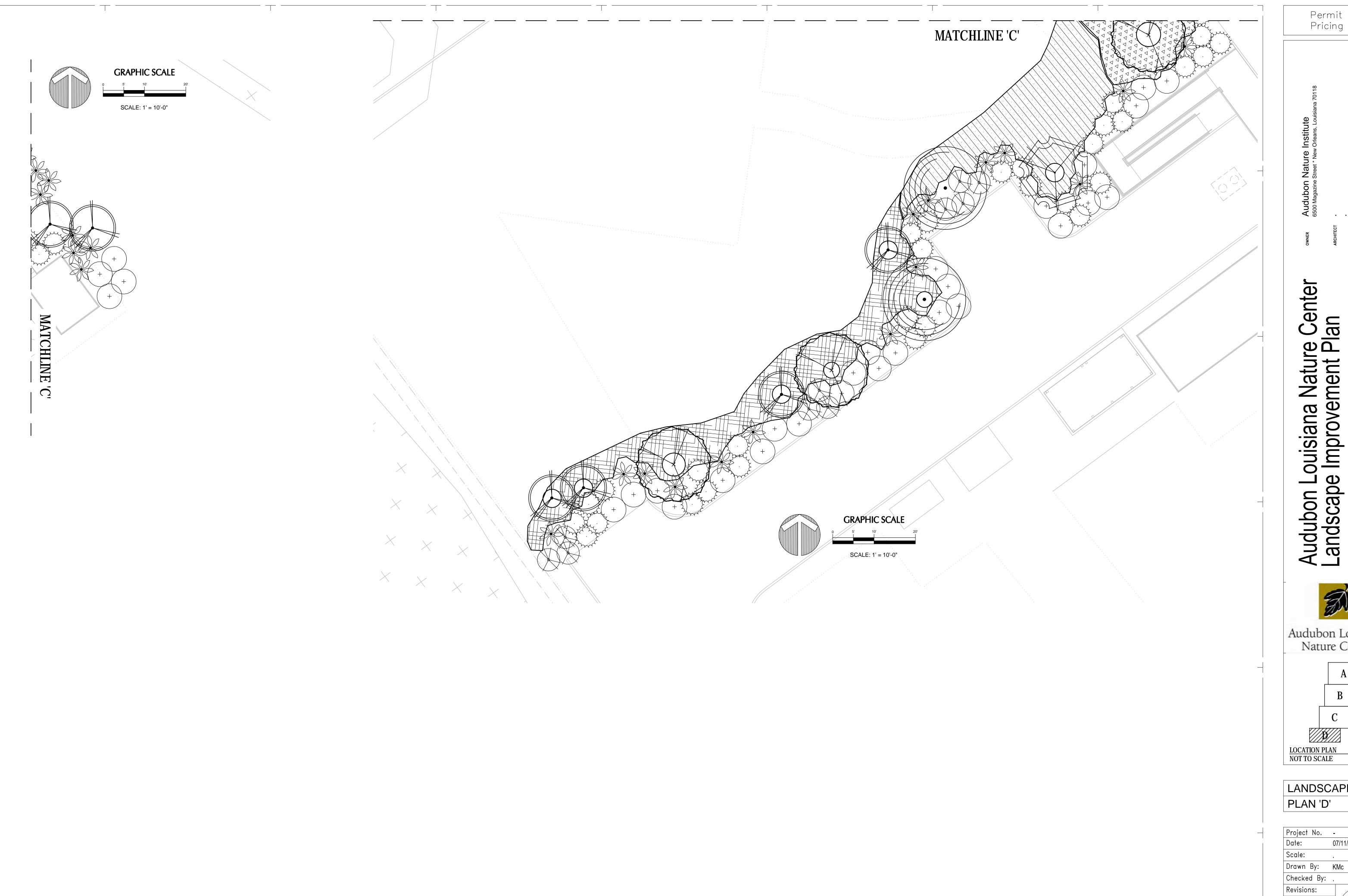
owner Audubon Nature Institute
6500 Magazine Street \* New Orleans, Louisiana 70118
ARCHITECT .

Andubon Louisiana
Nature Center

A
B
LOCATION PLAN
NOT TO SCALE

LANDSCAPE PLAN PLAN 'C'

Project No.	-
Date:	07/11/2014
Scale:	
Drawn By:	KMc
Checked By:	
Revisions:	
	LA103
,	
	$\neg$



Audubon Louisiana Nature Center

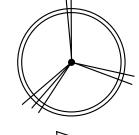
Audubon Louisiana Nature Center A Facility of the Audubon Nature Institute

LANDSCAPE PLAN PLAN 'D'

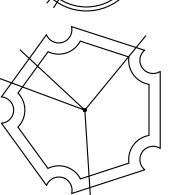
Project No.	-
Date:	07/11/2014
Scale:	•
Drawn By:	KMc
Checked By:	
Revisions:	
	LA104

### TREE LEGEND

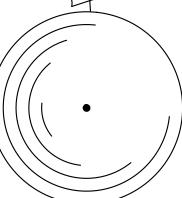
(AR) DRUMMOND RED MAPLE



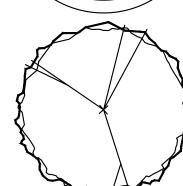
(MV) SWEET BAY MAGNOLIA



(QP) WILLOW OAK



(SB) WEEPING WILLOW



(TD) BALD CYPRESS

### SHRUB LEGEND

(AM) GIANT ELEPHANT EAR



(IT) VIRGINIA WILLOW





### GROUNDCOVER LEGEND

(CS) SWAMP LILY

(HC) SWAMP HIBISCUS

(HL) SPIDER LILY

(IG) LOUISIANA IRIS

## **GRASSES LEGEND**

(MS) MAIDEN GRASS
(SB) SPARTINA BAKERI

(SM) SEASHORE BLUESTEM

(TL) CATTAIL

# PLANTING SCHEDULE

### TREES

KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	SIZE	REMARKS
AR	25	ACER RUBRUM VAR. DRUMMONDII	DRUMMOND RED MAPLE	CONT	45 GAL	10-12' HT. X 5-6' SPR., 3" CAL.
MV	18	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	CONT	45 GAL	10-12' HT. X 5-6' SPR., 3" CAL.
QP	9	QUERCUS PHELLOS	WILLOW OAK	CONT	45 GAL	10-12' HT. X 5-6' SPR., 3" CAL.
SB	7	SALIX BABILONICA	WEEPING WILLOW	CONT	45 GAL	10-12' HT. X 5-6' SPR., 3" CAL.
TD	19	TAXODIUM DISTICHUM	BALD CYPRESS	CONT	100 GAL	12' HT. X 6-8' SPR., 4" CAL.

### SHRUBS

KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	SIZE	REMARKS
AM	516	ALOCASIA MACRORHIZA 'MAKI'	GIANT ELEPHANT EAR	CONT	3 GAL.	30" O.C., 24" HT& SPRD.
FA	67	FORESTIERA ACUMINATA	SWAMP PRIVET	CONT	3 GAL.	18" X 24", 3' O.C.
IV	73	ITEA VIRGINICA	VIRGINIA WILLOW	CONT	3 GAL.	18" X 24", 3' O.C.
MC	84	MYRICA CERIFERA	WAX MYRTLE	CONT	3 GAL.	18" X 24", 3' O.C.
SM	171	SABOL MINOR	DWARF PALMETTO	CONT	3 GAL.	18" X 24", 3' O.C.

### GROUNDCOVER

KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	SIZE	REMARKS
CS	245	CRINUM AMERICANUM	SWAMP LILY	CONT	1 GAL.	FULL, 24" O.C., 18" SPRD.
HC	358	HIBISCUS COCCINEUS	SWAMP HIBISCUS	CONT	1 GAL.	FULL, 24" O.C.
HL	3,325	HYMENOCALLIS LIRIOSME	SPIDER LILY	CONT	3 GAL.	FULL, 24" O.C., 18" SPRD.
IG	3,090	IRIS GIGANTICAERULEA	LOUISIANA IRIS	CONT	1 GAL.	FULL, 18" O.C.

### GRASSES

QTY	COMMON NAME	BOTANICAL NAME	ROOT	SIZE	REMARKS
632	MISCANTHUS SINENSIS 'PURPURASCENS'	MAIDEN GRASS	CONT	3 GAL.	18" X 15",3 GAL., 3' O.C.
378	SPARTINA BAKERI	SWITCHGRASS	CONT	3 GAL.,	18" X 15",3 GAL., 3' O.C.
566	SCHIZACHYRIUM MARITIMUM	SEASHORE BLUESTEM	CONT	1 GAL.	FULL; 18" O.C.; SAND;
					FERTILIZE WHEN PLANTING;
					WARM-SEASONED
					PERENNIAL
4,126	TYPHA LATIFOLIA	CATTAIL	CONT	1 GAL.	FULL, 18" O.C.
	632 378 566	632 MISCANTHUS SINENSIS 'PURPURASCENS' 378 SPARTINA BAKERI	MISCANTHUS SINENSIS 'PURPURASCENS' MAIDEN GRASS  SPARTINA BAKERI SWITCHGRASS  SCHIZACHYRIUM MARITIMUM SEASHORE BLUESTEM	MISCANTHUS SINENSIS 'PURPURASCENS' MAIDEN GRASS CONT SPARTINA BAKERI SWITCHGRASS CONT SEASHORE BLUESTEM CONT SEASHORE BLUESTEM	MISCANTHUS SINENSIS 'PURPURASCENS' MAIDEN GRASS SPARTINA BAKERI SWITCHGRASS CONT 3 GAL.,  SCHIZACHYRIUM MARITIMUM SEASHORE BLUESTEM CONT 1 GAL.

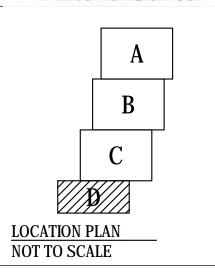
Permit and Pricing Set

Audubon Nature Institute

6500 Magazine Street \* New O

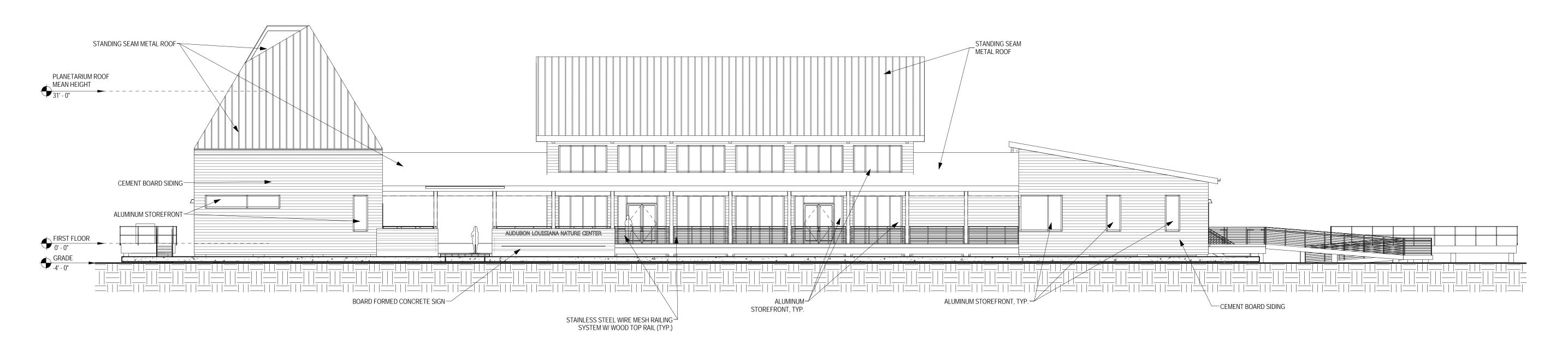
Audubon Louisiana Nature Center Landscape Improvement Plan



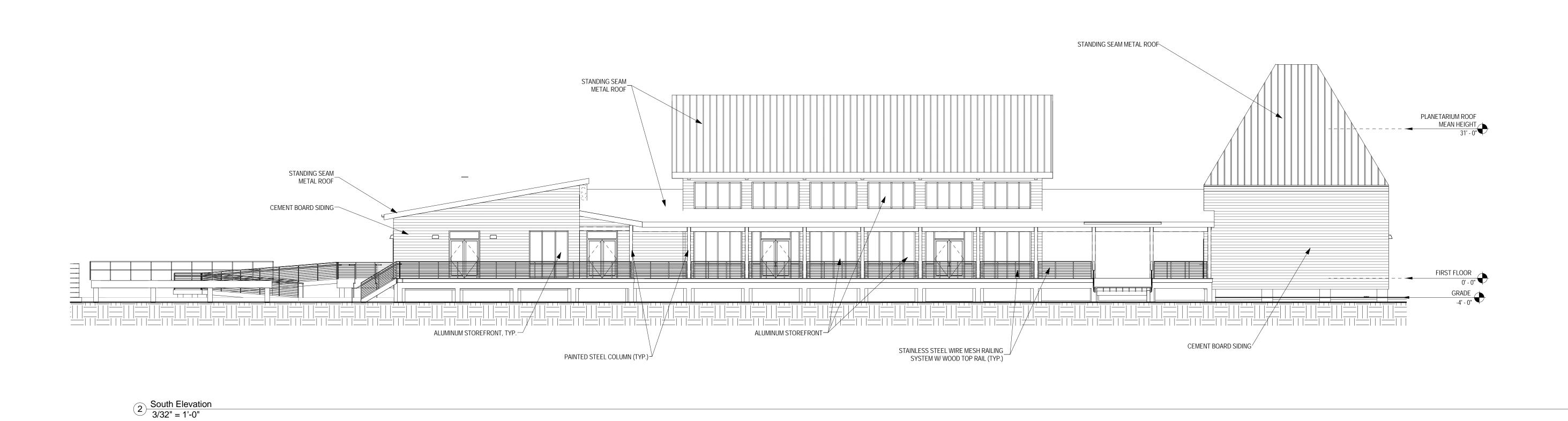




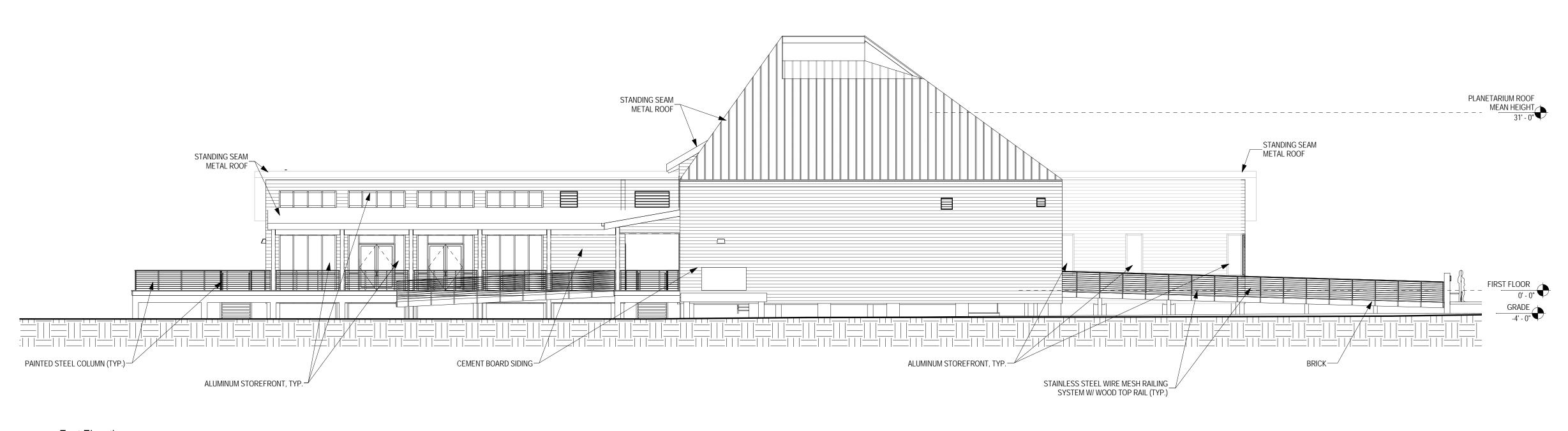
Project No.	-
Date:	07/11/2014
Scale:	
Drawn By:	KMc
Checked By:	
Revisions:	
•	
ı	LA104

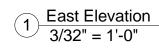


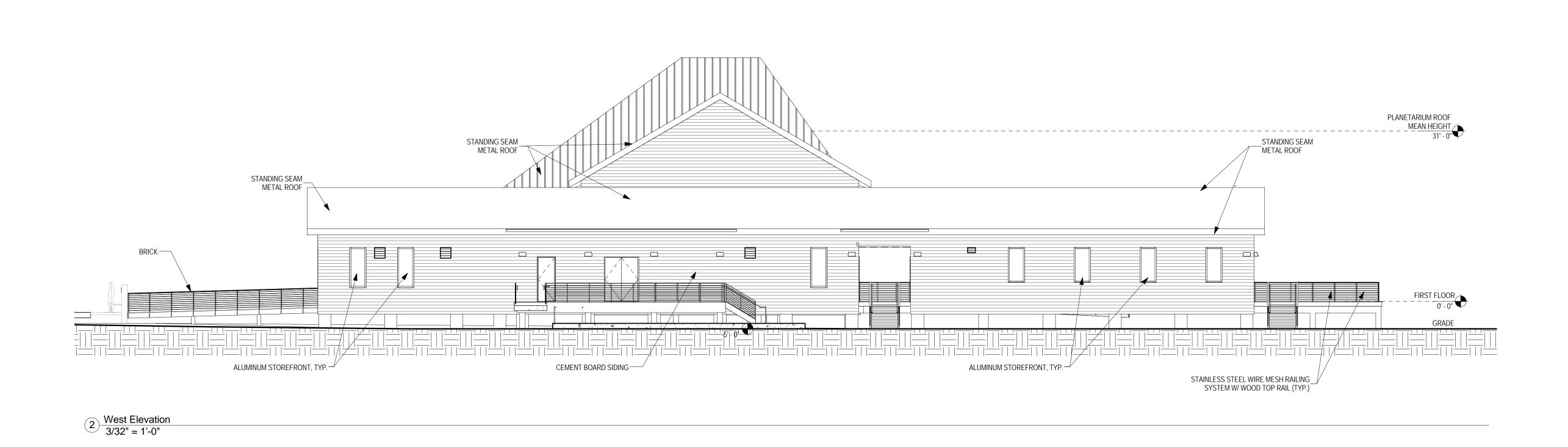
North Elevation
3/32" = 1'-0"















View of Main Entrance



View of Exterior Covered Walkway overlooking the Cypress Lagoon















- ONLY REMOVE SPECIFIC COMPONENTS OF THE BOTANY CENTER AS OUTLINED
- ALL COMPONENTS NOT BEING REMOVED SHALL BE CLEANED, PAINTED, AND PROTECTED.
- REMOVE ALUMINUM DOWNSPOUTS REMOVE SUBMERSIBLE PUMP AND ALL ASSOCIATED CONDUIT AND WIRING.

**DEMOLITION KEY NOTES:** REMOVE LATTICE WORK AND ASSOCIATED WOOD FRAMING.

- EXISTING CMU PLANTERS TO REMAIN.
- SAWCUT A 16-1/4" x 8-1/4" OPENING IN CONCRETE WALL FOR NEW DUAL FUNCTION FLOOD + VENTILATION VENT. SEE DETAIL 6/A2.00.
- REMOVE EXISTING SPACE HEATER AND ALL ASSOCIATED CONDUIT WIRING. REMOVE GLAZING, GLAZING PUTTY, AND MECHANICALLY CLEAN GLASS SEATS (TYP.) REMOVE EXISINT ELECTRICAL LOAD CENTER LIGHTING, WIRING, AND CONDUIT.
- REMOVE EXISTING WOOD PLANTER. REMOVE (2) VENILATION FANS INCLUDING ASSOCIATED CONDUIT WIRING AND
- REMOVE ALL LIGHT FIXTURES AND ALL ASSOCIATED CONDUIT AND WIRING.
- 10. REMOVE ALL ELECTRICAL OUTLETS, OUTLET BOXES, SWITCHES, SWITCH PLATES,
- AND ALL ASSOCIATED CONDUIT AND WIRING. 11. REMOVE (6) COMPACT BRASS FAUCETS.



LATTICE FRAMING

OPERATING WINDOWS



CABLE LIGHTING

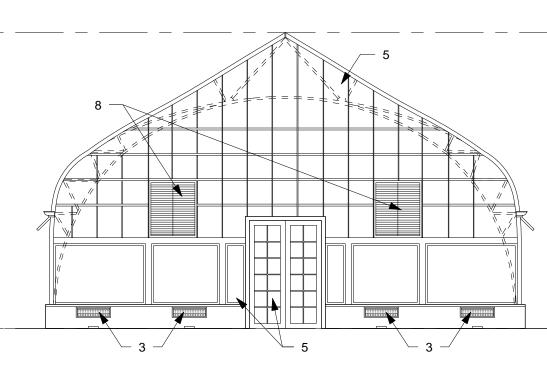


EXHAUST FRAMES AND LATTICE WORK



SPACE HEATER

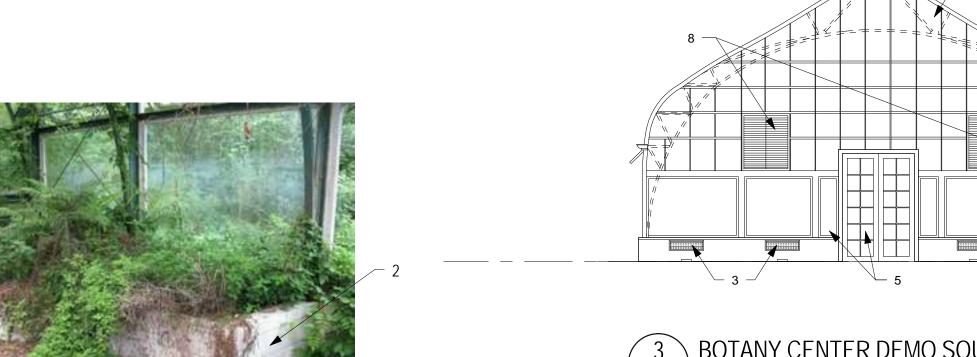
PLANTER

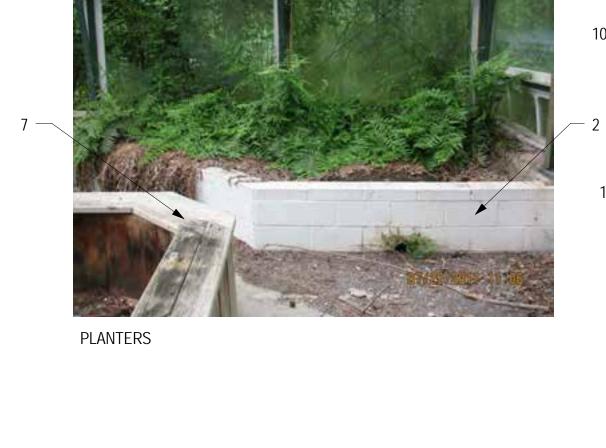


2 BOTANY CENTER DEMO NORTH ELEVATION

3 BOTANY CENTER DEMO SOUTH ELEVATION

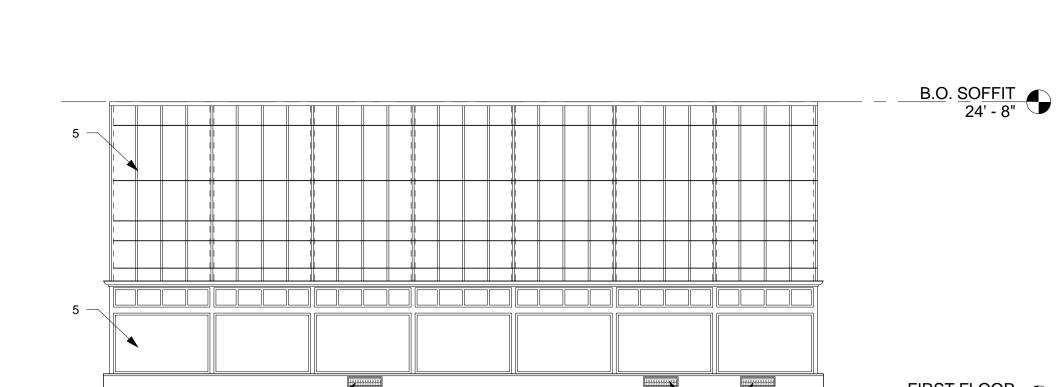
A1.02 1/8" = 1'-0"





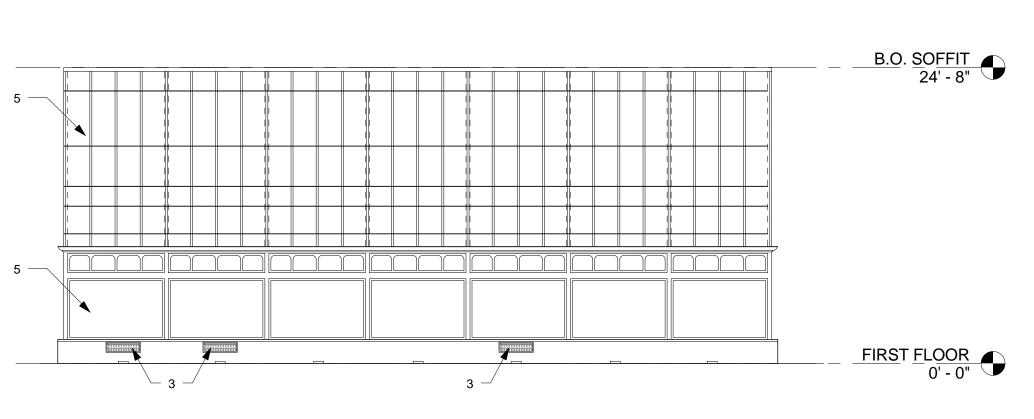
ELECTRICAL LOAD CENTER AND EXHAUST FAN



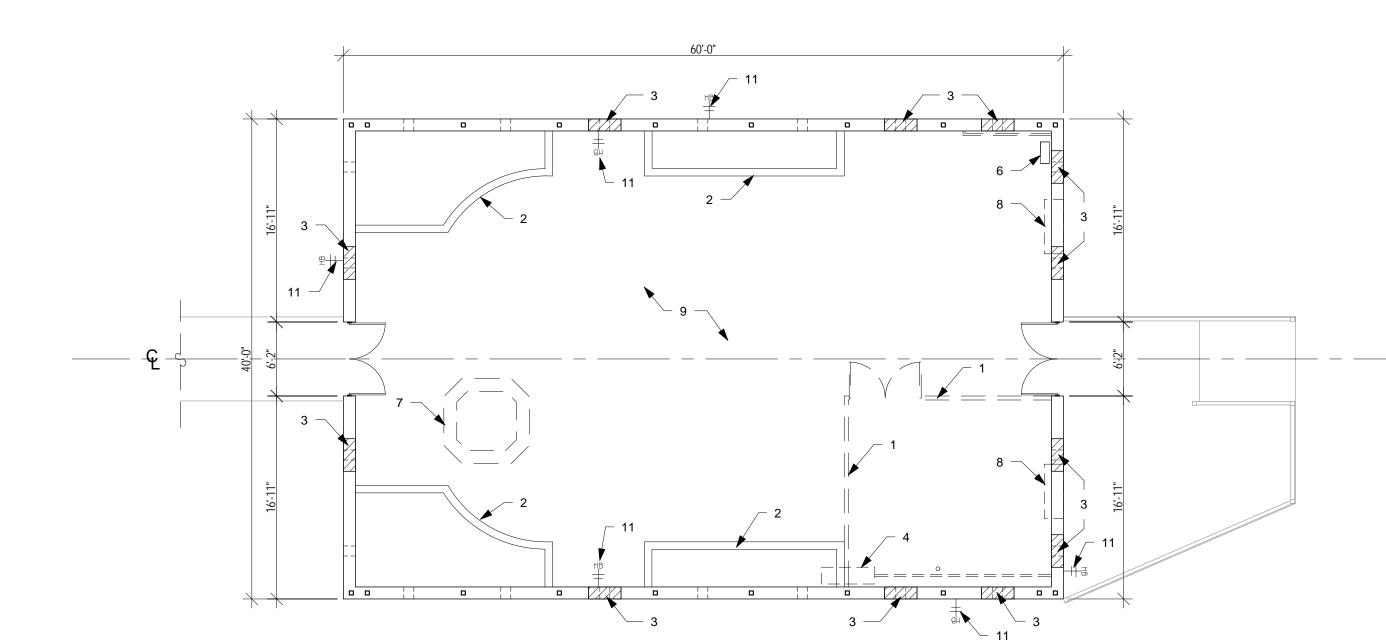


4 BOTANY CENTER DEMO WEST ELEVATION

A1.02 1/8" = 1'-0"







1 BOTANY CENTER DEMO PLAN
A1.02 1/8" = 1'-0"

PROJECT NO. LA 10.0242.90

DRAWN BY: Author

CHECKED BY: Checker

DATE PHASE

06/24/2014 CONSTRUCTION DOCS. BOTANY CTR. DEMO PLAN & ELEVATIONS

A1.02

B.O. <u>SOFFIT</u> 24' - 8"

FIRST FLOOR 0' - 0"

B.O. <u>SOFFIT</u> 24' - 8"

FIRST FLOOR
0' - 0"

bille

AUDUBON LOUISIANA NATURE CENTE BOTANY CENTER RENOVATION

information that is the intellectual property of BILLES PARTNERS, LLC. Reproduction and use of the documents or the underlying design concepts contained therein without the prior and written permission of BILLES PARTNERS is prohibited. These drawings and specifications have been prepared under my close personal supervision and to the best of my knowledge they comply with all local and state requirements. I Will / Will Not be observing the work. • FURNISH AND INSTALL NEW 1/4" THICK LAMINATED CLEAR GLAZING COMPONENTS TO MATCH EXISTING IN SURFACE TREAMENT AND FINISH. INSERT GLAZING INTO

OPEN ROOF, WALL AND WINDOW FRAMES AND SET IN GLAZING COMPOUND. MECHANICALLY CLEAN, PRIME, AND PAINT ALL STEEL FRAMING.

REPAIR, PAINT, AND LUBRICATE WINDOW OPERATING SYSTEM. REPAIR OR REPLACE FINISH HARDWARE INCLUDING LOCKSET, BUTTS, AND ADD CLOSER WITH COVER, BRONZE THRESHOLD, AND WEATHERSTRIPPING. REPLACE DOOR ASTRAGALS, PRIME, AND PAINT.

EXISTING OPENINGS TO REMAIN. CLEAR OBSTRUCTIONS.

DUAL FUNCTION FLOOD AND VENTILATION VENT. SEE DETAIL 6/A2.00 REFINISH DOOR AND REPLACE GLAZING AND HARDWARE (LOCKSET, BUTTS, FLUSH BOLTS, CLOSURES, AND THRESHOLDS). REVERSE DOOR SWING.

NEW EXHAUST FANS + LOUVERS.

PRESSURE WASH CONCRETE FLOOR AND KNEE WALL.

EXISTING BOARDWALK (N.I.C.). REPAIR EXISTING CONCRETE PERIMETER WALL WITH GROUT AND CEMENT AS

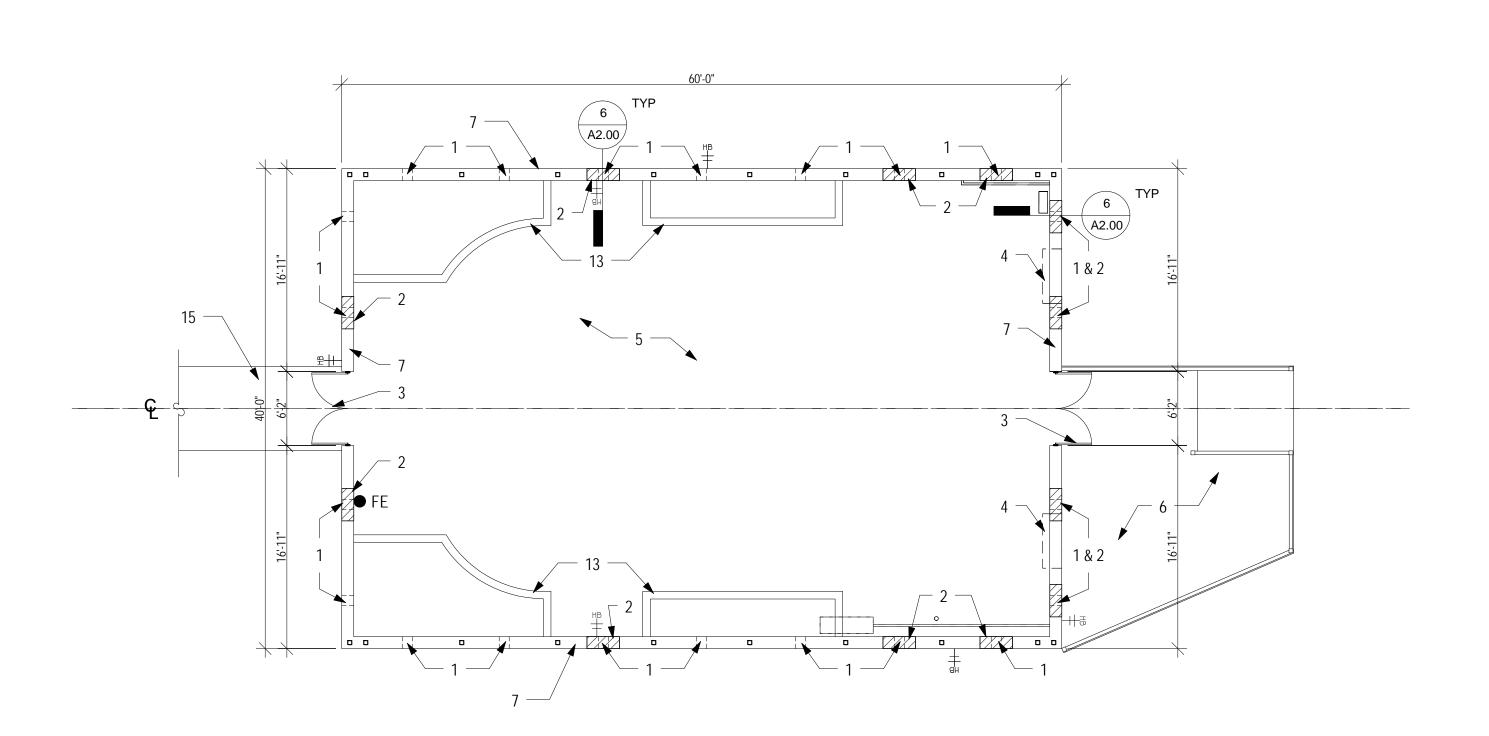
REQUIRED AT ANY DAMAGED AREAS; CLEAN, PRIME & PAINT (TYP.). WELD ALL BROKEN STEEL CONNECTIONS AND PAINT (TYP.).

MECHANICALLY CLEAN, PRIME, AND PAINT STEEL STRUCTURE.

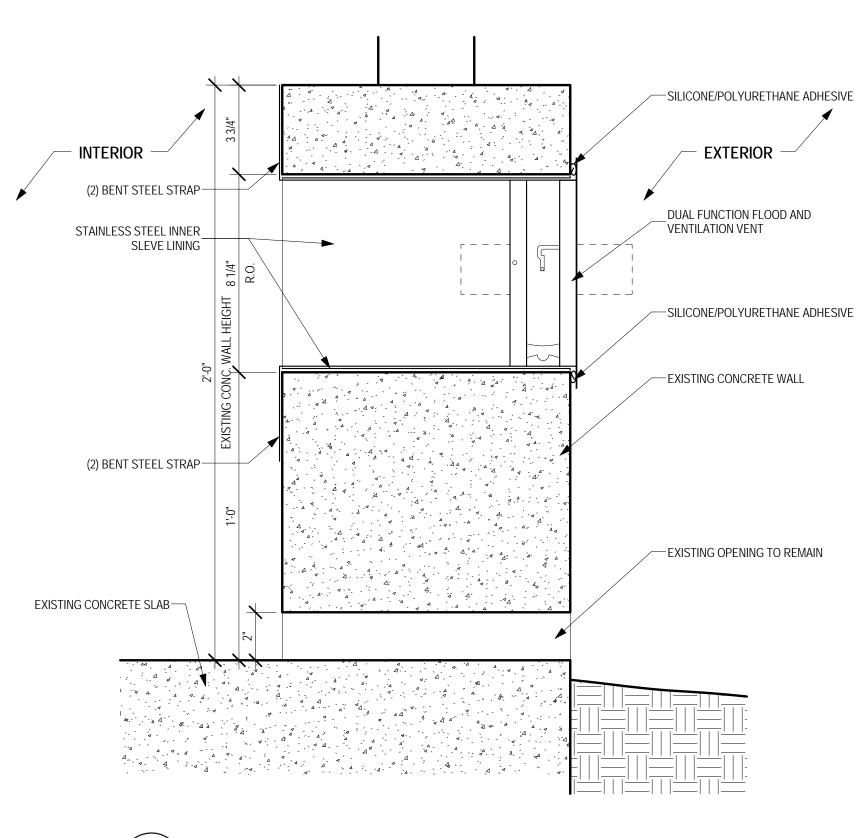
REPAIR, CLEAN, PRIME & PAINT WINDOW MECHANISIMS. REPLACE AS REQUIRED. REPLACE ALL GLAZING, MECHANICALLY CLEAN, PRIME & PAINT WOOD FRAMING.

12. MECHANICALLY CLEAN, PRIME & PAINT WOOD TRIM (TYP.).

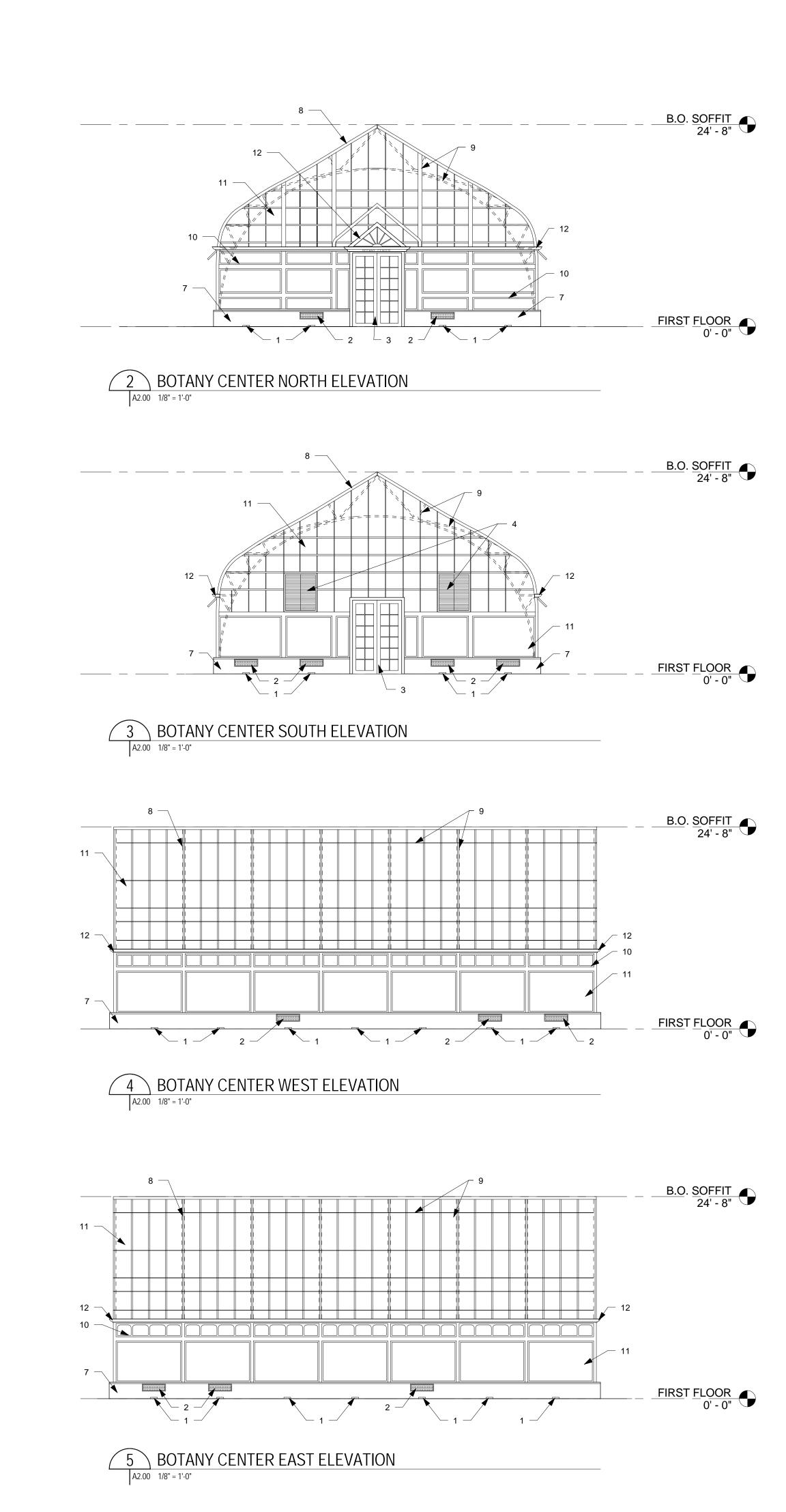
13. REPAIR, CLEAN, PRIME & PAINT EXISTING CMU PLANTERS (TYP.).



BOTANY CENTER FLOOR PLAN







P bille

AUDUBON LOUISIANA NATURE CENTE BOTANY CENTER RENOVATION

information that is the intellectual property of BILLES PARTNERS, LLC. Reproduction and use of the documents or the underlying design concepts contained therein without the prior and written permission of BILLES PARTNERS is prohibited. These drawings and specifications have been prepared under my close personal supervision and to the best of my knowledge they comply with all local and state requirements. I Will / Will Not be observing the work.

PROJECT NO. LA 10.0242.90 DRAWN BY: Author

CHECKED BY: Checker

DATE PHASE

06/24/2014 CONSTRUCTION DOCS.

BOTANY CTR. FLOOR PLAN & ELEVATIONS

#### **GENERAL DEMOLITION NOTES:**

- ONLY REMOVE SPECIFIC COMPONENTS OF THE MAINTENANCE BUILDING AS OUTLINED BELOW.
- ALL COMPONENTS NOT BEING REMOVED SHALL BE CLEANED, PAINTED, AND PROTECTED.
   RETAIN EXISTING CONCRETE SLAB, STEEL COLUMNS, AND STEEL BEAMS UNLESS OTHERWISE NOTED.

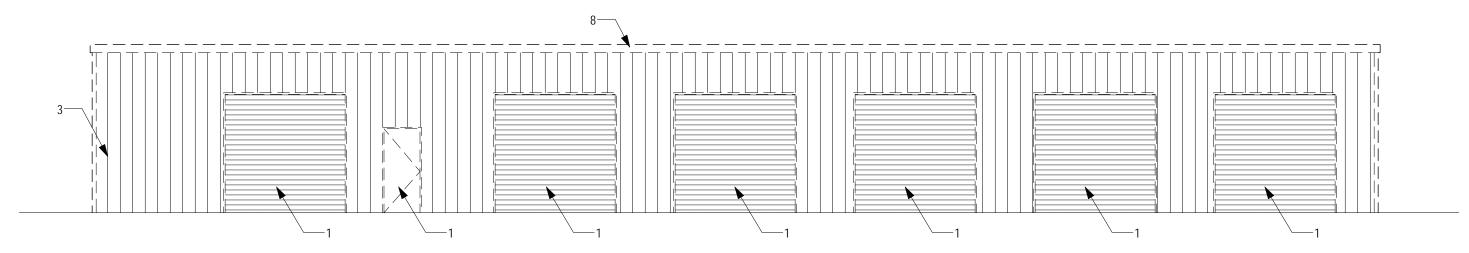
#### DEMOLITION KEY NOTES:

1. REMOVE EXISTING DOOR AND TRACK. REMOVE STEEL HEADER AND FRAMING.

REMOVE METAL DOWNSPOUTS AND GUTTERS.
REMOVE METAL SIDING AND ASSOCIATED METAL TRIM.

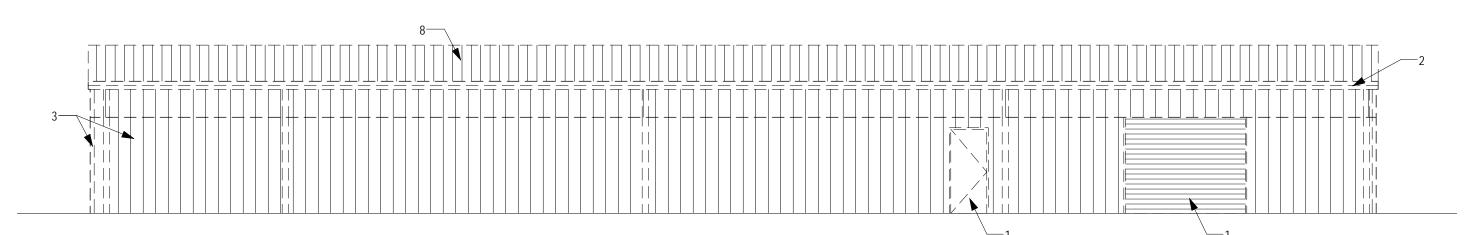
- REMOVE WETAL SIDING AND ASSOCIATED METAL TRIM.

  REMOVE WOOD STUD WALL, PLYWOOD SHEATHING, AND ASSOCIATED COMPONENTS.
- 5. REMOVE WOOD SHELVING AND ASSOCIATED COMPONENTS.
- REMOVE SERVICE SINK, PLUMBING, AND ALL ASSOCIATED COMPONENTS.
  REMOVE ALL ELECTRICAL OUTLETS, OUTLET BOXES, SWITCHES, SWITCH PLATES, AND ALL ASSOCIATED CONDUIT AND WIRING.
- 8. REMOVE ALL ELECTRICAL OUTLETS, OUTLET BOXES, SWITCHES, SWITCHES
- REMOVE LATTICE SCREEN AND ASSOCIATED COMPONENTS.

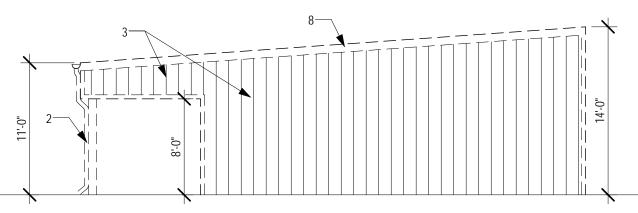


2 MAINTENANCE BLDG. DEMO NORTH ELEVATION

A1.02 1/8" = 1'-0"



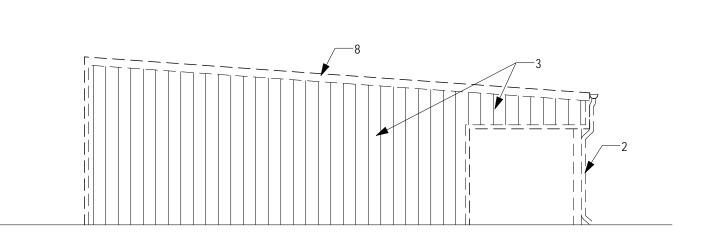
3 MAINTENANCE BLDG. DEMO SOUTH ELEVATION
|A1.02 1/8" = 1'-0"



4 MAINTENANCE BLDG. DEMO EAST ELEVATION

A1.02 1/8" = 1'-0"





5 MAINTENANCE BLDG. DEMO WEST ELEVATION

A1.02 1/8" = 1'-0"













32'-1" (3)— + - — STORAGE 1 MAINTENANCE BUILDING DEMO PLAN
|A1.02 1/8" = 1'-0"

These drawings contain proprietary and confidential information that is the intellectual property of BILLES PARTNERS, LLC. Reproduction and use of the documents or the underlying design concepts contained therein without the prior and written permission of BILLES PARTNERS is prohibited.

These drawings and specifications have been prepared under my close personal supervision and to the best of my knowledge they comply with all local and state requirements. I Will /Will Not be observing the work.

billespa

AUDUBON LOUISIANA NATURE CENTER MAINTENANCE BUILDING RENOVATION

PROJECT NO. LA 10.0242.80

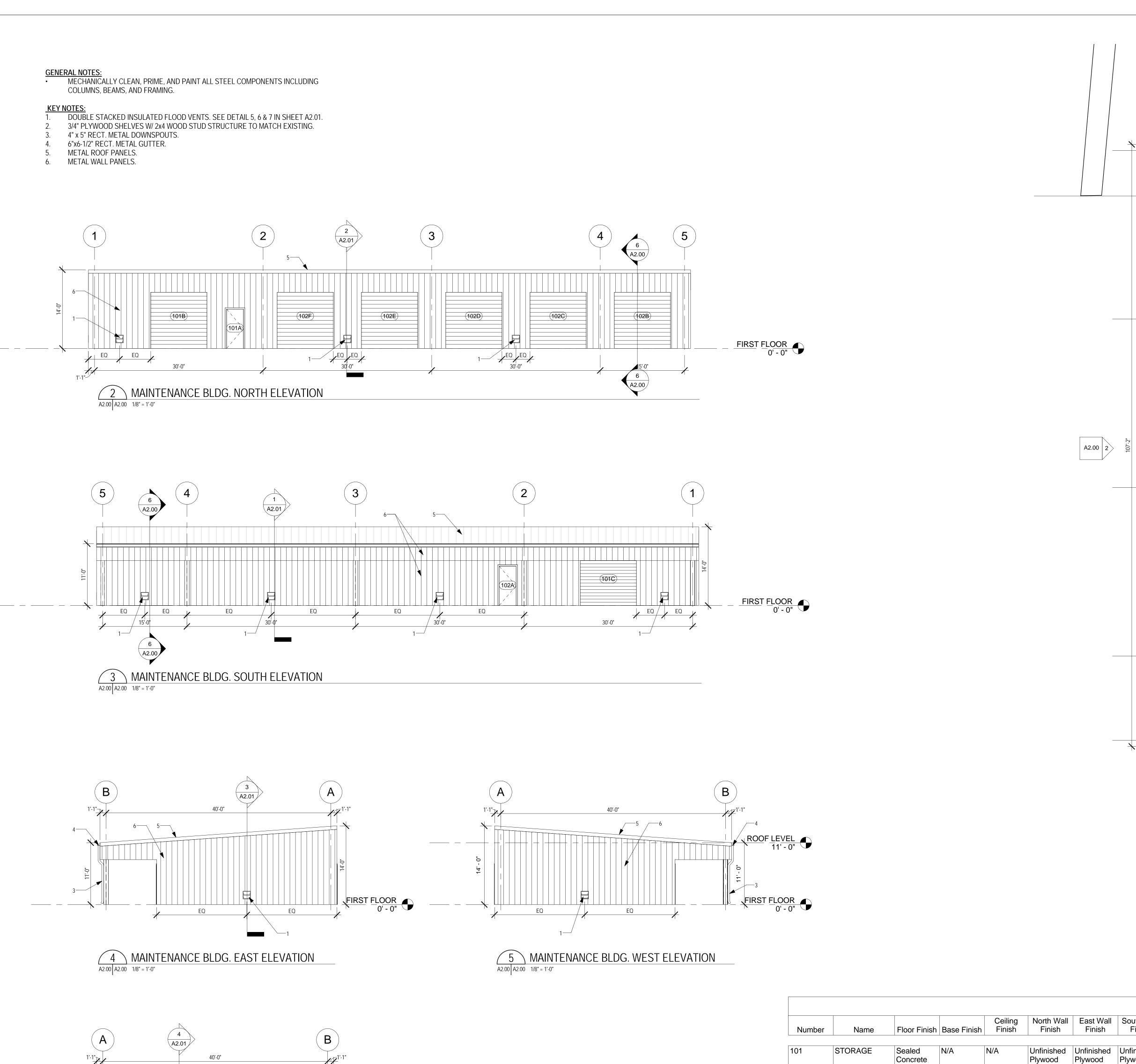
DRAWN BY: Author

CHECKED BY: Checker

DATE PHASE

06/24/2014 CONSTRUCTION DOCS.

MAINTENANCE BLDG. DEMO PLAN & ELEVATIONS A 1.02



STORAGE 102

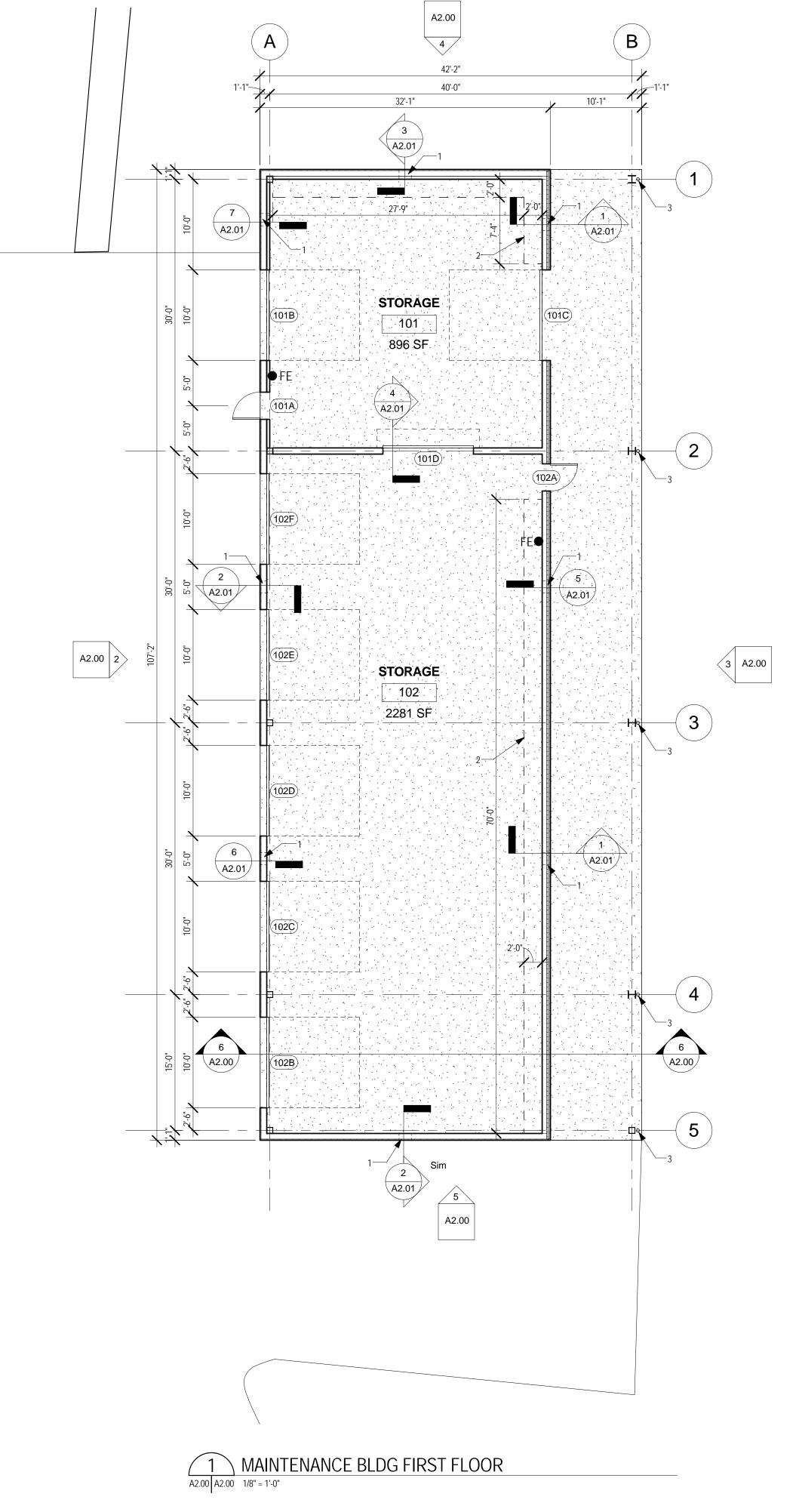
6 SECTION 01 A2.00 A2.00 1/8" = 1'-0"

2x4 WOOD STUD SHELF SUPPORT TO

MATCH EXISTING @ 2'-6" O.C., TYP.

SEE 1/A2.00 FOR LOCATIONS & EXTENT

EXISTING CONCRETE SLAB



							Ro	om Schedule	
Number	Name	Floor Finish	Base Finish	Ceiling Finish	North Wall Finish	East Wall Finish	South Wall Finish	West Wall Finish	Remarks
101	STORAGE	Sealed	N/A	N/A	Unfinished	Unfinished	Unfinished	Unfinished	
		Concrete			Plywood	Plywood	Plywood	Plywood	
102	STORAGE	Sealed Concrete	N/A	N/A	Unfinished Plywood	Unfinished Plywood	N/A	N/A	

	Door Schedule										
Mark	Door Type	Frame Type	Width	Height	Thickness	Fire Rating	Hardware Set	Comments			
101A	Hollow Metal	Hollow Metal	3' - 0"	7' - 0"	0' - 1 3/4"		3 Hinges, Lockset, Exit Device, Threshold, Silencers, Closer, Weather Stripping				
101B	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
101C	Overged Segmented Garage Door	By Manufacturer	10' - 0"	8' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
101D	Overhead Rolling Door	By Manufacturer	10' - 0"	8' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
02A	Hollow Metal	Hollow Metal	3' - 0"	7' - 0"	0' - 1 3/4"		3 Hinges, Lockset, Exit Device, Threshold, Silencers, Closer, Weather Stripping				
02B	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
02C	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
02D	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
02E	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			
102F	Overged Segmented Garage Door	By Manufacturer	10' - 0"	10' - 0"	0' - 2"	N/A	By Manufacturer	Manufactured Assembly			

DIII ESPATTINE E E E PLANNING I PROJECT DEVELOPMENT I ARCHITECTURE I INTERIOR DESIGN I G

AUDUBON LOUISIANA NATURE CENTER
MAINTENANCE BUILDING RENOVATION

These drawings contain proprietary and confidential information that is the intellectual property of BILLES PARTNERS, LLC. Reproduction and use of the documents or the underlying design concepts contained therein without the prior and written permission of BILLES PARTNERS is prohibited.

These drawings and specifications have been prepared under my close personal supervision and to the best of my knowledge they comply with all local and state requirements. I Will / Will Not be observing the work.

PROJECT NO. LA 10.0242.80

DRAWN BY: Author

CHECKED BY: Checker

DATE PHASE

06/24/2014 CONSTRUCTION DOCS.

MAINTENANCE BLDG. PLAN
& ELEVATIONS

A2.00