

# CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

## AGENDA – February 5, 2014

There will be a meeting of the Planning Advisory Committee on Wednesday, February 5, 2014 at 2:00 p.m. The meeting will be held in the One Stop Shop conference room A, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the January 22, 2014 PAC meeting.
- 2) **Consideration:** **ZONING DOCKET 018/14** – Request by HOLY CROSS COLLEGE, INC for a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District for the entireties of Squares 44, 120, 192, and 229 and portions of Squares 43, 121, 191, and 230 and adjacent undesignated lots and an MUPC Mixed-Use Planned Community District overlay for the entireties of Squares 44, 120, 192, and 229 and portions of Squares 43, 121, 191, and 230 and Square 41, Lots 1 through 6, and adjacent undesignated lots, all bounded by the Mississippi River, Reynes Street, Burgundy Street, and Deslonde Street in the Third Municipal District, the above commonly known as the former Holy Cross School campus. The municipal address is 4950 DAUPHINE STREET.
- 3) **Consideration:** **ZONING DOCKET 020/14** – Request by ORLEANS PARISH SCHOOL BOARD for a Conditional Use to permit an elementary school in an RD-2 Two-Family Residential District on Square Section 41 T12S R12E, Lot Z or Pt. Lots E, 1 through 3, F, 1, 2, G, 1, 2, X, and Y in the Third Municipal District, bounded by Grant Street, Wilson Avenue, Leeds Street, and Viola Street. The municipal address is 7701 GRANT STREET.
- 4) **Consideration:** Acquisition of property by the City of New Orleans for expansion of the Nora Navra Library site:  
Lots Q, R, and S, Square 903, Ninth Ward, bounded by St. Bernard Avenue, N. Prieur Street, Onzaga Street, and N. Johnson Street, the municipal addresses of said lots are 1921-23 Onzaga St., 1922-24 St. Bernard Street, and 1918-20 St. Bernard St.
- 5) **Consideration:** A request by Valmont Investments, LLC, for a grant of predial servitude, for the proposed encroachments of steps, landing, and roof overhang on/over the 9<sup>th</sup> (Ninth) St. and St. Thomas St. public rights-of-way, adjacent to Lot 2, Square 19, 4<sup>th</sup> M.D., bounded by Tchoupitoulas St., Harmony St., St. Thomas St., and 9<sup>th</sup> St. The municipal address is 430-432 9<sup>th</sup> (Ninth) St.

- 6) **Consideration:** A request by Tre Fagioli, LLC, for a grant of a predial servitude, for the proposed encroachments of balconies and the improvement itself on/over the Tchoupitoulas St. public right-of-way, adjacent to Lot A-1-A, Square 69, 1<sup>st</sup> M.D., bounded by John Churchill Chase, Annunciation Street, Poeyfarre Street, and Tchoupitoulas Street. The municipal address is 1035 Tchoupitoulas St.
- 7) **Consideration:** A request by Steven Johnson for a grant of predial servitude, for the proposed encroachments of steps, landing, and roof overhang on/over the Lizardi St. public right-of-way, adjacent to Lot A, Square 195, Holy Cross Subdivision, 3<sup>rd</sup> M.D., bounded by Dauphine St., Egania St., Royal St., and Lizardi St. The municipal address is 729 Lizardi Street.
- 8) **Consideration:** A request by Marcia Alsandar for a lease of a portion of the Peoples Avenue public right-of-way adjacent to Lots 17 and 18, Square 45, 3<sup>rd</sup> M.D, bounded by Mirabeau St., Peoples Ave., Carnot St., and Eastern St.. The municipal address is 4755 Eastern Street.
- 9) **Consideration:** A request by South Market District D, LLC, for a lease of a portion of the public right of way (from sidewalk to street), adjacent to Lot B, Square 258, 1<sup>st</sup> M.D, bounded by O’Keefe Ave., Lafayette St., Baronne St., and Girod St. The municipal address is 939 Girod Street.
- 10) **Consideration:** A request by Billy Good for a one-year lease (and then subsequent sale) for the N. Rendon St. public right of way (paper street) in the 2<sup>nd</sup> M.D, between squares 449 and 426, bounded by N. Jefferson Davis Parkway (Sq 449), St. Louis St., N. Lopez St. (sq 426), and Conti Street.
- 11) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, February 5, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

Respectfully yours,

Robert D. Rivers, Director  
January 16, 2014

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of “no objection” by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

# CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

## Minutes – January 22, 2014

A meeting of the Planning Advisory Committee was held on Wednesday, January 22, 2014 at 2:00 PM in the One Stop Shop conference room A, City Hall Room 7W03. Those in attendance were:

### MEMBERS

Edward Horan (S&P)  
LaJoyce Steib (SWB)  
Mark Johnson (SWB)  
Denise McCray (SWB)  
Max Camp (RER)  
Arlen Brunson (CPC)  
Tica Hartman (PPW)  
Tracy St. Julien (HDLC)  
Bao Vu (DPW)  
Lary Hesdorffer (VCC)

### GUESTS

Corinne Villavaso  
Justin Schmidt  
Branden Villavaso

### CPC STAFF

Editha Amacker  
Stephen Kroll  
Nicolette Jones  
Bob Rivers

### NON-VOTING DEPARTMENTS

William Gilchrist (City of New Orleans)

- 1) **Consideration:** Minutes from the January 8, 2014 PAC meeting.

The minutes were approved as written.

- 2) **Consideration:** ZONING DOCKET 013/14 – Request by ORRILL, CORDELL & BEARY, LLC for a Conditional Use to permit a cocktail lounge in a CBD-1 Central Business District on Square 222, Lots 1, 2, and 3, in the First Municipal District, bounded by Carondelet, Union, and Perdido Streets and Saint Charles Avenue. The municipal address is 330 CARONDELET STREET.

The applicant's representative indicated that the cocktail lounge will be located downstairs and will not have food or entertainment. They will address concerns

about trash storage and will retain existing signage. The representative noted that the cocktail lounge will be operated by the building owner and that there is a radio station upstairs. The committee passed a motion of no objection subject to further review by CPC. The committee passed a motion to reconsider item#2 and subsequently passed a motion to add RER to the motion of no objection for review of encroachments within the public right-of-way.

- 3) **Consideration: ZONING DOCKET 014/14** – Request by THE NATIONAL WORLD WAR II MUSEUM, INC. for the rescission of Ordinance No. 24,641 MCS (Zoning Docket 068/11, which granted a Conditional Use to permit a surface parking lot in a CBD-8 Central Business District on Square 136, Lots 10, 4 or 1, 2, 3, 1 thru 7, 11 thru 21, and a common alley in the First Municipal District, bounded by Magazine, Constance and Poeyfarre Streets and Andrew Higgins Boulevard and an Amendment to Ordinance No. 24,480 MCS (Zoning Docket 035/11, which established a CBPCD Central Business Planned Community District in a CBD-8 Central Business District on Square 159-A, Lot W-1, in the First Municipal District, bounded by Magazine Street, Calliope Street, Camp Street and Andrew Higgins Drive to permit the establishment of a new parking garage with retail space and a surface parking lot on Square 136, all lots (proposed Lots 1WW-A and 1WW-B), in the First Municipal District, bounded by Magazine, Constance, and Poeyfarre Streets and Andrew Higgins Drive. The municipal addresses are 1000-1024 MAGAZINE STREET AND 1011 POEYFARRE STREET.

PPW noted that they need to review a landscape plan for the proposal. HDLC indicated that plans for the project have not been submitted. DPW indicated that they have not reviewed plans for this project. RER needs further review to address encroachments within the public right-of-way. SWB indicated that there is a sewer line on Moss Alley and the plans indicate that the structure will be located over the sewer line. The applicant needs to discuss their options with SWB. The committee passed a motion of no objection subject to further review by CPC, HDLC, DPW, SWB, PPW, and RER.

- 4) **Consideration: ZONING DOCKET 015/14** – Request by 1029 OC HALEY LLC for an Amendment to Ordinance 19,527 MCS (Zoning Docket 096/99, which granted a Conditional Use to permit a monopole and accessory equipment for wireless personal communication services in a CBD-5 Central Business District) to permit a retail alcoholic beverage outlet in a CBD-5 Central Business District on Square 276, Lot 2-A or 2A in the First Municipal District, bounded by Oretha Castle Haley Boulevard, Calliope Street, Loyola Avenue, and Howard Avenue. The municipal address is 1029 ORETHA CASTLE HALEY BOULEVARD.

The request was considered by the Planning Advisory Committee on January 22, 2014. The applicant's representative explained that an upscale wine shop is being proposed for a multi-tenant commercial building. He noted that the request does

not affect the existing monopole. PPW noted that there are dead trees in the public right-of-way on O.C. Haley Boulevard which need to be replaced with comparable trees of sizeable caliper. SWB indicated that they need to review the location of trees near an existing water line. RER indicated that the project must be reviewed for encroachments within the public right-of-way. The committee passed a motion of no objection, subject to further review by CPC, PPW, RER, and SWB.

- 5) **Consideration: ZONING DOCKET 016/14** - Request by FIRST CHEF LLC for a Conditional Use to permit a cocktail lounge in a C-1 General Commercial District and within the UC Urban Corridor District overlay on Parcel 1, Lot 29, in the Third Municipal District, bounded by Chef Menteur Highway, Alcee Fortier Boulevard, Michoud Boulevard, and Bayou Michoud. The municipal address is 14349 CHEF MENTEUR HIGHWAY.

The applicant's representative indicated that the plans show a small platform but the proposed cocktail lounge will not have entertainment. The committee passed a motion of no objection subject to further review by CPC.

- 6) **Consideration: ZONING DOCKET 017/14** - Request by 3601 CAMP STREET LLC for a Conditional Use to permit a parking lot providing off-street parking for a main use(s) located within 300 feet of said lot in an RD-2 Two-Family Residential District on Square 271, on various undesignated lots, in the Sixth Municipal District, bounded by Antonine, Camp, Chestnut and Foucher Streets. The municipal address is 3601 CAMP STREET.

PPW noted she was concerned about the preservation of existing live oak trees within the public right-of-way adjacent to the site. DPW noted that it would need to review the site plan further, including the existing and proposed curb cuts. RER also noted that it would need to review the plans further. VCC voiced his concern that considering the current application for off-site parking before the structure had been adapted for multiple-family residential use seemed to put "the cart before the horse." S&P echoed those concerns. The committee passed a motion of no objection subject to further review by CPC, PPW, Department of Public Works, and RER. VCC amended the motion to state that standard lot requirements and zoning requirements shall be met as a condition of the committee's recommendation. The motion was opposed by S&P.

- 7) **Consideration:** A request by Ed and Joann Lozes for a grant of a predial servitude, for the proposed encroachment of an awning on/over the Third St. public right-of-way, adjacent to Lot 1, Square 113, 4<sup>th</sup> M.D., bounded by Laurel St., Fourth St., Constance St., and Third St. The municipal address is 900 Third St.

HDLC noted that the applicant has submitted an application for review of the proposed awning; however the canopy cannot be approved until their outstanding

violations have been addressed. She indicated that the applicant has applied to retain the conditions that are in violation. PPW noted that there is a live oak tree near the proposed awning but the location is unclear because the applicant did not provide a site plan that goes to the street. The committee passed a motion of no objection subject to further review by RER and HDLC.

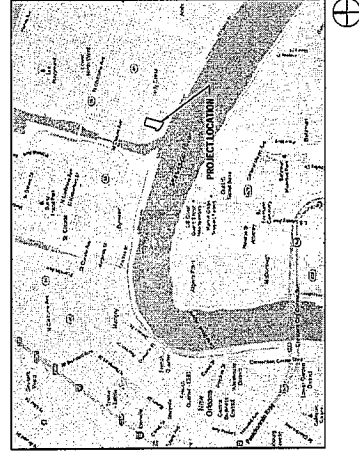
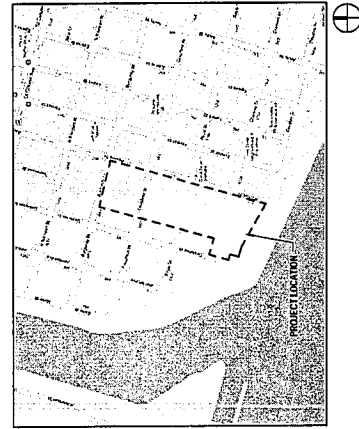
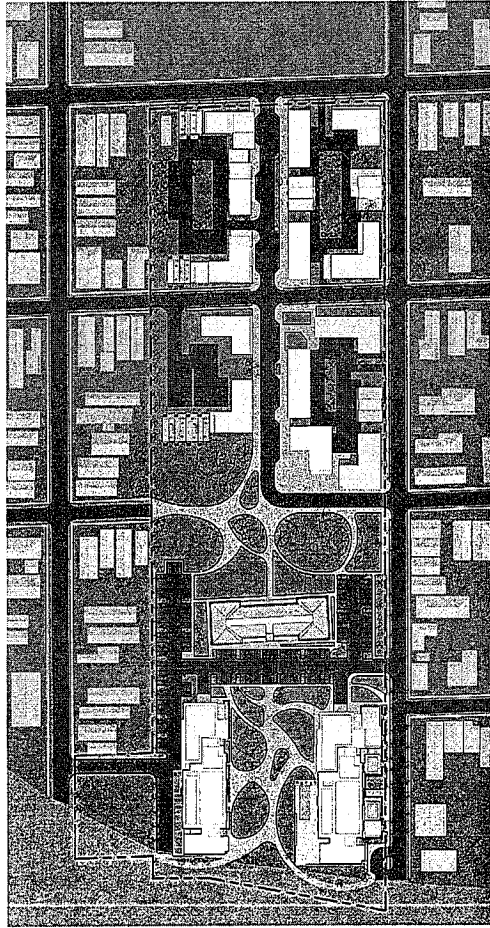
- 8) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, February 5, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

**Item # 2**

**ZONING DOCKET 018/14** – Request by HOLY CROSS COLLEGE, INC for a Zoning Change from an RD-3 Two-Family Residential District to a C-1A General Commercial District for the entireties of Squares 44, 120, 192, and 229 and portions of Squares 43, 121, 191, and 230 and adjacent undesignated lots and an MUPC Mixed-Use Planned Community District overlay for the entireties of Squares 44, 120, 192, and 229 and portions of Squares 43, 121, 191, and 230 and Square 41, Lots 1 through 6, and adjacent undesignated lots, all bounded by the Mississippi River, Reynes Street, Burgundy Street, and Deslonde Street in the Third Municipal District, the above commonly known as the former Holy Cross School campus. The municipal address is 4950 DAUPHINE STREET.

# HOLY CROSS CAMPUS REDEVELOPMENT

4950 Dauphine St New Orleans, LA 70117



## CITY OF NEW ORLEANS CITY PLANNING COMMISSION CONDITIONAL USE

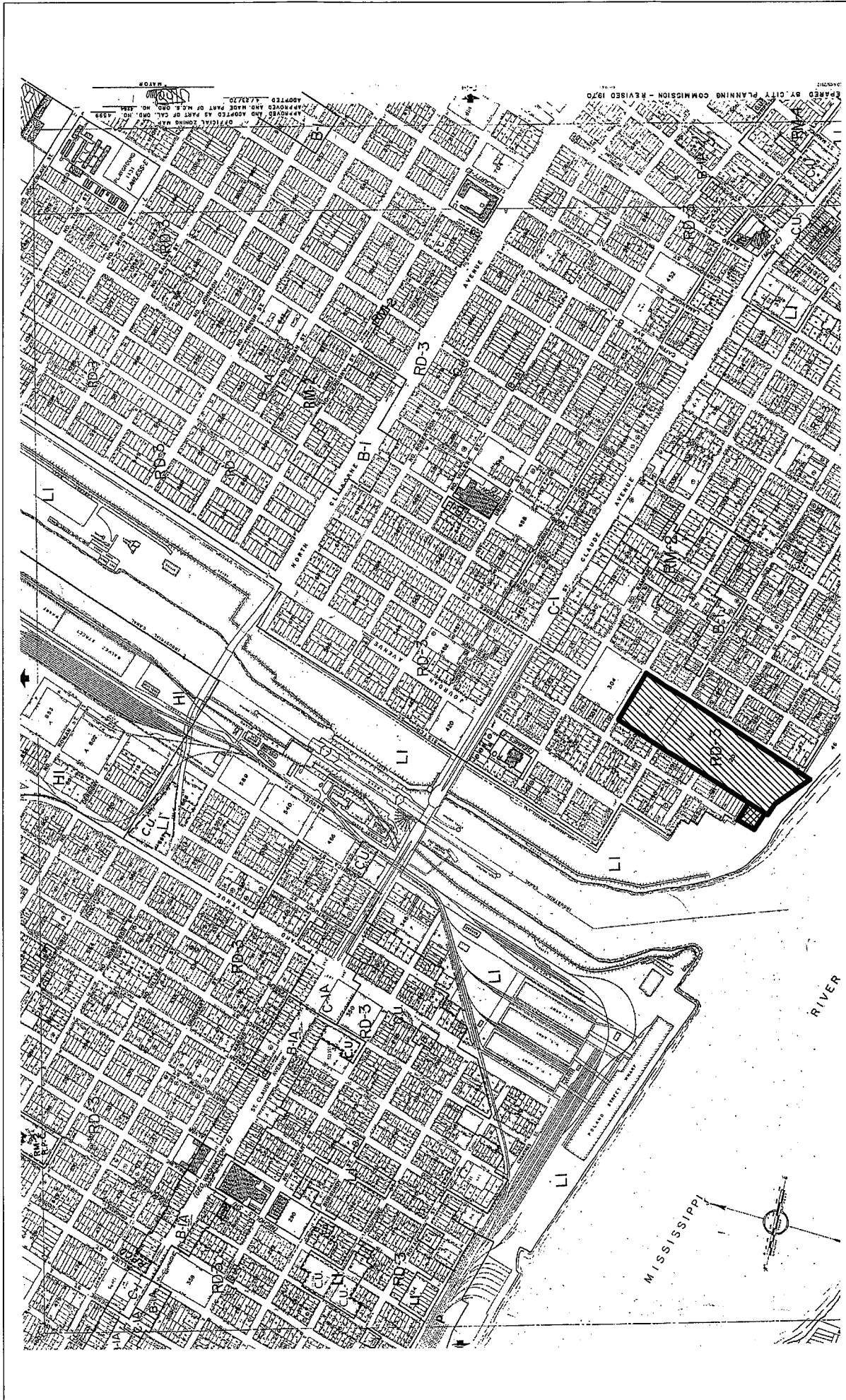
### PROJECT DIRECTORY

Perez, APC  
371 BIRMGHAM STREET, SUITE 11  
NEW ORLEANS, LA 70112  
PHONE: (504) 584-5180  
FAX: (504) 584-5180

### INDEX OF DRAWINGS

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A.03 ZONING CHANGE REQUEST
A.04 MUPC MIXED USE PLANNED COMMUNITY
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A.07 CONDITIONAL USE PERMIT SITE PLAN Z2
A.08 EXISTING BUILDING SECOND FLOOR PLAN
A.09 EXISTING BUILDING THIRD FLOOR PLAN
A.10 EXISTING BUILDING ATTIC PLAN
A.11 EXISTING BUILDING ELEVATIONS
A.12 EXISTING BUILDING SECOND FLOOR PLAN
A.13 LOT 43 & 44 BUILDING SECOND FLOOR PLAN
A.14 LOT 43 & 44 BUILDING THIRD FLOOR PLAN
A.17 BUILDING 44 ELEVATIONS
A.18 BUILDING 44 ELEVATIONS
A.18 POTENTIAL DEVELOPMENT SITE PLAN
A.19 SITE 56.00 BUILDING 6 & 7 FLOOR PLAN
A.20 SITE SECTIONS
Proposed Landscaping Plan
Missing Masterplan
A.05 CONDITIONAL USE PERMIT SITE PLAN Z2





APPROVED AND ADDED AS PART OF MAP NO. 1188  
 OFFICIAL ZONING MAP  
 APPROVED 11/27/77  
 ADOPTED 11/27/77  
 PREPARED BY CITY PLANNING COMMISSION - REVISED 1970

HOLY CROSS REDEVELOPMENT

Perez®

AGZ0201103 MAP  
 1023/13  
 PEREZ A PROFESSIONAL CORPORATION  
 NEW ORLEANS, LOUISIANA WWW.PEREZ.COM



**LEGEND.**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>BL - BUILDING</li> <li>BL - BASELINE</li> <li>--- - EXISTING RIGHT OF WAY</li> <li>--- - CURB LINE</li> <li>--- - DWP - MET. DRAIN LINE</li> <li>--- - DWP - MET. DRAIN LINE</li> <li>--- - COMMUNICATIONS MANHOLE, COVIL LINE</li> <li>--- - DRAIN MANHOLE, DRAIN LINE</li> <li>--- - ELECTRICAL MANHOLE, ELEC. LINE</li> <li>--- - GAS MANHOLE, GAS LINE</li> <li>--- - SEWER MANHOLE, SEWER LINE</li> <li>--- - TELEPHONE MANHOLE, TELE. LINE</li> <li>--- - TRAFFIC MANHOLE, TRAFFIC LINE</li> <li>--- - WATER MANHOLE, WATER LINE</li> </ul> | <ul style="list-style-type: none"> <li>--- - UTILITY POLE / OVERHEAD LINES</li> <li>--- - ELECTRIC, TELEPHONE, CABLE TV</li> <li>--- - GAS TOWER / OVERHEAD LINES</li> <li>--- - FENCE</li> <li>--- - UTILITY BOX</li> <li>--- - UTILITY CULVERT</li> <li>--- - UTILITY WATER</li> <li>--- - UTILITY FIBER</li> <li>--- - UTILITY WASTE</li> <li>--- - FIRE HYDRANT</li> <li>--- - DRAIN STUB/END</li> <li>--- - TRAFFIC LIGHT</li> <li>--- - SIGN</li> <li>--- - FLAGPOLE</li> <li>--- - TREE</li> <li>--- - PP - PAVEMAN</li> </ul> |
|--|---|

EXISTING L-1 ZONING INCLUDED IN MUPC

DESLOMDE STREET

ROYAL STREET

MISSISSIPPI RIVER

BURUNDY STREET

DAUPHINE STREET

REYNES STREET

ROYAL STREET

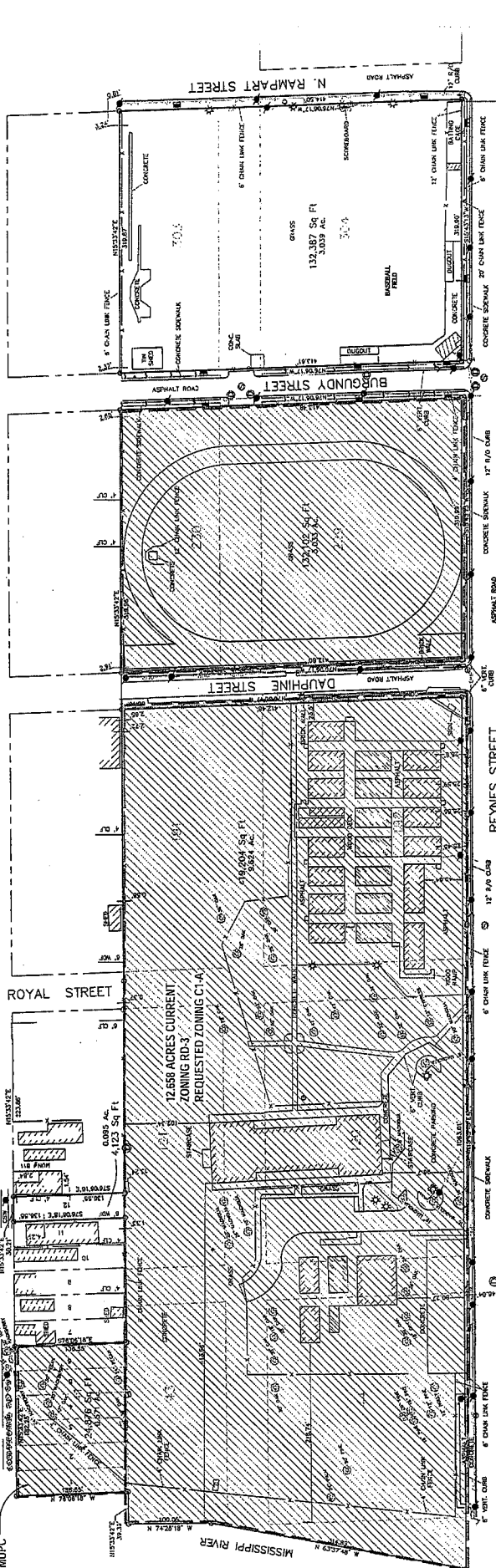
BURUNDY STREET

CHARTRES

ZONING CHANGE APPLICATION

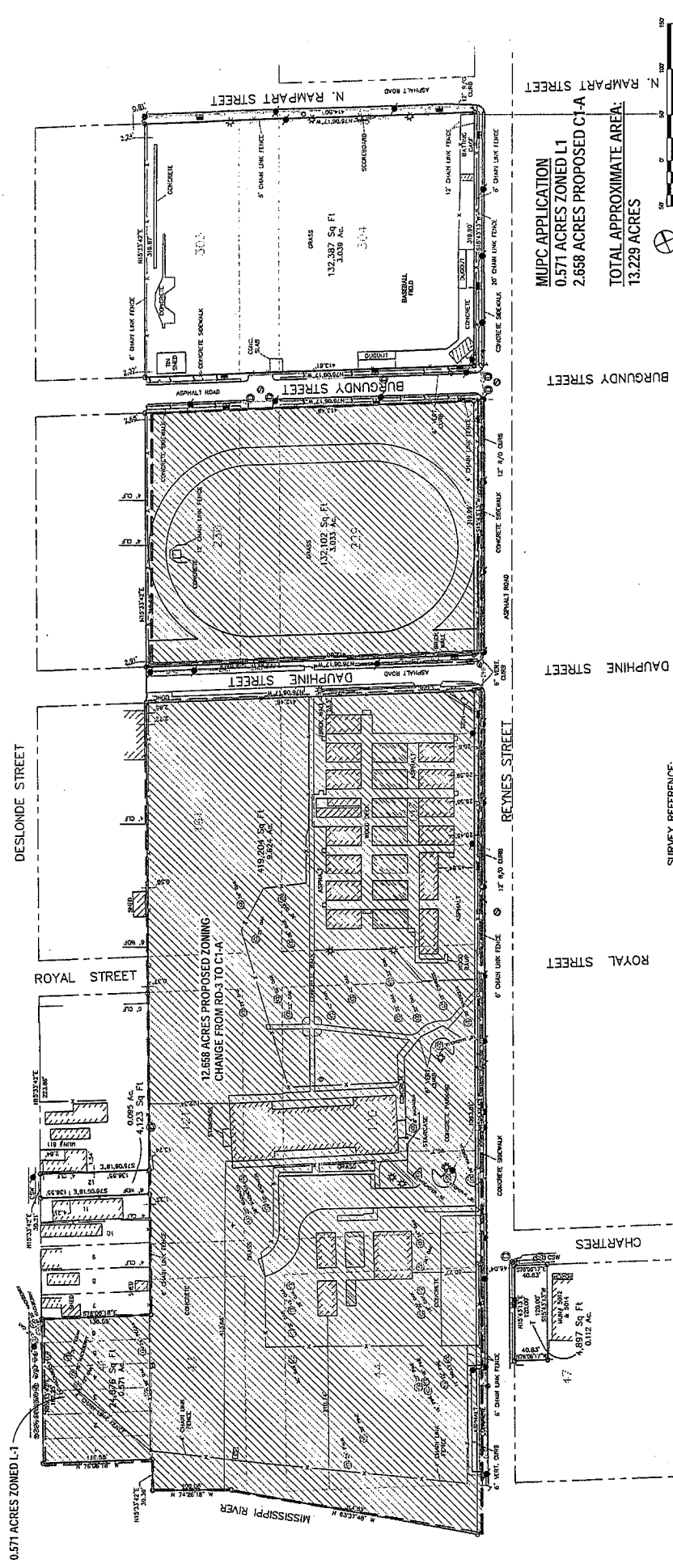
APPROXIMATE AREA:  
576182 SF / 12.658 ACRES

SURVEY REFERENCE:



**LEGEND**

- |  |                             |  |                                |
|--|-----------------------------|--|--------------------------------|
|  | BUILDING                    |  | UTILITY POLE / OVERHEAD LINES  |
|  | BASILINE                    |  | ELECTRIC, TELEPHONE, CABLE, TV |
|  | EXISTING RIGHT OF WAY       |  | ELEC TOWER / OVERHEAD LINES    |
|  | CATCH BASIN                 |  | FENCE                          |
|  | SEWER                       |  | UTILITY BOX                    |
|  | WATER MAIN                  |  | UTILITY METER                  |
|  | STORM SEWER                 |  | UTILITY CLEANOUT               |
|  | GAS MAIN                    |  | POWER TRANSFORMER              |
|  | GAS SERVICE LINE            |  | UTILITY VALVE                  |
|  | SEWER SERVICE LINE          |  | FIRE HYDRANT                   |
|  | STORM SEWER SERVICE LINE    |  | LIGHT STANDARD                 |
|  | TRAFFIC SIGNAL              |  | SIGN                           |
|  | TRAFFIC SIGNAL SERVICE LINE |  | FLAGPOLE                       |
|  | WATER MAIN SERVICE LINE     |  | TREE                           |
|  |                             |  | PP DEADMAN                     |



**MUPC APPLICATION**  
 0.571 ACRES ZONED L1  
 2.668 ACRES PROPOSED C-1-A  
**TOTAL APPROXIMATE AREA:**  
 13.229 ACRES



SURVEY REFERENCES

AS A MUPC MIXED USE PLANNED COMMUNITY  
 12/2013  
 PEREZ, A PROFESSIONAL CORPORATION  
 NEW ORLEANS, LOUISIANA WWW.PEREZ.COM

**HOLY CROSS REDEVELOPMENT**



**Item # 3**

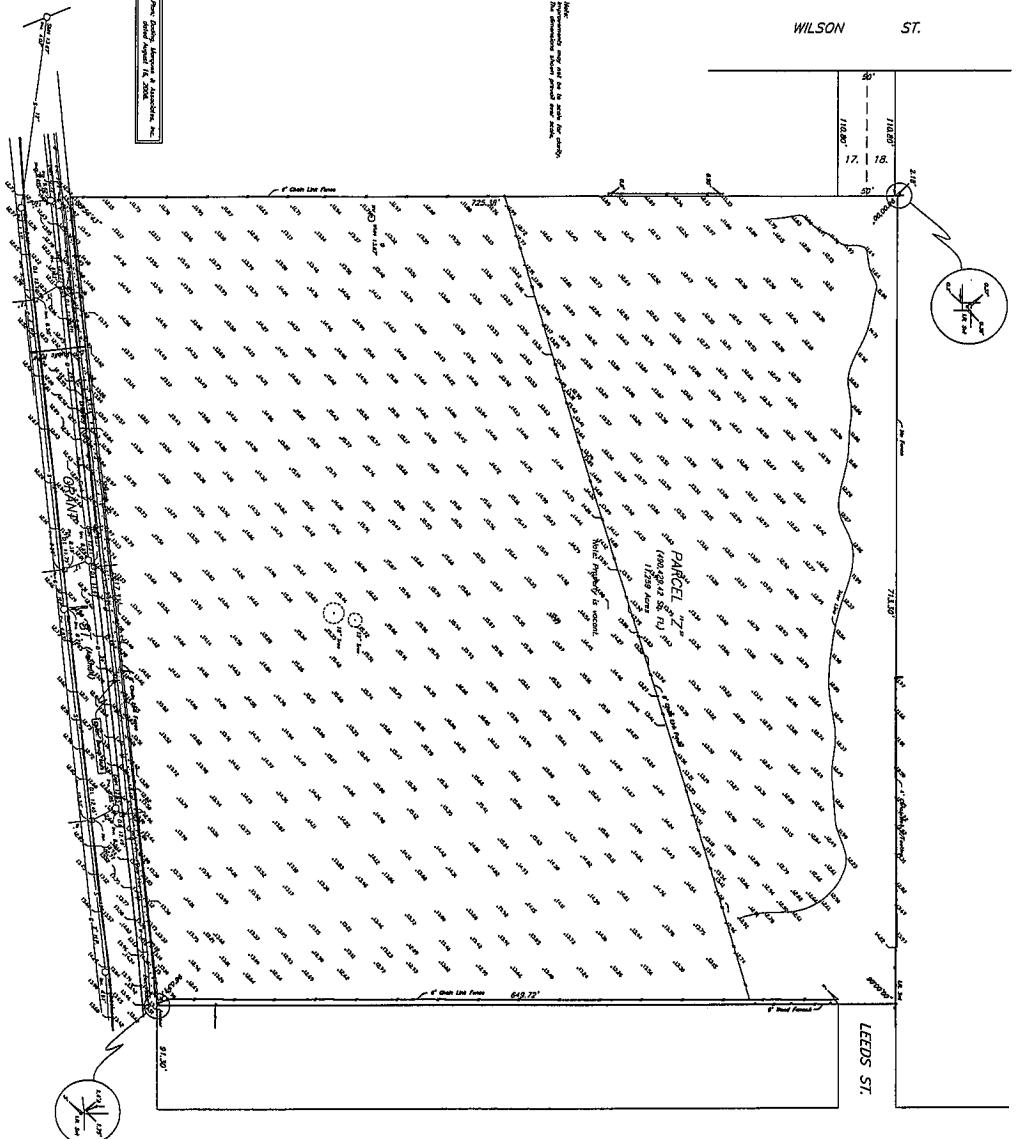
**ZONING DOCKET 020/14** – Request by ORLEANS PARISH SCHOOL BOARD for a Conditional Use to permit an elementary school in an RD-2 Two-Family Residential District on Square Section 41 T12S R12E, Lot Z or Pt. Lots E, 1 through 3, F, 1, 2, G, 1, 2, X, and Y in the Third Municipal District, bounded by Grant Street, Wilson Avenue, Leeds Street, and Viola Street. The municipal address is 7701 GRANT STREET.

WILSON ST.

LEEDS ST.

VIOLA ST.

BONITA DR. SIDE



- LEGEND**
- 1. 10' x 10' lots
  - 2. 5' x 5' lots
  - 3. 15' x 15' lots
  - 4. 20' x 20' lots
  - 5. 25' x 25' lots
  - 6. 30' x 30' lots
  - 7. 35' x 35' lots
  - 8. 40' x 40' lots
  - 9. 45' x 45' lots
  - 10. 50' x 50' lots
  - 11. 55' x 55' lots
  - 12. 60' x 60' lots
  - 13. 65' x 65' lots
  - 14. 70' x 70' lots
  - 15. 75' x 75' lots
  - 16. 80' x 80' lots
  - 17. 85' x 85' lots
  - 18. 90' x 90' lots
  - 19. 95' x 95' lots
  - 20. 100' x 100' lots

Lot No.	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
1	100	100	100	100
2	100	100	100	100
3	100	100	100	100
4	100	100	100	100
5	100	100	100	100
6	100	100	100	100
7	100	100	100	100
8	100	100	100	100
9	100	100	100	100
10	100	100	100	100
11	100	100	100	100
12	100	100	100	100
13	100	100	100	100
14	100	100	100	100
15	100	100	100	100
16	100	100	100	100
17	100	100	100	100
18	100	100	100	100
19	100	100	100	100
20	100	100	100	100

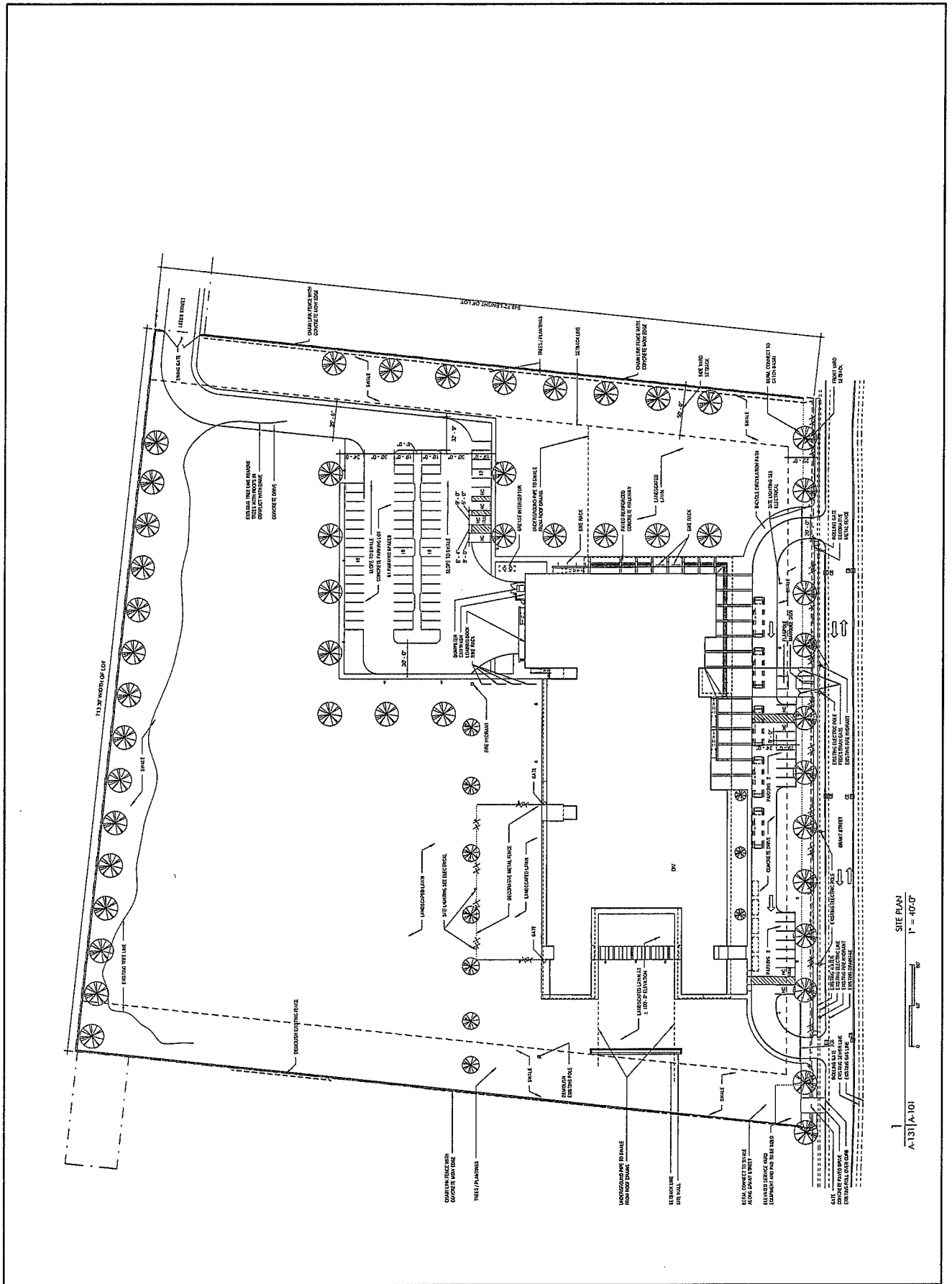
**NOTICE TO BUYERS**  
 This map is a preliminary map and is not intended to be used for any purpose other than to show the general location of the lots. It is not intended to be used for any purpose other than to show the general location of the lots. It is not intended to be used for any purpose other than to show the general location of the lots.

**PLANNING CONSULTANTS**  
 Planning Consultants  
 1234 Main Street  
 New Orleans, LA 70112  
 Phone: (504) 555-1234  
 Fax: (504) 555-5678  
 Website: www.planning.com

**GENERALIST**  
 Generalist  
 5678 Main Street  
 New Orleans, LA 70112  
 Phone: (504) 555-9012  
 Fax: (504) 555-3456  
 Website: www.generalist.com

**DATE: August 24, 2012**  
 This plat represents an actual ground survey made by me or under my direct supervision and is true and correct to the best of my knowledge and belief. I am a duly licensed and qualified surveyor in Louisiana. I have read the plat and it is correct and true to the best of my knowledge and belief. I have read the plat and it is correct and true to the best of my knowledge and belief. I have read the plat and it is correct and true to the best of my knowledge and belief.

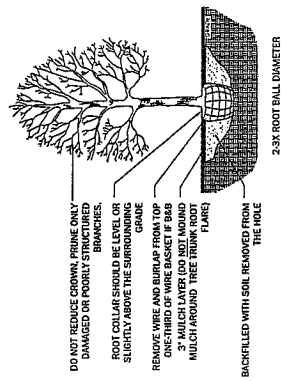
**LEGAL DESCRIPTION**  
 The entire parcel of land shown on this plat is situated in Section 41, Township 12 South, Range 12 East, Orleans Parish, Louisiana. The parcel is bounded by Wilson Street to the north, Leeds Street to the east, Viola Street to the south, and Dwyer Road to the east. The total area of the parcel is approximately 100,000 square feet. The parcel is divided into 100 lots, each measuring 10 feet by 10 feet. The lots are numbered 1 through 100 in the order shown on this plat. The survey was conducted on August 24, 2012, and the plat is being filed for record on this date.



SITE PLAN  
 1" = 40'-0"

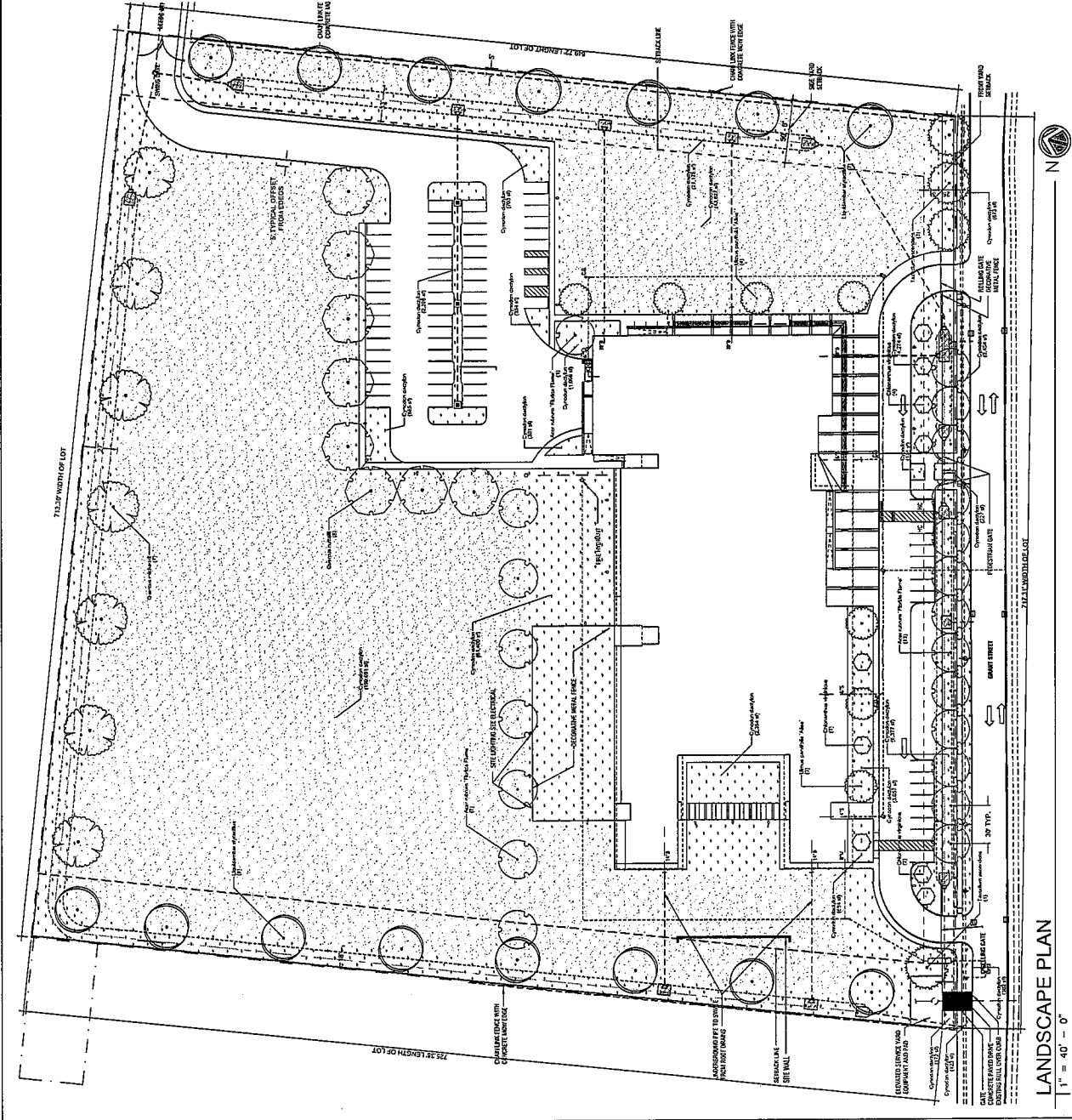
A-131A-101

PLANT SCHEDULE				
TREES	COMMON NAME	BOTANICAL NAME	QTY	REMARKS
	Florida Flame Red Maple	Acer rubrum 'Florida Flame'	21	
	White Frigate	Chamaecrista virginica	9	
	American Sweet Gum	Liquidambar styraciflua	15	
	Sweetgum Chestnut Oak	Quercus michauxii	7	
	Norfolk Oak	Quercus exoniifolia	8	
	Pond Cypress	Taxodium swainsonii	4	
	Allen Lacebark Elm	Ulmus parvifolia 'Allen'	7	
GROUND COVERS	COMMON NAME	BOTANICAL NAME	QTY	REMARKS
	Bermuda Grass Seed	Cynodon dactylon	224,517 sf	Hybridized
	Bermuda Grass Seed	Cynodon dactylon	110,074 sf	Class A Seed



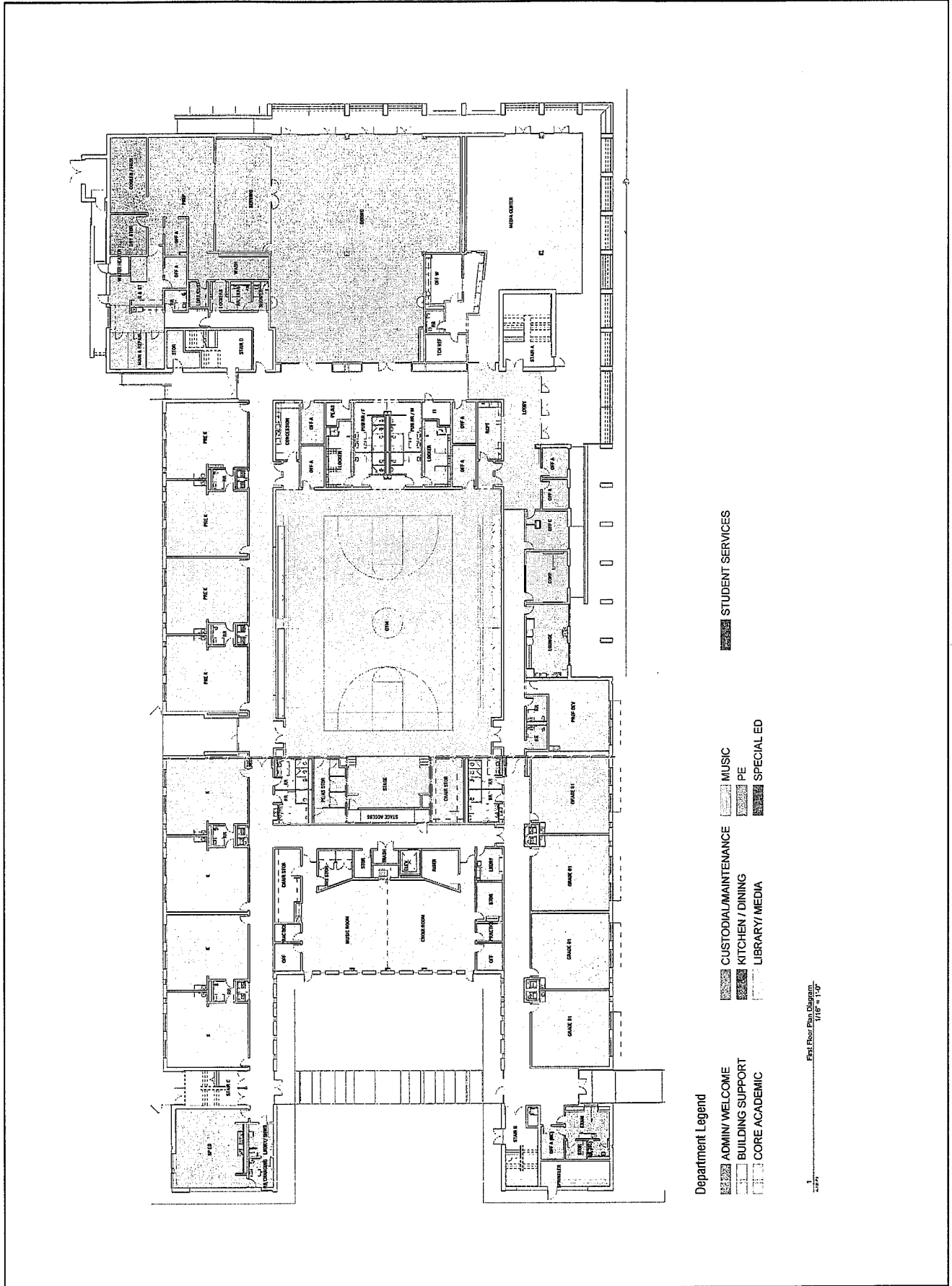
1 TREE PLANTING FOR WELL-DRAINED SOIL  
 NTS  
 3/23/04-13/01

DANA BROWN & Associates  
 DANA BROWN & ASSOCIATES, INC.  
 2530 WOODLAND AVENUE  
 SUITE 1300  
 NEW ORLEANS, LA 70119



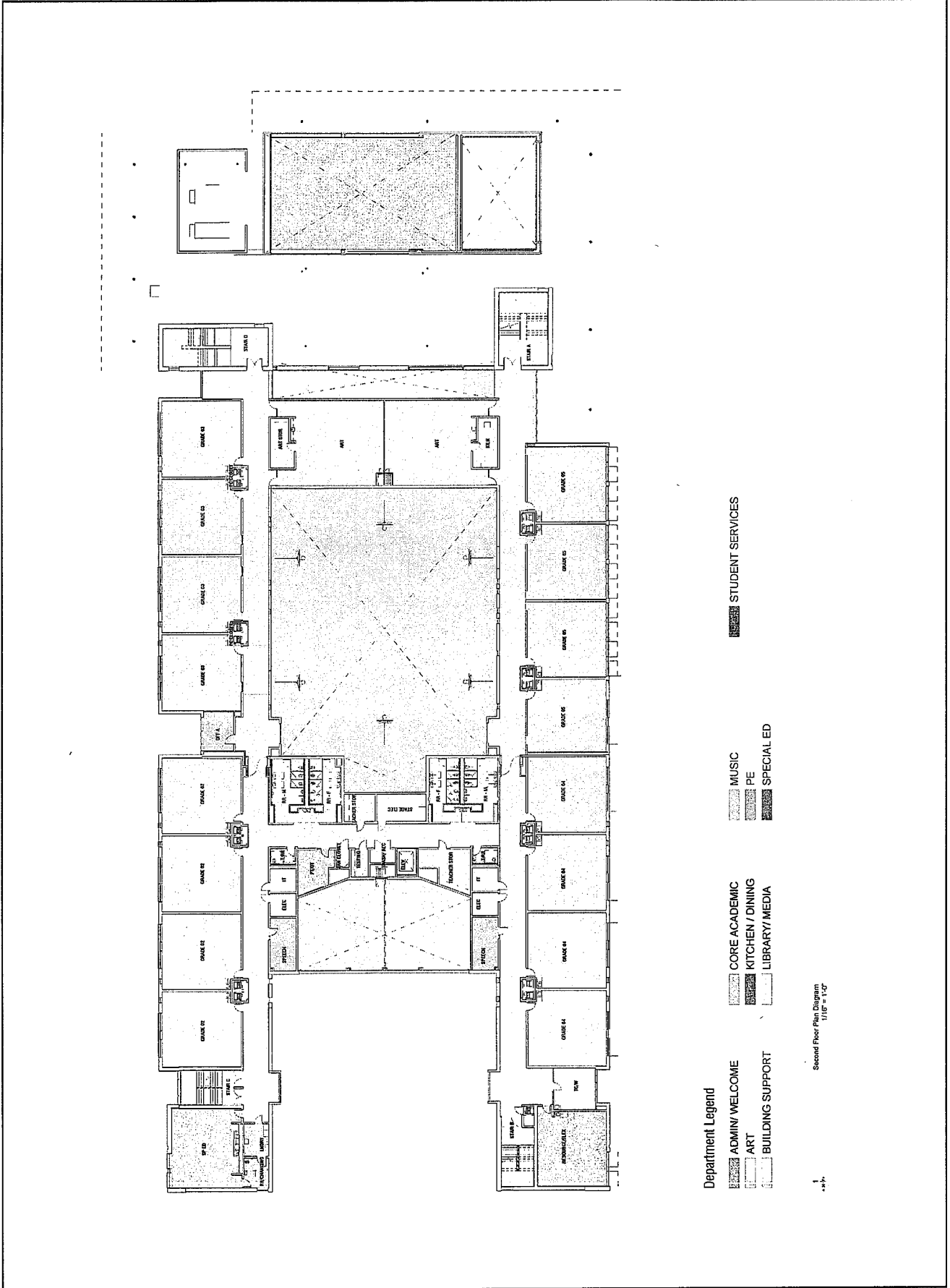
LANDSCAPE PLAN  
 1" = 40' - 0"





- Department Legend**
- ADMIN / WELCOME
  - BUILDING SUPPORT
  - CORE ACADEMIC
  - CUSTODIAL / MAINTENANCE
  - KITCHEN / DINING
  - LIBRARY / MEDIA
  - MUSIC
  - PE
  - SPECIAL ED
  - STUDENT SERVICES

First Floor Plan - Classroom  
1/10/17



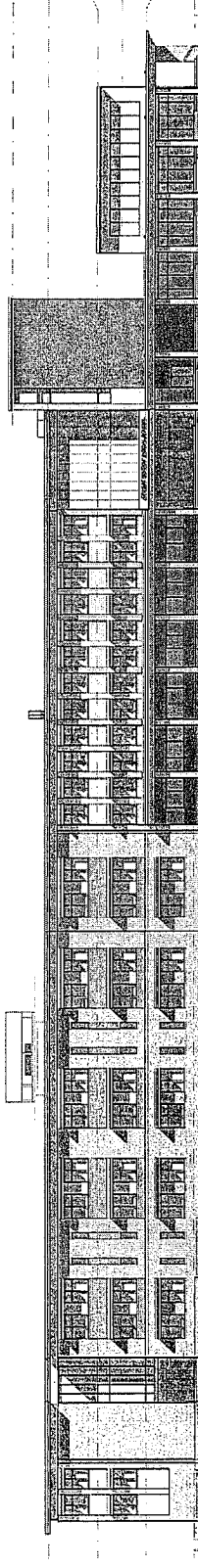
Department Legend

- ADMIN/ WELCOME
- ART
- BUILDING SUPPORT
- CORE ACADEMIC
- KITCHEN/ DINING
- LIBRARY/ MEDIA
- MUSIC
- PE
- SPECIAL ED
- STUDENT SERVICES

Second Floor Plan Diagram  
 1/16" = 1'-0"

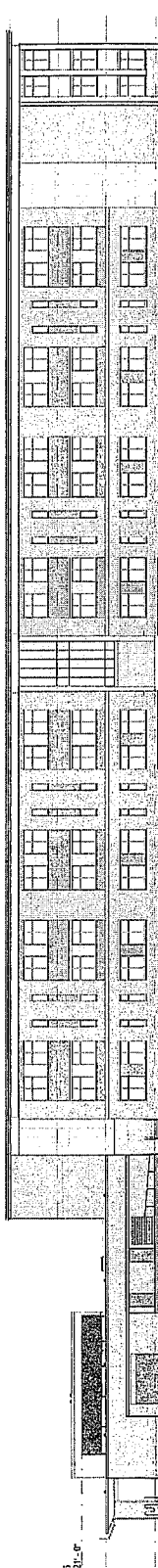


UPPER ROOF  
 EL. = 132'-0"  
 MAIN ROOF  
 EL. = 127'-0"  
 LEVEL 3  
 EL. = 123'-0"  
 LEVEL 2  
 EL. = 119'-0"  
 LEVEL 1 AND REE  
 EL. = 109'-0"



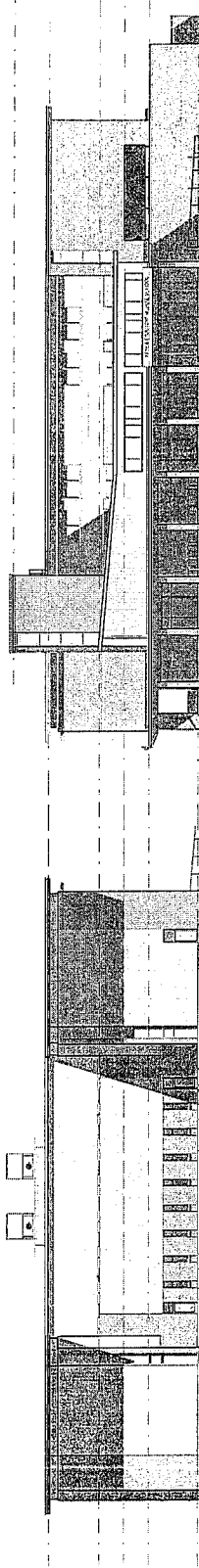
1  
 South Elevation  
 1/16" = 1'-0"

UPPER ROOF  
 EL. = 142'-0"  
 LEVEL 3  
 EL. = 138'-0"  
 LEVEL 2  
 EL. = 134'-0"  
 LEVEL 1 AND REE  
 EL. = 109'-0"



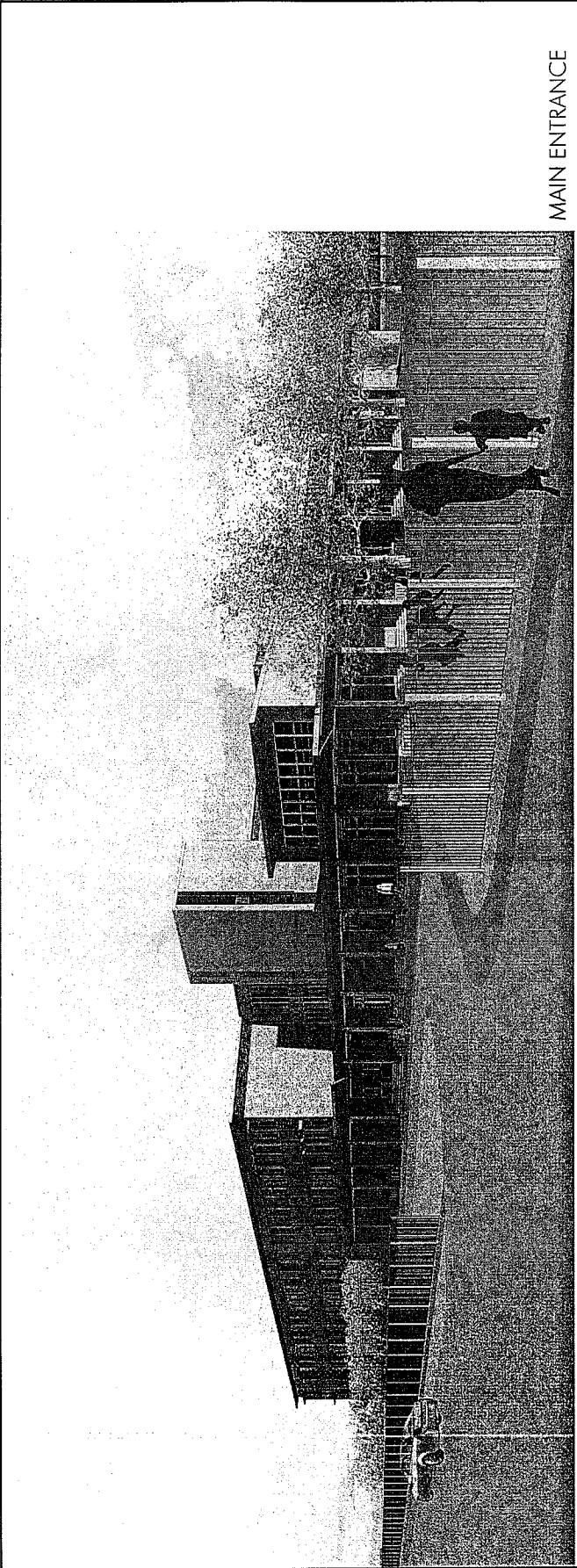
2  
 North Elevation  
 1/16" = 1'-0"

UPPER ROOF  
 EL. = 132'-0"  
 MAIN ROOF  
 EL. = 127'-0"  
 LEVEL 3  
 EL. = 123'-0"  
 LEVEL 2  
 EL. = 119'-0"  
 LEVEL 1 AND REE  
 EL. = 109'-0"

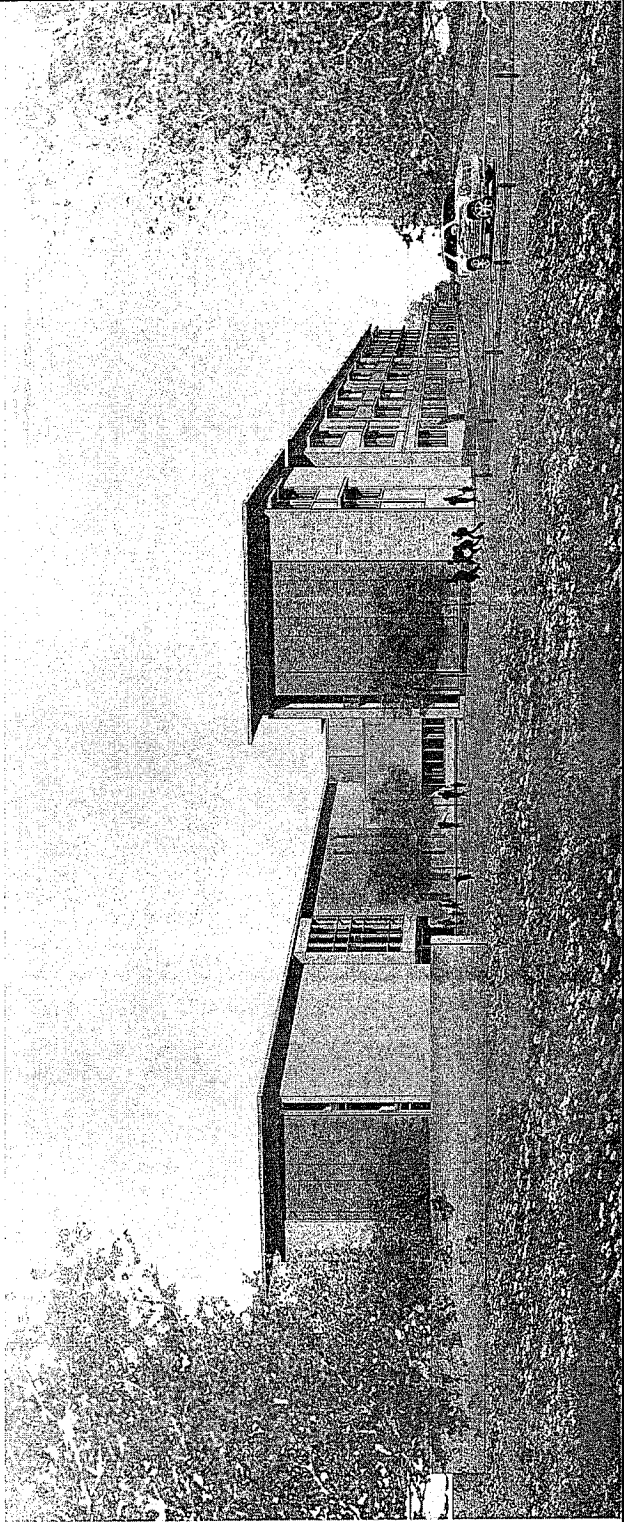


3  
 East Elevation  
 1/16" = 1'-0"

4  
 West Elevation  
 1/16" = 1'-0"



MAIN ENTRANCE



COURTYARD  
BETWEEN  
BUILDING WINGS

**Item # 4**

Acquisition of property by the City of New Orleans for expansion of the Nora Navra Library site:

Lots Q, R, and S, Square 903, Ninth Ward, bounded by St. Bernard Avenue, N. Prieur Street, Onzaga Street, and N. Johnson Street, the municipal addresses of said lots are 1921-23 Onzaga St., 1922-24 St. Bernard Street, and 1918-20 St. Bernard St.

**City of New Orleans**  
**Department of Property Management**  
**INTER-OFFICE MEMO**

**To:** Bob Rivers, Executive Director, City Planning Commission  
**From:** Martha J. Griset, Real Estate Administrator   
**CC:** Editha Amacker  
**Date:** January 27, 2014  
**Re:** PAC Agenda

---

Please place the following on the PAC Agenda:

**Consideration:** Acquisition of property by the City of New Orleans for expansion of the Nora Navra Library site:

Lots Q, R, and S, Square 903, Ninth Ward, bounded by St. Bernard Avenue, N. Prieur Street, Onzaga Street, and N. Johnson Street, **the municipal addresses of said lots are 1921-23 Onzaga St., 1922-24 St. Bernard Street, and 1918-20 St. Bernard St.**

If you have any questions, please contact me at ext. 3615.

Please see attachments.

MJG

Approved By:

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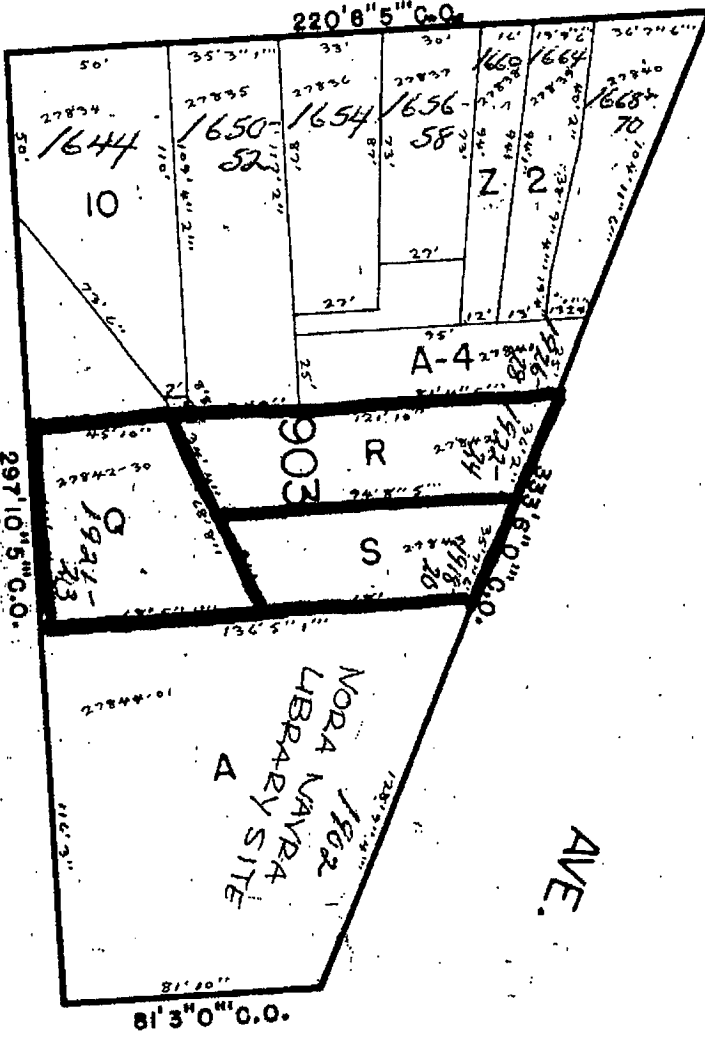
George A. Patterson, Director

N. JOHNSON ST.

ST.

ONZAGA ST.

ST. BERNARD



ST.

N. PRIEUR ST.

ST.

AVE.

3M-7W SCALE 1" = 60'



## Item # 5

**Consideration:** A request by Valmont Investments, LLC, for a grant of predial servitude, for the proposed encroachments of steps, landing, and roof overhang on/over the 9<sup>th</sup> (Ninth) St. and St. Thomas St. public rights-of-way, adjacent to Lot 2, Square 19, 4<sup>th</sup> M.D., bounded by Tchoupitoulas St., Harmony St., St. Thomas St., and 9<sup>th</sup> St. The municipal address is 430-432 9<sup>th</sup> (Ninth) St.

HARMONY ST. (SIDE)

INDEX OF DRAWINGS

- A-1 SITE PLAN & NOTES
- A-2 FLOOR PLAN/ELECTRICAL
- A-3 ELEVATIONS
- A-4 STRAP DETAILS

- S-1 FOUNDATION PLAN
- S-2 STRUCTURAL PLAN

DATE ISSUED: SET NO:

GENERAL NOTES:

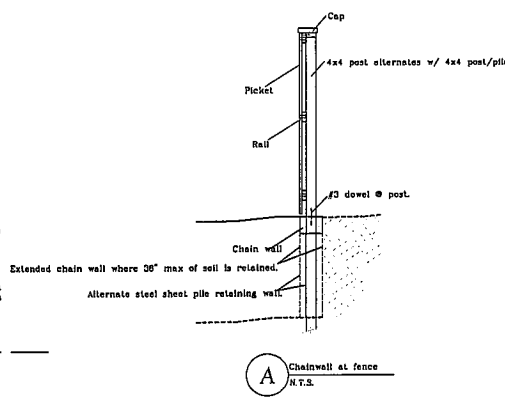
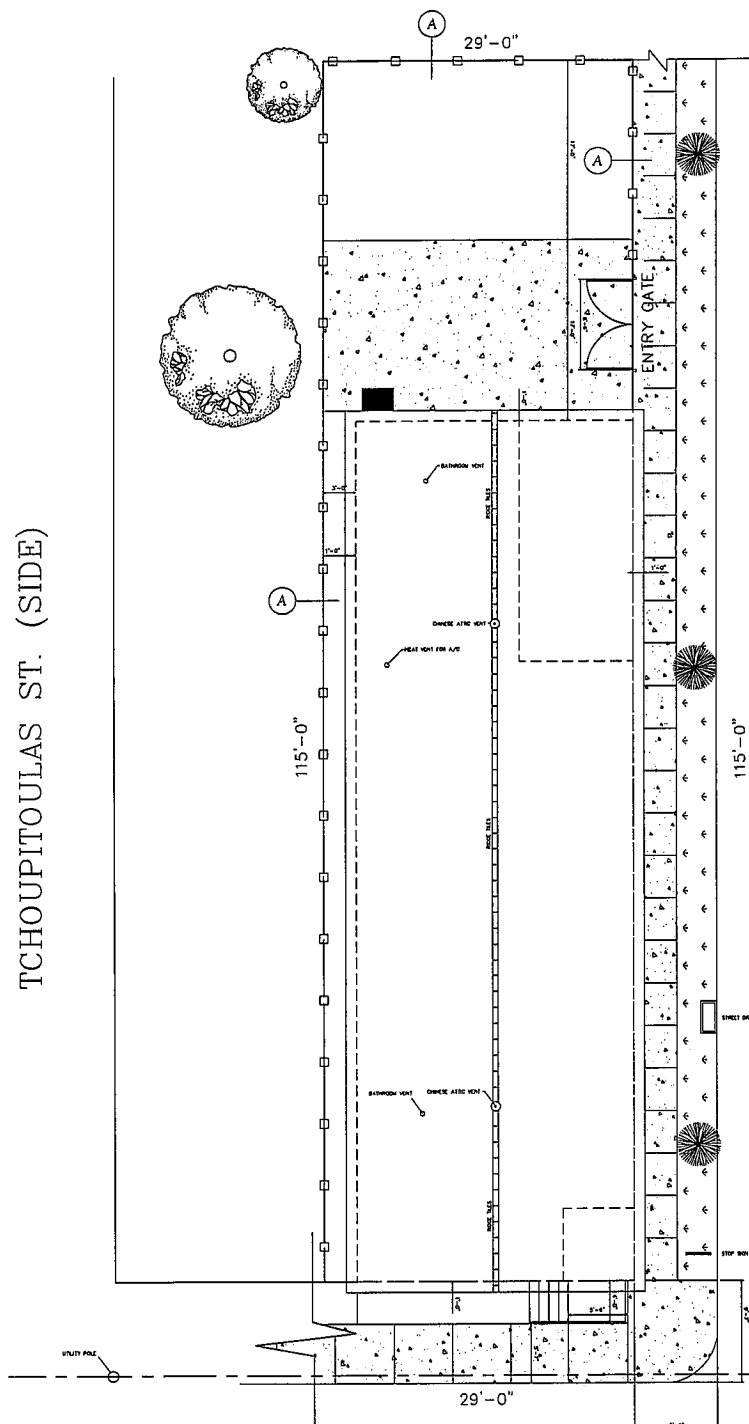
1. THIS PLAN IS TO BE USED ONLY FOR THE LOCATION INDICATED ON THE TITLE BLOCK.
2. BEAM DIMENSIONS SHOWN ARE MINIMUM REQUIRED AND MAY NOT BE REDUCED, NOR ENLARGED WITHOUT APPROVAL OF THE ENGINEER.
3. NO FIELD SUPERVISION IS ALLOWED UNDER THIS SEAL UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN. SLAB INSPECTIONS AFTER CONSTRUCTION WILL BE HELD AT HOURLY RATES IF REQUIRED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL DRAWINGS WITH ALL OTHER DRAWINGS.
5. ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATION FOR THIS BUILDING AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE THERE ARE ANY VARIANCES.
6. THIS STRUCTURE WAS DESIGNED IN COMPLIANCE WITH 2006 INTERNATIONAL BUILDING CODE (IBC) AND ASCE 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES AND CAN WITHSTAND 150 MPH WINDS.
7. CONTRACTOR TO VERIFY REQUIRED TOP OF SLAB ELEVATION WITH SURVEYOR PRIOR TO SETTING FORMS.

GENERAL NOTES: REINFORCING STEEL FOUNDATION WITH PILES

1. ENGINEER DID NOT INSPECT THIS SITE AND DOES NOT ATTEST TO ANY EXISTING UNUSUAL SITE OR SOIL CONDITIONS ON THE BUILDING SITE.
2. ENGINEER DOES NOT ATTEST THAT SETTLEMENT OF THE FOUNDATION WILL NOT OCCUR.
3. ENGINEER DOES NOT INSPECT THIS FOUNDATION FOR PLAN COMPLIANCE UNLESS BY SEPARATE CONTRACT.
4. OWNER IS CAUTIONED TO EXERCISE POSITIVE DRAINAGE OF THE SITE BOTH FROM RAINFALL AND ANY INSTALLED DRAINAGE SYSTEMS.
5. PILE REFUSAL IS ACCEPTABLE WHERE TWELVE OR MORE BLOWS PER FOOT OCCURS.
6. LOT FILL BELOW THIS SLAB SHALL NOT EXCEED TWO FEET IN DEPTH UNLESS APPROVED BY ENGINEER.
7. A BLOW COUNT OF FIRST FOUR PILES MUST BE PROVIDED TO ENGINEER BEFORE ADDITIONAL PILES ARE DRIVEN. FAILURE TO PROVIDE THE BLOW COUNT WILL RELEASE ENGINEER OF ANY LIABILITY AND RESPONSIBILITIES.
8. A BLOW COUNT LOG OF ALL PILES IS TO BE PROVIDED TO ENGINEER AT END OF ALL PILES DRIVEN. FAILURE TO PROVIDE THE LOG WILL RELEASE ENGINEER OF ALL LIABILITY AND RESPONSIBILITIES.
9. CONCRETE MIX SHOULD GIVE A MINIMUM COMPRESSION STRENGTH OF 4000 P.S.I. AT 28 DAYS. CONCRETE MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. 318-77 AND LOCAL BUILDING CODE REQUIREMENT.
10. ALL CONVENTIONAL REINFORCING STEEL SHALL BE A63 DESIGNATION A-413 GRADE 60 REINFORCING AND SHALL BE DETAILED AND A SPECIFIER PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
11. MESH AND BARS SHALL BE ADEQUATELY AND SECURELY SUPPORTED TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
12. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BENCH MARKS AND BLOCKOUTS ON ARCHITECTURAL PLANS AND NOTIFY ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
13. REINFORCING SHALL HAVE A MINIMUM OF 3" COVER IN GRADE BEAM BOTTOMS, 2" COVER IN BEAM SIDES AND TOPS, 1-1/2" COVER IN SLAB TOPS AND BOTTOMS.
14. PROVIDE .005 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS.
15. ALL SECTIONS SHOWN ARE AT MID-SPAN UNLESS OTHERWISE SHOWN.
16. PIPES, CONDUITS, TIMBERS, ETC., TO PASS THROUGH CONCRETE SLAB OR BEAM MUST NOT CONFLICT WITH REINFORCING.
17. ANY DEVIATION FROM THIS PLAN OR SPECIFICATIONS WILL VOID ENGINEER'S LIABILITY AND RESPONSIBILITY.
18. THIS DESIGN TO BE USED FOR ONLY THE BELOW LOCATION.

TCHOUPITOU LAS ST. (SIDE)

ST. THOMAS ST.



**Privacy fence:**  
 7' maximum height. Pressure treat all members contacting soil or concrete.  
 4x4 piling/post with 0' embedment at 10' maximum spacing with (1) 4x4 post spaced evenly between piling/posts placed to top of chainwall w/ #3 x 8' dowels.  
 (2) 2x4 rails at 0' fence. (2) 2x4 rails at 4' fence. Connect rails to each post w/ (1) 1/2" x 4" lag screw. 2x4 cap rail w/ 10d nails @ 8" o.c. to top rail & (2) nails to top of post. 1x2 pickets connected to each rail w/ (2) 10d nails.

**Chainwall:** Continuous 8" deep x 8" wide w/ (1) #3 rebar centered. Drill 3/4" holes in piling/posts to accept #3 rebar. Where fence retains 3' or less of soil, extend post/pile embedment to 10' measured from the lower soil elevation. Adjust height of chainwall to match retained soil depth (30" maximum) and add (1) #3 rebar at the bottom.

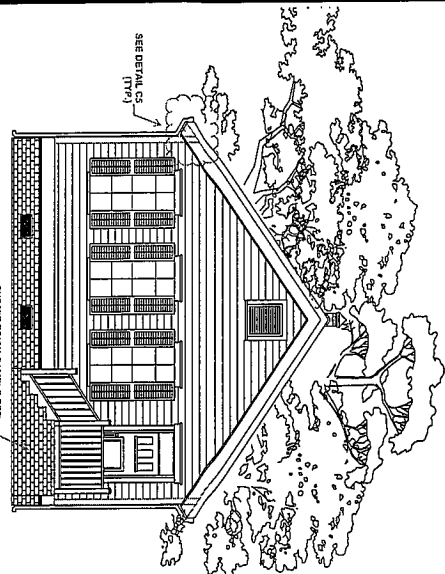
At the builder's option, extended chainwall may be replaced w/ a steel sheet pile retaining wall w/ 40lb, 10 gauge sheet, w/ approximately 4' x 20' shape profile. Embed sheet piles 6' measured from the lower soil elevation. Caution, verify there are no gas, water, electrical, or communication lines etc. crossing the line of the sheet piles before driving them.

A1 PLOT PLAN  
 3/16" = 1'-0"

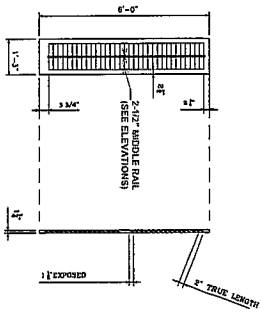
**1ST CLASS DESIGN**  
 Residential and Commercial Planners  
 Slidell, Louisiana  
 504.717.6799 or pikersh25@gmail.com

VALMONT INVESTMENT  
 430-32 9TH. STREET  
 ORLEANS PARISH, LA

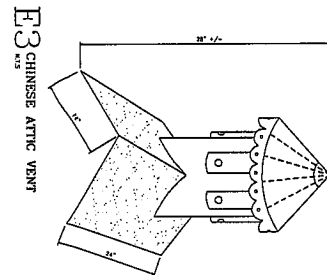
SHEET  
**A.1**  
 DRAWN BY: JPK  
 PROJECT: VALMONT  
 DATE: 1/18/2013



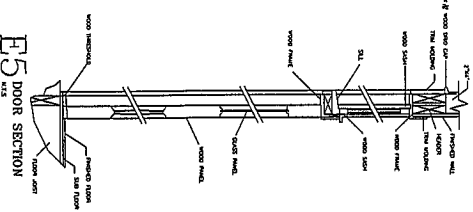
D1 FRONT ELEVATION  
1/8" = 1'-0"



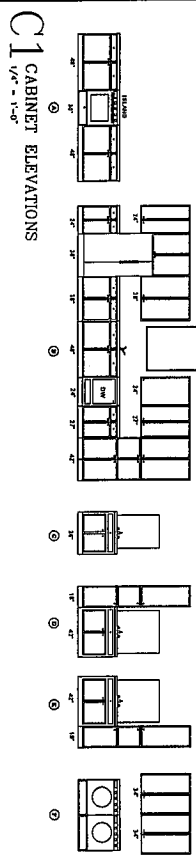
D3 WOOD LOUVER-SHUTTER DETAILS  
1/2" = 1'-0"



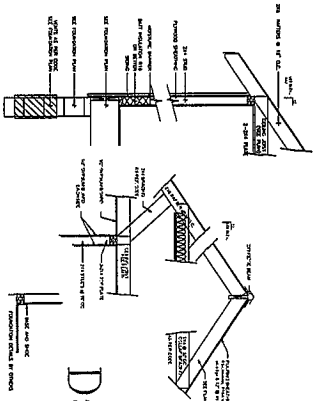
E3 CHINESE ATTIC VENT  
1/2" = 1'-0"



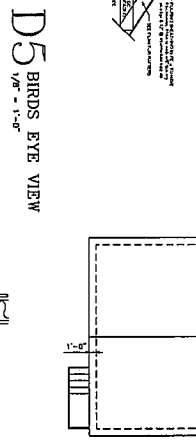
E5 DOOR SECTION  
1/8" = 1'-0"



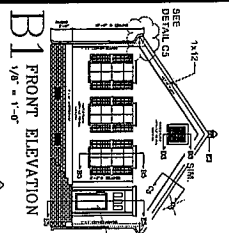
C1 CABINET ELEVATIONS  
1/8" = 1'-0"



C5 STRUCTURAL DETAILS  
1/2" = 1'-0"



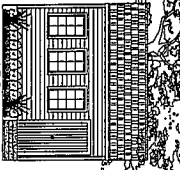
D5 BIRDS EYE VIEW  
1/8" = 1'-0"



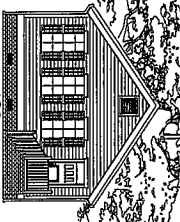
B1 FRONT ELEVATION  
1/8" = 1'-0"



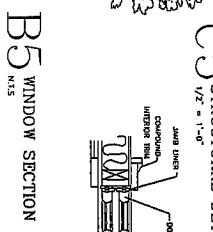
B3 STREETSCAPE  
1/8" = 1'-0"



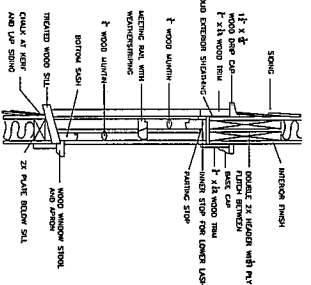
426



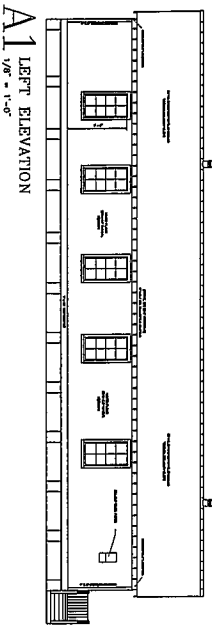
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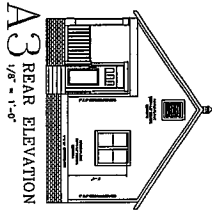
B5 WINDOW SECTION  
1/2" = 1'-0"



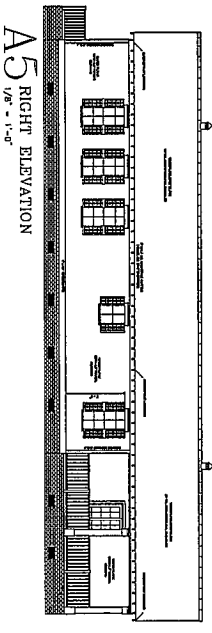
B5 WINDOW SECTION  
1/2" = 1'-0"



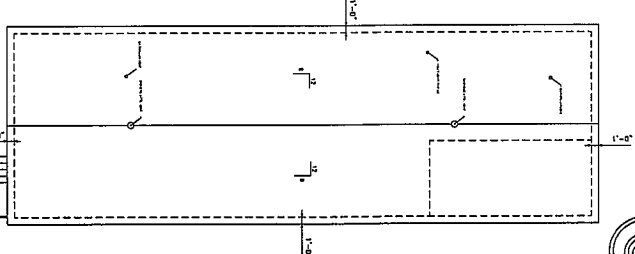
A1 LEFT ELEVATION  
1/8" = 1'-0"



A3 REAR ELEVATION  
1/8" = 1'-0"



A5 RIGHT ELEVATION  
1/8" = 1'-0"



E5 DOOR SECTION  
1/8" = 1'-0"



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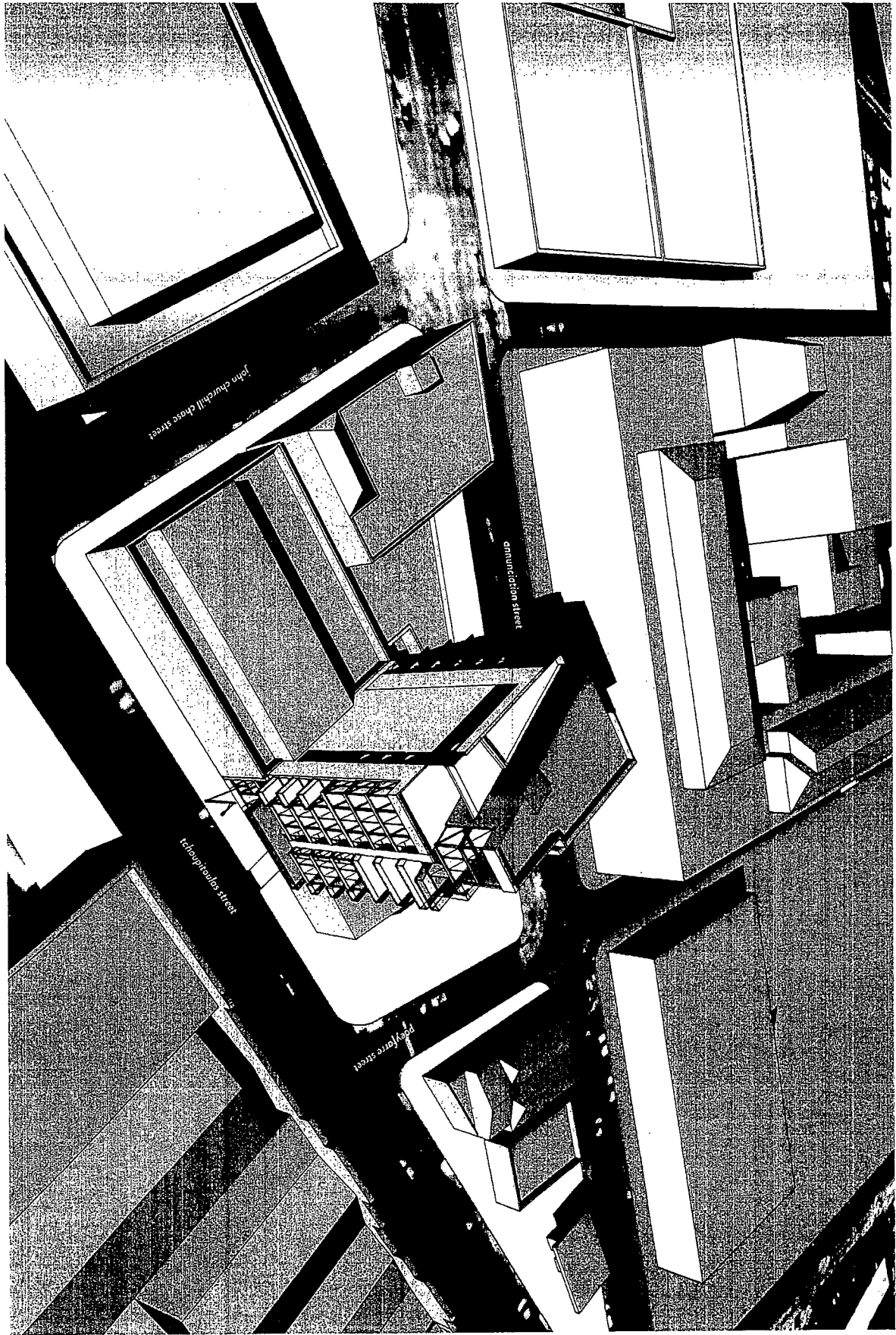
VALMONT INVESTMENT  
430-32 9TH. STREET  
ORLEANS PARISH, LA

SHEET  
**A.3**

DRAWN BY: PJK  
PROJECT: VALMONT  
DATE: 10/18/2013

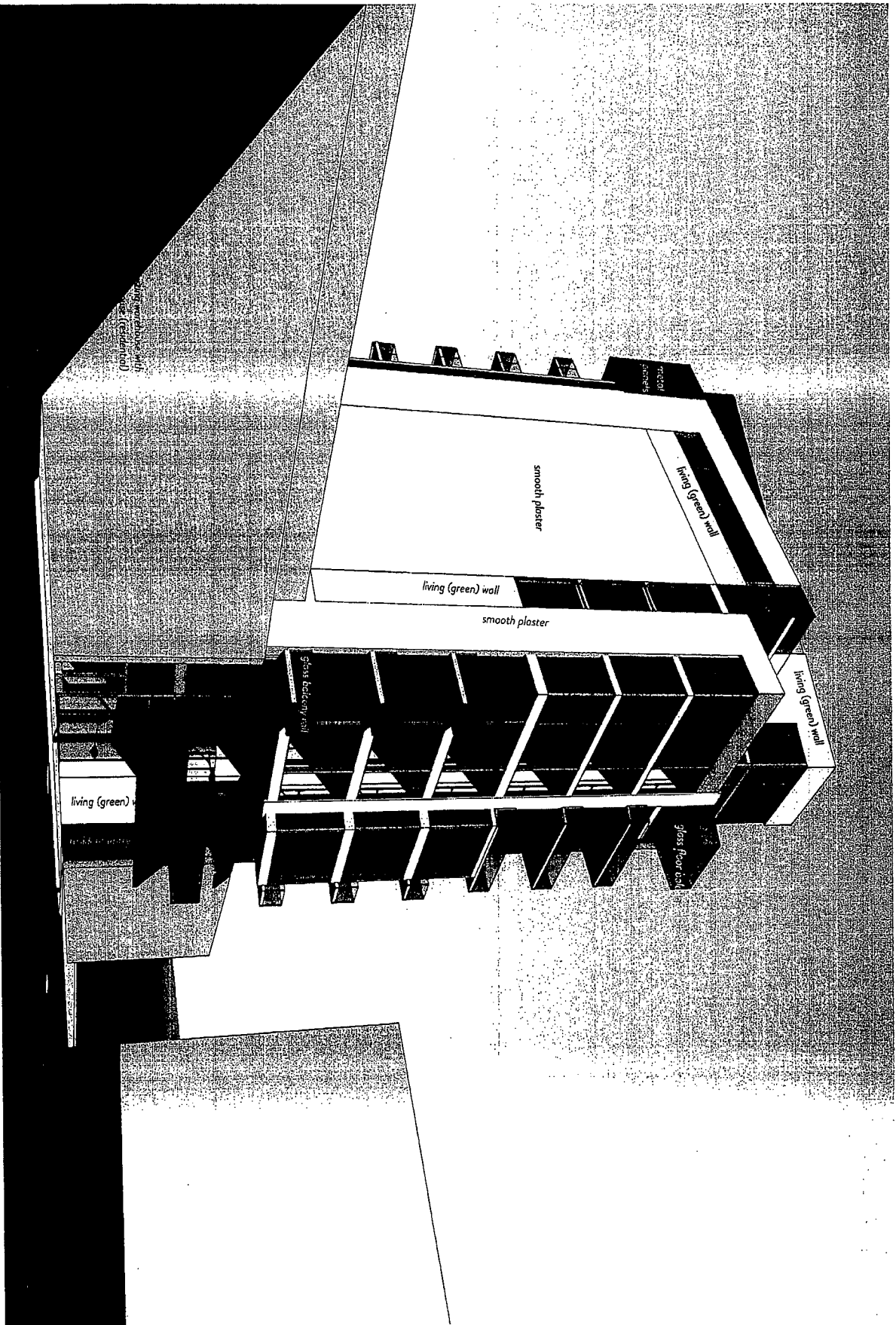
**Item # 6**

**Consideration:** A request by Tre Fagioli, LLC, for a grant of a predial servitude, for the proposed encroachments of balconies and the improvement itself on/over the Tchoupitoulas St. public right-of-way, adjacent to Lot A-1-A, Square 69, 1<sup>st</sup> M.D., bounded by John Churchill Chase, Annunciation Street, Poeyfarre Street, and Tchoupitoulas Street. The municipal address is 1035 Tchoupitoulas St.



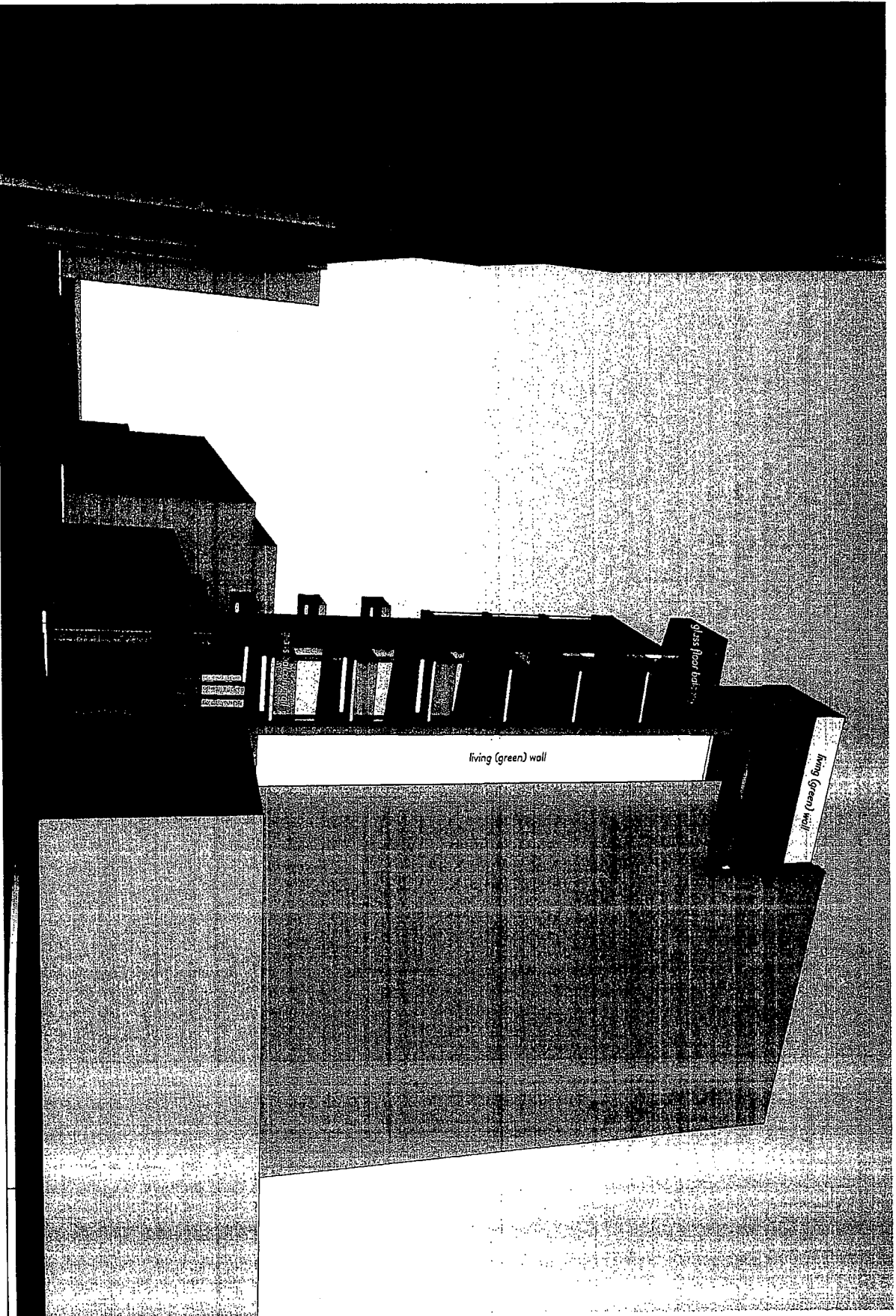
<p><b>A0.1</b> 27 Jan 2014</p>	<p><b>Project Rendering</b> scale: NTS</p>	<p><b>PROPERTY INFORMATION:</b> Squares 09 / Lot: A-1-A Municipal Address: 1035 Tchoupitoulas Street Bounding Streets: Tchoupitoulas, John Churchil Chase, Annunciation, Poyferré <b>PREPARED BY:</b> Tracie Ashe, Project Designer</p>	<p><b>GRAGIANO</b> 1035 Tchoupitoulas Street New Orleans La 70130</p>	<p><b>STUDIO WTA</b> architecture + planning + interiors 1001 Poyferré Street New Orleans, LA 70112 504.581.2005 www.studiowta.com</p>
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View along Tchoupitoulas Street toward southeast corner

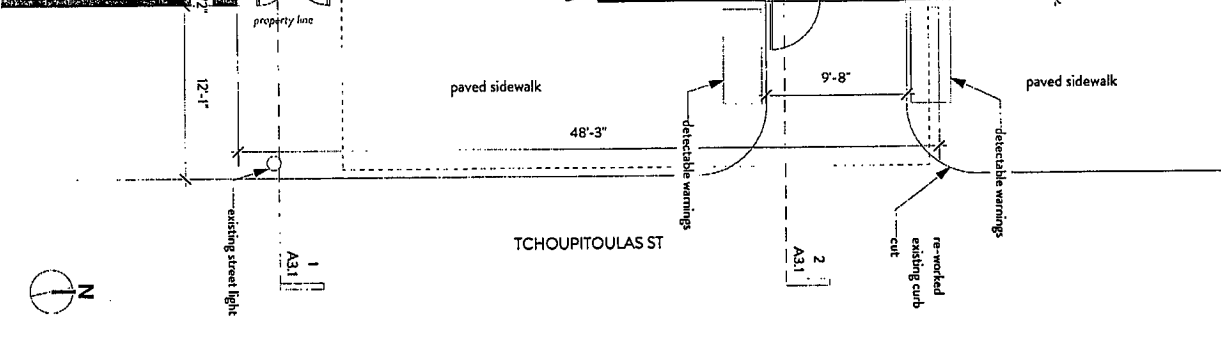
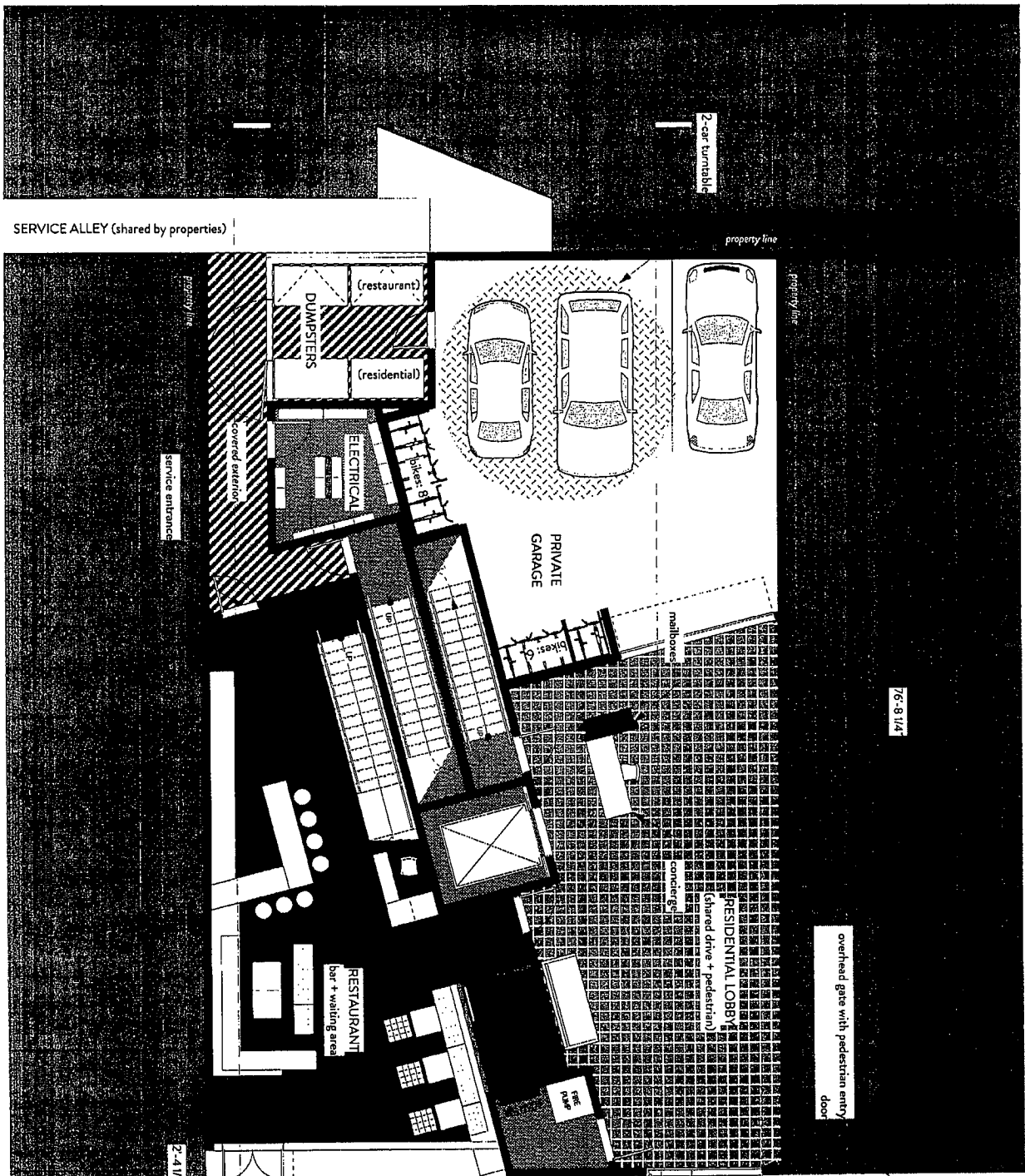


<p><b>A0.2</b> 27 Jan 2014</p>	<p><b>Conceptual Rendering</b> scale: NTS</p>	<p><b>PROPERTY INFORMATION:</b> Square: 69 / Lot: A1-A Municipal Address: 1035 Tchoupitoulas Street Bounding Streets: Tchoupitoulas, John Churchill Chase, Annunciation, Poeyfarre <b>PREPARED BY:</b> Tracee Ashe, Project Designer</p>	<p><b>GRAGIANO</b> 1035 Tchoupitoulas Street New Orleans La 70130</p>	<p><b>STUDIO WTA</b> www.studiowta.com</p>
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View along Tchoupitoulas Street toward northeast corner

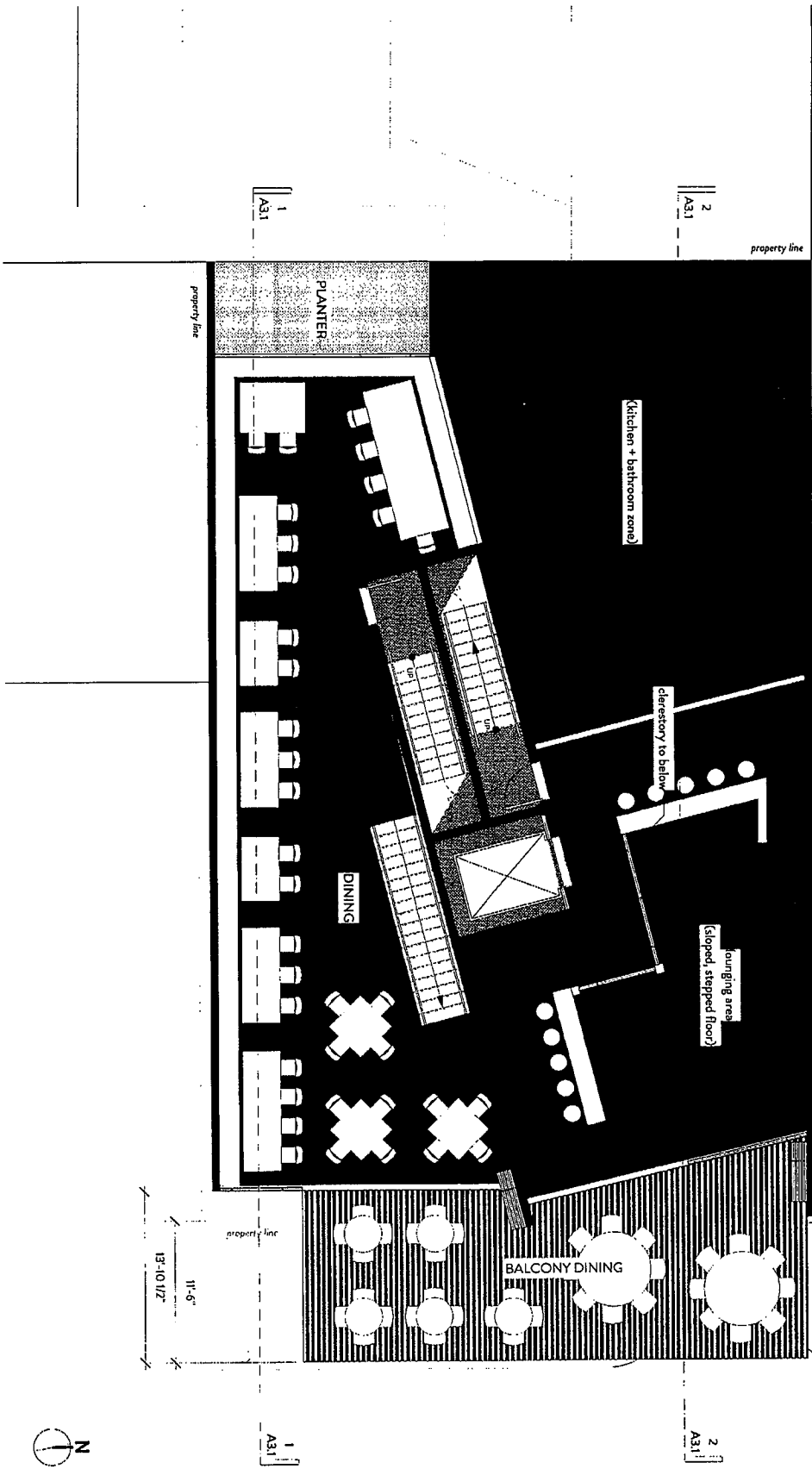


<p><b>A0.3</b> 27 Jan 2014</p>	<p><b>Conceptual Rendering</b> scale: NTS</p>	<p><b>PROPERTY INFORMATION:</b>        Square: 09 / Lot: A-1-A        Municipality Address: 1035 Tchoupitoulas Street        Bounding Streets: Tchoupitoulas, John Churchill        Chase, Assumption, Poyferré  <b>PREPARED BY:</b>        Tracie Aha, Project Designer</p>	<p><b>GRANT OF SERVICE</b>        Application</p> <p><b>GRAGIANO</b>        1035 Tchoupitoulas Street        New Orleans La 70130</p>	<p><b>STUDIO WTA</b> architecture • planning • interiors        8111 Lakeshore Drive        New Orleans, LA 70118        USA 504.757.0144        www.studiowta.com</p>
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<p><b>A1.1</b> 27 Jan 2014</p>	<p><b>Proposed:</b> <b>FIRST FLOOR</b> scale: 1/8" = 1'-0"</p> <p><b>PROPERTY INFORMATION:</b> Squares: 69 / Lots: A-1-A Municipal Address: 1035 Tchoupitoulas Street Bounding Streets: Tchoupitoulas, John Churchill Chase, Annunciation, Pooyfarre</p> <p><b>PREPARED BY:</b> Tracie Ashe, Project Designer</p>	<p><b>GRAGIANO</b> 1035 Tchoupitoulas Street New Orleans La 70130</p>	<p><b>STUDIO WTA</b></p> <p>1115 Poydras • 504.581.1111 309 Poydras Street New Orleans, LA 70112 www.studiowta.com</p>
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**A1.2**  
27 Jan 2014

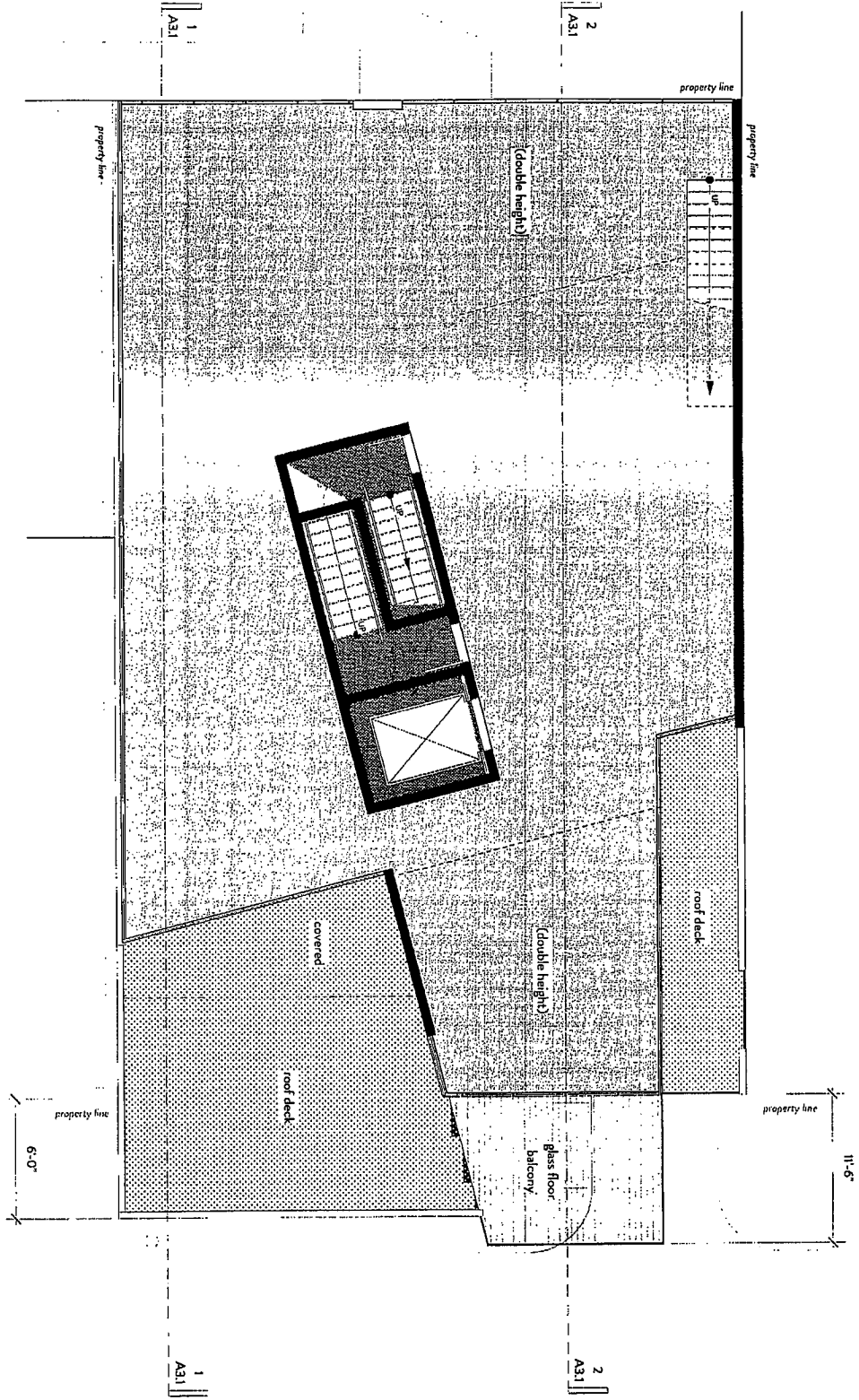
**Proposed:**  
**SECOND FLOOR**  
scale: 1/8" = 1'-0"

**PROPERTY INFORMATION:**  
Square: 69 / Lot: A-1-A  
Municipal Address: 1035 Tchoupitoulas Street  
Bounding Streets: Tchoupitoulas, John Churchill  
Chase, Annunciation, Poeyferré  
**PREPARED BY:**  
Tracie Aiba, Project Designer

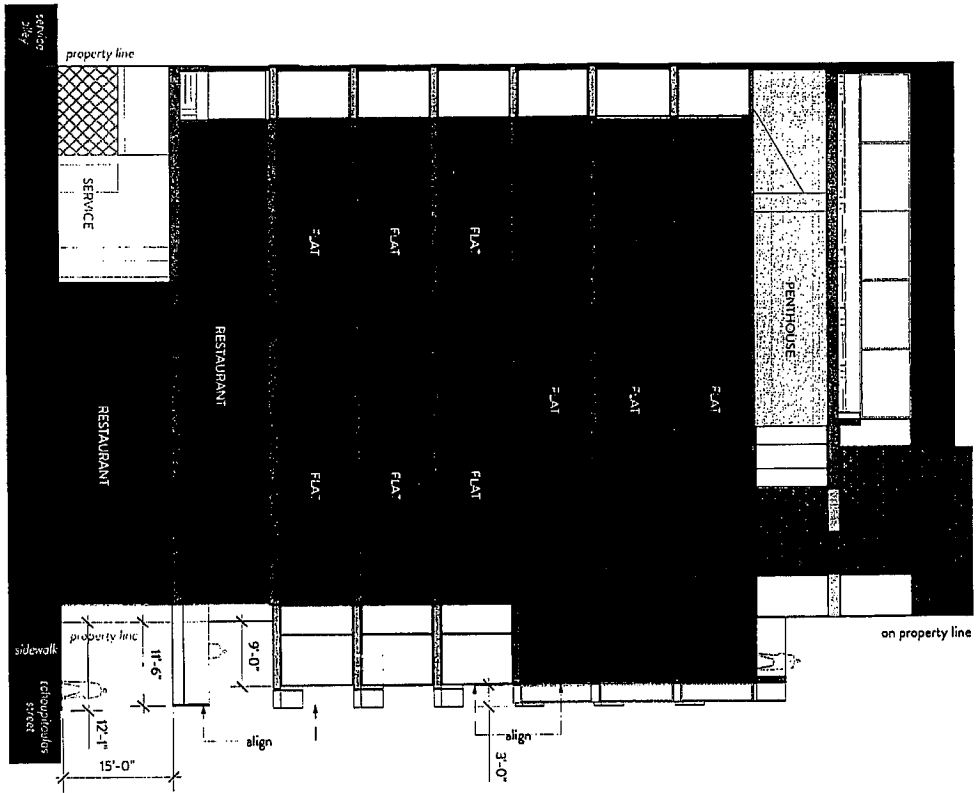
**CLIENT:** GRAGIANO  
1035 Tchoupitoulas Street  
New Orleans, LA 70130

**GRAGIANO**  
1035 Tchoupitoulas Street  
New Orleans La 70130

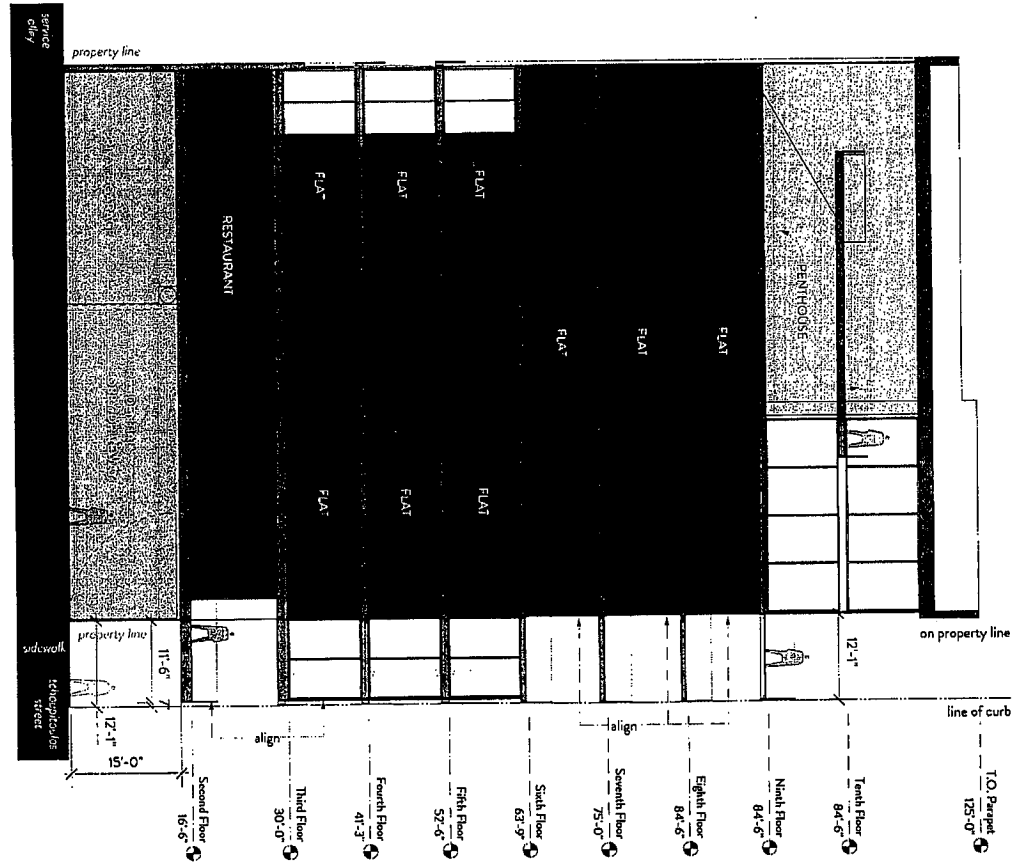
**STUDIO WTA** architects + interior designers  
1035 Tchoupitoulas Street  
New Orleans, LA 70130  
504.581.1111  
www.studiowta.com



<p><b>A1.5</b> 27 Jan 2014</p>	<p>Proposed: <b>FLOOR PLAN</b> 9 scale: 1/8" = 1'-0"</p>	<p><b>PROPERTY INFORMATION:</b> Square: 69 / Lot: A-1-A Municipal Address: 1035 Tchoupitoulas Street Bounding Streets: Tchoupitoulas, John Churchill Chase, Annunciation, Poeyferre <b>PREPARED BY:</b> Tracie Ashe, Project Designer</p>	<p><b>GRAGIANO</b> 1035 Tchoupitoulas Street New Orleans La 70130</p>	<p><b>STUDIO WTA</b> <small>architects + planning + interiors</small> 1035 Tchoupitoulas Street New Orleans LA 70130 New Orleans, LA 70130 www.studiowta.com</p>
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1 Section  
A3.1 1/16" = 1'-0"



2 Section  
A3.1 1/16" = 1'-0"

<p><b>A3.1</b></p> <p>27 Jan 2014</p>	<p><b>GRAGIANO</b></p> <p>1035 Tchoupitoulas Street New Orleans La 70130</p>	<p><b>STUDIO WTA</b></p> <p>architectural planning + interiors</p> <p>109 Tchoupitoulas Street New Orleans LA 70130 New York 10014</p> <p>studio.com</p>
	<p>PROPERTY INFORMATION:</p> <p>Square 69 / Lot A-5A</p> <p>Municipal Address: 1035 Tchoupitoulas Street</p> <p>Bounding Streets: Tchoupitoulas, John Churchill Chase, Annunciation, Poeyfatre</p> <p>PREPARED BY:</p> <p>Trace Ashe, Project Designer</p>	

**Item #7**

**Consideration:** A request by Steven Johnson for a grant of predial servitude, for the proposed encroachments of steps, landing, and roof overhang on/over the Lizardi St. public right-of-way, adjacent to Lot A, Square 195, Holy Cross Subdivision, 3<sup>rd</sup> M.D., bounded by Dauphine St., Eganía St., Royal St., and Lizardi St. The municipal address is 729 Lizardi Street.

ROYAL

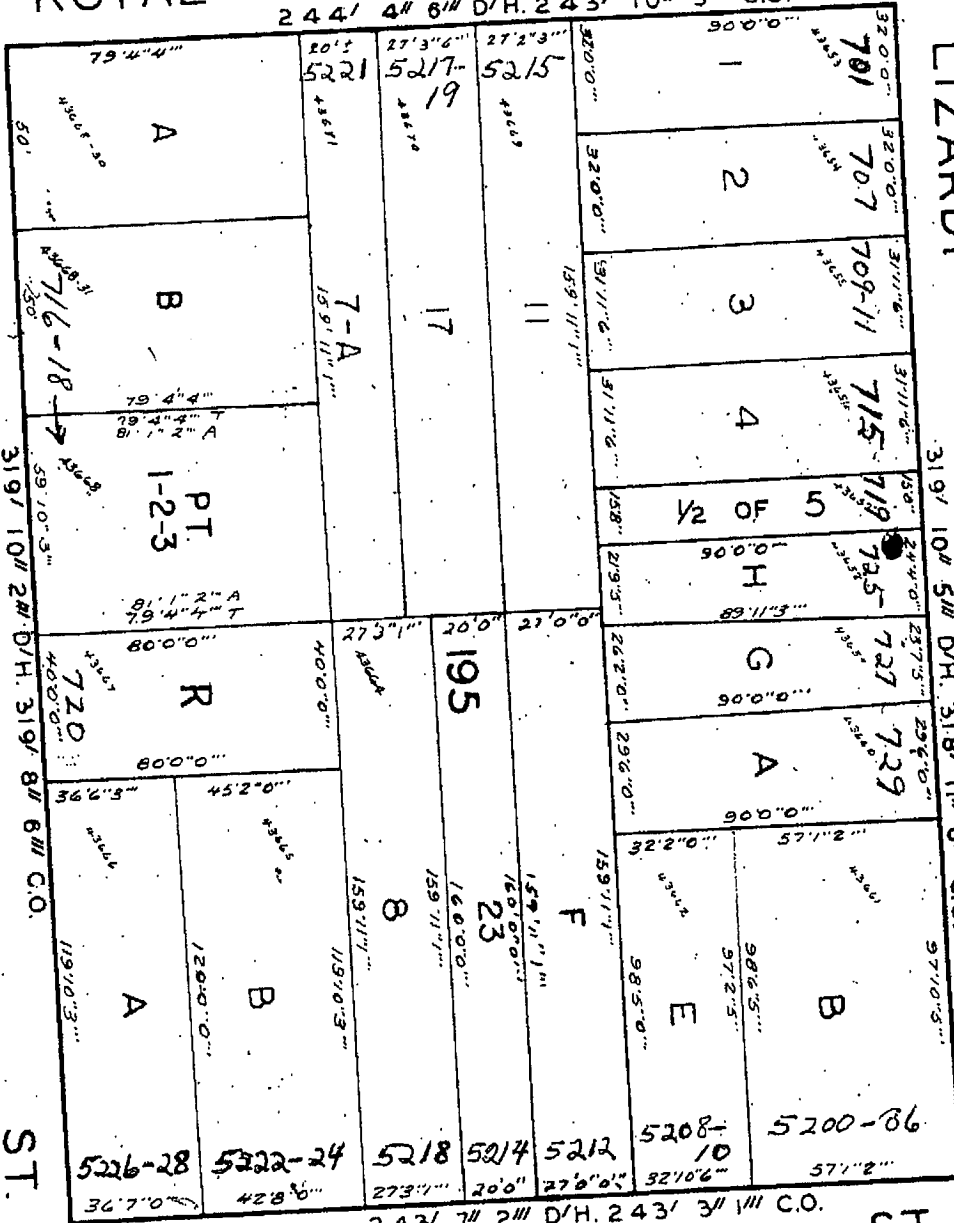
ST.

244' 4" 8" D/H. 243' 10" 5" C.O.

LIZARDI

319' 10" 5" D/H. 318' 1" 6" C.O.

ST.



ST.

DAUPHINE

ST.

243' 7" 2" D/H. 243' 3" 1" C.O.

3M-9W SCALE 1"=50'

729 LIZARDI ST.

Egania St.

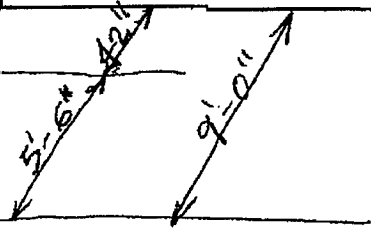
Dauphine St

Royal St



CITY OF NEW ORLEANS  
DEPARTMENT OF PUBLIC WORKS

SUBDIVISION DOCKET NO.		Y	N
DETERMINATION			
1-REQUIRE CURB CUT PERMIT DPW TRAFFIC ENGINEERING DIV.: 658-8040/8049			
2-REQUIRE UTILITY CUT PERMIT DPW CONSTRUCTION ENGINEERING: 658-8047			
3-REQUIRE NEW SIDEWALKS/ADA RAMP SIDE WALK NOTIFICATION: 658-8047	X		
4-REQUIRE TOPOGRAPHIC SURVEY DWGS. DPW DESIGN ENGINEERING: 658-8042/8041			
5-REQUIRE SCALE PLANS (Full Size - 24"x36") DPW DESIGN ENGINEERING: 658-8042/8041			
6-REQUIRE DRAINAGE COMPUTATIONS PAVED LOT => 4,000 S.F. - DISTURBED AREA => 1 AC.			
7-REQUIRE LEASE OF SERVITUDE Real Estate & Records: 658-3821	X		
( ) OBJECTION (X) NO OBJECTION (Subject to the requirements marked above)			
By: <i>Boerlin</i>		Date: 10/25/12	
Note(s): <i>Building permit is req'd.</i>			



No trees on Lizardi ROW

Lizardi St

**Item #8**

A request by Marcia Alsandar for a lease of a portion of the Peoples Avenue public right-of-way adjacent to Lots 17 and 18, Square 45, 3rd M.D, bounded by Mirabeau St., Peoples Ave., Carnot St., and Eastern St.. The municipal address is 4755 Eastern Street.

ST.

EASTERN (4700 ODD)

600' 0" 0" S.W.B. V. C.O.

ST.

AVE.

CARNOT

50' 0" 0" S.W.B. 170' 0" 0" C.O.

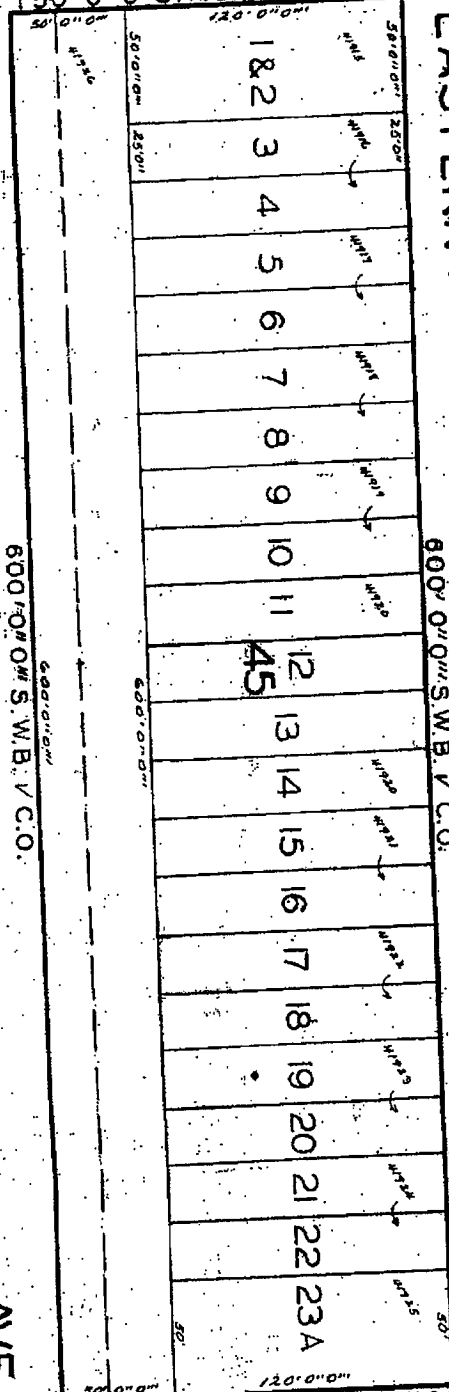
PEOPLES (4700 EVEN)

800' 0" 0" S.W.B. V. C.O.

AVE.

MIRABEAU

150' 0" 0" S.W.B. 170' 0" 0" C.O.



3M-8W

SCALE 1"=60'





Carnot St

Carnot St

Eastern St

Peoples Ave

Eastern St

Peoples Ave

Eastern St

Peoples Ave

4738 Eastern St

Mirabeau Ave

Peoples Ave

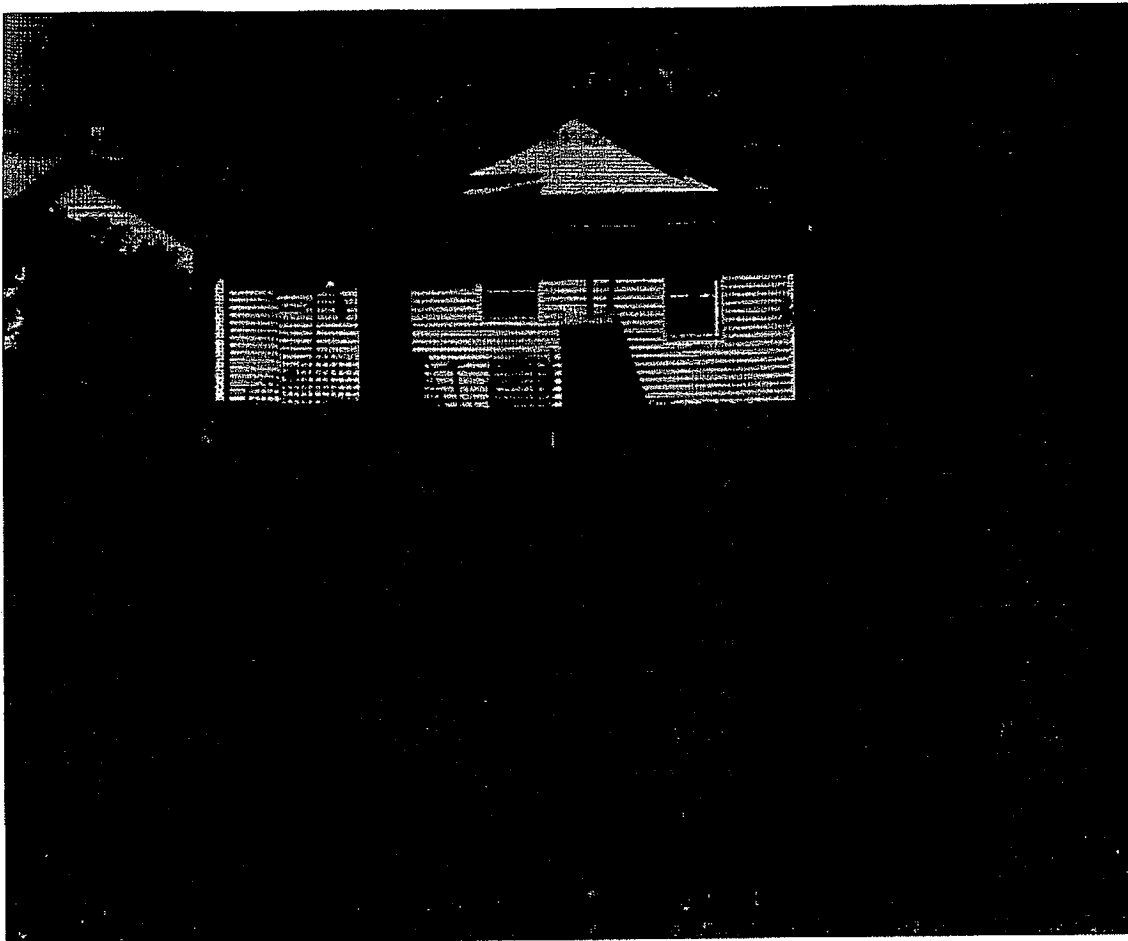
Eastern

Map data ©2014 Google Terms Privacy Report a problem 50 ft



Address 4842 Peoples Avenue

Address is approximate

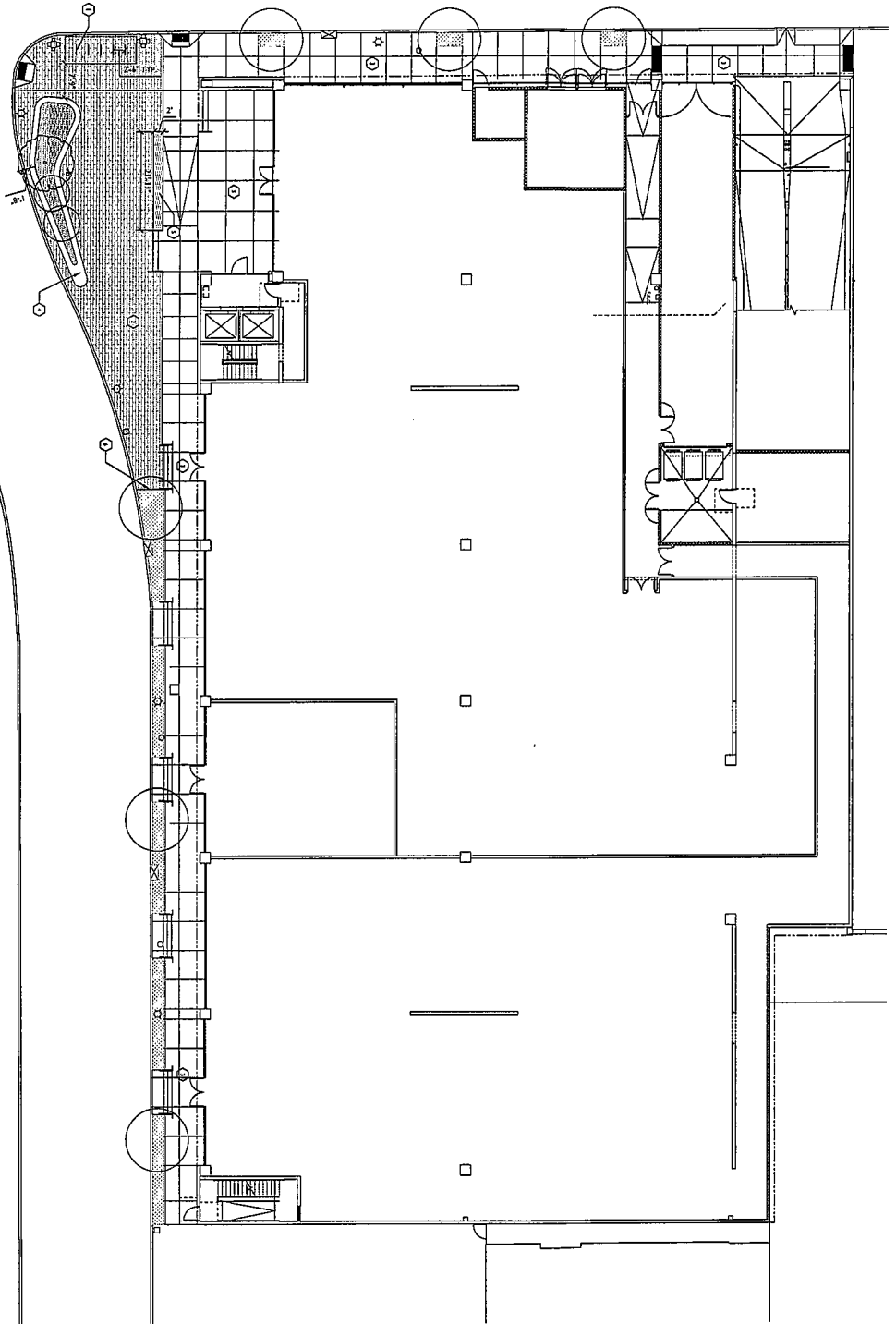


**Item #9**

A request by South Market District D, LLC, for a lease of a portion of the public right of way (from sidewalk to street), adjacent to Lot B, Square 258, 1st M.D, bounded by O'Keefe Ave., Lafayette St., Baronne St., and Girod St. The municipal address is 939 Girod Street.



SPACKMAN MOSSOP & MICHAELS



CLARIFICATION OF REFERENCE DESIGNATIONS

①	See sheet 12.01.13 for details
②	See sheet 12.01.13 for details
③	See sheet 12.01.13 for details
④	See sheet 12.01.13 for details
⑤	See sheet 12.01.13 for details
⑥	See sheet 12.01.13 for details

NOTES

REFERENCE FOR DIMENSIONS FOR THE EXISTING AND PROPOSED PLANTING:

①	See sheet 12.01.13 for details
②	See sheet 12.01.13 for details
③	See sheet 12.01.13 for details
④	See sheet 12.01.13 for details
⑤	See sheet 12.01.13 for details
⑥	See sheet 12.01.13 for details

1 SITE LANDSCAPE PLAN  
 1/8" = 1'-0"



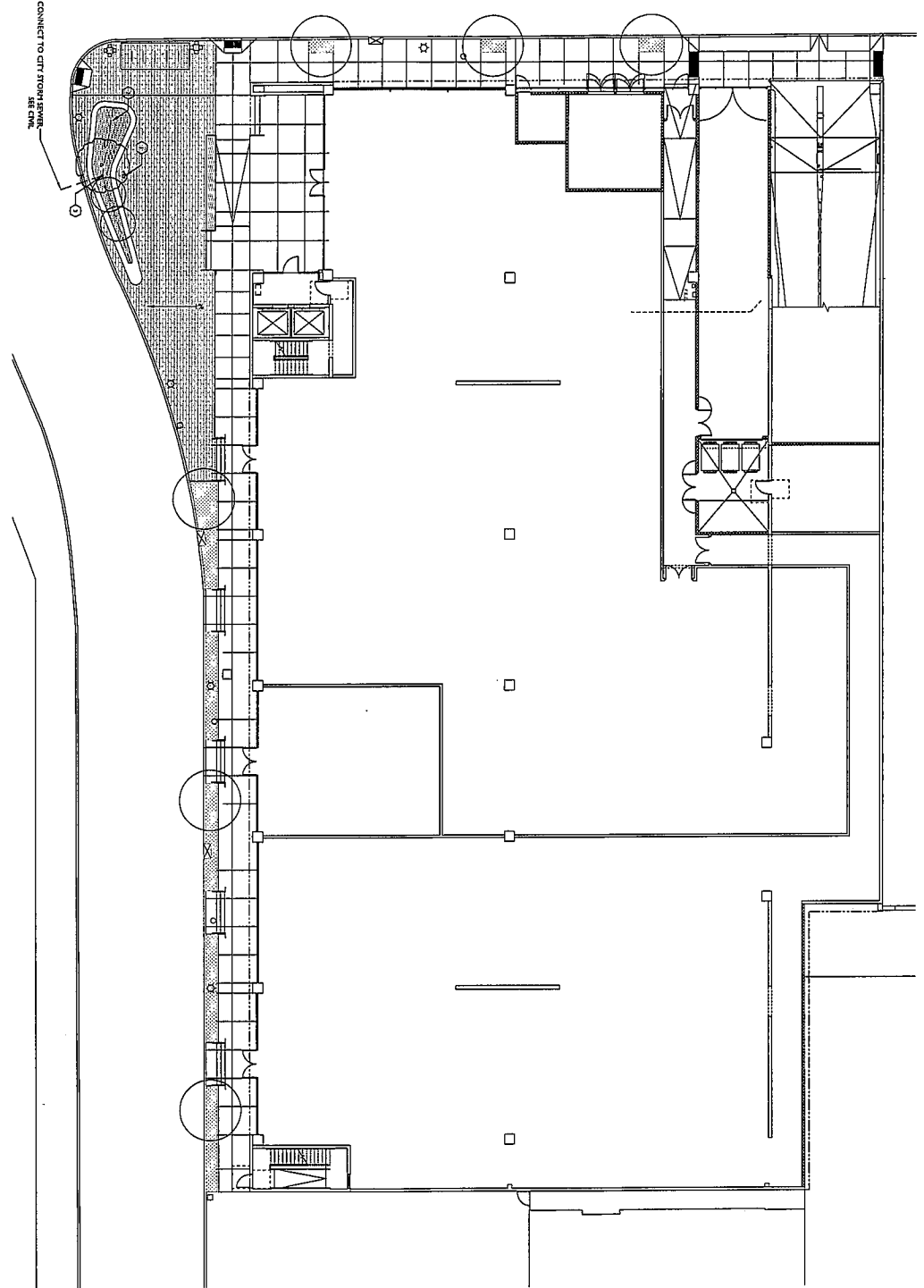
Copyright © 2013  
 Eskew+Dumez+Ripple  
 939 Girod Street  
 New Orleans, LA 70113  
 Date: 12/20/2012  
 Revision:

**SOUTH MARKET DISTRICT PARCEL D**  
 939 Girod Street  
 New Orleans, LA 70113

**Eskew+Dumez+Ripple**  
 ARCHITECTURE  
 ENVIRONMENT  
 URBAN DESIGN

Sheet No: L1.0

SPACKMAN MOSSOP & MICHAELS



QUALIFICATION OF REFERENCE DESIGNATIONS
① MATERIAL, SEE CIVIL
② IMPROVED DRAINAGE PIPE, SEE CIVIL
③ CURB, SEE CIVIL

NOTES
REFERENCE CIVIL DRAWINGS FOR SITE ELEVATIONS AND CONCRETE FOUNDATION.

1 PLAZA DRAINAGE PLAN  
L1.1 1" = 10'-0"



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All Rights Reserved  
Date: 10 JAN 2014  
Revised:  
Sheet No.:

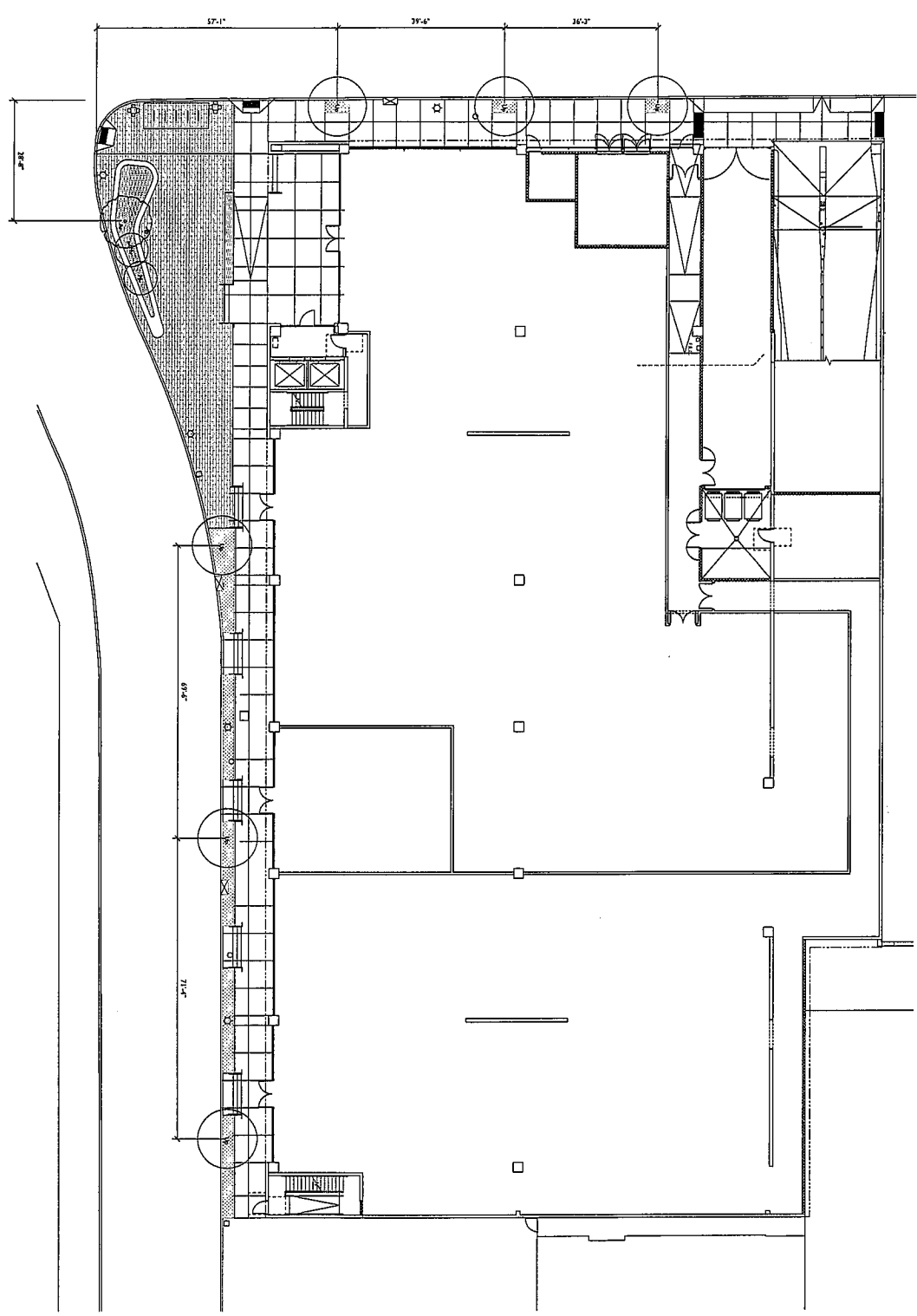
**SOUTH MARKET DISTRICT PARCEL D**  
939 Girod Street  
New Orleans, LA 70113

**Eskew+Dumez+Ripple**  
ARCHITECTURE  
ENVIRONMENTS  
URBAN DESIGN

Sheet No. L1.1  
EIR No. 11089  
Drawn By: DILLON  
Drawing Title: PLAZA DRAINAGE PLAN

SPACKMAN MOSSOP & MICHAELS

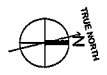
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
(1)	MULE EYE	<i>Samolus repens</i> 'Silver Fire'	4	4" O.C.		
(2)	SWAMP TUB	<i>Asplenium platyneuron</i>	1	4" O.C.		
(3)	SWEEPSTAY	<i>Asplenium platyneuron</i>	2	4" O.C.		
(4)	MAJONOLA	<i>Asplenium platyneuron</i>	1	4" O.C.		
(5)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(6)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(7)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(8)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
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(95)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(96)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(97)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(98)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(99)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		
(100)	CRABAPPLE	<i>Malus domestica</i>	1	17' O.C.		



CLASSIFICATION OF REFERENCE DESIGNATIONS

NOTES

1 SITE PLANTING PLAN  
 1/2" = 1'-0"



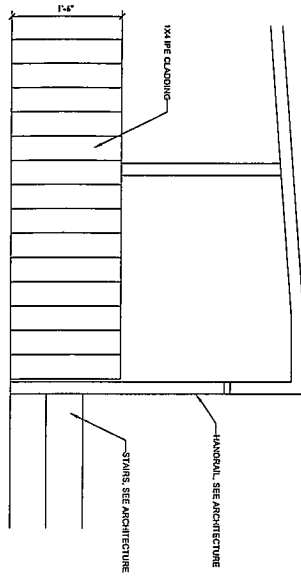
Copyright © 2013  
 Eskew + Dumez + Ripple  
 All Rights Reserved  
 Date: 10 JAN 2013  
 10:00 AM

**SOUTH MARKET DISTRICT PARCEL D**  
 939 Girod Street  
 New Orleans, LA 70113

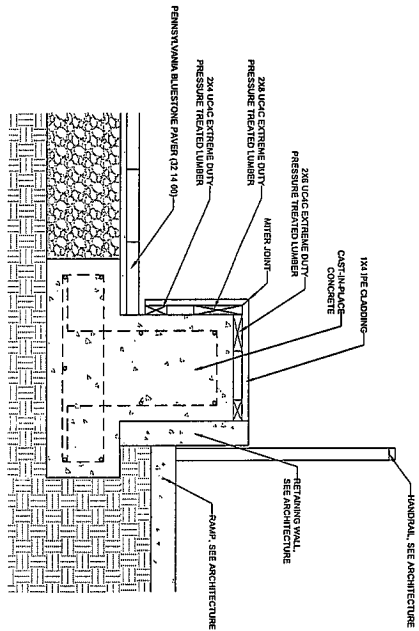
**Eskew + Dumez + Ripple**  
 ARCHITECTURE  
 ENVIRONMENT  
 URBAN DESIGN

SEIN NO: 11952  
 DRAWING NO: BULLOCK  
 DRAWING DATE: 10 JAN 2013  
 SITE PLANTING PLAN  
 SHEET NO: L1.2

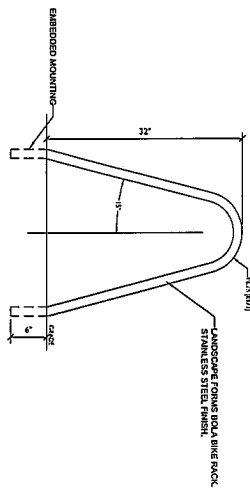
SPACKMAN MOSSOP = MICHAELS



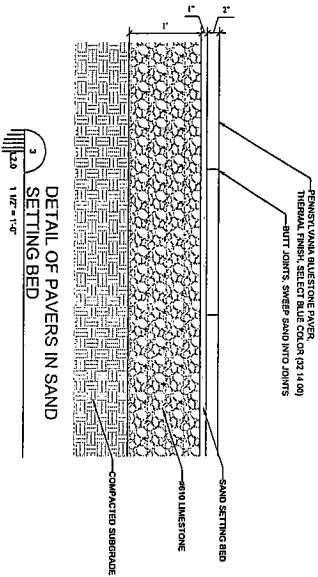
6  
ELEVATION OF CONCRETE SEAT  
WALL WITH IPE CLADDING  
1/2" = 1'-0"



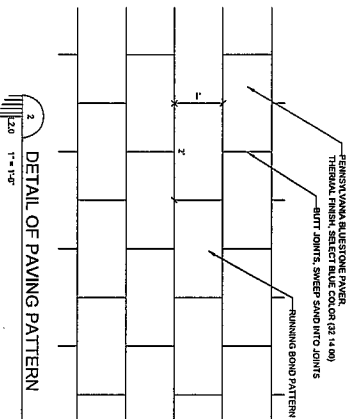
5  
SECTION THROUGH CONCRETE  
SEAT WALL WITH IPE CLADDING  
1/2" = 1'-0"



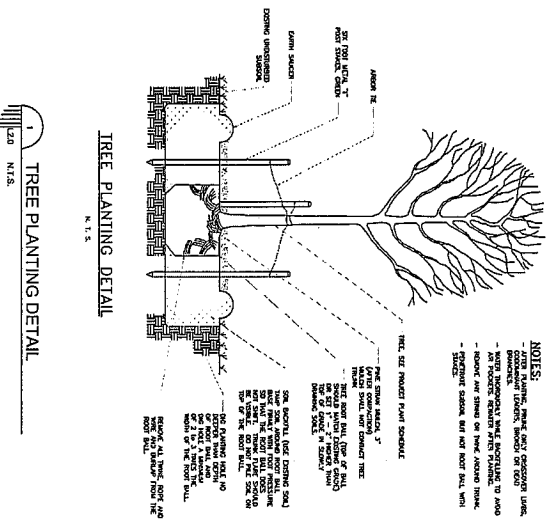
4  
BIKE RACK DETAIL  
1/2" = 1'-0"



3  
DETAIL OF PAVERS IN SAND  
SETTING BED  
1/2" = 1'-0"



2  
DETAIL OF PAVING PATTERN  
1/2" = 1'-0"



1  
TREE PLANTING DETAIL  
N.T.S.

NOTES:  
- AFTER RAINFALL, MAKE SURE ONLY OVERFLOW WATER REMAINS IN TRAP, REMOVE EXCESS WATER IMMEDIATELY.  
- WITH INDEPENDENT WALK, RECONFIGURABLE TO JAVAS.  
- REMOVE AND STORE OR PAINT JACOBS TREE.  
- PREVENTIVE MAINTENANCE AND NOT REMOVE WALK WITH STAKE.



DATE: 11/09  
DRAWN BY: BALLOCK  
CHECKED BY: MICHAELS  
SITE DETAILS

SOUTH MARKET DISTRICT PARCEL D

939 Girod Street  
New Orleans, LA 70113

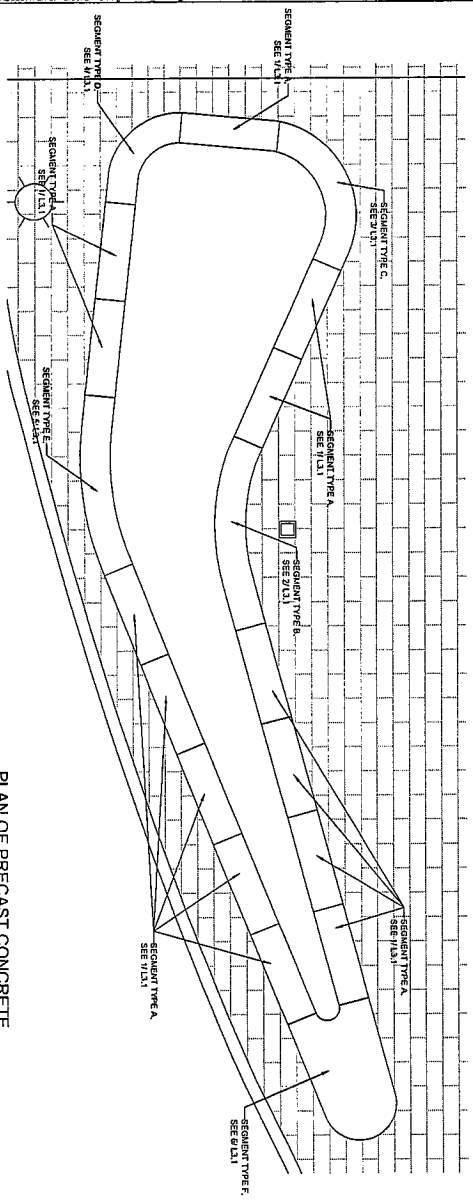
Eskew+Dumez+Ripple

ARCHITECTURE  
ENVIRONMENTS  
URBAN DESIGN

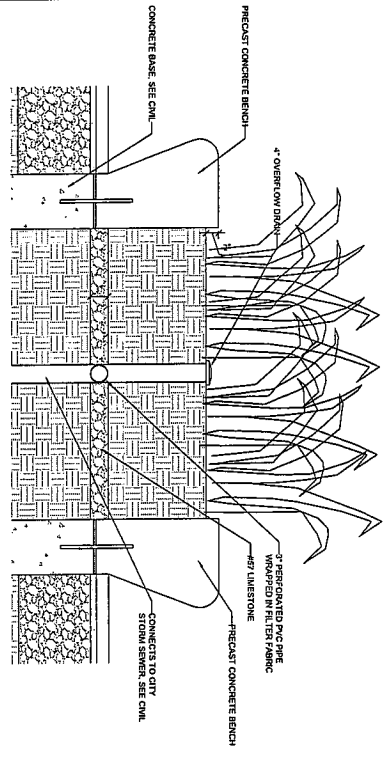


SPACKMAN MOSSOP & MICHAELS

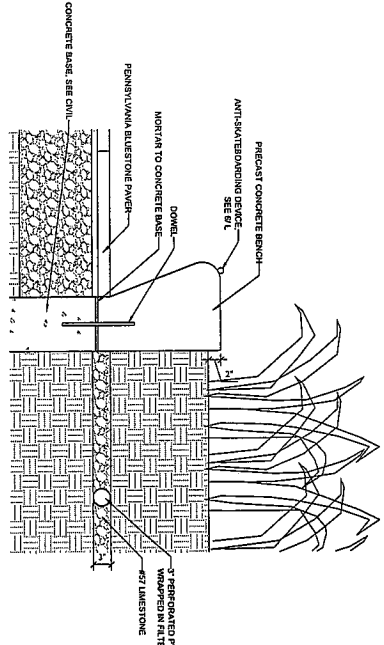
2 PLAN OF PRECAST CONCRETE  
 1/2" = 1'-0"



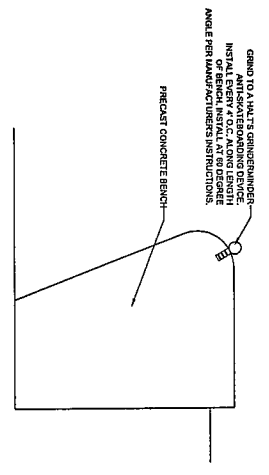
5 SECTION THROUGH PRECAST CONCRETE BENCH AND PLANTER  
 1/2" = 1'-0"



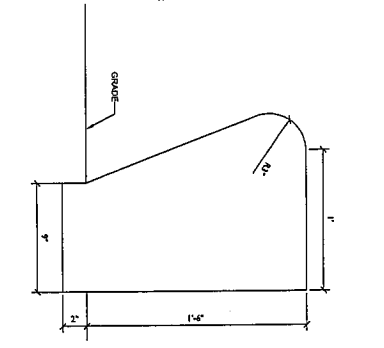
4 SECTION THROUGH PRECAST CONCRETE BENCH  
 1/2" = 1'-0"



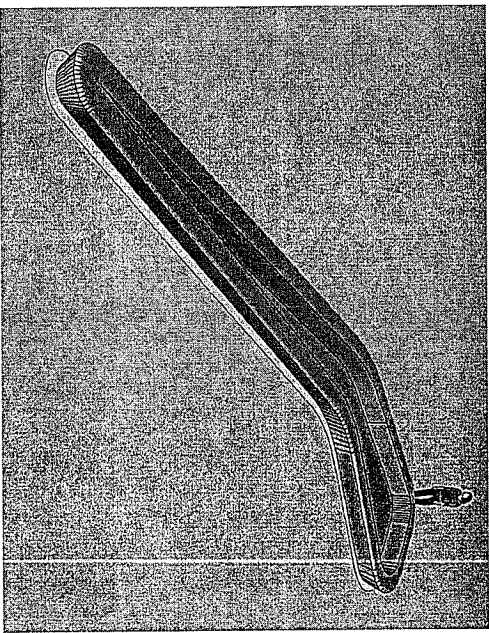
6 DETAIL OF ANTI-SKATEBOARDING DEVICE  
 3" = 1'-0"



3 PROFILE OF PRECAST CONCRETE BENCH  
 3" = 1'-0"



1 IMAGE FROM 3D MODEL OF BENCH  
 1/2" = 1'-0"



DATE: 11/06  
 DRAWN BY: BULLOCK  
 CHECKED BY: BULLOCK  
 PROJECT NO.: 11083  
 SHEET NO.: 11083-01

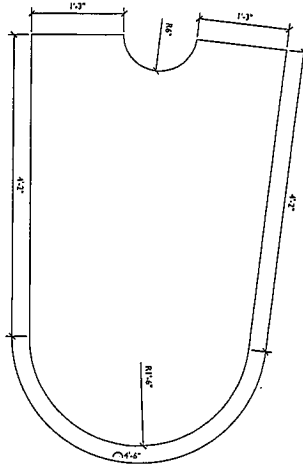


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 A Registered Corporation  
 Date: 02 JAN 2014  
 Author: [Name]  
 Designer: [Name]

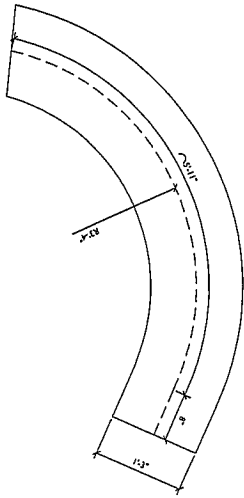
SOUTH MARKET DISTRICT PARCEL D  
 939 Girod Street  
 New Orleans, LA 70113

Eskew+Dumez+Ripple  
 ARCHITECTURE  
 ENVIRONMENTS  
 URBAN DESIGN

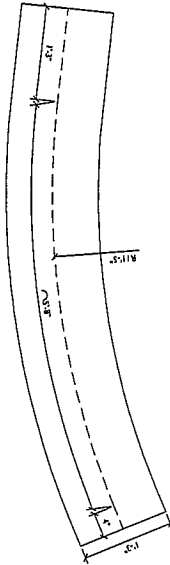
SPACKMAN MOSSOP & MICHAELS



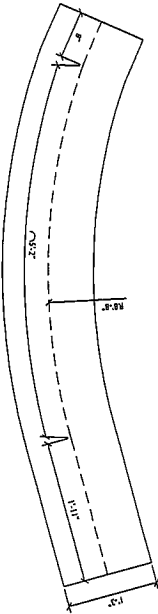
6 BENCH SEGMENT TYPE F  
L3.0(3.1) 1 1/2" = 1'-0"



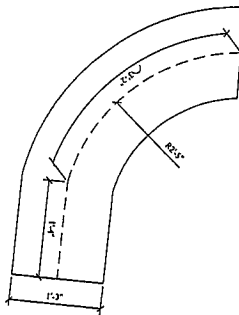
3 BENCH SEGMENT TYPE C  
L3.0(3.1) 1 1/2" = 1'-0"



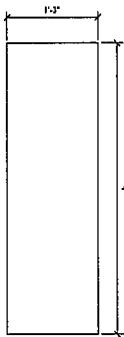
5 BENCH SEGMENT TYPE E  
L3.0(3.1) 1 1/2" = 1'-0"



2 BENCH SEGMENT TYPE B  
L3.0(3.1) 1 1/2" = 1'-0"



4 BENCH SEGMENT TYPE D  
L3.0(3.1) 1 1/2" = 1'-0"



1 BENCH SEGMENT TYPE A  
L3.0(3.1) 1 1/2" = 1'-0"

NOTES  
 1. CHANGES TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT'S REPRESENTATIVE OR MANUFACTURER'S REPRESENTATIVE.  
 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES.  
 3. FINISHES SHALL BE AS SHOWN ON THE FINISH SCHEDULE.  
 4. MATERIALS SHALL BE AS SHOWN ON THE MATERIAL SCHEDULE.  
 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

EDR No: 11090  
 Drawn By: DML/CLK  
 Date: 13 JUN 2011  
 Bench Details



SOUTH MARKET DISTRICT PARCEL D

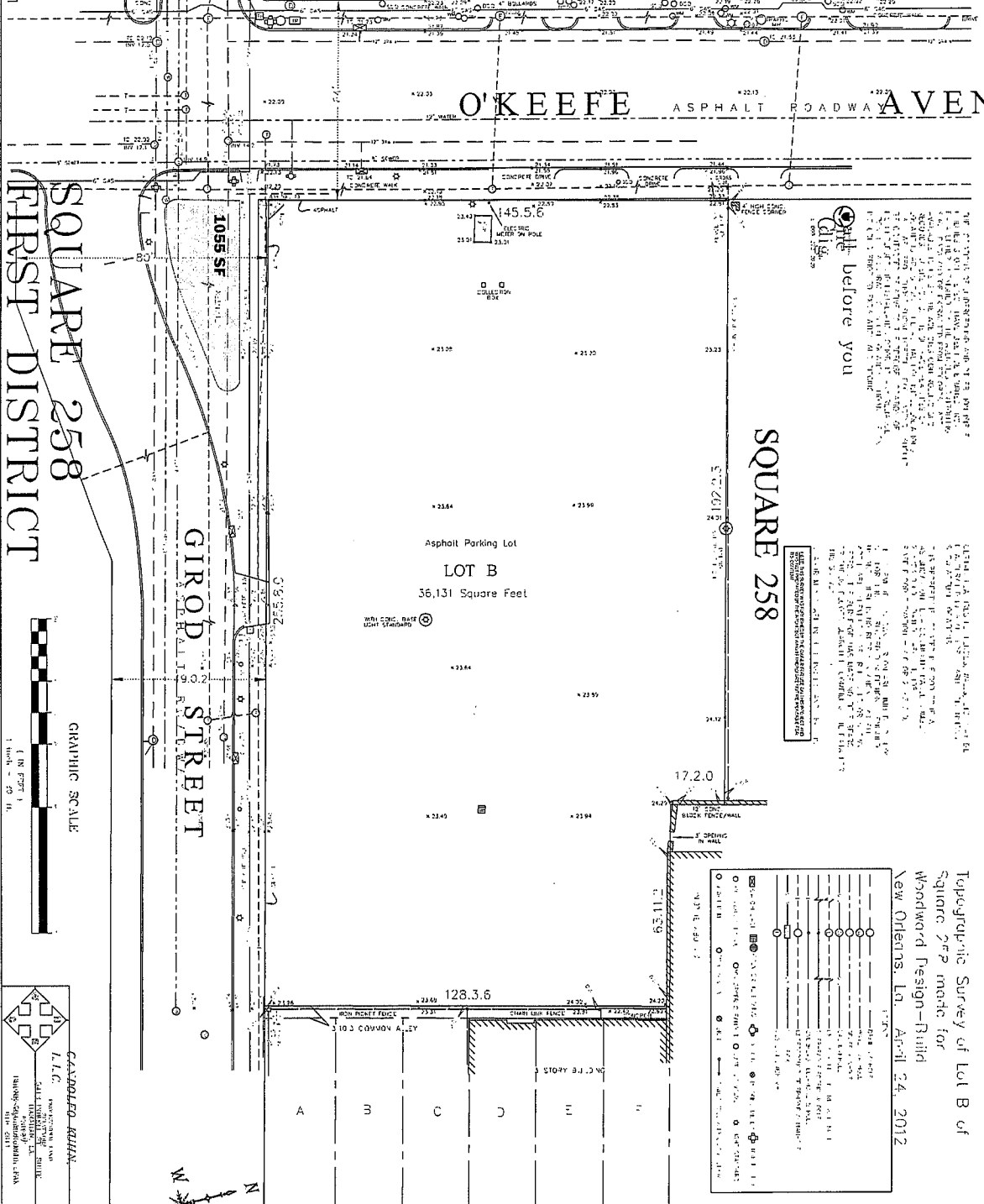
939 Girod Street  
 New Orleans, LA 70113

Eskew+Dumez+Ripple

ARCHITECTURE  
 ENVIRONMENTS  
 URBAN DESIGN

Sheet No: L3.1

C:\PROJECTS\RV\70118\Sub Main\Parcel D - Girard\11806 ARCH Locus.dwg  
1/17/2014 11:21:08 AM



O'KEEFE ASPHALT ROADWAY AVENUE

SQUARE 258  
FIRST DISTRICT

SQUARE 258

LOT B  
36,131 Square Feet

GIRARD STREET

BARONNE STREET

SOUTH MARKET DISTRICT PARCEL D

929 Girard Street  
New Orleans, LA 70113

Eskew+Dumez+Ripple

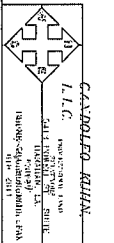
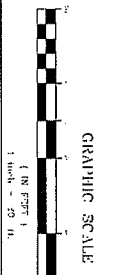
ARCHITECTURE  
INTERIOR ENVIRONMENTS  
URBAN STRATEGIES

Call before you dig.

811 or 1-800-368-5888

FOR INFORMATION ON THE STATE OF MISSISSIPPI'S 2013 CONSTRUCTION STANDARDS FOR THE PROTECTION OF UNDERGROUND UTILITIES AND STRUCTURES, VISIT THE WEBSITE: [www.dhs.gov](http://www.dhs.gov)

Topographic Survey of Lot B of Square 258 made for Woodward Design-Build New Orleans, La. April 24, 2012



CADWAVE  
DATE: 01/17/2014  
DWG: 11806\_ARCH\_Locus.dwg  
PLOT DATE: 01/17/2014  
PLOT SCALE: 1" = 25'



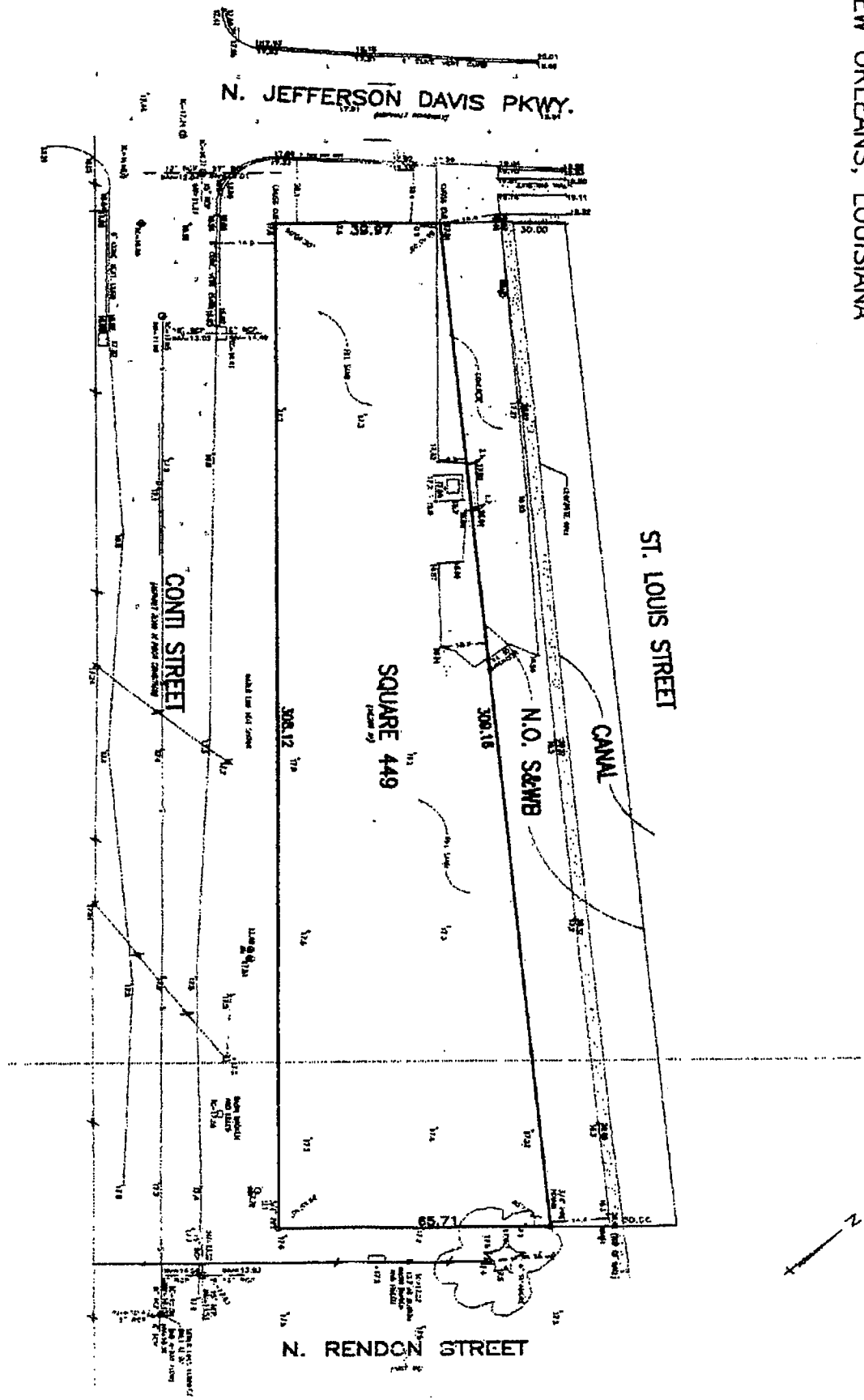
CADDOLLO QUINN L.L.C.  
100 Poydras Street  
New Orleans, LA 70112  
Professional Engineer  
No. 13 JANUARY 2013  
11806 ARCH Locus.dwg

C1

**Item #10**

A request by Billy Good for a one-year lease (and then subsequent sale) for the N. Rendon St. public right of way (paper street) in the 2<sup>nd</sup> M.D, between squares 449 and 426, bounded by N. Jefferson Davis Parkway (Sq 449), St. Louis St., N. Lopez St. (sq 426), and Conti Street.

SECOND DISTRICT  
 SQUARE 449  
 NEW ORLEANS, LOUISIANA



HAIRY, LA  
 THE FOLLOWING SURVEY MADE IN ACCORDANCE WITH  
 THE "MAPPING STANDARDS FOR PROPERTY MAPPING"  
 SURVEYS FOR A CLASS C SURVEY MADE AT THE  
 REQUEST OF SAHM ABOVE.  
 (SECTION 4, 2002)

OUTSIDE SURVEYING  
 & ENGINEERING, INC.  
 2146 P.O. Box 1111  
 Metairie, LA 70002  
 (504) 885-1111



OF CONTI ST.



H-4365  
T21

F22

ST.

AVE



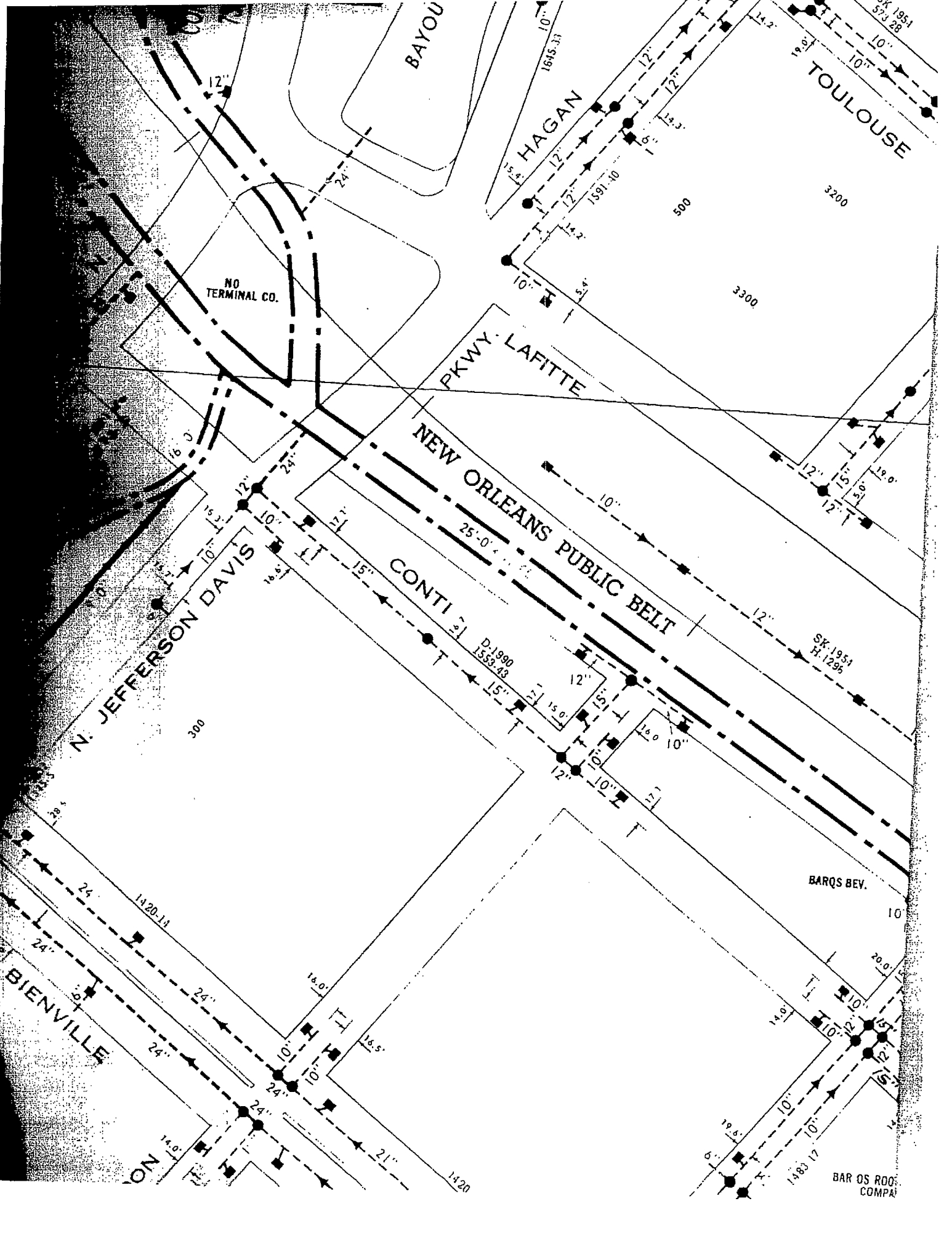
41/03

50"

CCI

CONTI ST. 1912-1913





NO  
TERMINAL CO.

PKWY LAFITTE

NEW ORLEANS PUBLIC BELT

CONTI

N. JEFFERSON DAVIS

BIENVILLE

BARQS BEV.

BAR OS ROO.  
COMPAI

