

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – February 28, 2014

There will be a meeting of the Planning Advisory Committee on Wednesday, February 28, 2014 at 2:00 p.m. The meeting will be held in the One Stop Shop conference room A, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the February 19, 2014 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 027/14** – Request by THE BOARD OF SUPERVISORS FOR THE UNIVERSITY OF LOUISIANA SYSTEM WITH AND FOR THE UNIVERSITY OF NEW ORLEANS for a Zoning Change from an RM-4 Multiple-Family Residential District to a B-1 Neighborhood Business District and a Conditional Use to permit a fast food restaurant in the proposed B-1 Neighborhood Business District and the ICUC Inner-City Urban Corridor District overlay on an undesignated lot on an undesignated square in the Third Municipal District, bounded by Elysian Fields Avenue, Leon C. Simon Drive, New York Street and Curie Street. The municipal address is UNASSIGNED. (PD 6)
- 3) **Consideration:** **ZONING DOCKET 028/14** – Request by LAKEVIEW HOLDINGS II, LLC for a Conditional Use to permit the sale of alcoholic beverages for consumption on-premises at a standard restaurant in an LB-2 Lake Area Neighborhood Business District and the LADC Lake Area Design Corridor Overlay District on Square 233, Lot B, in the Second Municipal District, bounded by Harrison Avenue and Memphis, Vicksburg, and Bragg Streets. The municipal address is 789 HARRISON AVENUE. (PD 5)
- 4) **Consideration:** **ZONING DOCKET 029/14** – Request by JNPR, LLC for a Conditional Use to permit a fast food restaurant in a C-1 General Commercial District and a UC Urban Corridor District overlay, on Section 38 or an undesignated square, Lot A-2 or Lots A, B, C, D and E, in the Third Municipal District, bounded by Chef Menteur Highway, Desire Parkway, Old Gentilly Road and France Road. The municipal address is 4800 CHEF MENTEUR HIGHWAY. (PD 6)
- 5) **Consideration:** A request by Real Estate & Records for the sale of a parcel of land designated as pts. Lots 15 through 18, Square 700, 3rd Municipal District, bounded by N. Claiborne Avenue, Tupelo Street, N. Derbigny Street, and Gordon Street, bearing the municipal address 6022 N. Derbigny Street (or on the assessor's site as 47103 Tupelo Street).

- 6) **Consideration:** A request by Billy Good for a one-year lease (and then subsequent sale) for the N. Rendon St. public right of way (paper street) in the 2nd M.D, between squares 449 and 426, bounded by N. Jefferson Davis Parkway (Sq 449), St. Louis St., N. Lopez St. (Sq 426), and Conti Street.
- 7) **Consideration:** A request by David Fuselier for grants of a predial servitude, for the proposed encroachments of roof overhang on/over the Seventh St. public right-of-way, adjacent to Lots J-1 and J-2, Square 82, 4th M.D., bounded by Annunciation St., 6th St., Chippewa St., and 7th St. The municipal addresses of the two adjacent properties are 701 7th Street and 707 7th Street.
- 8) **Consideration:** A request by G-N-G Partners, LLC, for a sidewalk café franchise for a restaurant located at 1068 Magazine Street.
- 9) **Consideration:** A request by Christopher Starnes for a sidewalk café franchise for a restaurant located at 536 Frenchmen Street.
- 10) **Any Other Matters:** Review of new site plan and actual construction for 601 Frenchmen St., by DD Frenchemen, LLC. The next Planning Advisory Committee meeting will be held on Wednesday, March 19, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

Respectfully yours,

Robert D. Rivers, Director
February 28, 2014

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of "no objection" by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – February 19, 2014

A meeting of the Planning Advisory Committee was held on Wednesday, February 19, 2014 at 2:00 PM in the One Stop Shop conference room A, City Hall Room 7W03. Those in attendance were:

MEMBERS

LaJoyce Steib (SWB)
Mark Johnson (SWB)
Denise McCray (SWB)
Max Camp (RER)
Arlen Brunson (CPC)
Tracy St. Julien (HDLC)
Richard Scheirman (DPW)
Lary Hesdorffer (VCC)

GUESTS

Josh Gertler (Property Management)
Alvin Lacoste (Applicant)
Justin Schmidt (Legal Representation)
Anaecha Smothers (Community 6)

CPC STAFF

Editha Amacker
Stephen Kroll
Rachel Mays
Dubravka Gilic
Valerie McMillan
Christopher Mills
Dale Thayer
Jeremy Tennant

NON-VOTING DEPARTMENTS

William Gilchrist (City of New Orleans)

- 1) **Consideration:** Minutes from the February 5, 2014 PAC meeting.

The minutes were approved as written.

- 2) **Consideration:** **ZONING DOCKET 022/14** – Request by 3021 ST CLAUDE LLC for a Conditional Use to permit a cocktail lounge in a B-1A Neighborhood Business District on Square 400, Lot 4 Pt. 3 R Pt. 14 15 or Lot 19, the Third Municipal District, bounded by Saint Claude Avenue, Feliciana, Montegut, and Marais Streets. The municipal address is 3021-3023 SAINT CLAUDE AVENUE. (PD 7)

A representative for the applicant was present and described the request. The applicant's representative indicated that the cocktail lounge will be located downstairs and will not have live music or entertainment. As well, the applicant will address concerns about trash storage and will retain existing signage. The representative noted that the cocktail lounge will be operated by the building owner and that there is a radio station upstairs. The committee passed a motion of no objection subject to further review by the City Planning Commission. The committee passed a motion to reconsider this item and subsequently passed a motion to add Real Estate and Records to the motion of no objection subject to review of encroachments within the public right-of-way. A representative for the applicant was present and described the request. The committee passed a motion of no objection subject to further review by the City Planning Commission. The committee passed a motion to reconsider this item and subsequently passed a motion to add Real Estate and Records to the motion of no objection subject to review of encroachments within the public right-of-way.

- 3) **Consideration: ZONING DOCKET 023/14** – Request by COLEMAN E. ADLER II for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption in a retail establishment with a floor area of less than 25,000 square feet in a CBD-3 Central Business District on Square 67, Lots A or A 1, 2, and E in the Second Municipal District, bounded by Canal, Bourbon, Dauphine and Iberville Streets. The municipal addresses are 801-807 CANAL STREET. (PD 1A)

The representative of the Historic District Landmarks Commission noted that due to the site's location in the Canal Street Local Historic District, any modifications to the buildings' exteriors must be approved by the Historic District Landmarks Commission. The representative of the Department of Property Management, Division of Real Estate and Records noted that a lease of servitude would be required for building encroachments over the adjacent public rights-of-way. None of the other departmental representatives present at the meeting noted any requirements regarding the proposal. The committee passed a motion of no objection subject to further review by the City Planning Commission, the Department of Property Management, Division of Real Estate and Records, and the Historic District Landmarks Commission.

- 4) **Consideration: ZONING DOCKET 024/14** – Request by GAMMA RHO FOUNDATION, INC for a Conditional Use to permit a private club in an RD-2 Two-Family Residential District on Square 234/Pt. Square 259, Lot T-2 in the Fifth Municipal District, bounded by L.B. Landry Avenue, Lawrence Street, Leboeuf Street, and the Crescent City Connection/Westbank Expressway. The municipal address is 1601 L.B. LANDRY AVENUE. (PD 12)

The applicant was not present at the meeting and the Sr. City Planner presented the request to the PAC. The Sr. City Planner explained the proposed onsite development which includes one (1) main structure, a driveway and parking lot, one (1) curb cut along L.B. Landry and site landscaping. The Sr. City Planner also recommended that site storm water management options are available for the project including the use of rain gardens and bioswales. A representative from the Department of Public Works (DPW)

which includes one (1) main structure, a driveway and parking lot, one (1) curb cut along L.B. Landry and site landscaping. The Sr. City Planner also recommended that site storm water management options are available for the project including the use of rain gardens and bioswales. A representative from the Department of Public Works (DPW) stated the applicant needs to resubmit more detailed site plans including additional dimensions, provide a drainage plan and DPW review on the curb cut. A representative from the Sewerage & Water Board (S&WB) stated that the applicant will need to extend the sewer line onto L.B. Landry Ave. from the existing line on Lawrence Street. A representative from the City Planning Commission (CPC) asked if S&WB and DPW representatives would accept storm water green infrastructure projects, both on the site and adjacent public rights-of-way, to tie into the Lawrence Street on-street storm sewer drainage inlet. The Committee agreed that the proposed storm water language should take the form of a proviso, informing all pertinent agencies for review and approval. The committee passed a motion of no objection subject to further review by the CPC, PPW, DPW and S&WB.

- 5) **Consideration:** **ZONING DOCKET 025/14** – Request by RICHARD H. SMOTHERS for a Conditional Use to permit the sale of alcoholic beverages for consumption off-premises at a retail grocery store in a B-1 Neighborhood Business District, on Square 238, Lot 14, in the First Municipal District, bounded by North Prieur, St. Ann, North Roman Streets and Orleans Avenue. The municipal address is 1921 ORLEANS AVENUE. (PD 4)

Anaecha Smothers (1921 Orleans Avenue), representing the applicant, briefly described the request as it is exactly the same request that was submitted before the PAC in July of 2011. Historic District Landmark Commission (HDLC) stated that they would need to review outside signage. The Committee passed a motion of no objection to the request, subject to further review by the HDLC.

- 6) **Consideration:** A request by 127-129 Carondelet, LLC, for a grant of a predial servitude, for the proposed encroachments of cantilever balconies and existing encroachment of an awning on/over the Carondelet St. public right-of-way, adjacent to Lot 28, Square 226, 1st M.D., bounded by Common St., Baronne St., Canal St., and Carondelet St. The municipal address is 127-129 Carondelet St.

Josh Gertler presented said request and relevant issues about cantilevered balcony. DPW confirmed proposed encroachments are okay and requested that applicant submit a letter of assurance that the construction plans would include the required height dimensions for clearance purposes. The Committee passed a motion of no objection subject to further review by DPW in the form of requested letter.

- 7) **Consideration:** Consideration: A request by Alvin Lacoste for a grant of a predial servitude, for the proposed encroachment of concrete steps on/over the Dauphine St. public right-of-way, adjacent to Lot 2, Square 70, 2nd M.D., bounded by St. Louis St., Bourbon St., Conti St., and Dauphine St. The municipal address is 434-436 Dauphine St.

Applicant Alvin Lacoste presented and explained need for said request. VCC confirmed that applicant has been working with their department to ensure appropriate design and has approved the plans subject to final review by VCC. SWB requested that the servitude agreement would include conditions regarding access to the sewer line. The Committee passed a motion of no objection subject to further review by VCC.

- 8) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, February 28, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

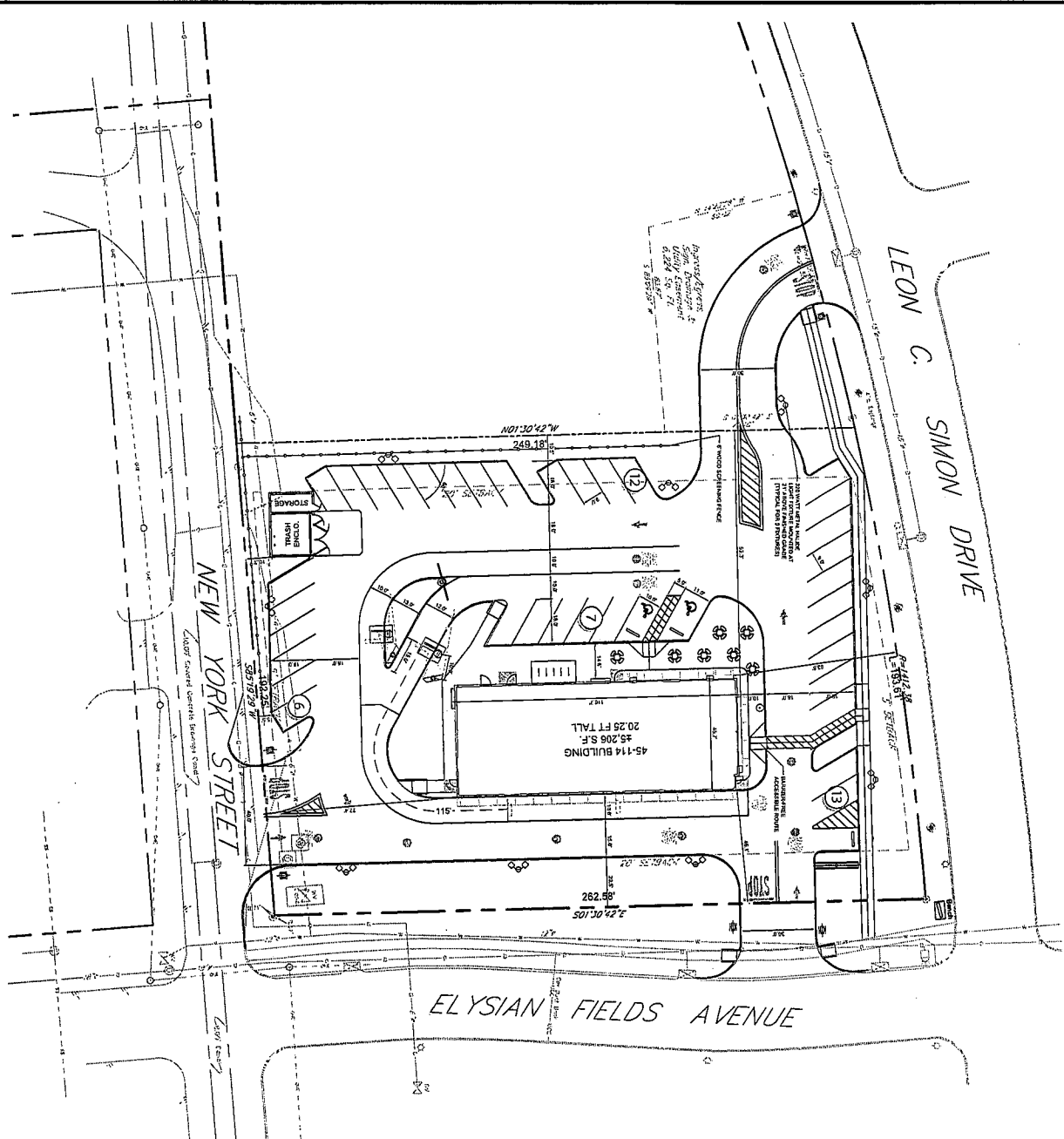
Respectfully yours,

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February 19, 2014

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Item #2

Consideration: ZONING DOCKET 027/14 – Request by THE BOARD OF SUPERVISORS FOR THE UNIVERSITY OF LOUISIANA SYSTEM WITH AND FOR THE UNIVERSITY OF NEW ORLEANS for a Zoning Change from an RM-4 Multiple-Family Residential District to a B-1 Neighborhood Business District and a Conditional Use to permit a fast food restaurant in the proposed B-1 Neighborhood Business District and the ICUC Inner-City Urban Corridor District overlay on an undesignated lot on an undesignated square in the Third Municipal District, bounded by Elysian Fields Avenue, Leon C. Simon Drive, New York Street and Curie Street. The municipal address is UNASSIGNED. (PD 6)



SITE INFORMATION

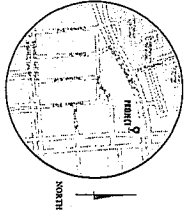
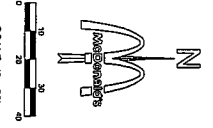
SUBJECT PROPERTY ADDRESS	4514 S. ELYSIAN
TOTAL LOTS AREA OF PLANNED PROJECT	14,429 SQ. FT. (331.21)
OWNER'S NAME	ADAMS ENGINEERING & ARCHITECTURE
OWNER'S ADDRESS	910 S. KIMBALL AVENUE, SUITE 100, SOUTH LAKE, TEXAS 76092
PROPOSED BUILDING AREA	25,206 SQ. FT.
PROPOSED LOT COVERAGE	175%
PROPOSED FLOOR AREA RATIO	1.75
PROPOSED NUMBER OF UNITS	25 UNITS
PROPOSED NUMBER OF PARKING SPACES	25 SPACES

OWNER INFORMATION

NAME OF DEVELOPER
 ADDRESS
 CITY
 STATE
 ZIP

DEVELOPER INFORMATION

NAME OF DEVELOPER
 ADDRESS
 CITY
 STATE
 ZIP



1 of 1

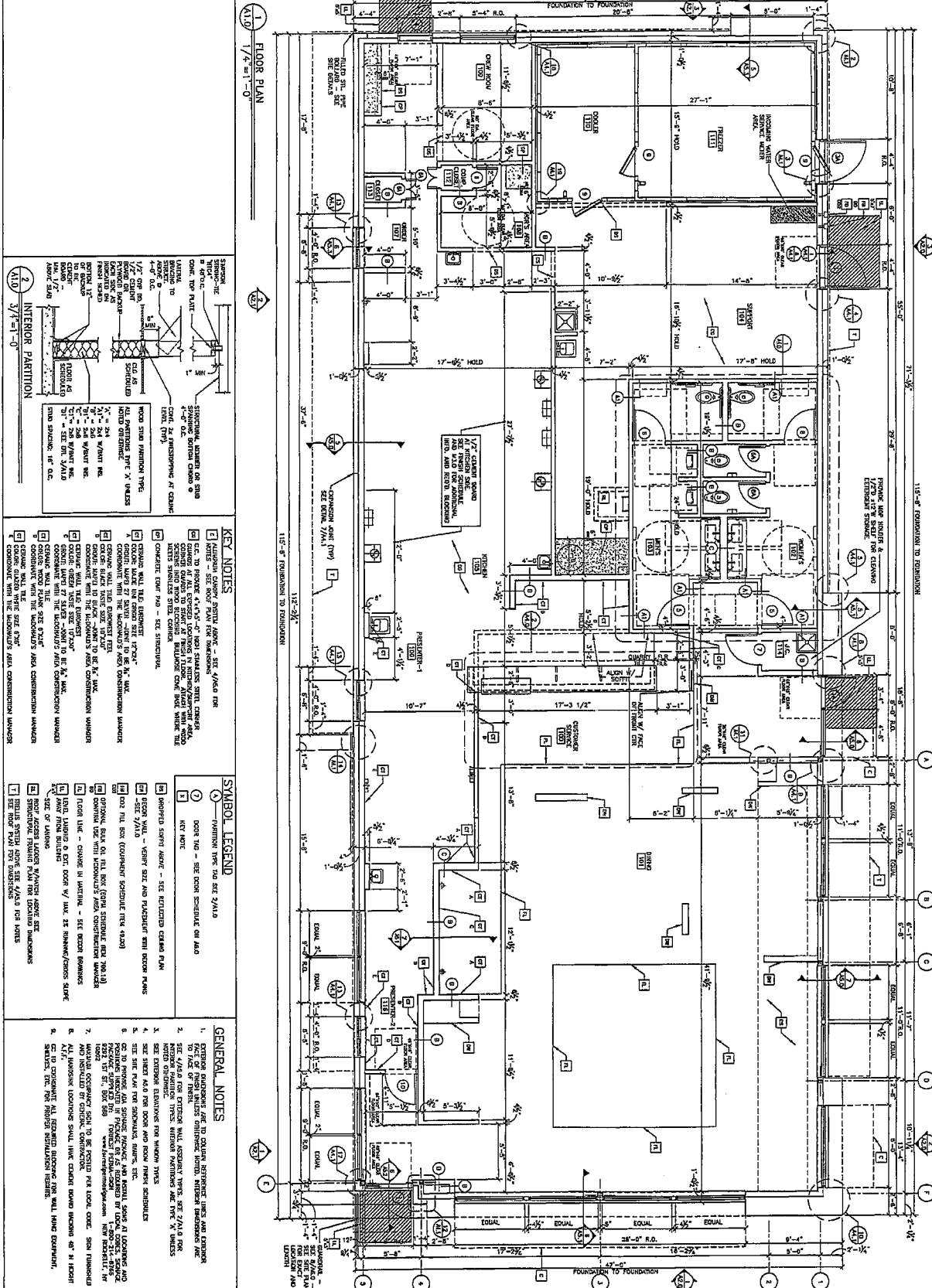
DATE	07/15/14
BY	ESP
FOR	ADAMS
PROJECT	ADAMS
REVISION	ADAMS
DATE	07/15/14
BY	ESP

McDONALD'S - NEW ORLEANS, LA
 ELYSIAN FIELDS AT LEON C SIMON

SITE PLAN

910 S. Kimball Avenue • Southlake, Texas 76092 • (817) 327-3200

REVISIONS	DATE	BY
REZONING & CONDITIONAL USE	06/12/2014	ESP



1 FLOOR PLAN
1/4" = 1'-0"

2 INTERIOR PARTITION
3/8" = 1'-0"

- KEY NOTES**
1. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.
 2. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.
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 19. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.
 20. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.

- SYMBOL LEGEND**
1. WINDOW TYPE - SEE SCHEDULE ON A1.0
 2. DOOR TYPE - SEE SCHEDULE ON A1.0
 3. KEY NOTE
 4. WINDOW SIGHT GLASS - SEE SCHEDULE ON A1.0
 5. WINDOW SIGHT GLASS - SEE SCHEDULE ON A1.0
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 20. WINDOW SIGHT GLASS - SEE SCHEDULE ON A1.0

GENERAL NOTES

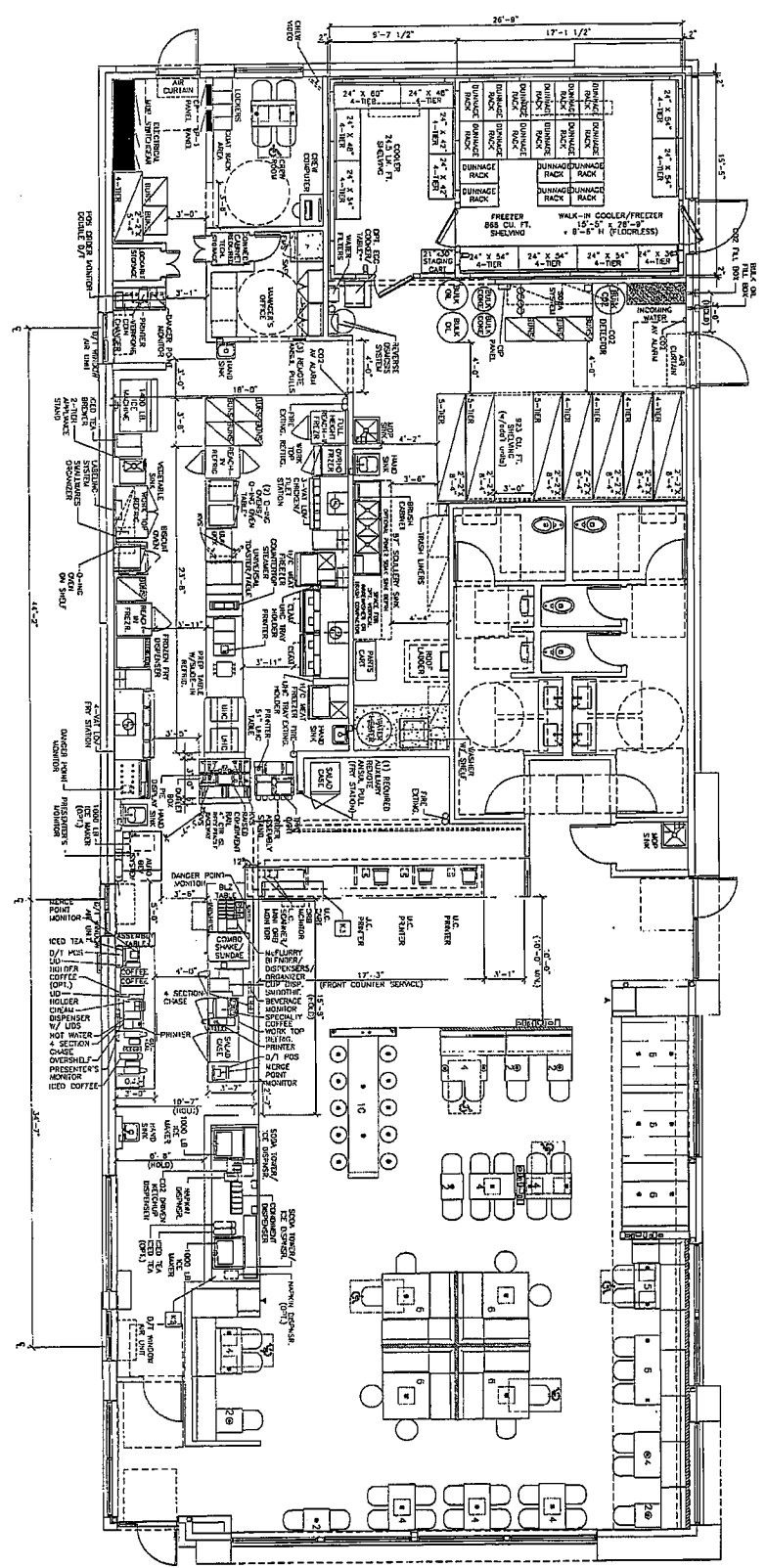
1. EXISTING CONDITIONS ARE TO REMAIN UNLESS INDICATED OTHERWISE.
2. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.
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20. SEE GENERAL NOTES FOR NOTES TO BE OBSERVED BY CONTRACTOR.

<p>McDonald's USA, LLC</p> <p>2013 STANDARD BUILDING 45114 - WOOD/WOOD</p>	<p>CORE STATES GROUP</p> <p>DEC 4 2013</p>	<p>PROJECT NO. 101313</p> <p>DATE 12/4/13</p> <p>BY [Signature]</p>
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- KEYED NOTES**
- 1 NOT USED.
 - 2 SEE TO DURING, SIV, STAKE, REVISIONS AND
 - 3 ADDITIONAL POSITION NOTES AND DIMENSIONS
 - 4 SEE PLAN, P. 10-11

DRAWING NOTES

REVISIONS INDICATED BY CIRCLED NUMBERS
 DIMENSIONS IN PARENTS PARENTHESIS



1 KITCHEN COVER SHEET
 K1.0 1/8" = 1'-0"

SHEET NO. K1.0	TITLE 2013 STANDARD BUILDING 45114- WOOD/WOOD	DATE 2013.02.09	PROJECT FOR McDonald's USA, LLC				REV	DATE	DESCRIPTION	BY
		DESCRIPTION WOOD BEARING WALLS 2 1/2" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FINISH SEE EXTERIOR FINISH ARCH/ARCHY	APPROVED BY DATE 12/4/2013				PROJECT NO. 12/4/2013	SHEET NO. 12/4/2013	SCALE 1/8" = 1'-0"	PROJECT ADDRESS 1201 E. BIRCH & LLOYD FIELD, NEW ORLEANS, LA MCD - 16443

Item #3

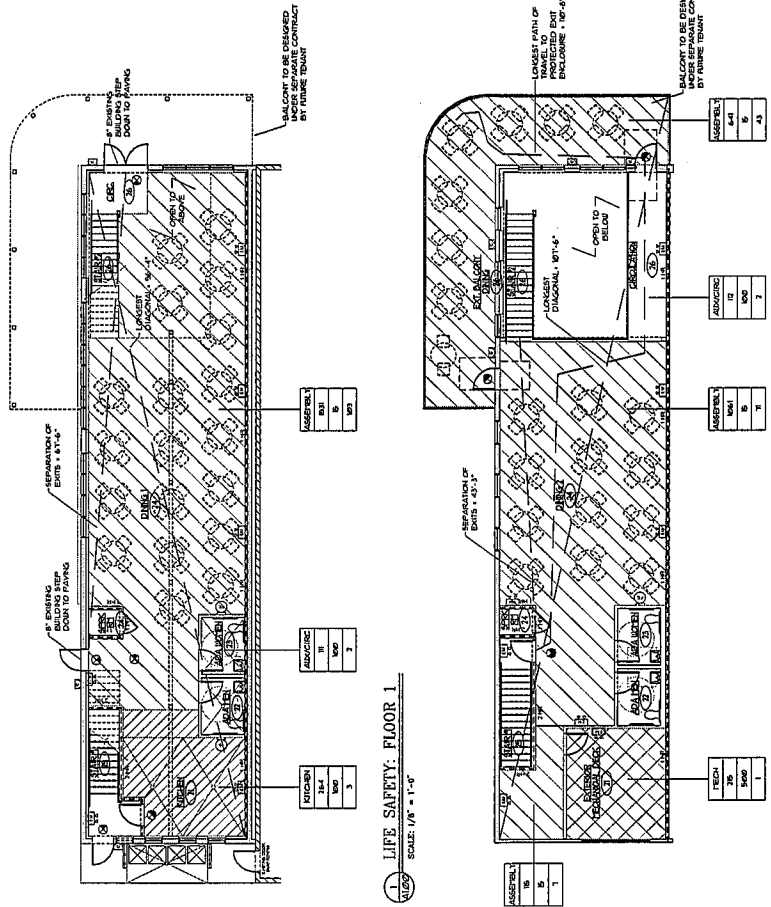
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PROJECT ZONING AND CODE REQUIREMENTS - INTERNATIONAL BUILDING CODE - 2009 EDITION

<p>AREA CALCULATION AND OCCUPANCY CLASSIFICATION</p> <p>OCCUPANCY CLASSIFICATION: ASSEMBLY OCCUPANCY GROUP A, A-7 RESTAURANT</p> <p>EXISTING BUILDING AREA: 3400 SQFT.</p> <p>EXISTING BUILDING AREA: 4400 SQFT.</p> <p>EXISTING BUILDING AREA: 4400 SQFT.</p> <p>FIRST FLOOR INDOOR DINING: 1016 SQFT.</p> <p>FIRST FLOOR OUTDOOR DINING: 244 SQFT.</p> <p>FIRST FLOOR KITCHEN: 244 SQFT.</p> <p>FIRST FLOOR ADJACENT: 112 SQFT.</p> <p>ALLOWABLE BUILDING HEIGHTS AND AREAS:</p> <p>HEIGHT: 50 FEET (TABLE 603)</p> <p>FLOOR AREA PER STORY: 5000 SQFT (TABLE 603)</p>	<p>INTERIOR USES AND CEILING FINISHES BASED ON OCCUPANCY</p> <p>CLASS B FLOOR FINISH: 1016 SQFT</p> <p>CLASS B FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 112 SQFT</p> <p>REFER TO THE ORIGINAL PERMIT PLAN FOR CLASSIFICATION OF WALLS AND CEILING FINISHES.</p>
<p>CONSTRUCTION TYPE</p> <p>FIRE RESISTANCE REQUIRED BASED ON CONST. TYPE:</p> <p>BURNING RT. AND EXIT WALLS - 1 HR</p> <p>FLOOR CONSTRUCTION - 1 HR</p> <p>NON-FLOOR PARTITION WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602):</p> <p>1 HR</p> <p>X GREATER THAN OR EQUAL TO 5 FEET AND LESS THAN OR EQUAL TO 20 FEET - 1 HR</p> <p>X GREATER THAN OR EQUAL TO 20 FEET - 0 HR</p>	<p>NEEDLE FLOOR FINISHES BASED ON OCCUPANCY</p> <p>CLASS B FLOOR FINISH: 1016 SQFT</p> <p>CLASS B FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 112 SQFT</p> <p>REFER TO THE ORIGINAL PERMIT PLAN FOR CLASSIFICATION OF WALLS AND CEILING FINISHES.</p>

NFPA 101 LIFE SAFETY CODE - 2009 EDITION

<p>AREA CALCULATION AND OCCUPANCY CLASSIFICATION</p> <p>OCCUPANCY CLASSIFICATION: CHAPTER 9 ASSEMBLY OCCUPANCY</p> <p>EXISTING BUILDING AREA: 3400 SQFT.</p> <p>EXISTING BUILDING AREA: 4400 SQFT.</p> <p>EXISTING BUILDING AREA: 4400 SQFT.</p> <p>FIRST FLOOR INDOOR DINING: 938 SQFT.</p> <p>FIRST FLOOR OUTDOOR DINING: 244 SQFT.</p> <p>FIRST FLOOR KITCHEN: 244 SQFT.</p> <p>FIRST FLOOR ADJACENT: 112 SQFT.</p> <p>ALLOWABLE BUILDING HEIGHTS AND AREAS:</p> <p>HEIGHT: 50 FEET (TABLE 603)</p> <p>FLOOR AREA PER STORY: 5000 SQFT (TABLE 603)</p>	<p>INTERIOR USES AND CEILING FINISHES BASED ON OCCUPANCY</p> <p>CLASS B FLOOR FINISH: 938 SQFT</p> <p>CLASS B FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 244 SQFT</p> <p>CLASS C FLOOR FINISH: 112 SQFT</p> <p>REFER TO THE ORIGINAL PERMIT PLAN FOR CLASSIFICATION OF WALLS AND CEILING FINISHES.</p>
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LIFE SAFETY: FLOOR 1
SCALE: 1/8" = 1'-0"

LIFE SAFETY: FLOOR 2
SCALE: 1/8" = 1'-0"

CONSTRUCTION TYPE: TYPE I (SECTION 702.1)

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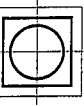
CONSTRUCTION TYPE: TYPE I (SECTION 702.1)

789 HARRISON AVENUE
NEW ORLEANS, LA
LAKEVIEW HOLDINGS II, LLC
BATON ROUGE, LA

LIFE SAFETY SHEET

A1.00
SHEET . OF

AGL ARCHITECTURE & INTERIOR DESIGN
www.aglusa.com
433 Maple Road Suite 205
Metairie, Louisiana 70005
Tel: 504.885.9077
Fax: 504.885.9079



<p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 10/15/11</p> <p>PROJECT: 11-11-11</p> <p>REVISION: 1</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>DATE: 10/15/11</p> <p>PROJECT: 11-11-11</p> <p>REVISION: 1</p>
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ARCHITECTURAL LEGEND

NOTE: LEGEND & TYPICAL NOTE SYMBOLS MAY NOT BE USED ON THIS PROJECT.

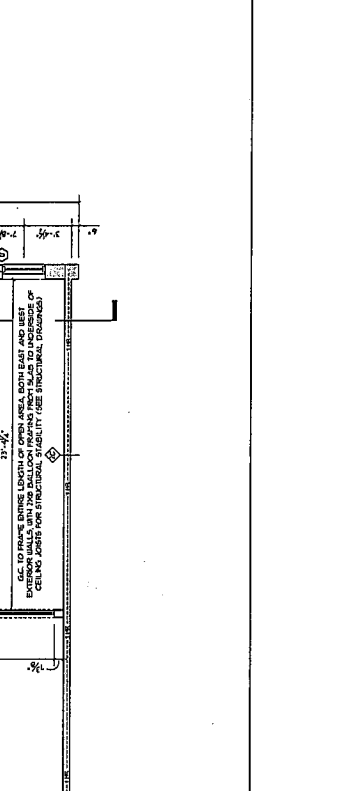
DOOR MARK	ROOM NAME	ROOM NUMBER	EXISTING WALL W/ NEW STUCCO
①	①	①	①
②	②	②	②
③	③	③	③
④	④	④	④
⑤	⑤	⑤	⑤
⑥	⑥	⑥	⑥
⑦	⑦	⑦	⑦
⑧	⑧	⑧	⑧
⑨	⑨	⑨	⑨
⑩	⑩	⑩	⑩
⑪	⑪	⑪	⑪
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⑬	⑬	⑬	⑬
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⑯	⑯	⑯	⑯
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⑲	⑲	⑲	⑲
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HARDWARE SCHEDULE SECOND FLOOR

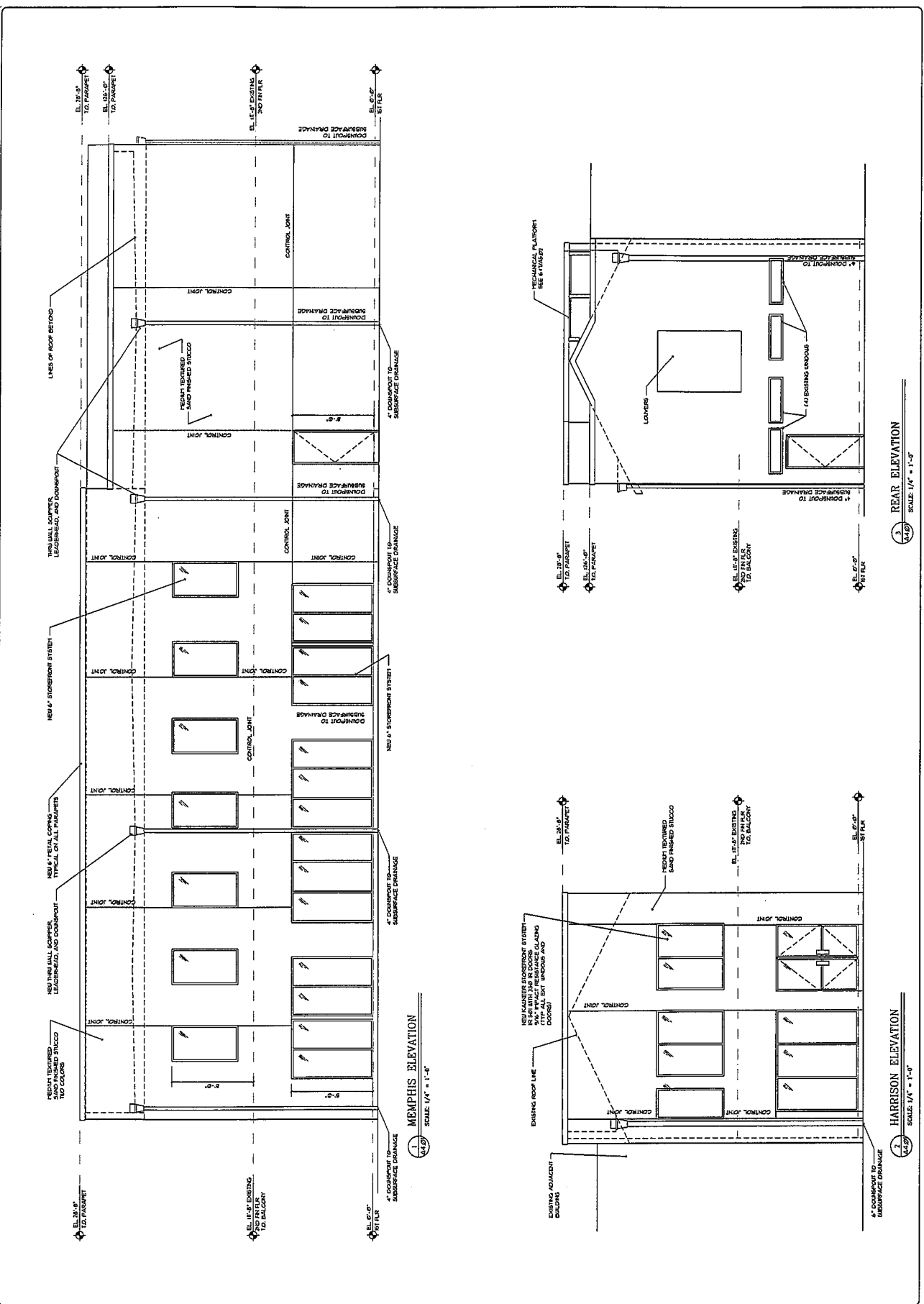
MARK	DESCRIPTION	DETAIL
1	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
2	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
3	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
4	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
5	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
6	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
7	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
8	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
9	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
10	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
11	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
12	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
13	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
14	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
15	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
16	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
17	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
18	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
19	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
20	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
21	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
22	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
23	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
24	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
25	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
26	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
27	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
28	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
29	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
30	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
31	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
32	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
33	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
34	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
35	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
36	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
37	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
38	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
39	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
40	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
41	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
42	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
43	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
44	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
45	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
46	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
47	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
48	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
49	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07
50	EXTERIOR GRADE PORTIVE LOCKSET WITH DISKROCK	DETAIL 1/A4.07

WINDOW / OPENING SCHEDULE SECOND FLOOR

MARK	WIDTH	HEIGHT	FINISH	DETAIL
J	47"	47"	ALUMINUM	DETAIL 1/A4.07
K	47"	47"	ALUMINUM	DETAIL 1/A4.07
L	47"	47"	ALUMINUM	DETAIL 1/A4.07
M	47"	47"	ALUMINUM	DETAIL 1/A4.07
N	47"	47"	ALUMINUM	DETAIL 1/A4.07
O	47"	47"	ALUMINUM	DETAIL 1/A4.07
P	47"	47"	ALUMINUM	DETAIL 1/A4.07
Q	47"	47"	ALUMINUM	DETAIL 1/A4.07
R	47"	47"	ALUMINUM	DETAIL 1/A4.07
S	47"	47"	ALUMINUM	DETAIL 1/A4.07
T	47"	47"	ALUMINUM	DETAIL 1/A4.07
U	47"	47"	ALUMINUM	DETAIL 1/A4.07



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



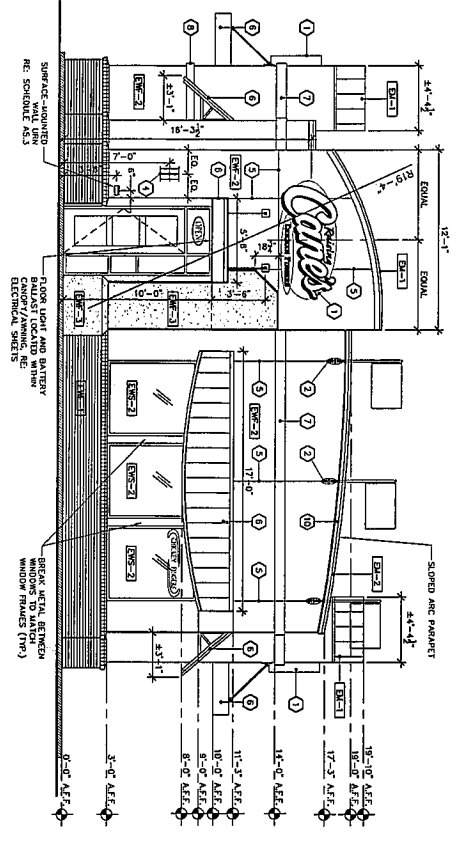
1 MEMPHIS ELEVATION
 SCALE: 1/4" = 1'-0"

2 HARRISON ELEVATION
 SCALE: 1/4" = 1'-0"

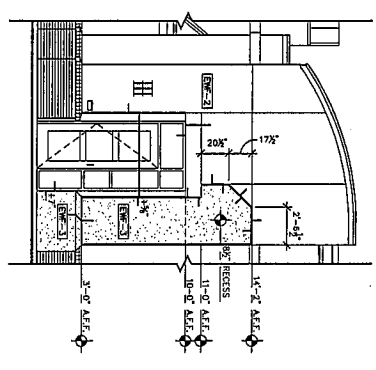
3 REAR ELEVATION
 SCALE: 1/4" = 1'-0"

Item #4

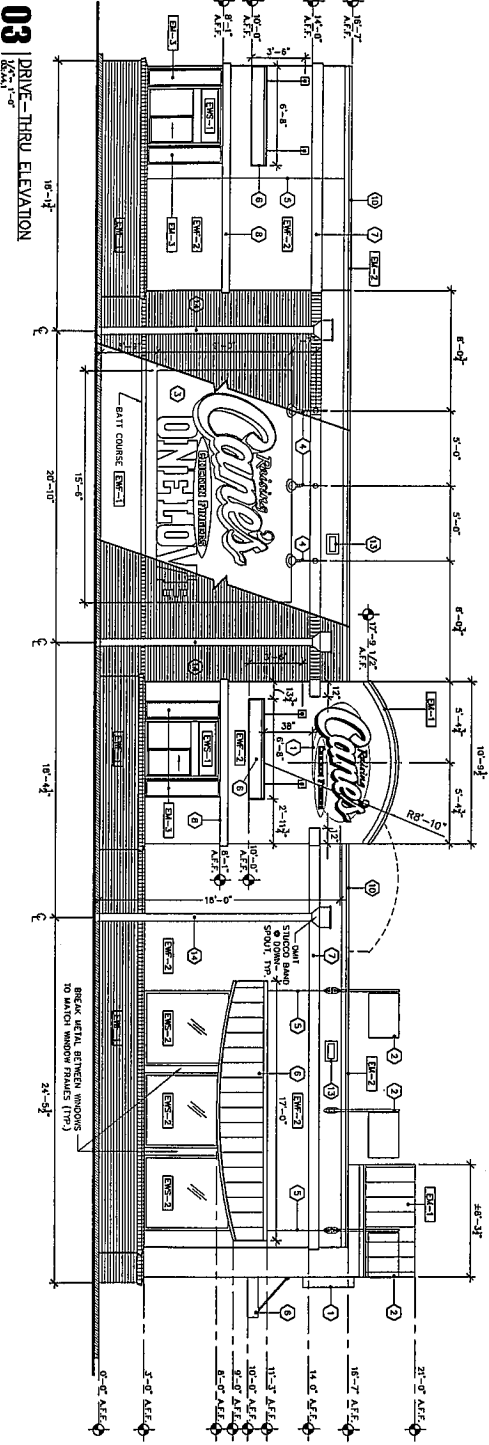
Consideration: ZONING DOCKET 029/14 – Request by JNPR, LLC for a Conditional Use to permit a fast food restaurant in a C-1 General Commercial District and a UC Urban Corridor District overlay, on Section 38 or an undesignated square, Lot A-2 or Lots A, B, C, D and E, in the Third Municipal District, bounded by Chef Menteur Highway, Desire Parkway, Old Gentilly Road and France Road. The municipal address is 4800 CHEF MENTEUR HIGHWAY. (PD 6)



01 FRONT ELEVATION
SCALE: 1/8"=1'-0"



02 FRONT TOWER PROFILE
SCALE: 1/8"=1'-0"



03 DRIVE-THRU ELEVATION
SCALE: 1/8"=1'-0"

MARK	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF GALVANIZED STEEL SHEET W/ KYNAR FINISH (2x 6x) STANDING COLOR (KYNAR BLACK)
EM-2	METAL GUT FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (2x 6x) STANDING COLOR (KYNAR BLACK)
EM-3	STAINLESS STEEL COVER PANEL, FLASHING & GUTS W/ STAINLESS STEEL SEAL AND STAINLESS STEEL FLASHING (SEE SPECIFICATIONS)

MARK	DESCRIPTION
EM-1	DRIVE THROUGH WINDOW
EM-2	1 1/2" X 1/2" STAINLESS STEEL FLASHING TYPICAL 20' IF APPLICABLE TYP. UNO.

MARK	DESCRIPTION
EM-1	FACE BRICK
EM-2	7/8" STUCCO FINISH ON SELF-RISING CONCRETE, JOINTS & TRIM AS REQUIRED (SEE SPECIFICATIONS)
EM-3	7/8" STUCCO FINISH ON SELF-RISING CONCRETE, JOINTS & TRIM AS REQUIRED (SEE SPECIFICATIONS)

MARK	DESCRIPTION
EM-1	SPLO, BY OWNER, REMOVE BLOCKING AS REQ'D. (C-10-01-01-01)
EM-2	FLACS, WHEN PERMITTED
EM-3	EXTENSIVE LIGHTING, RE. ELEC.
EM-4	CONTROL JUNT
EM-5	PRE-FABRICATED METAL CANOPY
EM-6	6" STUCCO OR BRICK BAND AS SHOWN
EM-7	6" STUCCO OR BRICK BAND AS SHOWN
EM-8	HOT USED
EM-9	HOT USED
EM-10	HOT USED
EM-11	HOT USED
EM-12	HOT USED
EM-13	HOT USED
EM-14	HOT USED
EM-15	HOT USED
EM-16	HOT USED
EM-17	HOT USED
EM-18	HOT USED
EM-19	HOT USED
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EM-91	HOT USED
EM-92	HOT USED
EM-93	HOT USED
EM-94	HOT USED
EM-95	HOT USED
EM-96	HOT USED
EM-97	HOT USED
EM-98	HOT USED
EM-99	HOT USED
EM-100	HOT USED

MARK	DESCRIPTION
EM-1	1. REMOVE SEALANT & BRICK RINGS AT ALL DISCONTINUOUS INTERFACES.
EM-2	2. TWO-PART NONSAG POLYURETHANE SEALANT TO BE APPLIED TO ALL DISCONTINUOUS INTERFACES, INCLUDING STOREFRONT & WINDOWS, WALL PENETRATIONS AND SIDING TO PREVENT WEATHER INTRUSION.

MARK	DESCRIPTION
EM-1	1. SOURCE TO BE APPROVED UNDER SEPARATE PLAN (DEFERRED SUBMITTAL).
EM-2	2. C.C. TO PERMIT CARPENTERS AND AMENITIES USING MANUFACTURER SPECIFICATIONS AND/OR SHOP DRAWINGS.

Raising Cane's
CHICKEN FINGERS

Restaurant Support Office
6181 Bishop Road, Suite #2504
Tel: 912-769-3100 Fax: 912-769-3101

Project: Raising Cane's
Site: Chef Menteur Hwy., New Orleans, LA
Prototype 4
Store #163

Architect: CSRS
1417 Peltz Road, Suite 203, Baton Rouge, LA 70802
Phone: 225-769-9600 Fax: 225-769-9288
www.csrs.com

Professional Seal: ARCHITECT, STATE OF LOUISIANA, No. 12345, Exp. 12/31/2010

FOR PERMIT

Submitter: (Print Name of Owner)

Date: _____

City: _____

State: _____

Project: _____

Address: _____

City: _____

State: _____

Zip: _____

Project: _____

Address: _____

City: _____

State: _____

Zip: _____

EXTERIOR ELEVATIONS

Sheet: _____

Date: 2/27/11, 2011

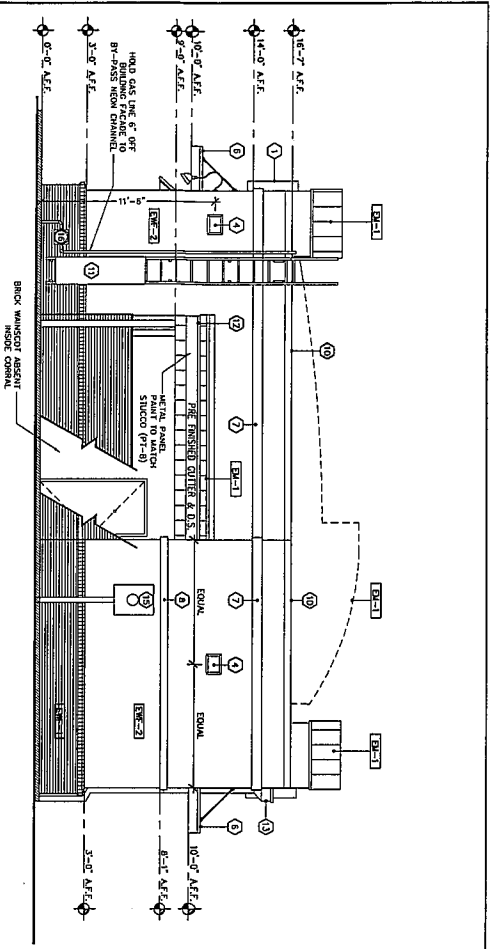
Project: 21113

Drawn By: MMS

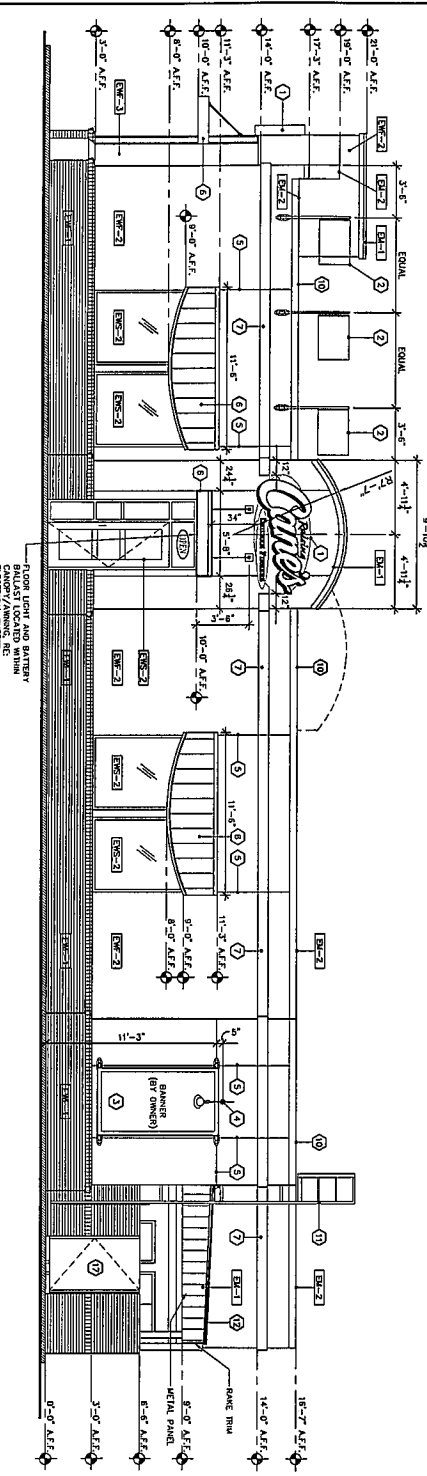
Scale: _____

Sheet Name: _____

A04.1



01 REAR ELEVATION



02 SIDE ELEVATION

MARK	DESCRIPTION
EW-1	STANDING SEAM METAL ROOF CLAWED STEEL SHEET W/ KYNAR FINISH (2x 24) STANDING COLOR (MATT BLACK)
EW-2	METAL CAP FLASHING GALVANIZED STEEL SHEET W/ KYNAR FINISH (2x 24) STANDING COLOR (MATT BLACK)
EW-3	STAINLESS STEEL COVER PANEL FASTENED TO WALL W/ STAINLESS STEEL SEAT AND BY G.C.

EXTERIOR WINDOW SYSTEMS

MARK	DESCRIPTION
EW-1	DRIVE THROUGH WINDOW
EW-2	1 1/2" ALUM. THERMOSET KAWNEER T-116 ALUM. WINDOW SYSTEM

EXTERIOR WALL FINISHES

MARK	DESCRIPTION
EW-1	FACE BRICK
EW-2	7/8" STUCCO FINISH ON SELF FINISHING CONCRETE, WINDING & NAIL AS REQUIRED (SEE SPECIFICATIONS)
EW-3	7/8" STUCCO FINISH ON SELF FINISHING CONCRETE, WINDING & NAIL AS REQUIRED (SEE SPECIFICATIONS)

SEALANT

1. PROVIDE SEALANT & BRACKER ROPS AT ALL DISJUNCTURE MATERIALS.
2. TWO-PART INSULIC POLYURETHANE SEALANT COLOR TO MATCH STUCCO FINISH. SEE SPECIFICATIONS & DRAWINGS FOR APPLICATION AND STITCHING TO FACILITY'S EXISTING WALL.

KEY NOTES

1. SPILL AT ORIGINAL PROVIDE BLOCKING AS NOTED. (4'-0" W/ 0'-0" DIA.)
2. PLACE, WHEN REPORTED
3. BRACKER SOFT & WORKING BRACKETS BY (4'-0" W/ 0'-0")
4. EXTERIOR LIGHTING, RE ELECTRICAL
5. CONTROL JOINT
6. PRE-FABRICATED METAL CANOPY C.C. TO REMAIN SEPARATELY
7. 6" STUCCO ON BRICK BAND AS SHOWN
8. 6" STUCCO ON BRICK BAND AS SHOWN
9. NOT USED
10. NEON CHANNEL & NEON BY OWNER
11. ROOF ACCESS LUNGS RE: SEE REMARK ALL NOTED BLOCKING FOR INSTALLATION.
12. METAL ROOF GUTTER & DOWN SPOUT COLOR MATCHES BLOCK (RE: REMARK 11A, 2A)
13. METAL ROOF GUTTER & DOWN SPOUT COLOR MATCHES BLOCK (RE: REMARK 11A, 2A)
14. NOT USED
15. ELECTRICAL CONDUIT PAINT TO MATCH STUCCO (V1-10) CONDUIT EXACT
16. GAS METER & PIPING, PAINT TO MATCH STUCCO (V1-10)
17. HUI ROOM AND FRAME TO BE TYPE 1 BLACK TO MATCH EXISTING BRICK.

NOTES
1. SEE NOTES ON A-1

Raising Cane's
CHICKEN FINGERS

Restaurant Support Office
6800 Risthoe Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

Prepared For: **Raising Cane's**
Chef Manteur Hwy.
New Orleans, LA
Prototype 4
Store #163

Prepared At: **CSRS**

FOR PERMIT

CSRS
ENGINEERING SHAPE DELIVER
6871 Lakeside Blvd, Suite 201, Dallas, TX 75228
Tel: 972-769-3100 Fax: 972-769-3101

REVISION	DATE	DESCRIPTION

DATE: January 31, 2011
DRAWN BY: MAM
CHECKED BY: MAM

A04.2

Item #5

Consideration: A request by Real Estate & Records for the sale of a parcel of land designated as pts. Lots 15 through 18, Square 700, 3rd Municipal District, bounded by N. Claiborne Avenue, Tupelo Street, N. Derbigny Street, and Gordon Street, bearing the municipal address 6022 N. Derbigny Street (or on the assessor's site as 47103 Tupelo Street).

Item # 5

N. CLAIBORNE ST.

312' 8" 4" D.H. 253' 0" 0" C.O.

GORDON ST.

338' 5" 0" D.H. 338' 3" 2" C.O.

ST.

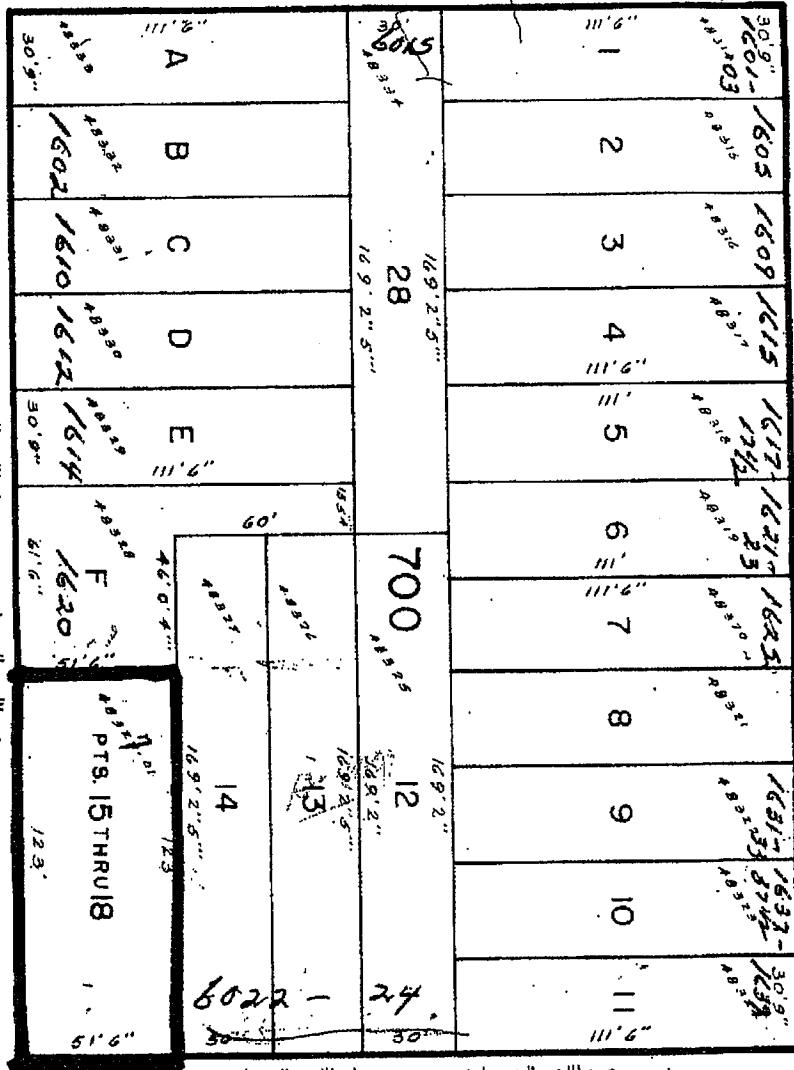
N. DERBIGNY ST.

312' 8" 4" D.H. 253' 0" 0" C.O.

TUPELO ST.

338' 5" 0" D.H. 338' 3" 0" C.O.

ST.

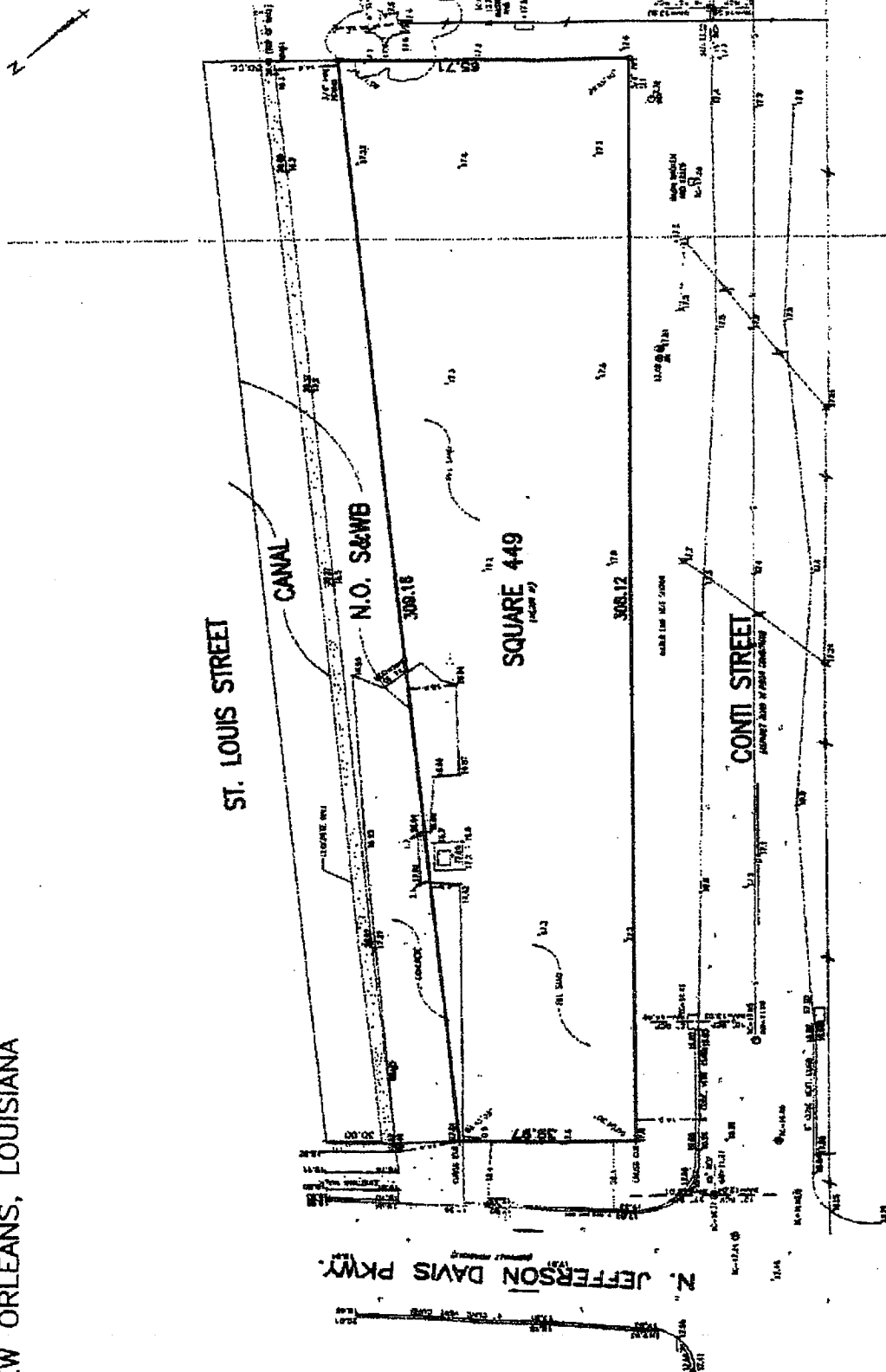


PLAN - Q/W SCALE 1" = 60'

Item #6

Consideration: A request by Billy Good for a one-year lease (and then subsequent sale) for the N. Rendon St. public right of way (paper street) in the 2nd M.D, between squares 449 and 426, bounded by N. Jefferson Davis Parkway (Sq 449), St. Louis St., N. Lopez St. (Sq 426), and Conti Street.

SECOND DISTRICT
 SQUARE 449
 NEW ORLEANS, LOUISIANA

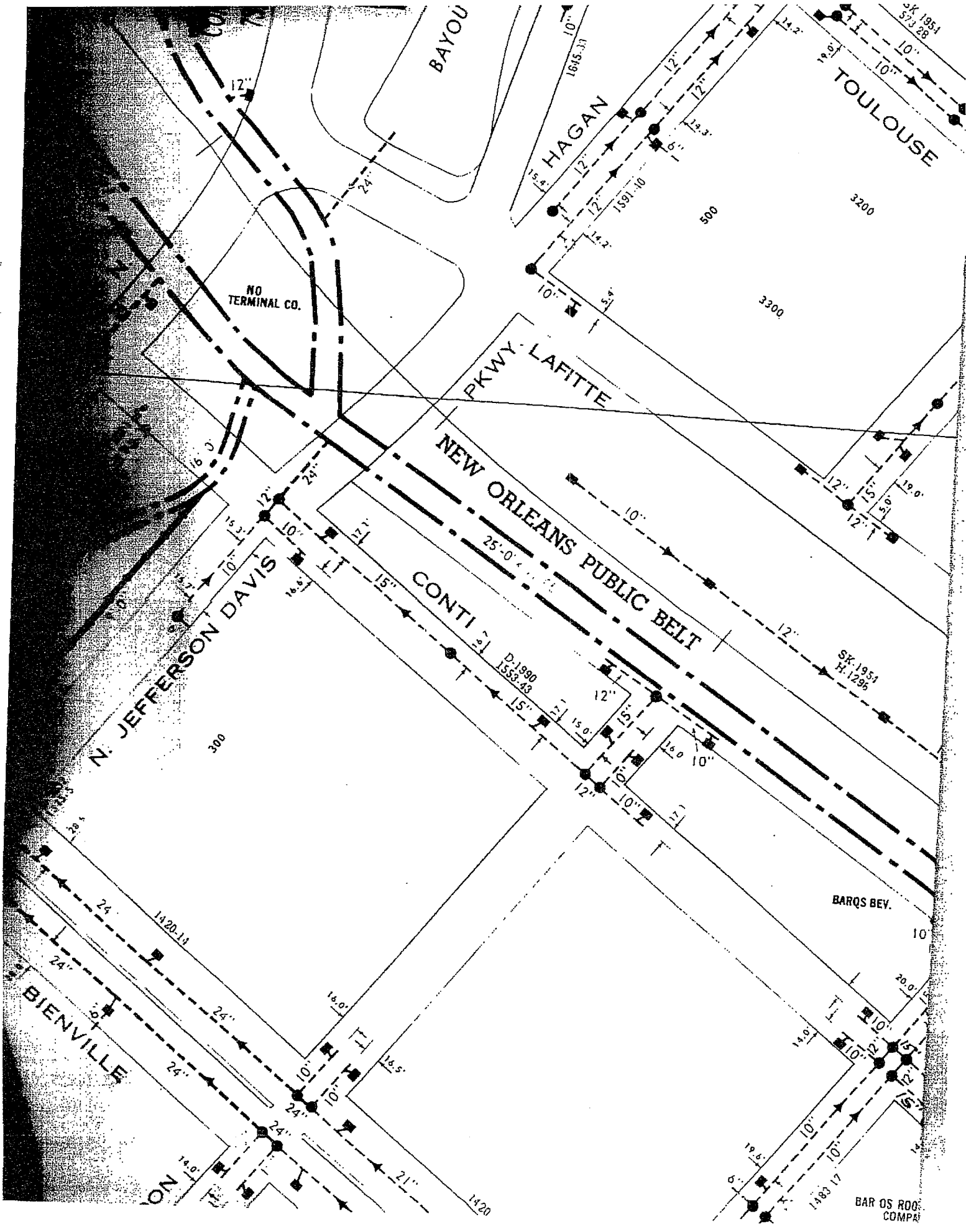


MARKET, LA
 DECEMBER 4, 2002
 THIS SURVEYING SURVEY MADE IN ACCORDANCE WITH
 THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY
 SURVEYS" FOR A CLASS C SURVEY, MADE AT THE
 REQUEST OF JALIAN ABRAHE.



DUPRE SURVEYING
 & ENGINEERING INC.
 1001 P. O. BOX 1001
 NEW ORLEANS, LA 70117
 (504) 581-1111

#6



SK 1951
573 28

NO TERMINAL CO.

BAYOU

HAGAN

TOULOUSE

PKWY LAFITTE

NEW ORLEANS PUBLIC BELT

N. JEFFERSON DAVIS

CONTI

BARQS BEV.

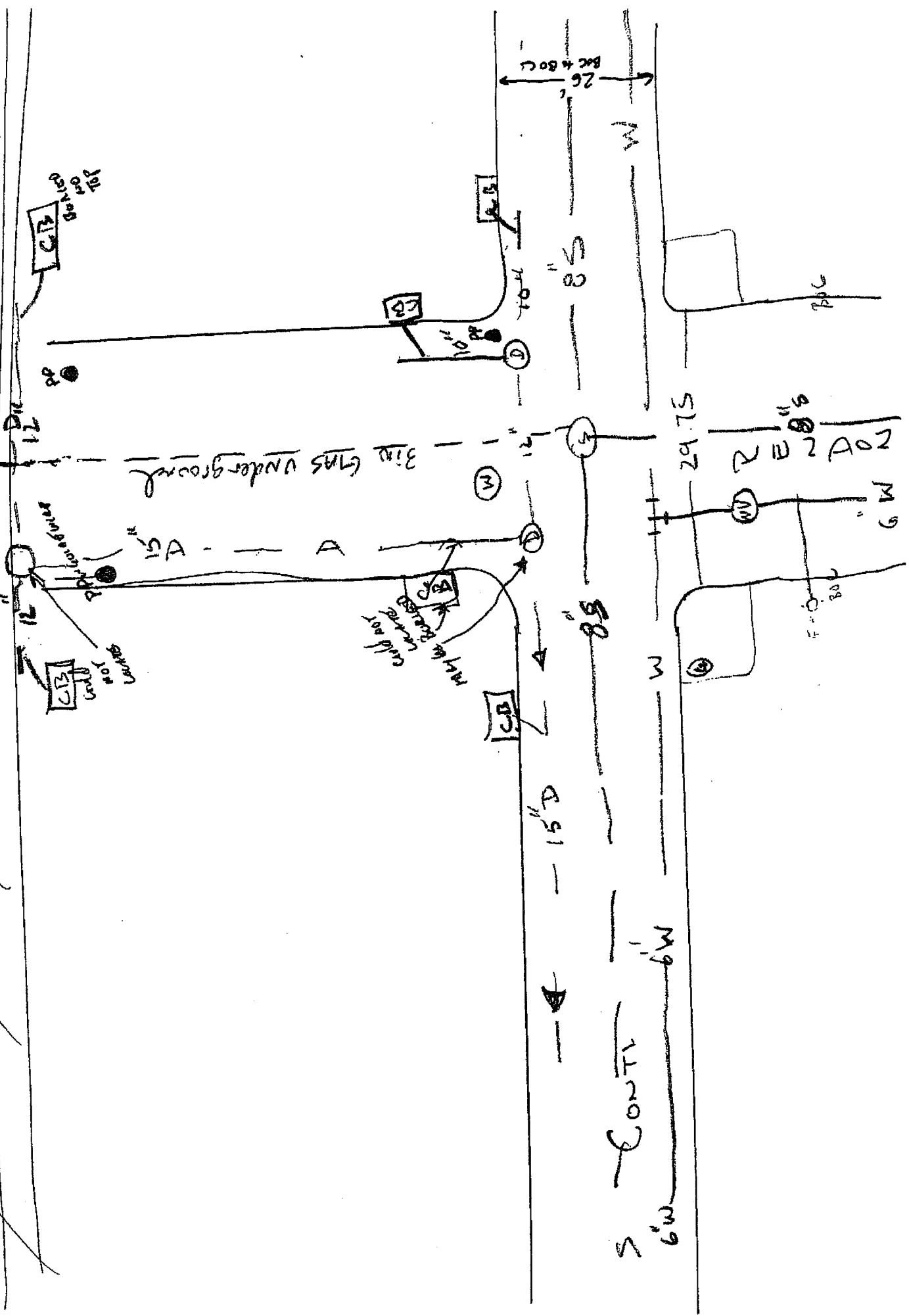
BIENVILLE

BAR OS ROO
COMPA

~~DRAINAGE~~

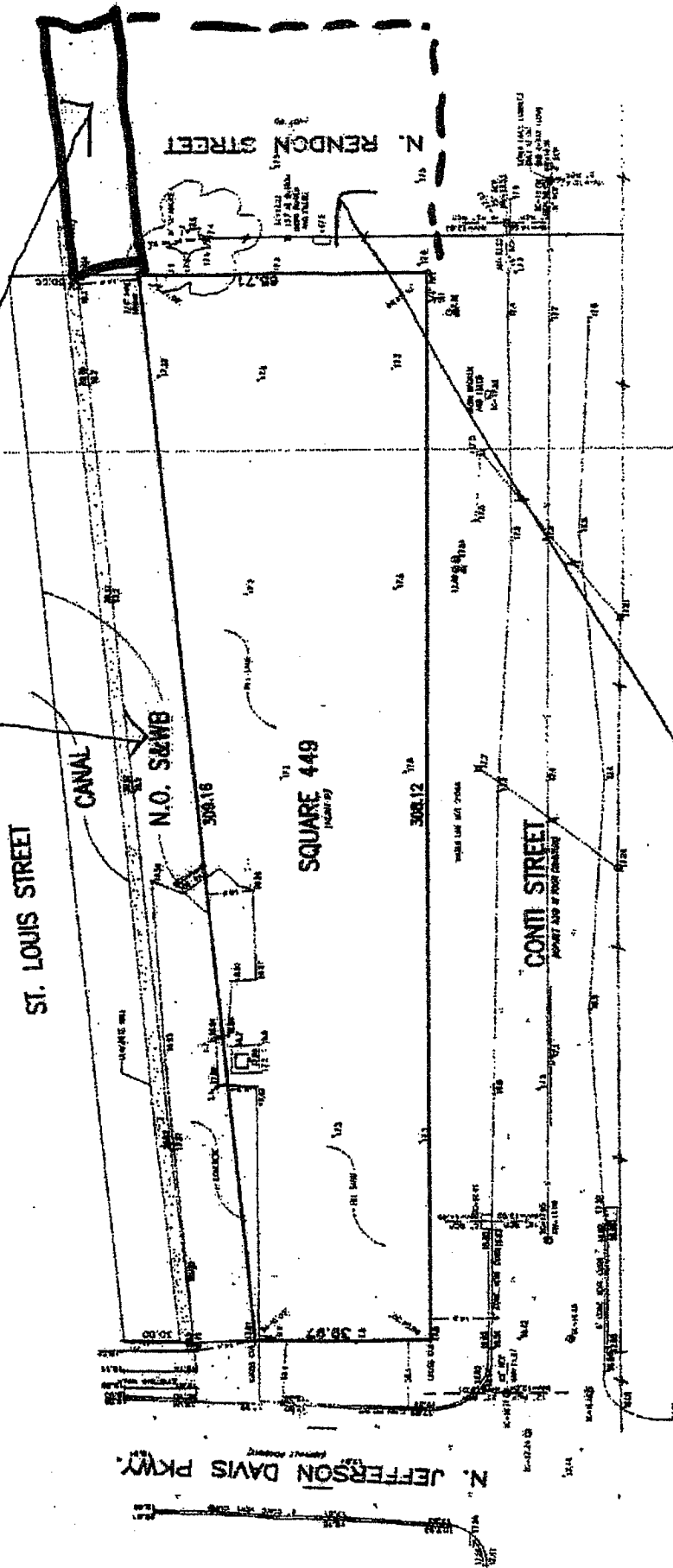
~~CANA~~

~~1/2" Siphon GAS~~



SECOND DISTRICT
SQUARE 449
NEW ORLEANS, LOUISIANA

long term
lease from SW



long term lease
From City

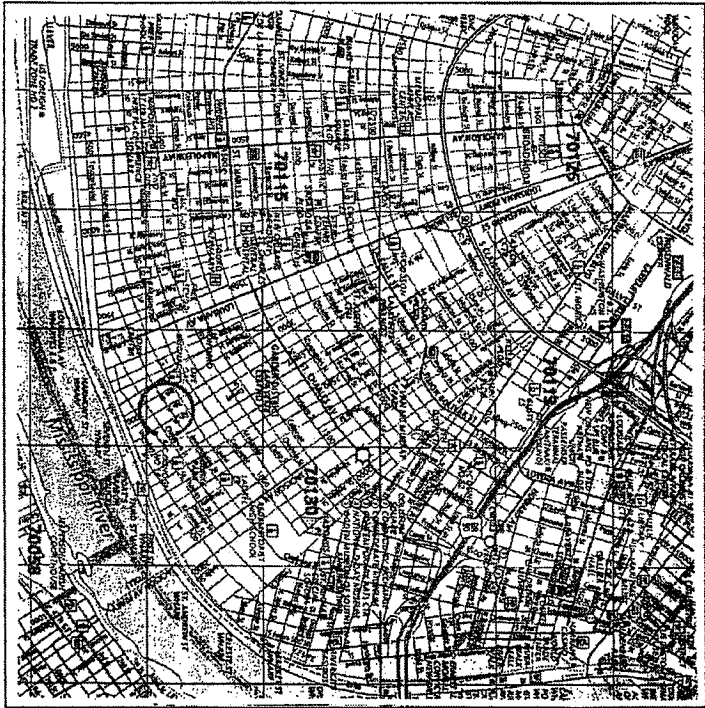
HUNTER, LA
TOPOGRAPHIC SURVEY MADE IN ACCORDANCE WITH
THE SURVEYING ACTS FOR PROPERTY IN THE
STATE OF LOUISIANA, MADE AT THE
REQUEST OF SAID AGENCY



DUFFRINE SURVEYING
& ENGINEERING INC.
1000 PINE ST.
NEW ORLEANS, LA 70112
504-581-1111

Item #7

Consideration: A request by David Fuselier for grants of a predial servitude, for the proposed encroachments of roof overhang on/over the Seventh St. public right-of-way, adjacent to Lots J-1 and J-2, Square 82, 4th M.D., bounded by Annunciation St., 6th St., Chippewa St., and 7th St. The municipal addresses of the two adjacent properties are 701 7th Street and 707 7th Street.



N
VICINITY MAP
N.T.S.

NEW RESIDENCE
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA

INDEX OF DRAWINGS:

A-1	TITLE SHEET
A-2	SITE PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	ELEVATION
A-6	ELEVATION
A-7	ELEVATION
A-8	ELEVATION
A-9	SECTION
A-10	DETAILS
A-11	WALL SECTIONS
A-12	WINDOW AND DOORS
A-13	DETAILS

SQUARE FOOTAGE

FIRST FLOOR LIVING	1257 SQ. FT.
PATIO	192 SQ. FT.
ENTRY	12 SQ. FT.
SECOND FLOOR LIVING	722 SQ. FT.
TOTAL LIVING	1979 SQ. FT.
TOTAL UNDER BEAM	2183 SQ. FT.

RATLIFF ARCHITECTS

800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

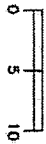
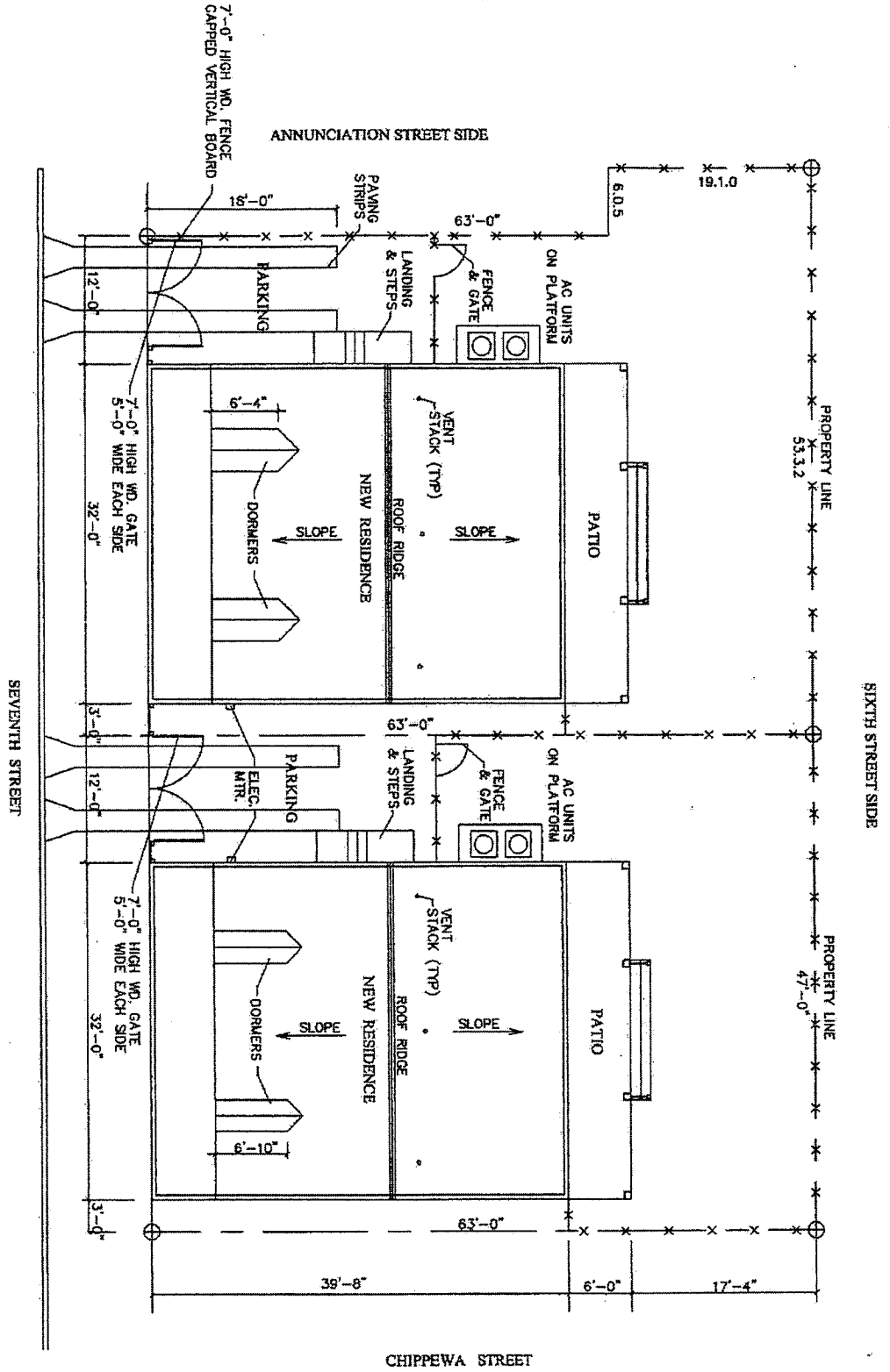


NEW RESIDENCE

2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA

DEC. 13, 2012
JOB # 104-11

SHEET:
A-1
1 OF 13



SITE PLAN
1" = 10'-0"

MAR. 13, 2013
JOB # 104-11
SHEET:
A-2
2 OF 13

NEW RESIDENCE
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA

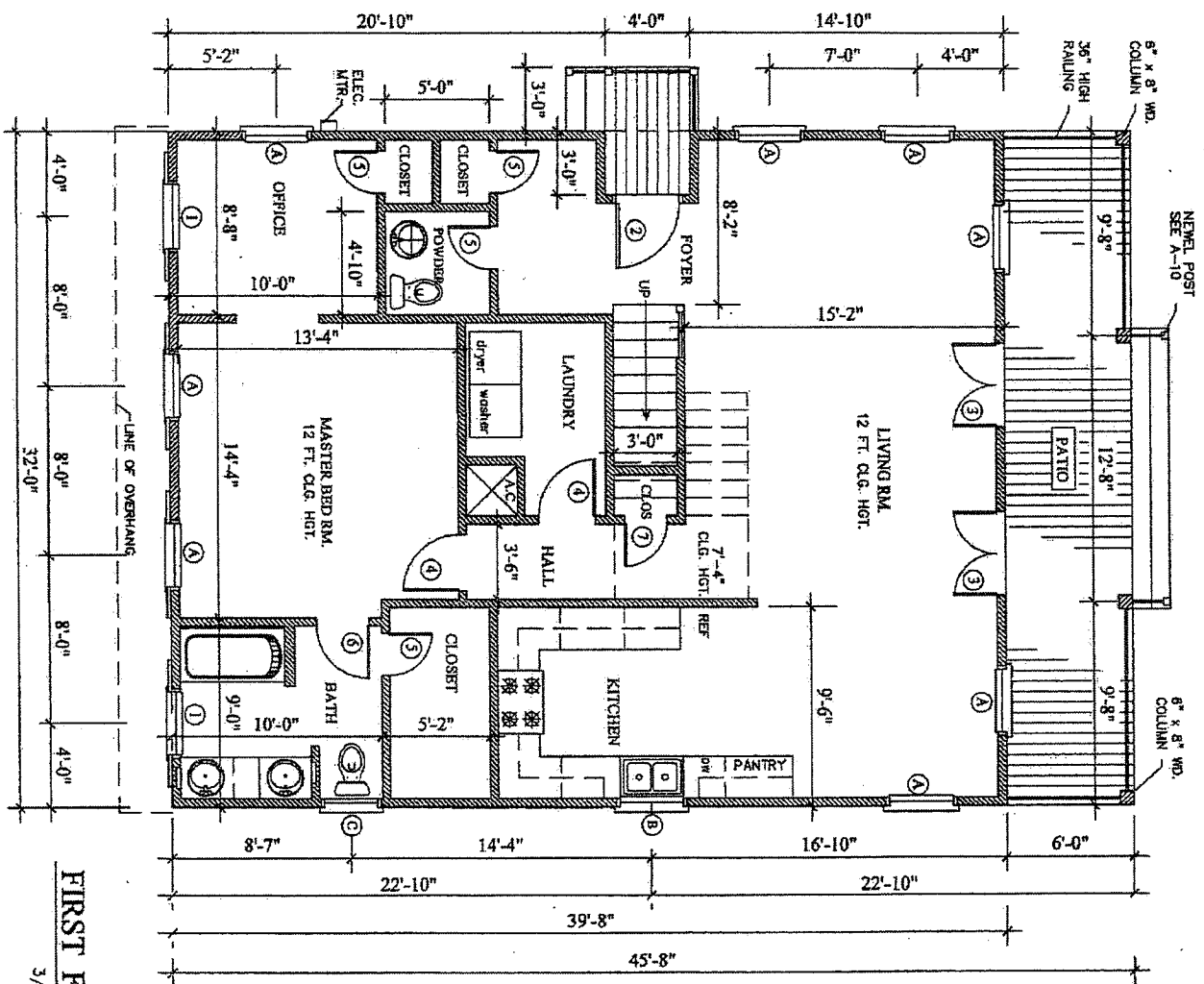
RATLIFF ARCHITECTS
800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

DOOR SCHEDULE WOOD DOORS

1	PR. 1'-6" x 8'-0" W/ TRANSOM. DOORS TO BE FIXED CLOSED
2	3'-0" x 8'-0" W/ TRANSOM.
3	PR. 2'-0" x 8'-0" W/ TRANSOM.
4	2'-8" x 8'-0"
5	2'-0" x 8'-0"
6	2'-6" x 8'-0"
7	2'-0" x 8'-8"
8	2'-8" x 6'-8"
9	2'-4" x 6'-8"

WINDOW SCHEDULE WOOD WINDOWS

A	3'-0" x 7'-0" SINGLE HUNG
B	3'-0" x 6'-6" SINGLE HUNG
C	2'-6" x 5'-0" SINGLE HUNG
D	3'-0" x 5'-0" SINGLE HUNG
E	2'-0" x 4'-8" SINGLE HUNG



FIRST FLOOR PLAN
3/16" = 1'-0"

SHEET:
A-3
3 OF 13

DEC. 13, 2012
JOB # 104-11

NEW RESIDENCE
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA



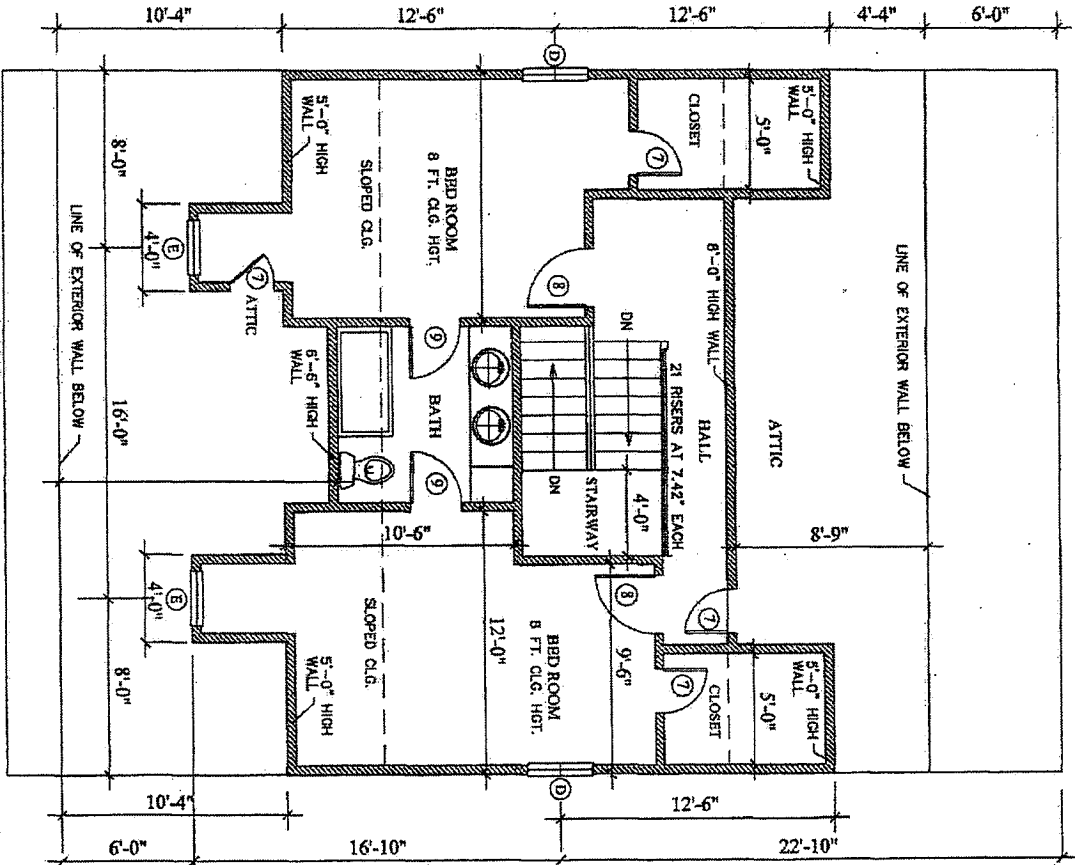
RATLIFF ARCHITECTS
800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

DOOR SCHEDULE WOOD DOORS

1	PR. 1'-6" x 8'-0" W/ TRANSOM. DOORS TO BE FIXED CLOSED
2	3'-0" x 8'-0" W/ TRANSOM.
3	PR. 2'-0" x 8'-0" W/ TRANSOM.
4	2'-8" x 8'-0"
5	2'-0" x 8'-0"
6	2'-6" x 8'-0"
7	2'-0" x 8'-8"
8	2'-8" x 8'-8"
9	2'-4" x 8'-8"

WINDOW SCHEDULE WOOD WINDOWS

A	3'-0" x 7'-0" SINGLE HUNG
B	3'-0" x 6'-6" SINGLE HUNG
C	2'-8" x 5'-0" SINGLE HUNG
D	3'-0" x 5'-0" SINGLE HUNG
E	2'-6" x 4'-8" SINGLE HUNG



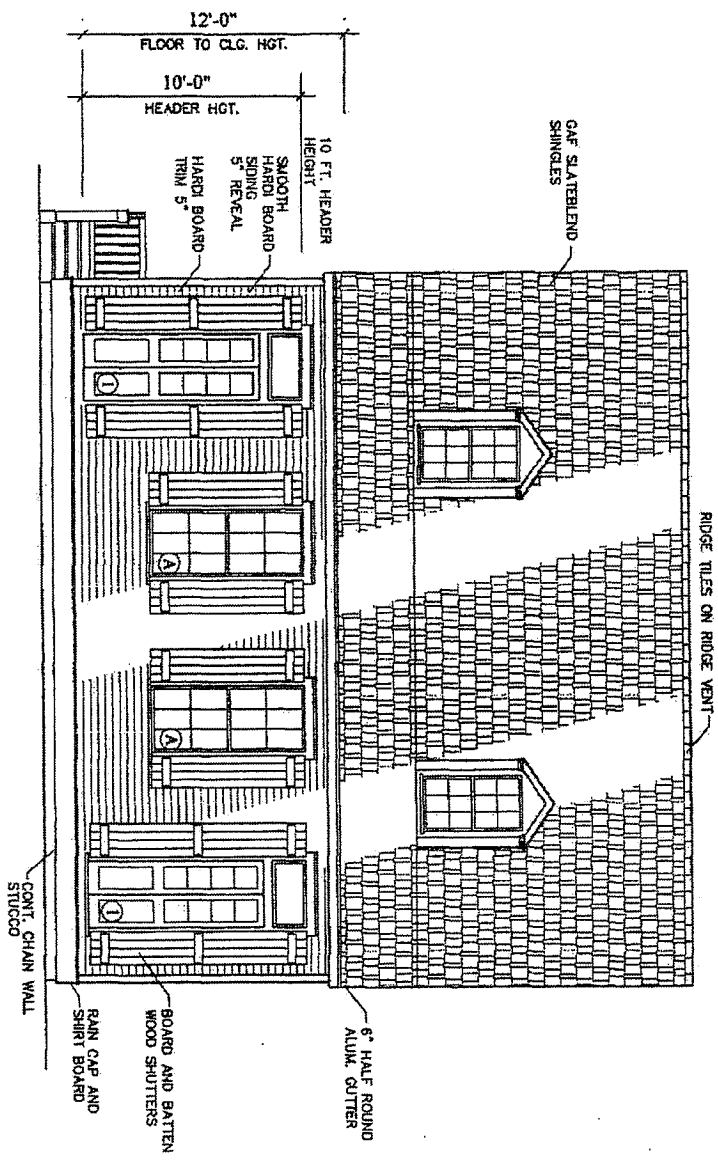
SECOND FLOOR PLAN

3/16" = 1'-0"

MAR. 13, 2013
 JOB # 104-11
 SHEET:
A-4
 4 OF 13

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA

RATLIFF ARCHITECTS
 800 MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236

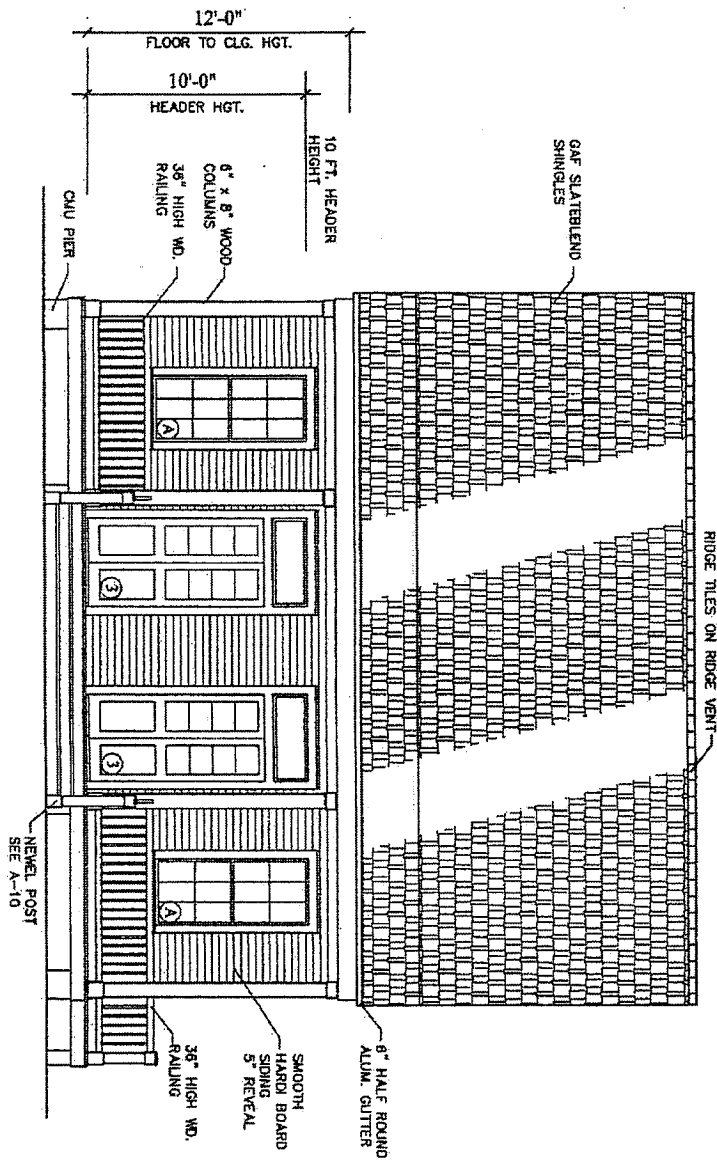


SEVENTH ST. ELEVATION
 3/16" = 1'-0"

MAR. 13, 2013
 JOB # 104-11
 SHEET:
A-5
 5 OF 13

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA

RATLIFF ARCHITECTS
 800.MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236



REAR ELEVATION

3/16" = 1'-0"

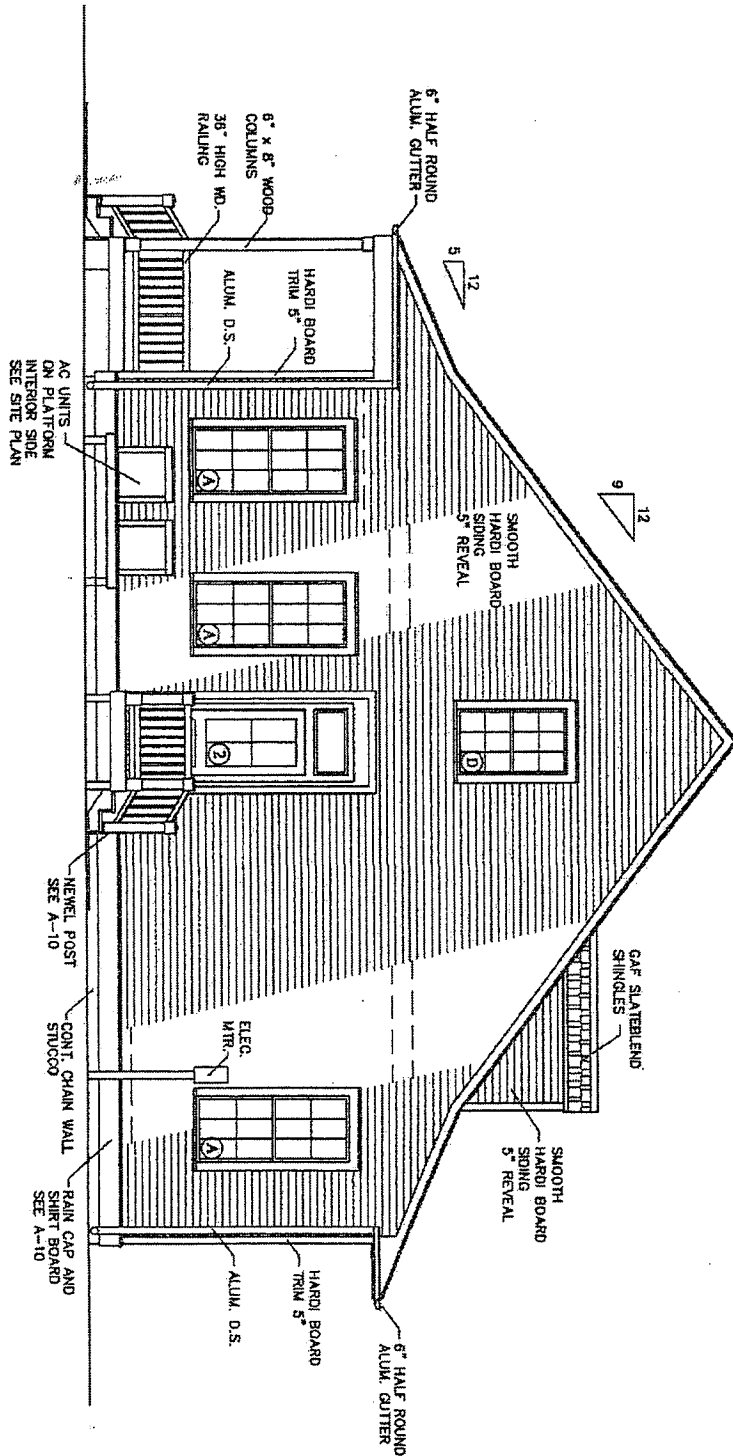
SHEET:
A-6
 6 OF 13

DEC. 13, 2012
 JOB # 104-11

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA



RATLIFF ARCHITECTS
 800 MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236



SIDE ELEVATION

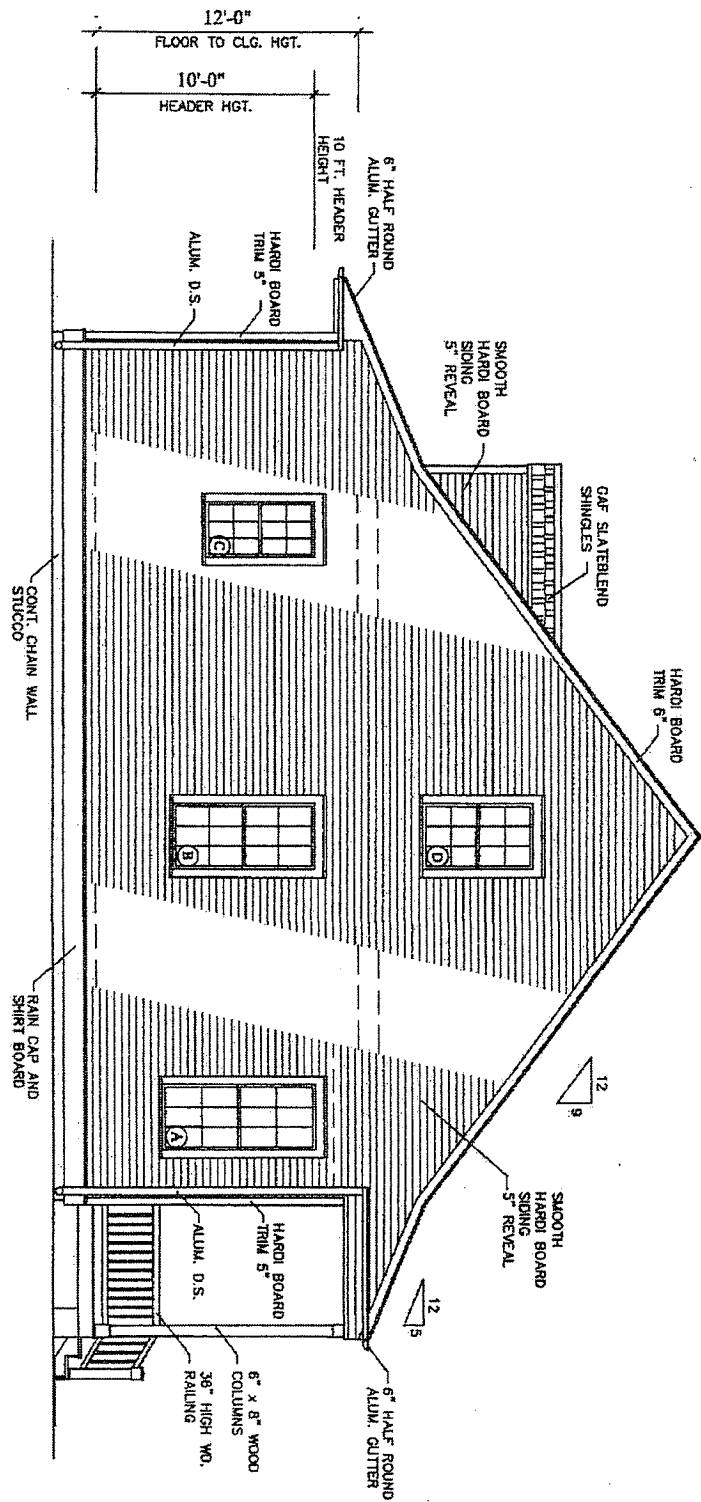
3/16" = 1'-0"

DEC. 13, 2012
 JOB # 104-11
 SHEET:
A-7
 7 OF 13

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA



RATLIFF ARCHITECTS
 300 MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236



CHIPPEWA ST. ELEVATION

3/16" = 1'-0"

NEW RESIDENCE

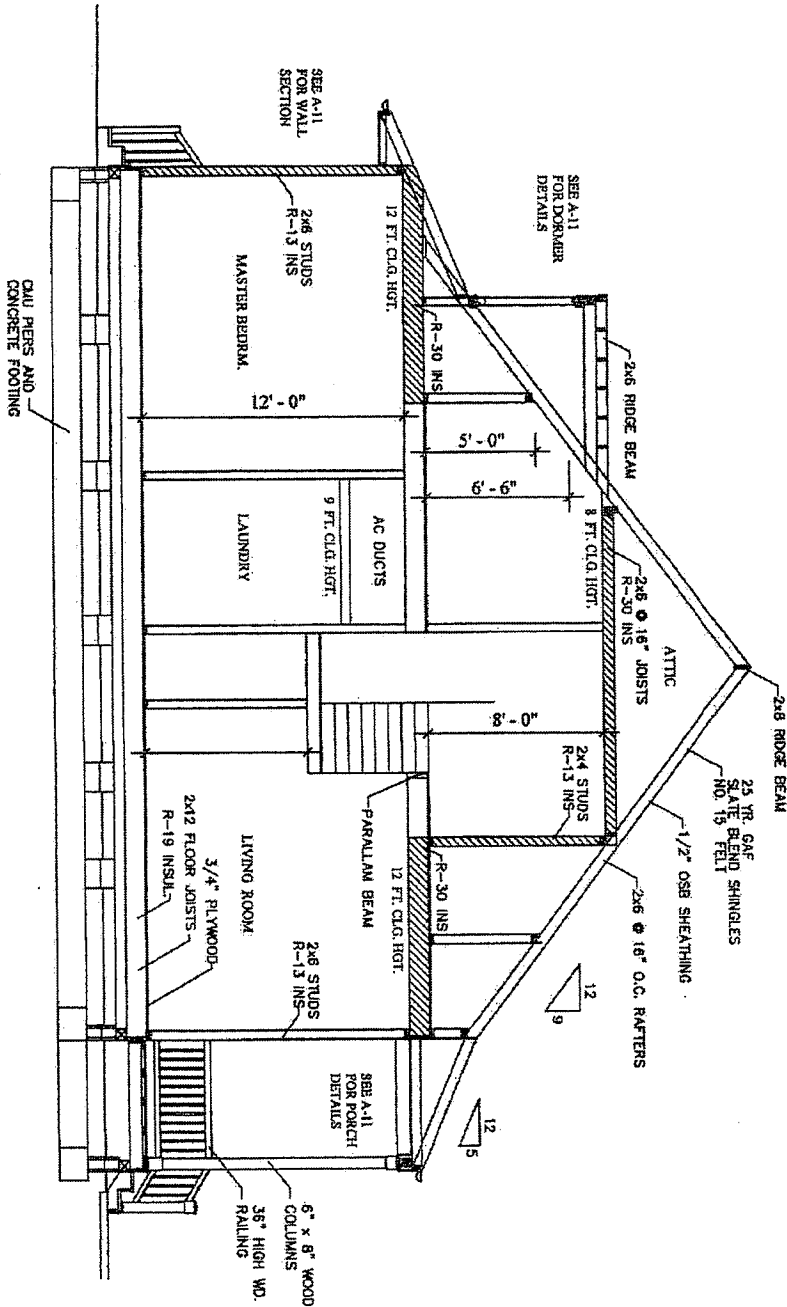
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA



RATLIFF ARCHITECTS

800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

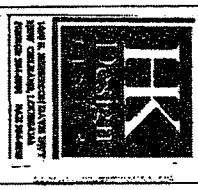
DEC. 13, 2012
JOB # 104-11
SHEET:
A-8
8 OF 13



SECTION
 3/16" = 1'-0"

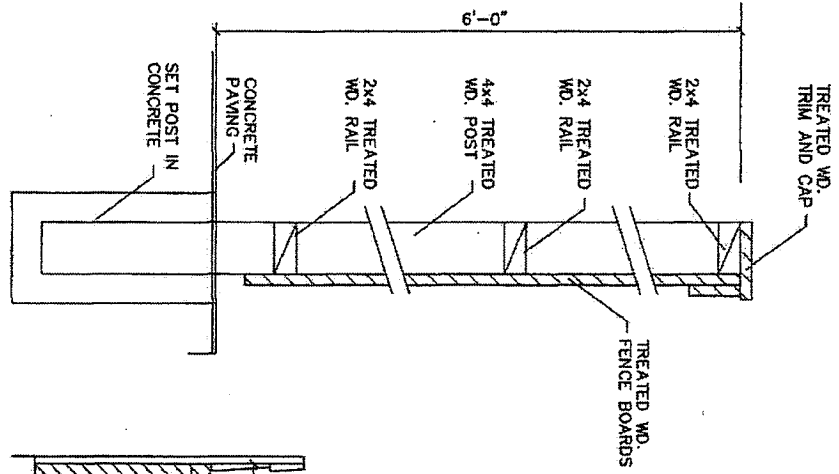
SHEET:
 DEC. 13, 2012
 JOB # 104-11
A-9
 9 OF 13

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA

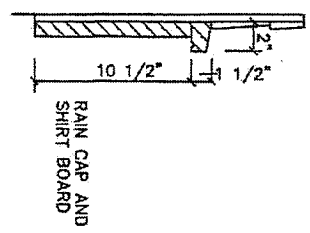


RATLIFF ARCHITECTS
 800 MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236

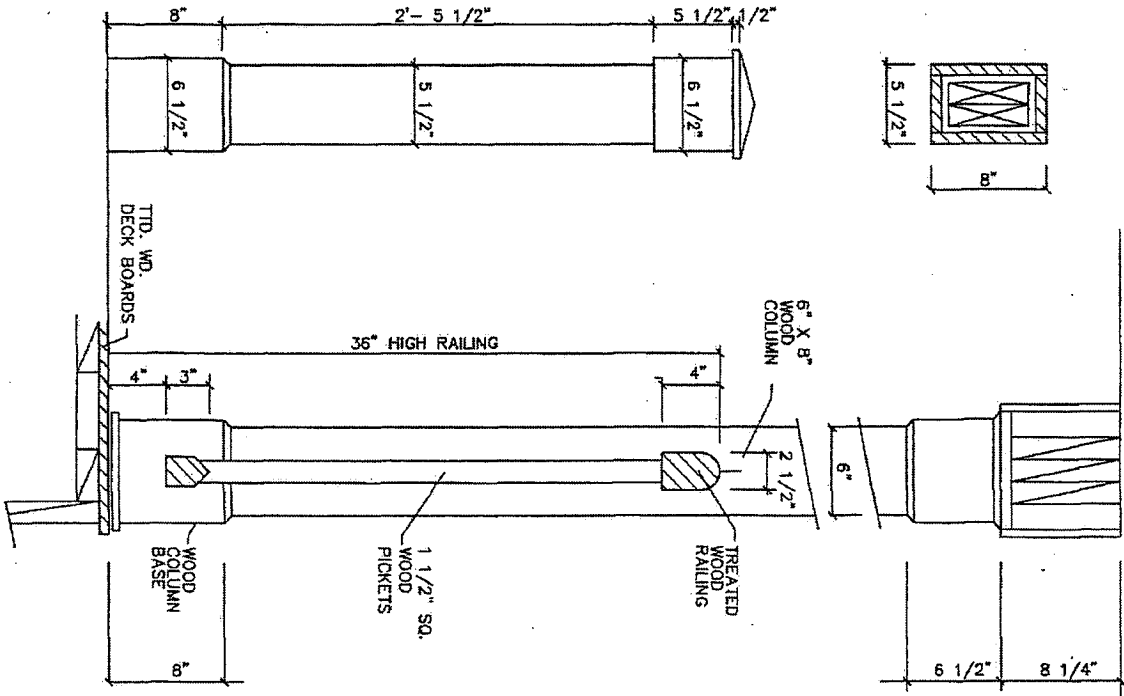
FENCE DETAIL
 1 1/2" = 1'-0"



POST DETAIL
 1 1/2" = 1'-0"



RAILING DETAIL
 1 1/2" = 1'-0"



SHEET:
A-10
 10 OF 13

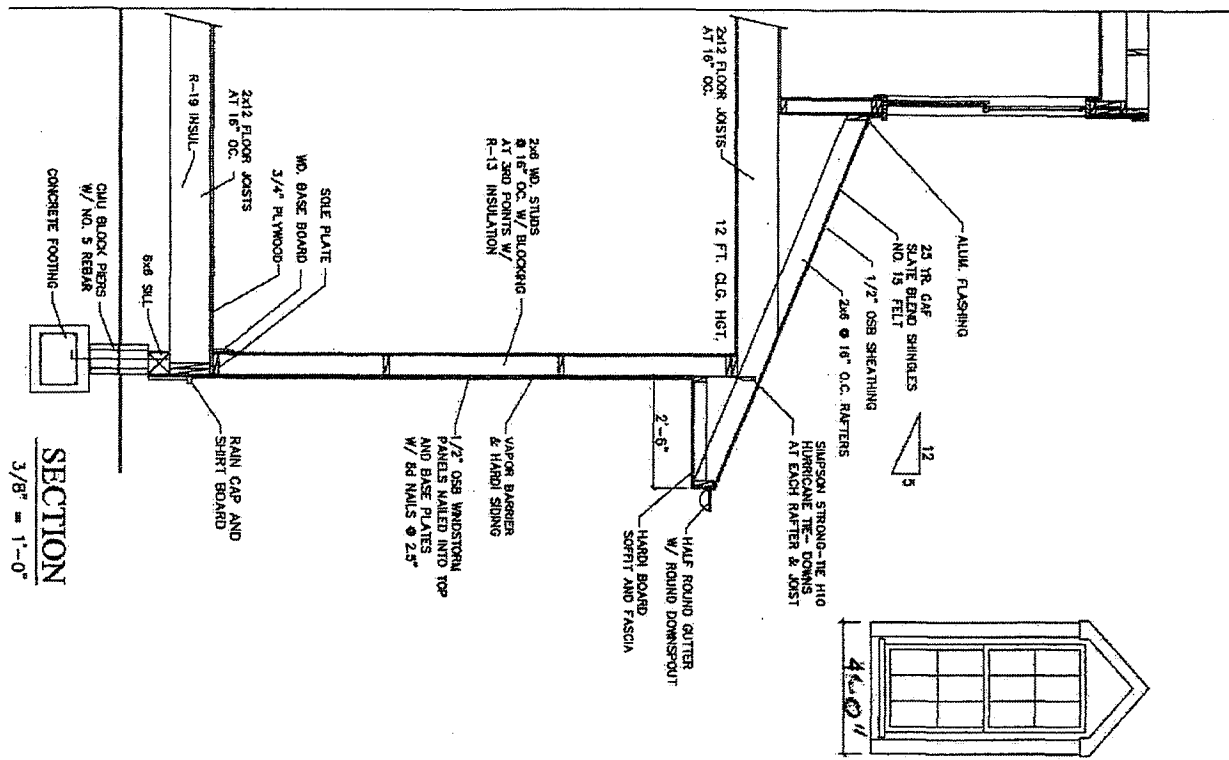
DEC. 13, 2012
 JOB # 104-11

NEW RESIDENCE
 2927 & 2929 CHIPPEWA STREET
 NEW ORLEANS, LOUISIANA

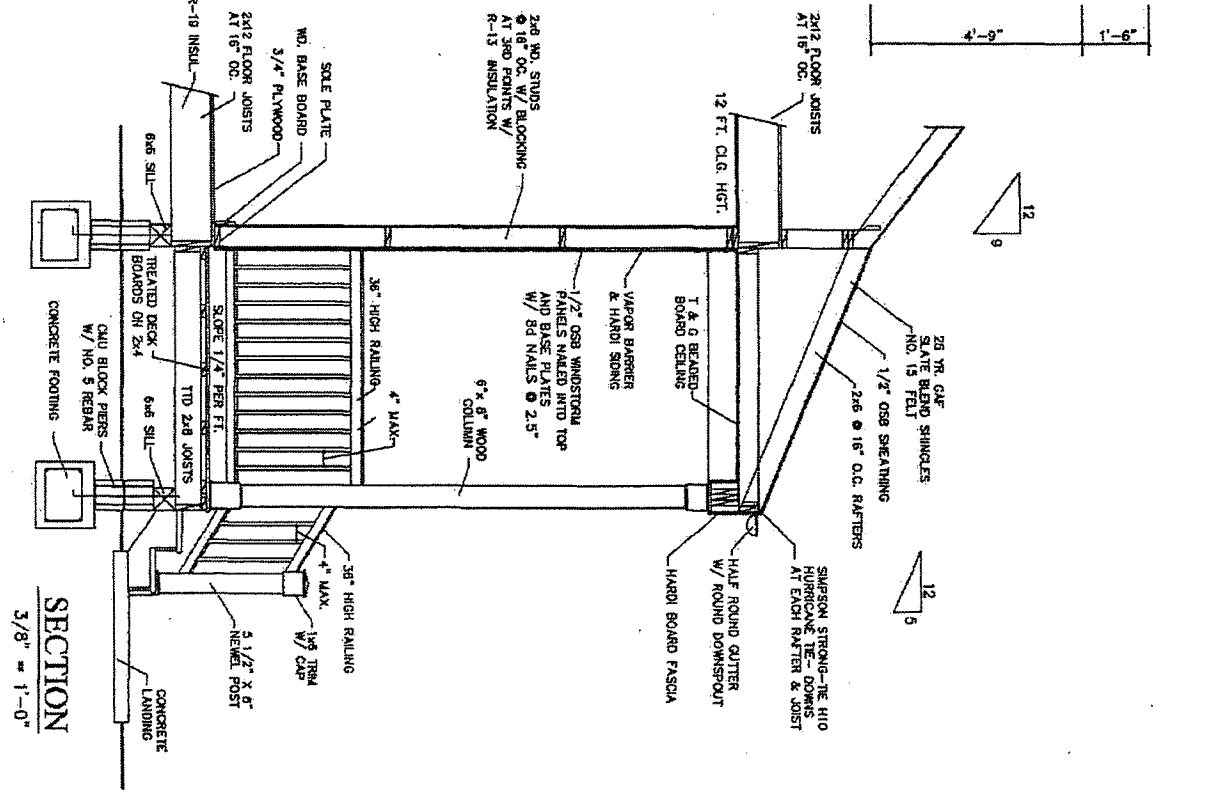


RATLIFF ARCHITECTS
 800 MARINER'S PLAZA DRIVE
 MANDEVILLE, LOUISIANA
 (985) 626-5236

500



SECTION
3/8" = 1'-0"



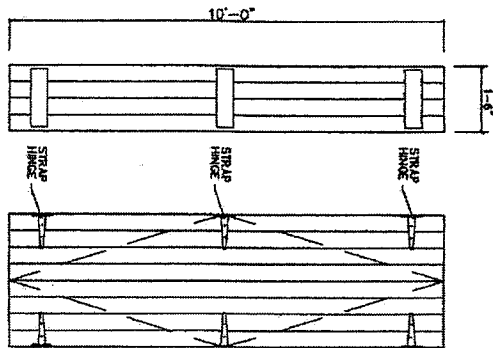
SECTION
3/8" = 1'-0"

DEC. 13, 2012
JOB # 104-11
SHEET:
A-11
11 OF 13

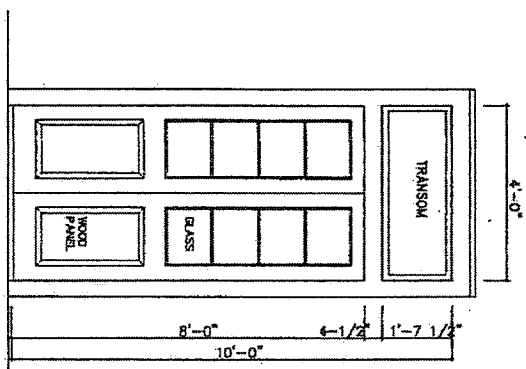
NEW RESIDENCE
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA



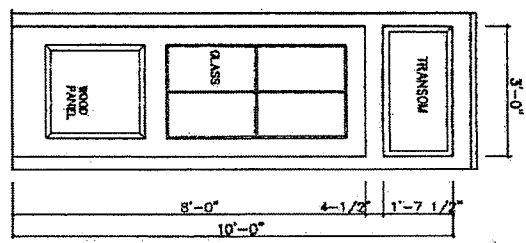
RATLIFF ARCHITECTS
800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236



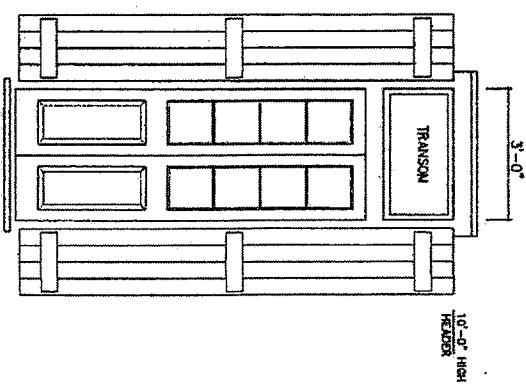
ELEVATION SHUTTERS
3/8" = 1'-0"



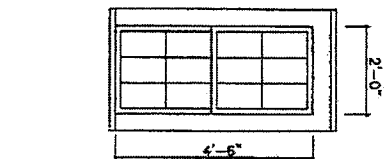
ELEVATION DOOR #3
3/8" = 1'-0"



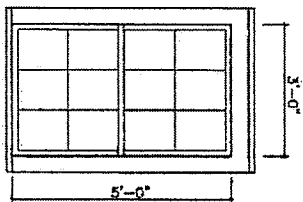
ELEVATION DOOR #2
3/8" = 1'-0"



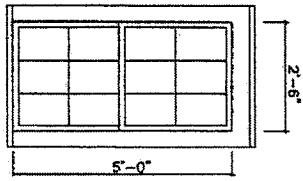
ELEVATION DOOR #1
3/8" = 1'-0"



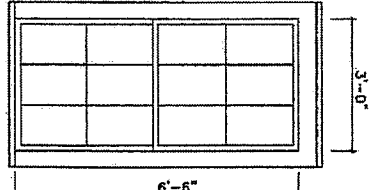
WINDOW - E
3/8" = 1'-0"



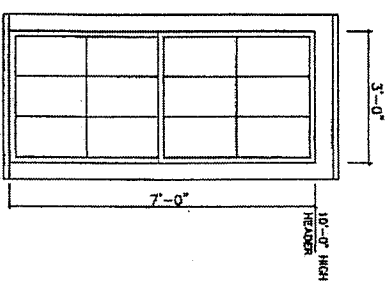
WINDOW - D
3/8" = 1'-0"



WINDOW - C
3/8" = 1'-0"



WINDOW - B
3/8" = 1'-0"

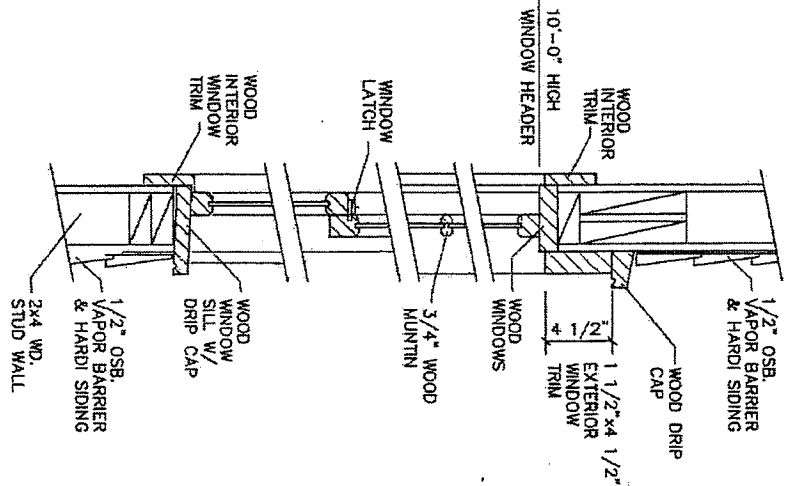
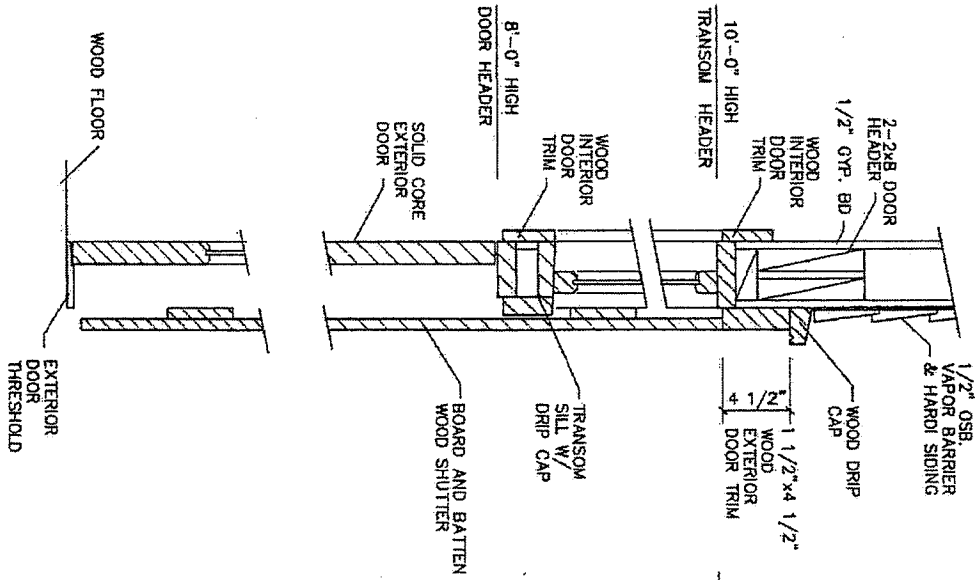
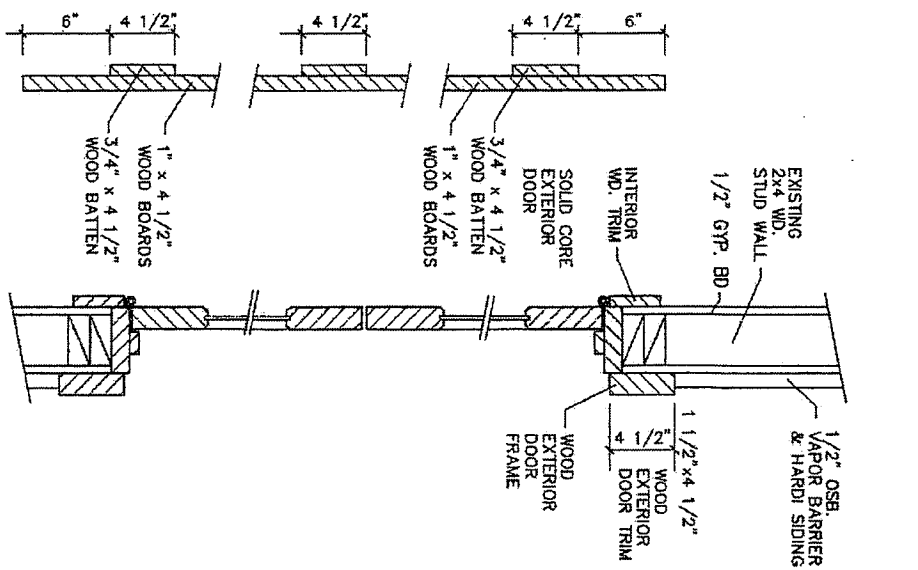


WINDOW - A
3/8" = 1'-0"

MAR 13, 2013
JOB # 104-11
SHEET:
A-12
12 OF 13

NEW RESIDENCE
2927 & 2929 CHIPPEWA STREET
NEW ORLEANS, LOUISIANA

RATLIFF ARCHITECTS
800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

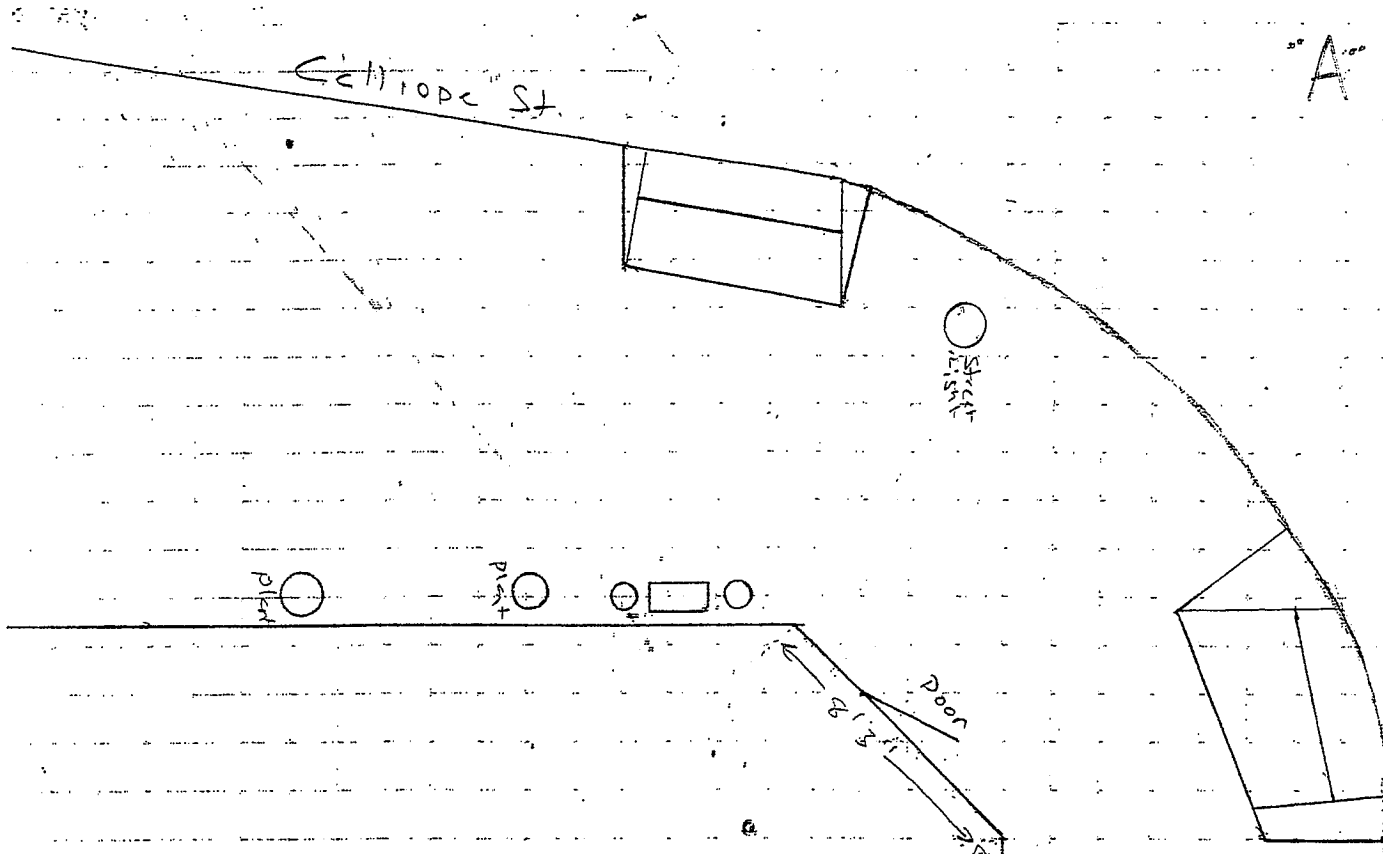


NEW RESIDENCE 2927 & 2929 CHIPPEWA STREET NEW ORLEANS, LOUISIANA	RATLIFF ARCHITECTS
	800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236

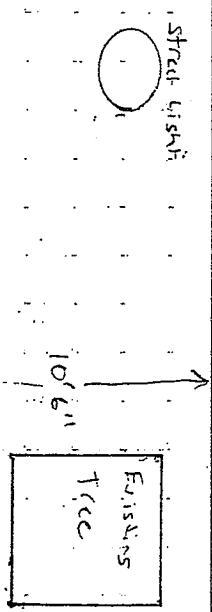
SHEET: **A-13**
 MAR. 13, 2013
 JOB # 104-11
 13 OF 13

Item #8

Consideration: A request by G-N-G Partners, LLC, for a sidewalk café franchise for a restaurant located at 1068 Magazine Street.



Magazine St.



Existing Building

Scale: 3/4" = 1'

Exhibit A



CERTIFICATE OF LIABILITY INSURANCE

B

DATE (MM/DD/YYYY)
10/30/2013

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER TWFG Insurance Services 1201 Lake Woodlands Dr. Suite 4020 The Woodlands TX 77380	CONTACT NAME: Kimberly S. Cook	
	PHONE (A/C, No, Ext): 985-641-5766 FAX (A/C, No): 985-641-1483 E-MAIL ADDRESS: kcook@twfg.com	
INSURED G & G Partners, LLC dba Magazine Pizza 1068 Magazine Street New Orleans LA 70130	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A: Seneca Specialty Insurance Co	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E: Markel Insurance Company	
INSURER F:		

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY		BAG-1021235	04/24/2013	04/24/2014	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					MED EXP (Any one person) \$ 5,000
						PERSONAL & ADV INJURY \$ 1,000,000
						GENERAL AGGREGATE \$ 2,000,000
						PRODUCTS - COMP/OP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					\$
	AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO					BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS					BODILY INJURY (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS					PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS					\$
	<input type="checkbox"/> NON-OWNED AUTOS					\$
	UMBRELLA LIAB					EACH OCCURRENCE \$
	EXCESS LIAB					AGGREGATE \$
	DED					\$
	RETENTIONS					\$
E	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY		MWC0044571-01	01/30/2013	01/30/2014	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	Y/N				E.L. EACH ACCIDENT \$ 100,000
	If yes, describe under DESCRIPTION OF OPERATIONS below	Y				E.L. DISEASE - EA EMPLOYEES 100,000
		N/A				E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Pizza Restaurant w/ Alcohol Sales

The 3 tables and 6 chairs that are on the curb outside the restaurant ARE covered under the General Liability policy.

CERTIFICATE HOLDER

CANCELLATION

****For Insured Purposes Only****

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

C

THIS PERMIT MUST BE PUBLICLY DISPLAYED

City of New Orleans OCCUPATIONAL LICENSE

LICENSE NO: **224126**
DATE ISSUED: **March 05, 2013**
DATE EXPIRES: **December 31, 2013**

Issuance of this occupational license is a receipt for payment of said tax and entitles the recipient to operate a business at the location shown, provided said business is operated within the confines of the application thereof, and does not violate any city or state criminal, health or zoning laws.

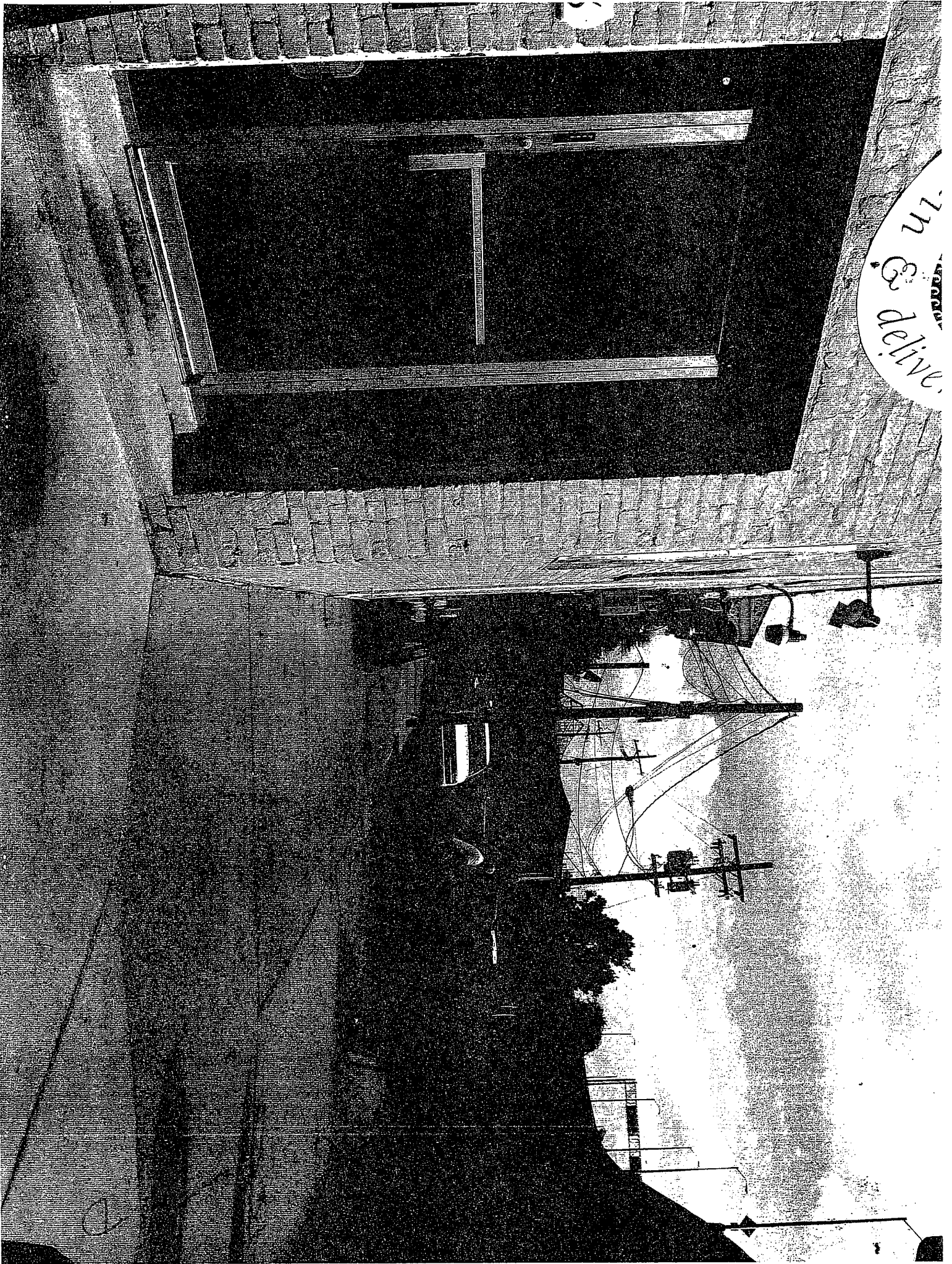
For the year ending December 31, 2013, the person or firm named hereon is hereby licensed to pursue the occupation of **2062 - Limited Service Restaurants (no table service) avail**

TAXPAYER	G & G PARTNERS LLC	AMOUNT:	\$650.00
	DBA: MAGAZINE PIZZA	INTEREST:	\$0.00
ACCOUNT NO:	102849809	PENALTY	\$0.00
BUSINESS LOCATION	1068 MAGAZINE ST	TOTAL:	\$650.00

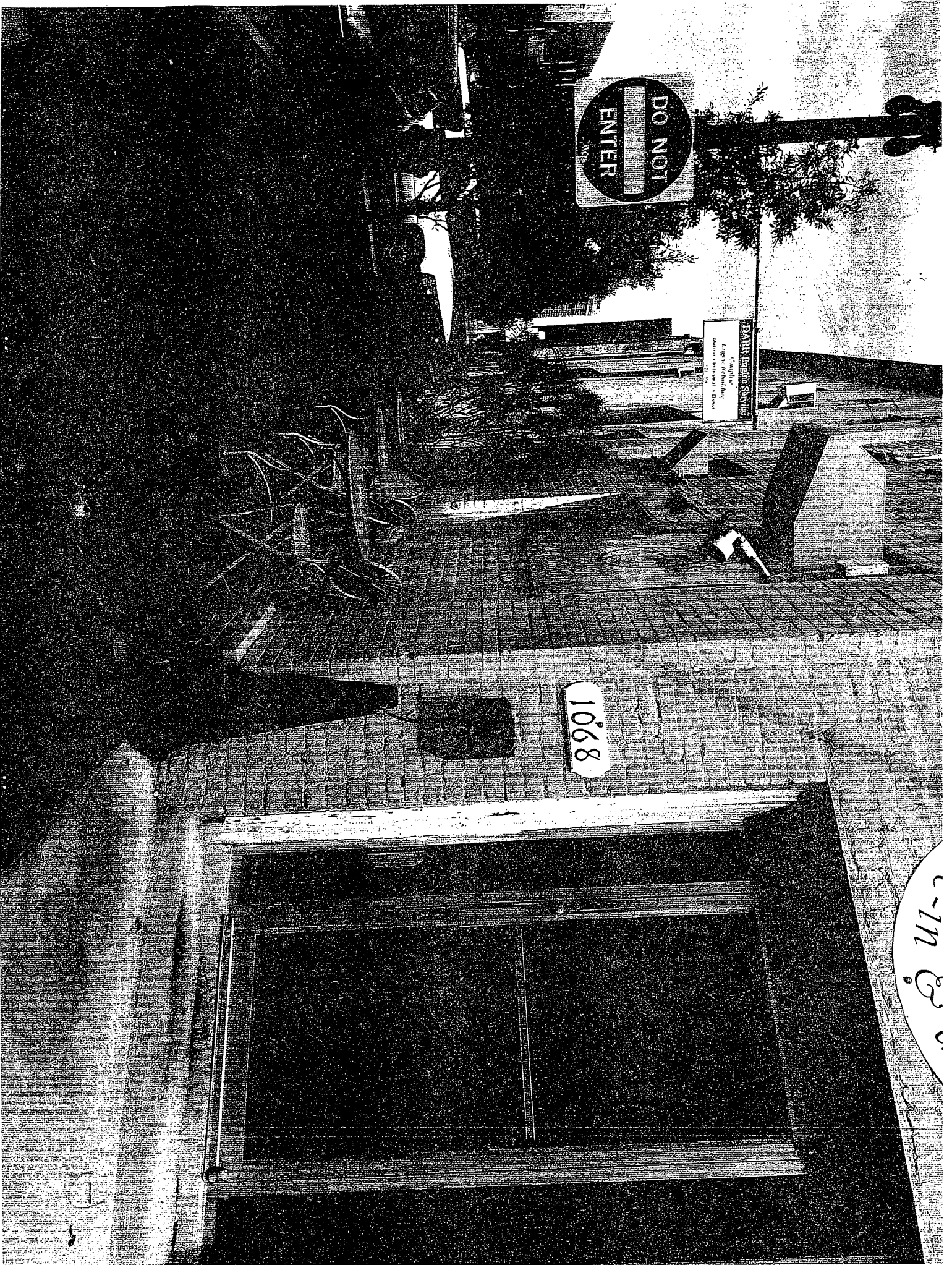
Norma
DIRECTOR OF FINANCE

Romy S. Sornal
COLLECTOR OF REVENUE

THIS PERMIT IS NOT TRANSFERABLE



In
&
delive



DO NOT
ENTER

DANIEL'S SHIRTS
Ladies & Children's
Apparel & Accessories
1068 N. 1st St.

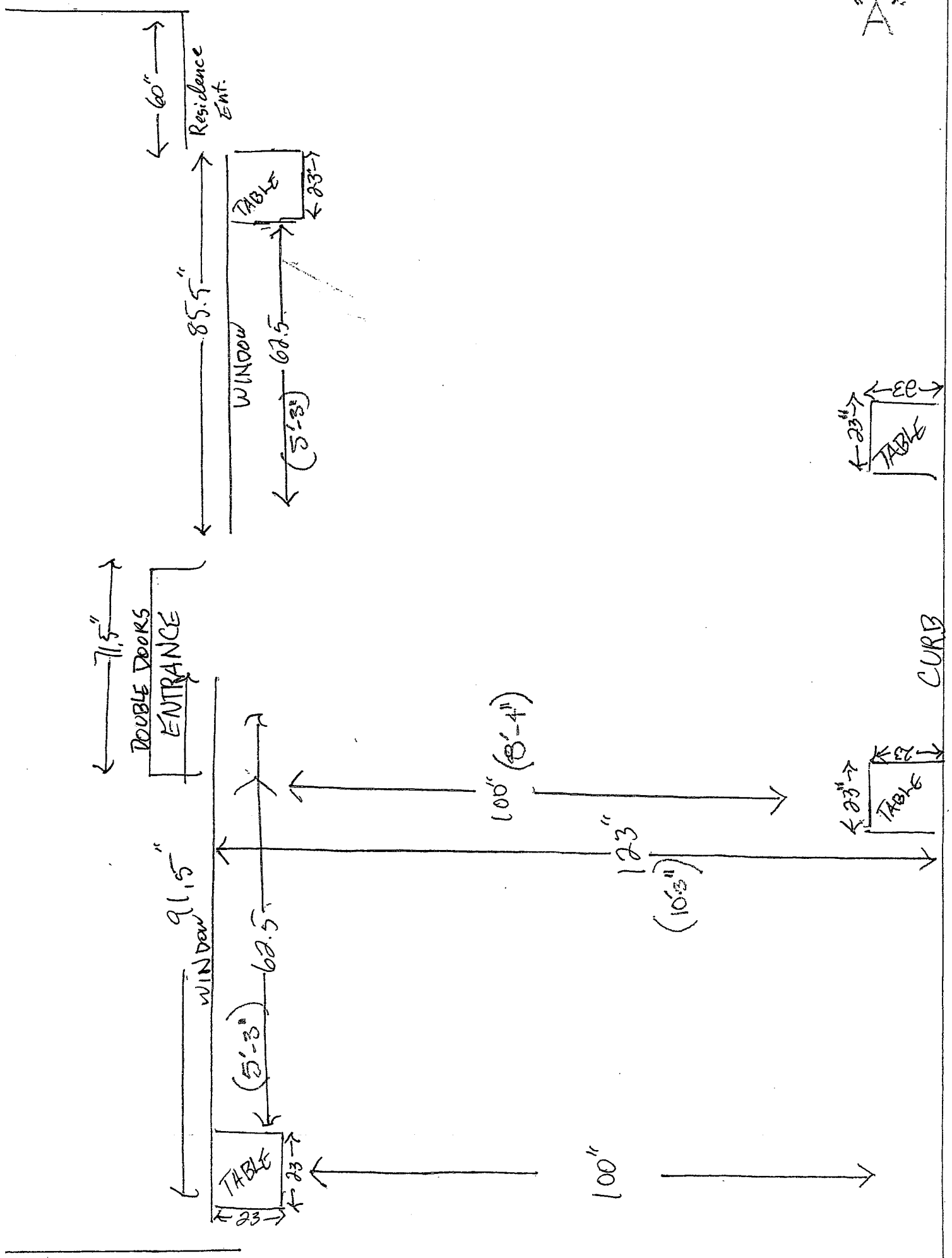
1068

Q & M

Item #9

Consideration: A request by Christopher Starnes for a sidewalk café franchise for a restaurant located at 536 Frenchmen Street.

"A"



Street



CERTIFICATE OF LIABILITY INSURANCE

THREE-4

OP ID: JR

DATE (MM/DD/YYYY)
12/05/13

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Harry Kelleher & Co., Inc. 5720 Salmen Ave Harahan, LA 70123 Jerry Ryder	504-828-0400	CONTACT NAME:	
	504-828-0300	PHONE (A/C, No, Ext):	FAX (A/C, No):
		E-MAIL ADDRESS:	
INSURER(S) AFFORDING COVERAGE			NAIC #
INSURER A : North American Capacity Ins.Co			25038
INSURER B :			
INSURER C :			
INSURER D :			
INSURER E :			
INSURER F :			

INSURED
Three Muses
R.U.E. Muses, LLC ,d/b/a
2728 N. Rampart St.
New Orleans, LA 70117

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDITIONAL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	GENERAL LIABILITY	X	88G000239200	06/01/13	06/01/14	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
	AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS					EACH OCCURRENCE \$ AGGREGATE \$
	<input type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$					WC STATUTORY LIMITS OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A				

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
 Location: 536-38 Frenchmen St., New Orleans, LA 70116. The City of New Orleans is included as an Additional Insured.

CERTIFICATE HOLDER	CANCELLATION
CITY001	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
City of New Orleans 1300 Perdido Street New Orleans, LA 70112	AUTHORIZED REPRESENTATIVE Jerry Ryder

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"C" 1

CITY OF NEW ORLEANS
DEPARTMENT OF FINANCE
BUREAU OF REVENUE
NORMAN S. FOSTER
Director of Finance



PERMIT NO: 23259

DATE ISSUED: 03/07/2013

DATE EXPIRES: 12/31/2013

MAYORALTY PERMIT

Consistent with Chapters 14, 30, 34, 42, 110, and 130 of the Code of the City of New Orleans, permission is hereby granted the recipient to engage in the activity listed below. This permit is not good on any neutral ground, public park, public square or on the lakefront. Permittee shall comply with all city, state and federal regulations and laws.

RUE MUSES LLC
dba **THREE MUSES**
536 FRENCHMEN ST
NEW ORLEANS, LA 70116
ACCOUNT NO:

102776208

PERMIT FEE:	\$500.25
PROCESSING FEE:	\$0.00
OTHER FEES:	\$0.00
INTEREST:	\$7.00
PENALTY:	--

BUSINESS LOCATION: 536 FRENCHMEN ST

TOTAL: \$707.25

BUSINESS DESCRIPTION: 8255 Music for Entertainment,Dancing/No Admission Charg

C2

City of New Orleans OCCUPATIONAL LICENSE

THIS PERMIT MUST BE PUBLICLY DISPLAYED

LICENSE NO: 221148

DATE ISSUED: February 22, 2013

DATE EXPIRES: December 31, 2013

Issuance of this occupational license is a receipt for payment of said tax and entitles the recipient to operate a business at the location shown, provided said business is operated within the confines of the application thereof, and does not violate any city or state criminal, health or zoning laws.

For the year ending December 31, 2013, the person or firm named hereon is hereby licensed to pursue the occupation of **1105 - Full Service Restaurants (table service available)**

TAXPAYER: RUE MUSES LLC
DBA: THREE MUSES
ACCOUNT NO: 102776208
BUSINESS LOCATION: 536 FRENCHMEN ST

AMOUNT: \$1,200.00
INTEREST: \$0.00
PENALTY: \$0.00

TOTAL:

THIS PERMIT IS NOT TRANSFERABLE

10-31-2009
DIRECTOR OF FINANCE
Raymond S. [Signature]
COLLECTOR OF REVENUE

C3

THIS PERMIT MUST BE PUBLICLY DISPLAYED

City of New Orleans ALCOHOLIC BEVERAGE PERMIT

C.O.P.

PERMIT NO: **50047**

DATE ISSUED: **April 27, 2013**

DATE EXPIRES: **May 31, 2014**

BEER ONLY

TO SELL, OFFER FOR SALE, HANDLE OR DISTRIBUTE ALCOHOLIC BEVERAGES OF ANY ALCOHOLIC CONTENT
NOT IN EXCESS OF 6% BY VOLUME

TAXPAYER: **RUE MUSES LLC**
DBA: THREE MUSES

ACCOUNT NO: **102776208**

BUSINESS LOCATION: **536 FRENCHMEN ST**

PROCESSING FEE: **\$0.00**
PERMIT FEE: **\$135.00**
POLICE CHARGE: **\$0.00**
PENALTY: **\$0.00**
TOTAL: **\$135.00**

Norma S. Fister
DIRECTOR OF FINANCE
Romy S. Baral
COLLECTOR OF REVENUE

THIS PERMIT IS NOT TRANSFERABLE

THIS PERMIT MUST BE PUBLICLY DISPLAYED

City of New Orleans ALCOHOLIC BEVERAGE PERMIT

C.O.P.

PERMIT NO: **50046**

DATE ISSUED: **April 27, 2013**

DATE EXPIRES: **May 31, 2014**

HIGH CONTENT ONLY

TO SELL, OFFER FOR SALE, HANDLE OR DISTRIBUTE ALCOHOLIC BEVERAGES OF ANY ALCOHOLIC CONTENT
IN EXCESS OF 6% BY VOLUME

TAXPAYER: **RUE MUSES LLC**
DBA: THREE MUSES

ACCOUNT NO: **102776208**

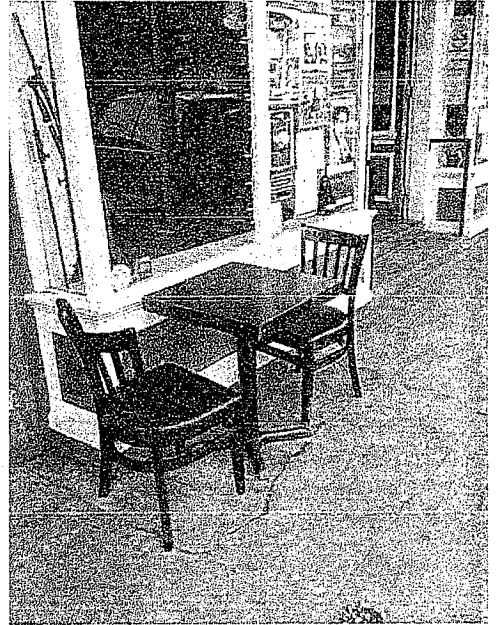
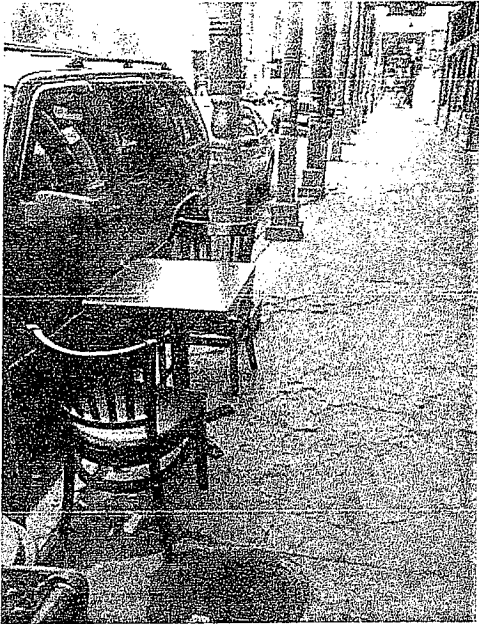
BUSINESS LOCATION: **536 FRENCHMEN ST**

PROCESSING FEE: **\$1,000.00**
PERMIT FEE: **\$500.00**
POLICE CHARGE: **\$0.00**
PENALTY: **\$0.00**
TOTAL: **\$1,500.00**

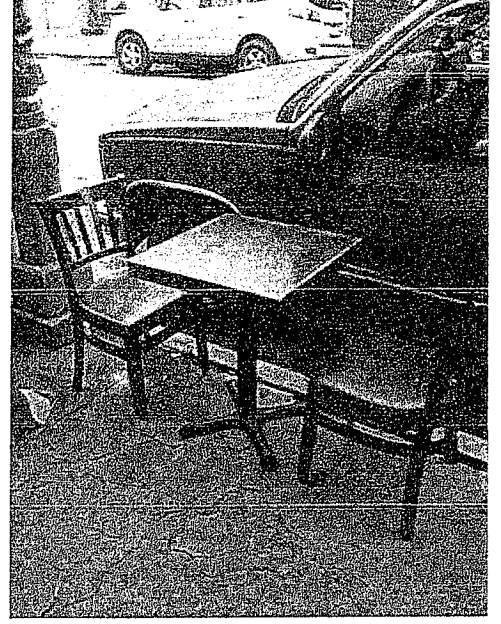
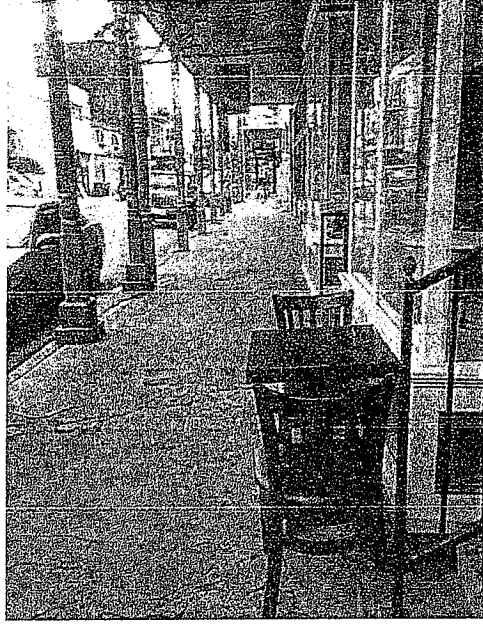
Norma S. Fister
DIRECTOR OF FINANCE
Romy S. Baral
COLLECTOR OF REVENUE

THIS PERMIT IS NOT TRANSFERABLE

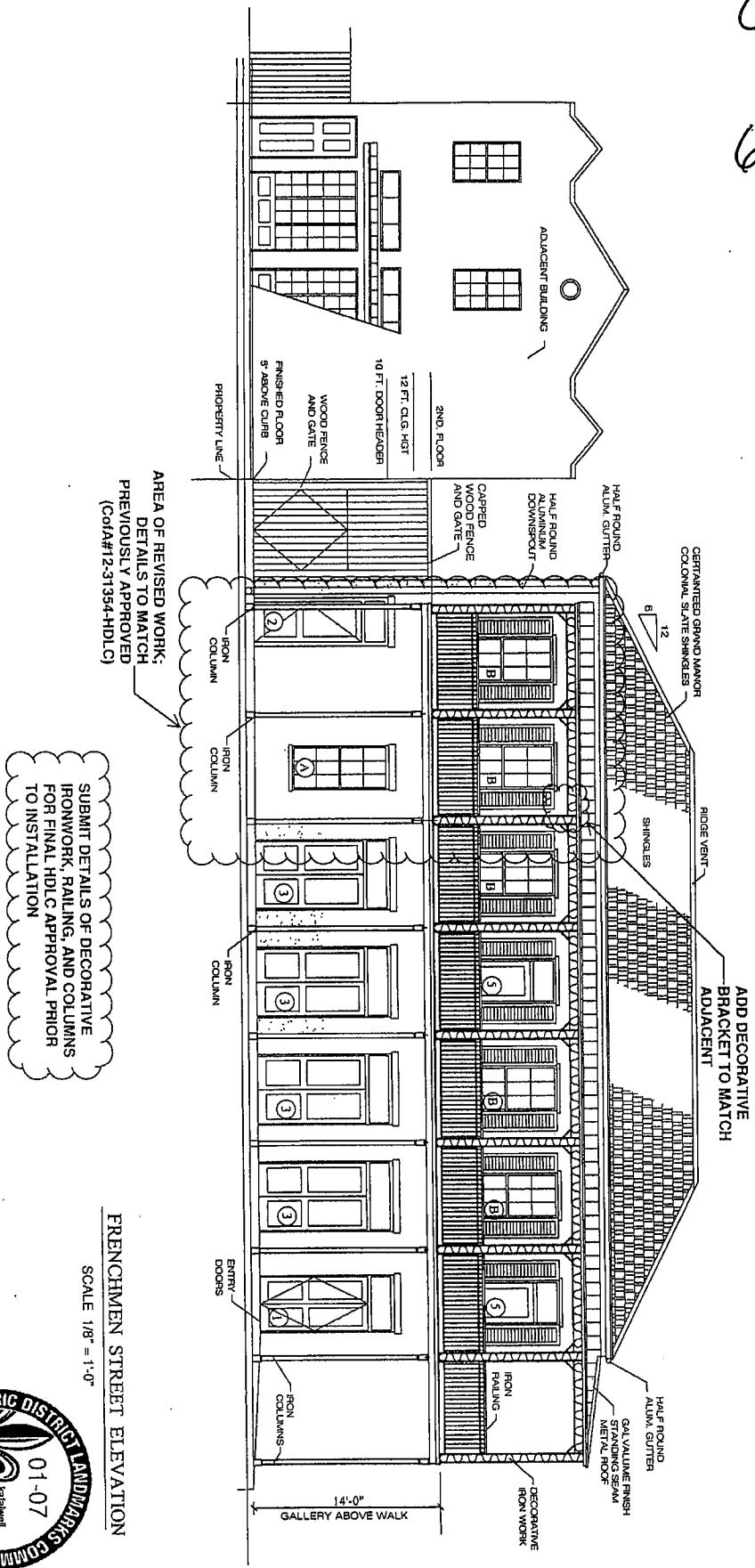
D1



D2



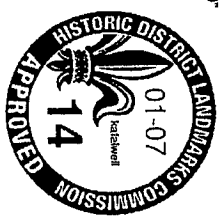
Other matters...
601 Frenchmen St.



AREA OF REVISED WORK;
DETAILS TO MATCH
PREVIOUSLY APPROVED
(COIA#12-31354-HDLC)

SUBMIT DETAILS OF DECORATIVE
IRONWORK, RAILING, AND COLUMNS
FOR FINAL HDLC APPROVAL PRIOR
TO INSTALLATION

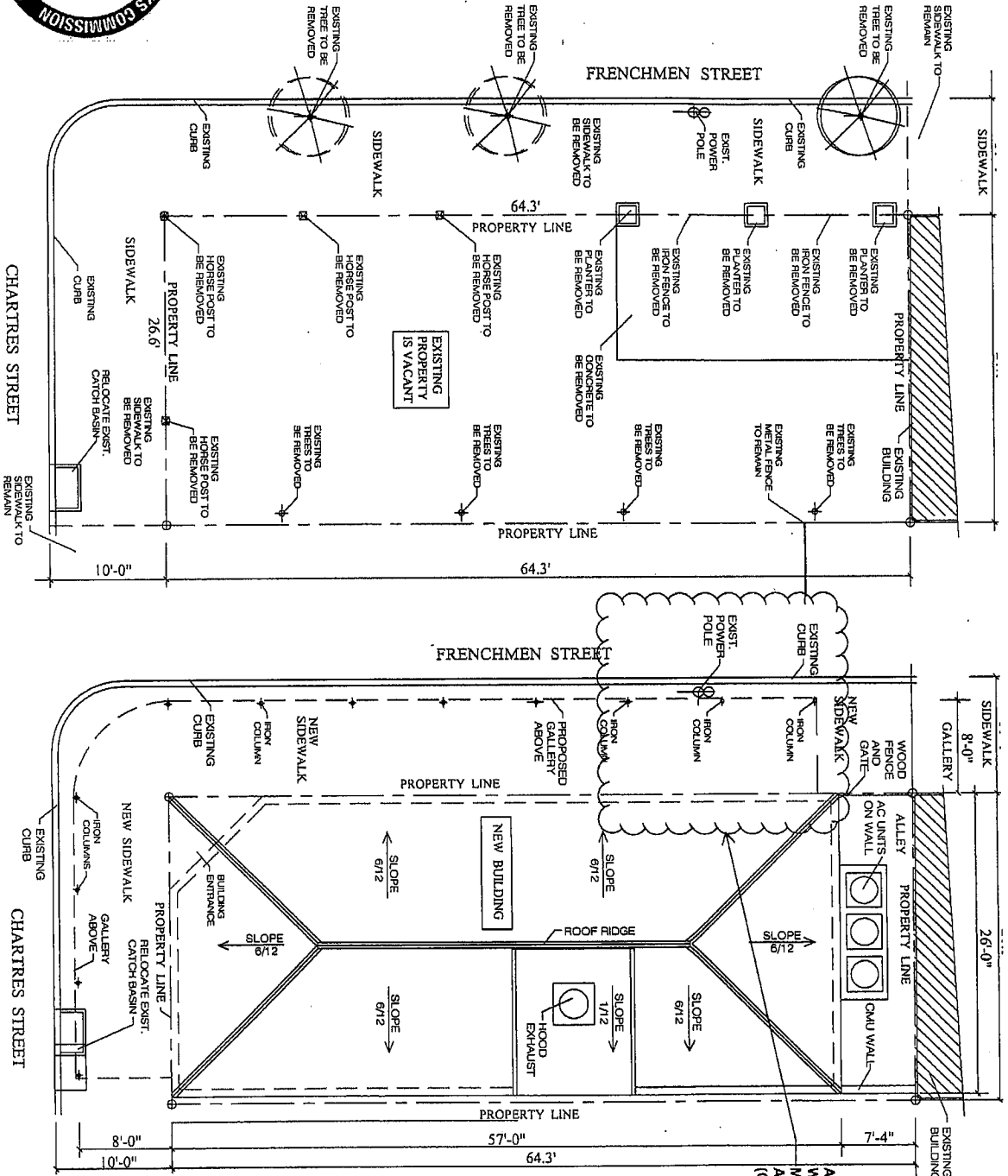
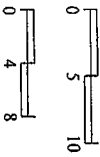
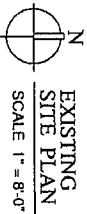
FRENCHMEN STREET ELEVATION
SCALE 1/8" = 1'-0"



SHEET: A-3 3 OF 3	DAT DOG FRENCHMEN ST. 601 FRENCHMEN STREET NEW ORLEANS, LOUISIANA	RATLIFF ARCHITECTS 800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236
	JAN. 6, 2014 JOB # 57-12	



NOTES:
 1. ALL EXISTING BUILDING FOUNDATIONS TO BE REMOVED, VERIFY EXISTING SITE CONDITIONS.



AREA OF REVISED WORK; DETAILS TO MATCH PREVIOUSLY APPROVED (CofA#12-31354-HDL)

A-1 SHEET: 1 OF 3	DAT DOG FRENCHMEN ST.	RATLIFF ARCHITECTS 800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236
	601 FRENCHMEN STREET NEW ORLEANS, LOUISIANA	

DAT DOG FRENCHMEN ST.

601 FRENCHMEN STREET
NEW ORLEANS, LOUISIANA

RATLIFF ARCHITECTS

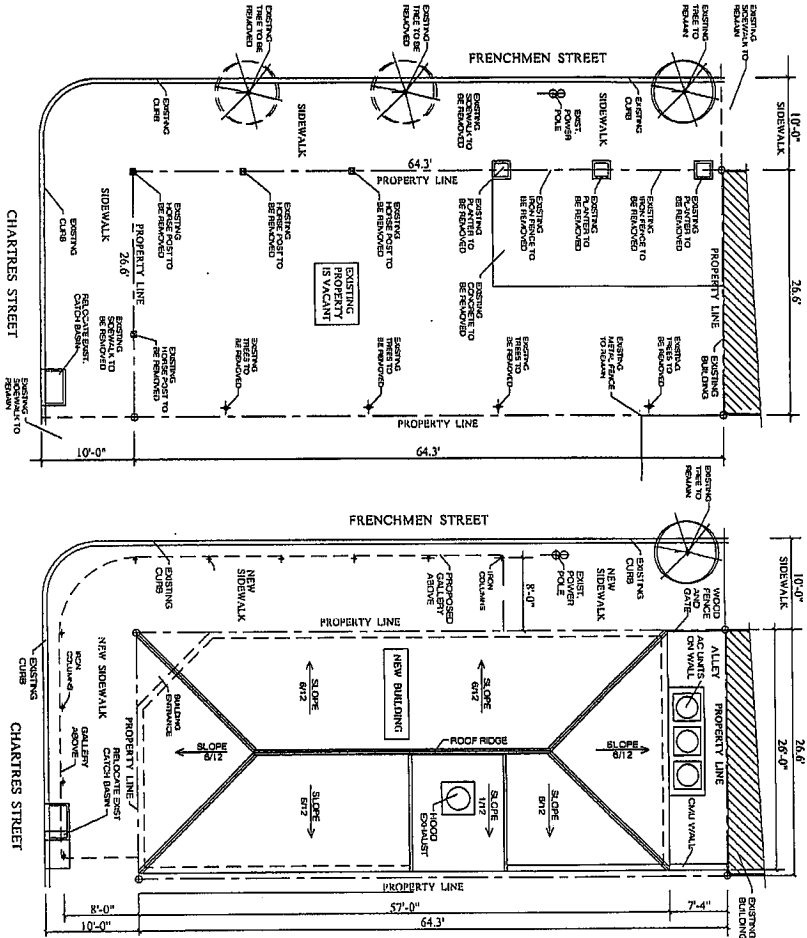
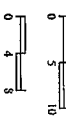
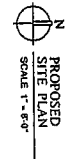
800 MARINER'S PLAZA DRIVE
MANDEVILLE, LOUISIANA
(985) 626-5236

SQUARE FOOTAGE
FIRST FLOOR 149
SECOND FLOOR 142
GALLERY 54
TOTAL INTERIOR AREA 393 SF.

INDEX OF DRAWINGS:	
ARCHITECTURAL	
A-1 TITLE SHEET	RATLIFF ARCHITECTS
A-2 FLOOR PLANS	
A-3 ELEVATIONS	
A-4 ELEVATIONS	
A-5 SECTIONS	
A-6 GALLERY/DETAILS	
A-7 INTERIORS	
A-8 DOORS/WINDOWS	

STRUCTURAL	
S-0 NOTES	ROBERT ANDERSON
S-1 FOUNDATION PLANS	
S-2 COLUMN FRAMING PLAN	
S-3 2ND FLOOR FRAMING	
S-4 SECTIONS	
S-5 DETAILS	
S-6 DETAILS	
MECHANICAL	
M-1 MECHANICAL	JOE MAYERS
M-2 MECHANICAL	
M-3 PLUMBING	
ELECTRICAL	
E-1 NOTES	SOMANJOLLY
E-2 LIGHTING PLANS	
E-3 POWER PLAN	
E-4 DETAILS	
E-5 SCHEDULES	
E-6 DIAGRAMS	

NOTES:
1. ALL EXISTING BUILDINGS AND STRUCTURES TO BE REMOVED. VERIFY EXISTING SITE CONDITIONS.

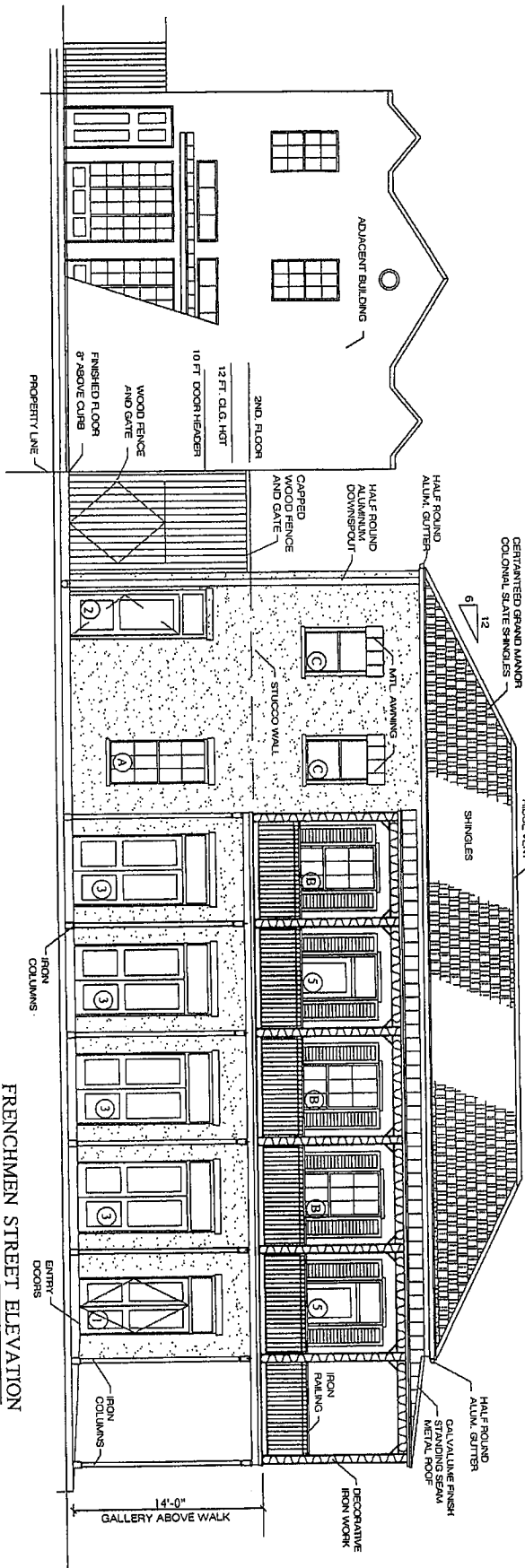


A-1

MAY 28, 2013
JOB # 5712
SHEET

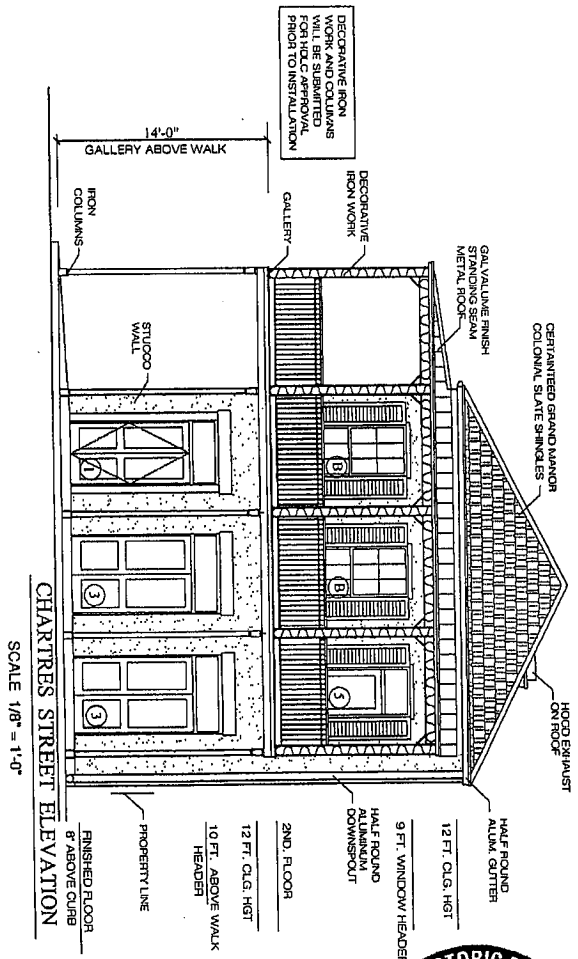
DAT DOG FRENCHMEN ST.

601 FRENCHMEN STREET
NEW ORLEANS, LOUISIANA



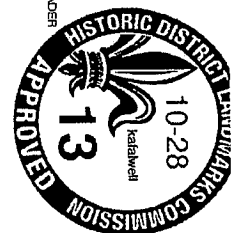
FRENCHMEN STREET ELEVATION

SCALE 1/8" = 1'-0"

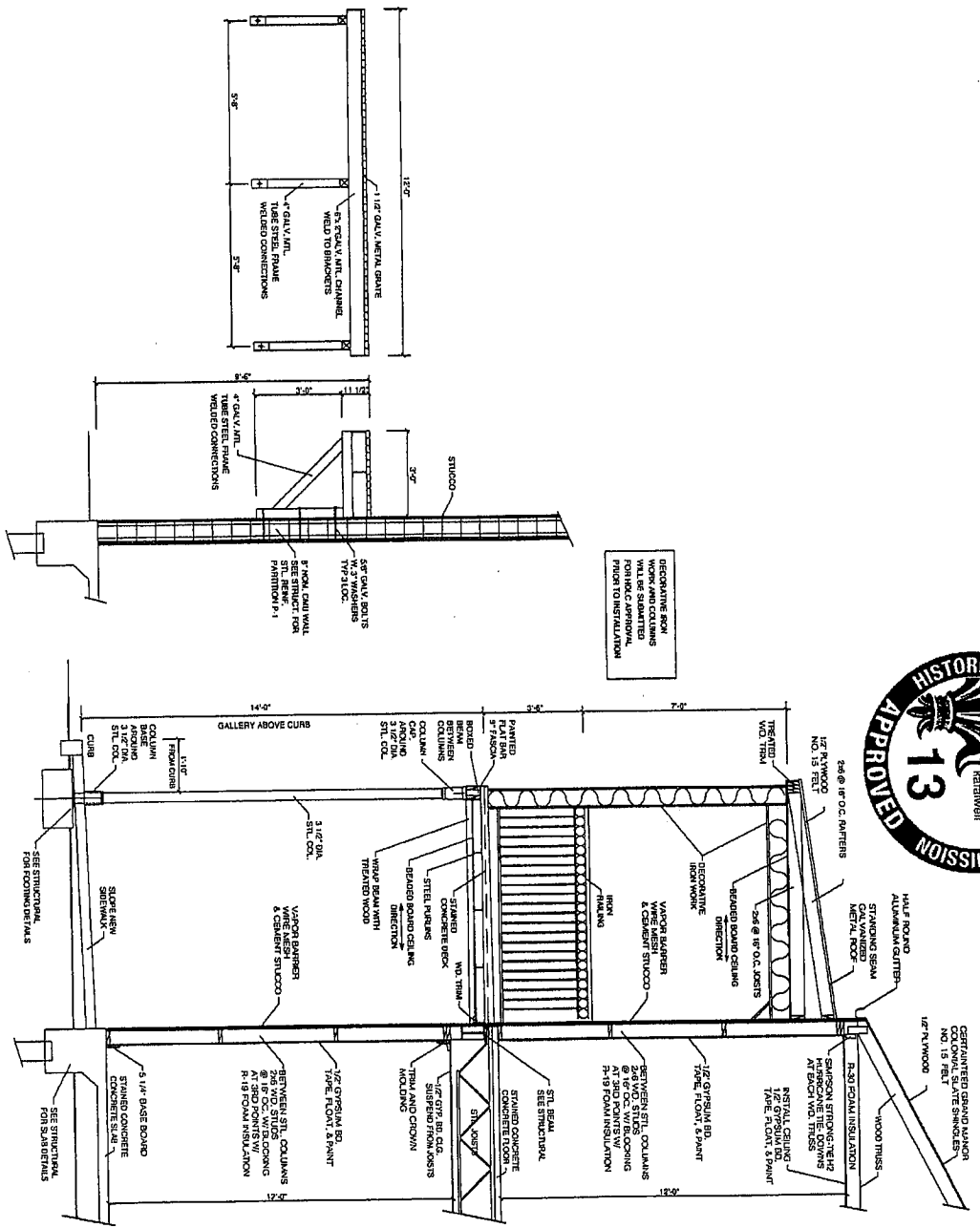


CHARTRES STREET ELEVATION

SCALE 1/8" = 1'-0"



<p>SHEET: A-3 3 OF 8</p>	<p>SEPT. 25, 2013 JOB # 57-12</p> <p>DAT DOG FRENCHMEN ST. 601 FRENCHMEN STREET NEW ORLEANS, LOUISIANA</p>	<p>RATLIFF ARCHITECTS 800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236</p>
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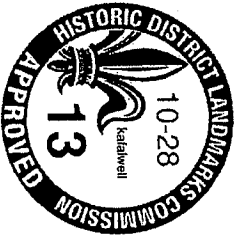


3 AC PLATFORM ELEVATION
SCALE 1/4" = 1'-0"

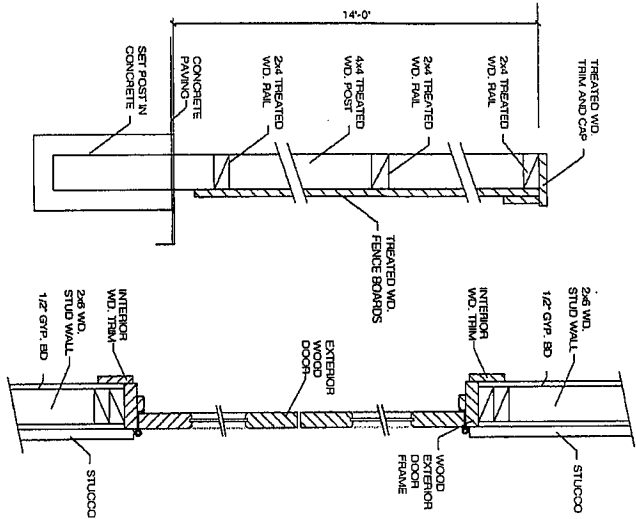
2 AC PLATFORM SECTION
SCALE 1/4" = 1'-0"

1 WALL SECTION
SCALE 1/4" = 1'-0"

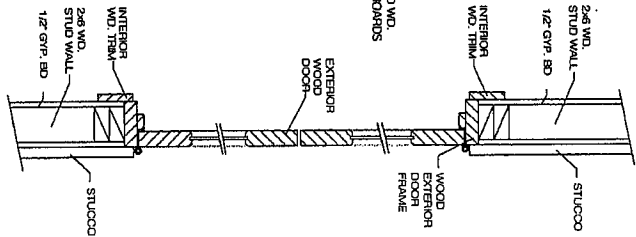
<p>RATLIFF ARCHITECTS 800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236</p>	<p>DAT DOG FRENCHMEN ST. 601 FRENCHMEN STREET NEW ORLEANS, LOUISIANA</p>	<p>SEP 25, 2013 JOB # 57-12 SHEET: A-6 6 OF 8</p>
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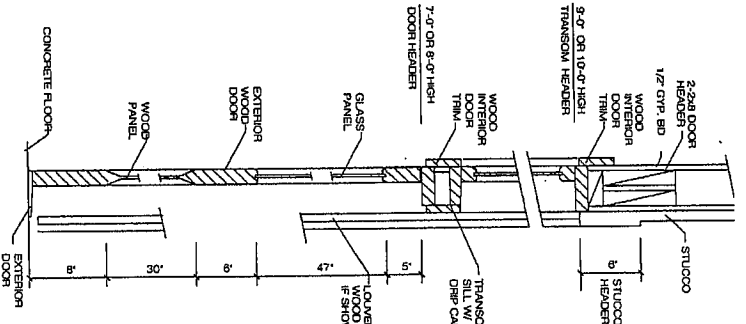
FENCE DETAIL
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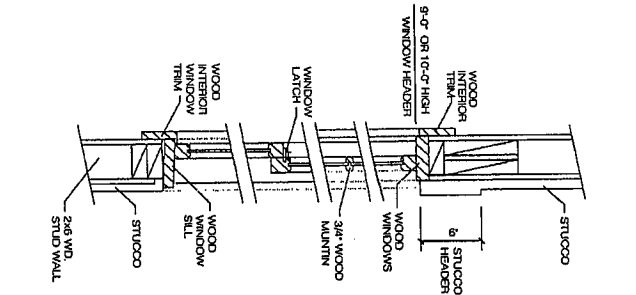
DOOR JAMB DETAIL
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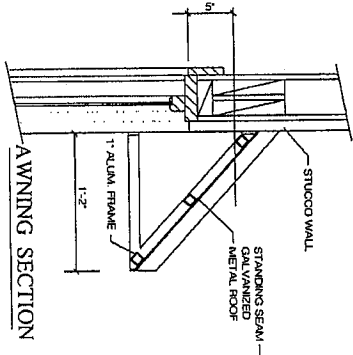
DOOR SECTION
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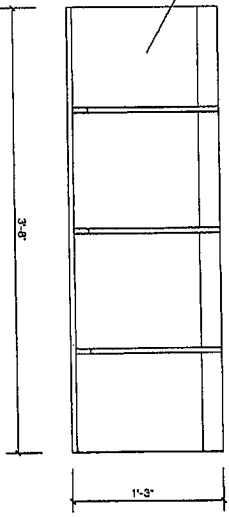
WINDOW SECTION
SCALE 1" = 1'-0"



AWNING SECTION
SCALE 1" = 1'-0"



AWNING ELEVATION
SCALE 1" = 1'-0"



SHEET: A-8.1 8 OF 8	SEPT. 25, 2013 JOB # 57-12 DAT DOG FRENCHMEN ST. 601 FRENCHMEN STREET NEW ORLEANS, LOUISIANA	RATLIFF ARCHITECTS 800 MARINER'S PLAZA DRIVE MANDEVILLE, LOUISIANA (985) 626-5236
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