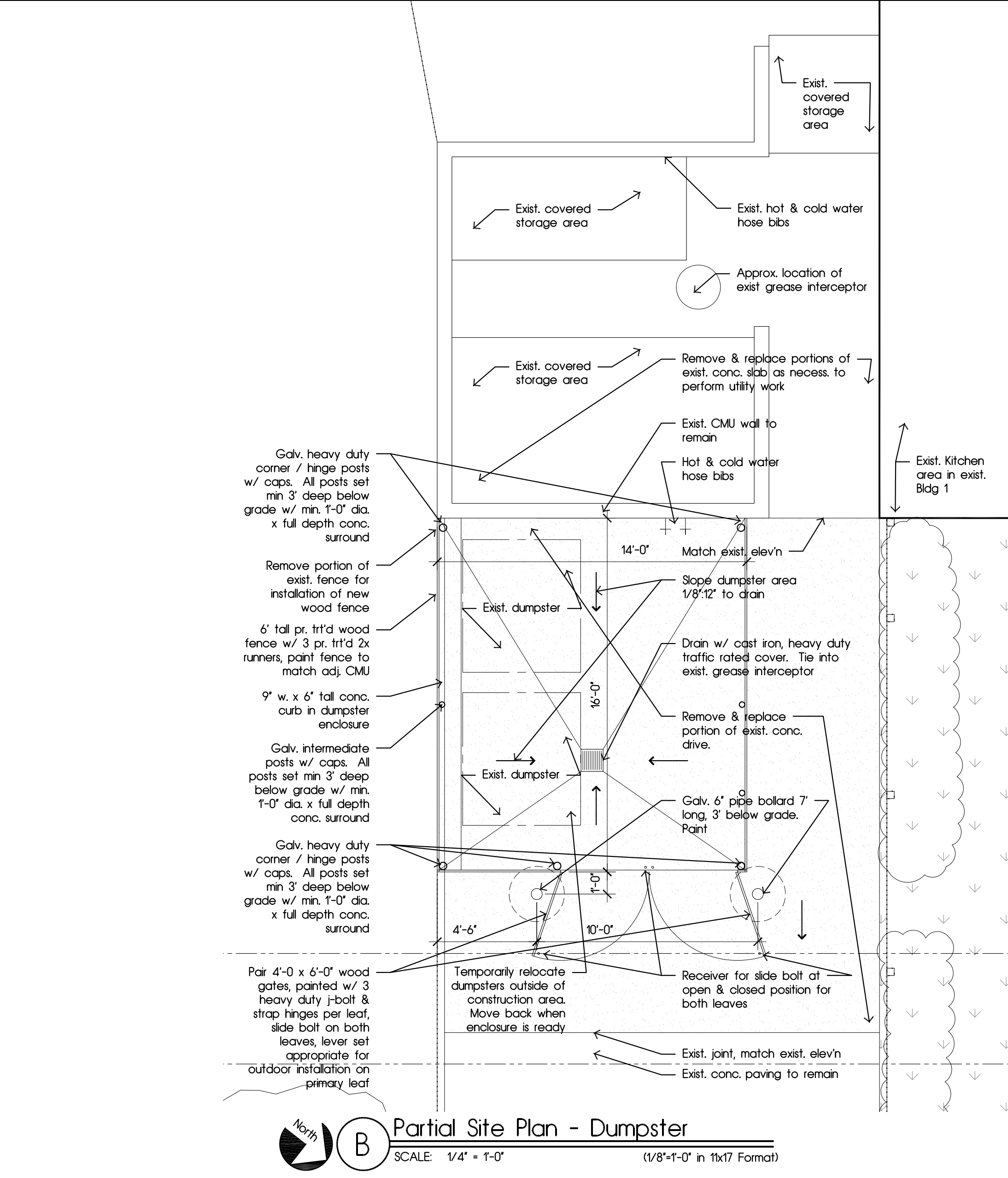
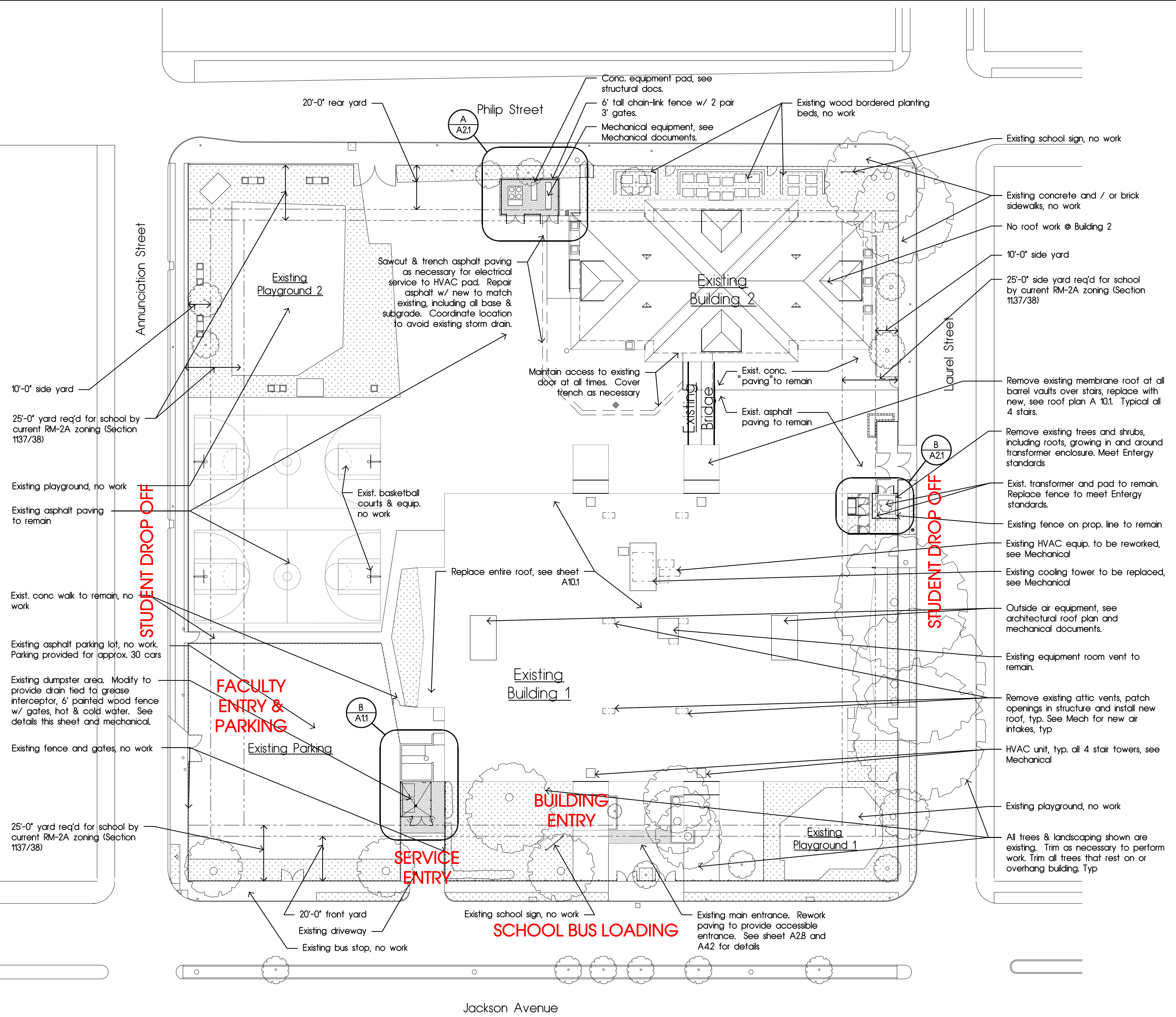


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Partial Site Plan - Dumpster
 SCALE: 1/4" = 1'-0" (1/8"=1'-0" in 11x17 Format)

NOTE: Coordinate with the architect and owner prior to any excavation on site for SHPO geotechnical investigation. This includes work for the dumpster & equipment pads and utility routing.

Site Plan
 SCALE: 1" = 30'-0" (1'-60'-0" in 11x17 Format)

Description	Required	Existing
Square 100		
Site Area = 236 Acres (105,085 sq. ft)		
Flood Zone B		
Zoning District RM-2A along Jackson Ave, RD-3 along Philip St.		
Minimum lot area (nonresidential site area)	20,000 sq. ft.	105,085 sq. ft.
Minimum lot width:	100 ft.	323 ft.
Minimum lot depth:	100 ft.	325 ft.
Maximum height:	40 ft.	35' Bldg 1, 48' Bldg 2
Maximum Floor Area Ratio:	150	102 = 105,718 (total bldg area) / 105,085 (lot area)
Minimum Open Space Ratio:	0.30	0.65 = 105,085 (lot area) - 34,450 (covered lot area) / 105,718 (total bldg area)
Minimum depth of front yard:	Avg of block, or 20 ft.	21'
Minimum aggregate width of side yards:	20% (64'-7")	35.3% (114')
Minimum width of each side yard:	10 ft.	104', 10'
Maximum required aggregate width of side yards:	50 ft.	114'
Minimum depth of rear yard:	20 ft.	19'-6"

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 RSD Project No: 2011-0891-0001
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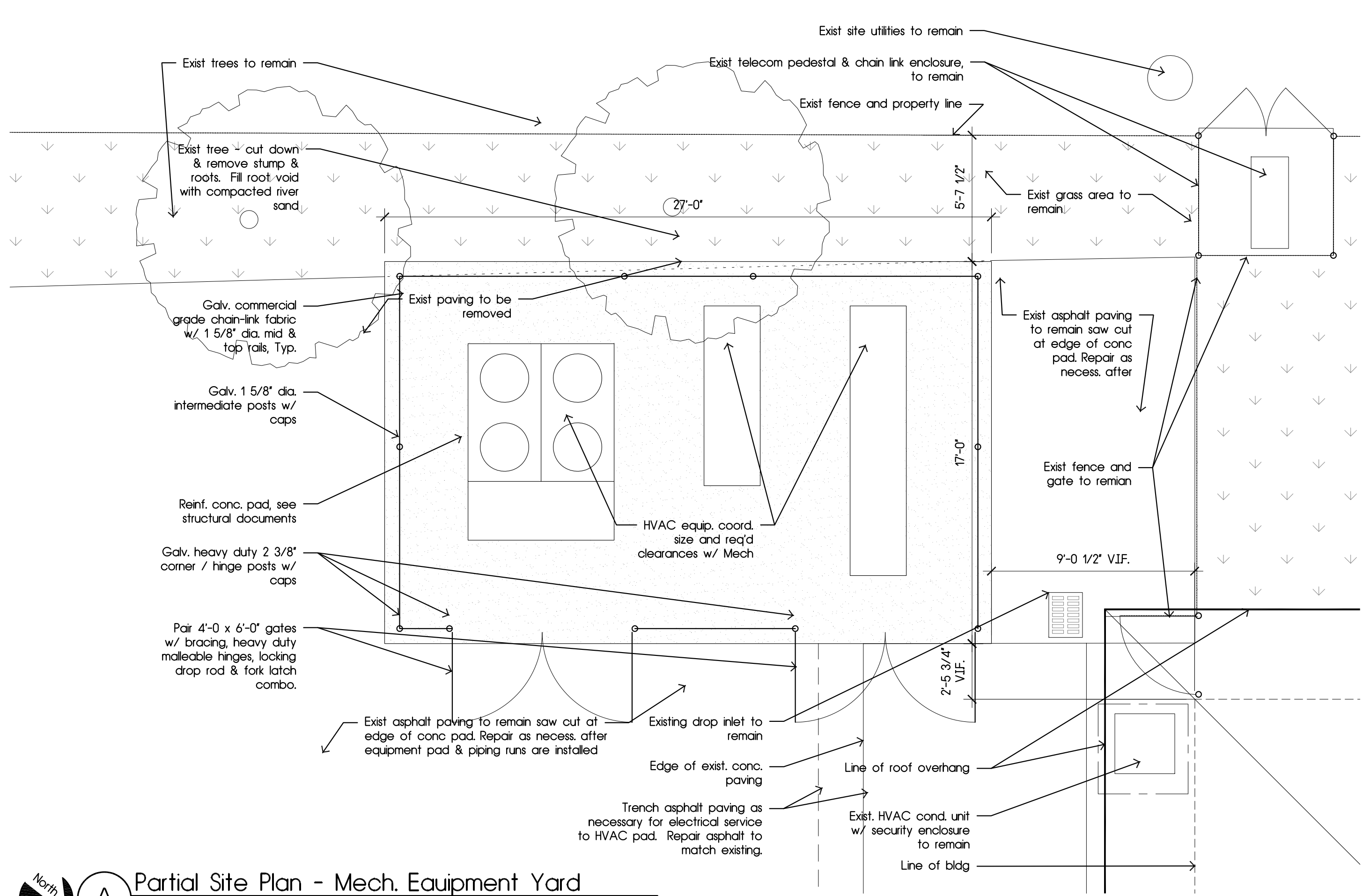
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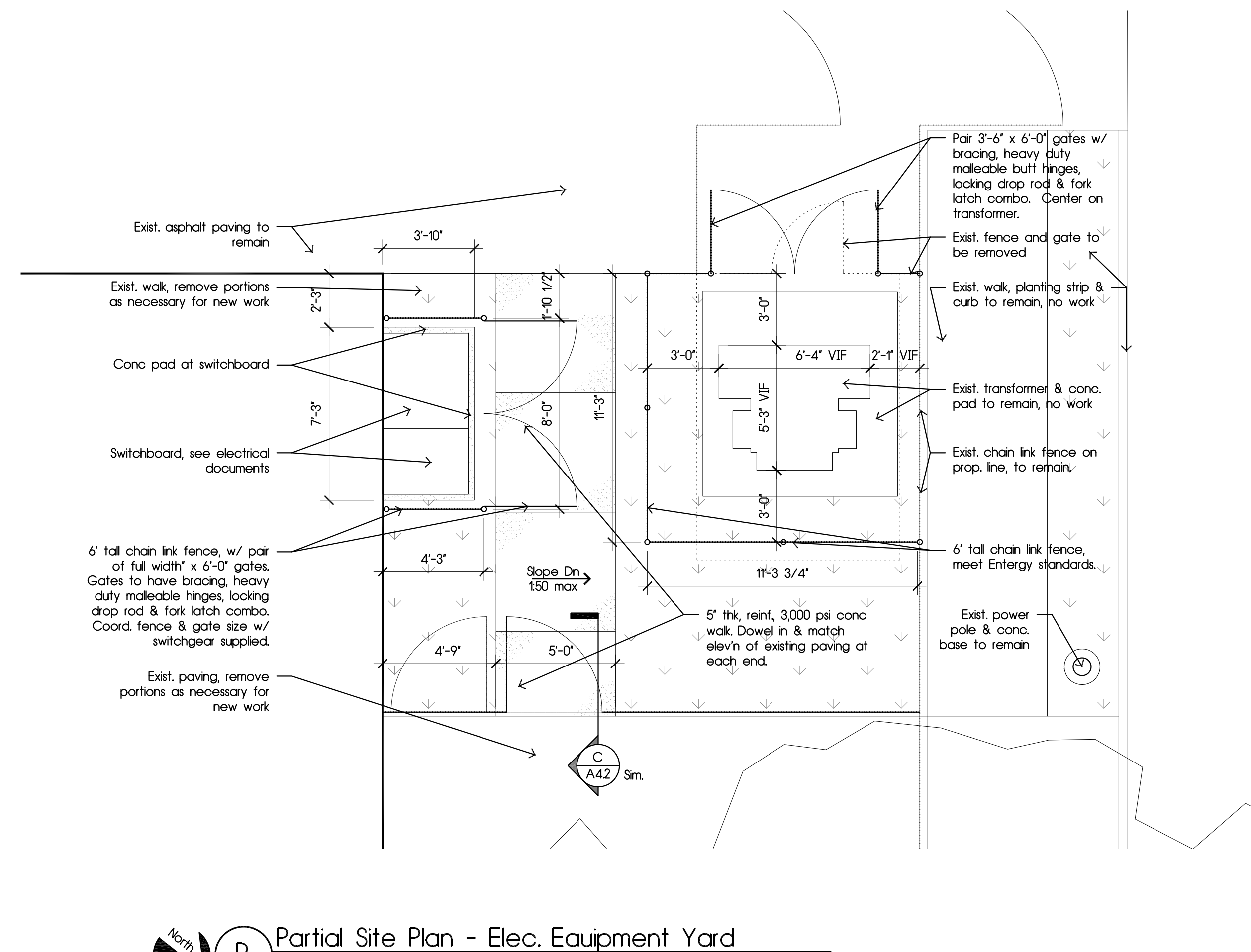
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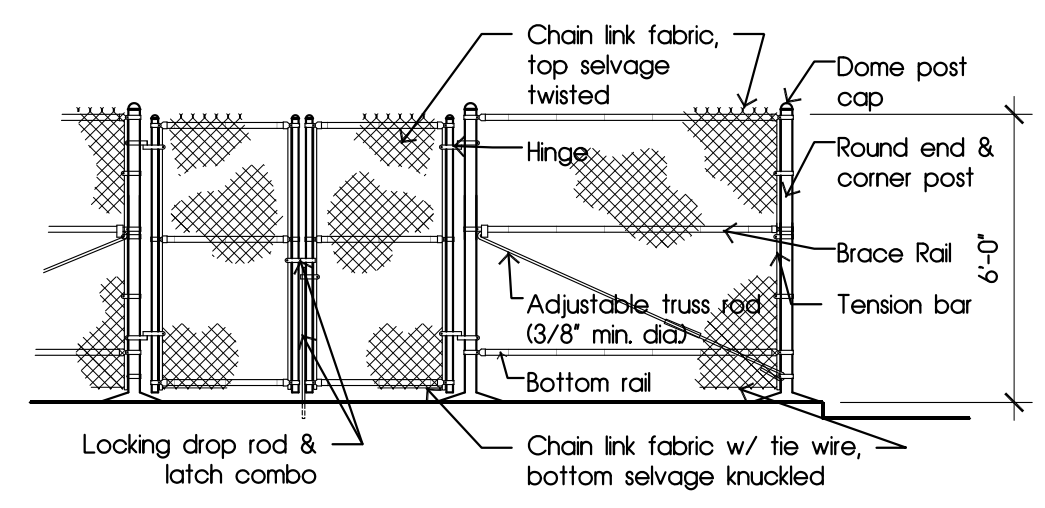
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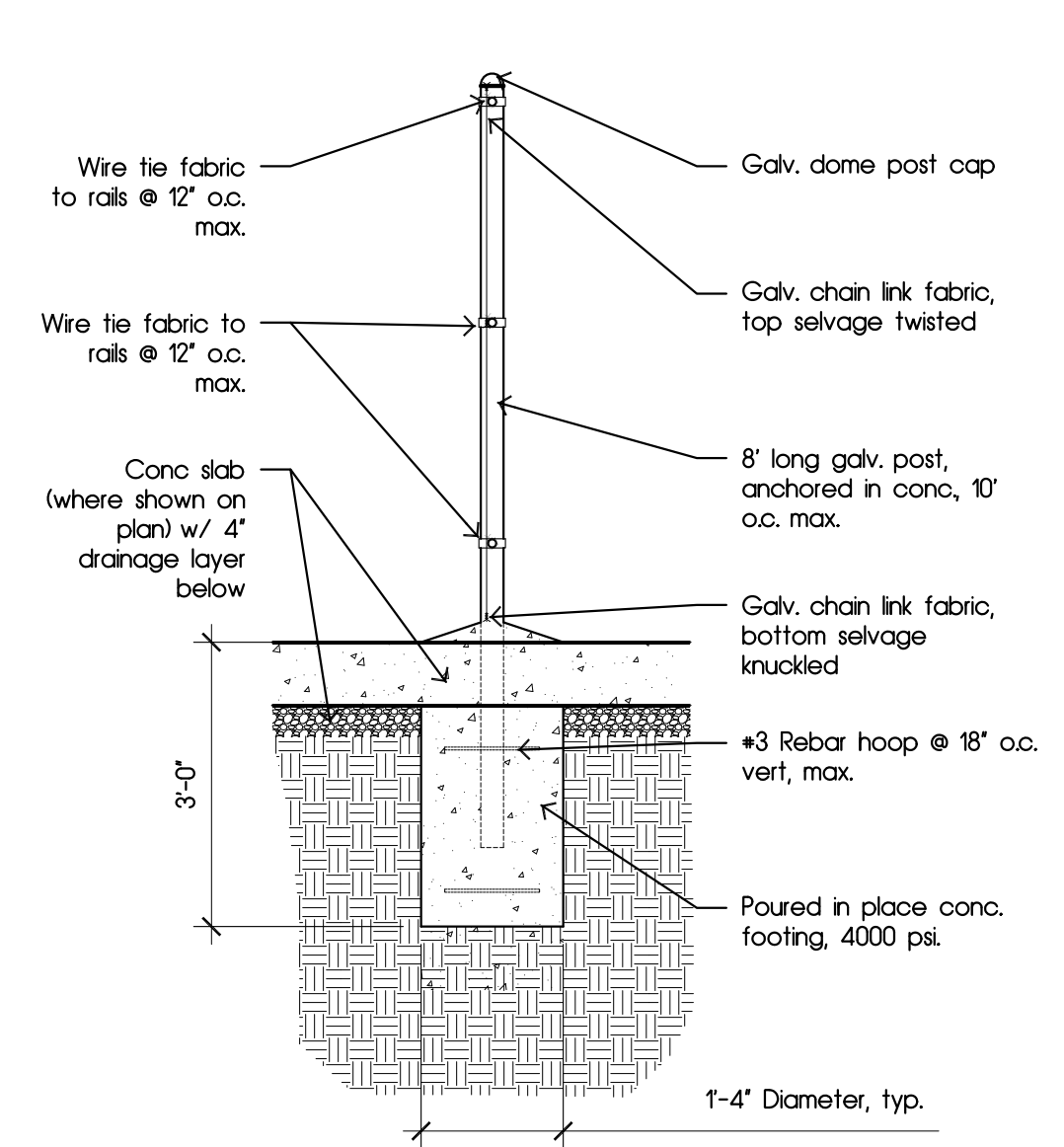
A Partial Site Plan - Mech. Equipment Yard
SCALE: 1/4" = 1'-0"
(1/8"=1'-0" in 11x17 Format)



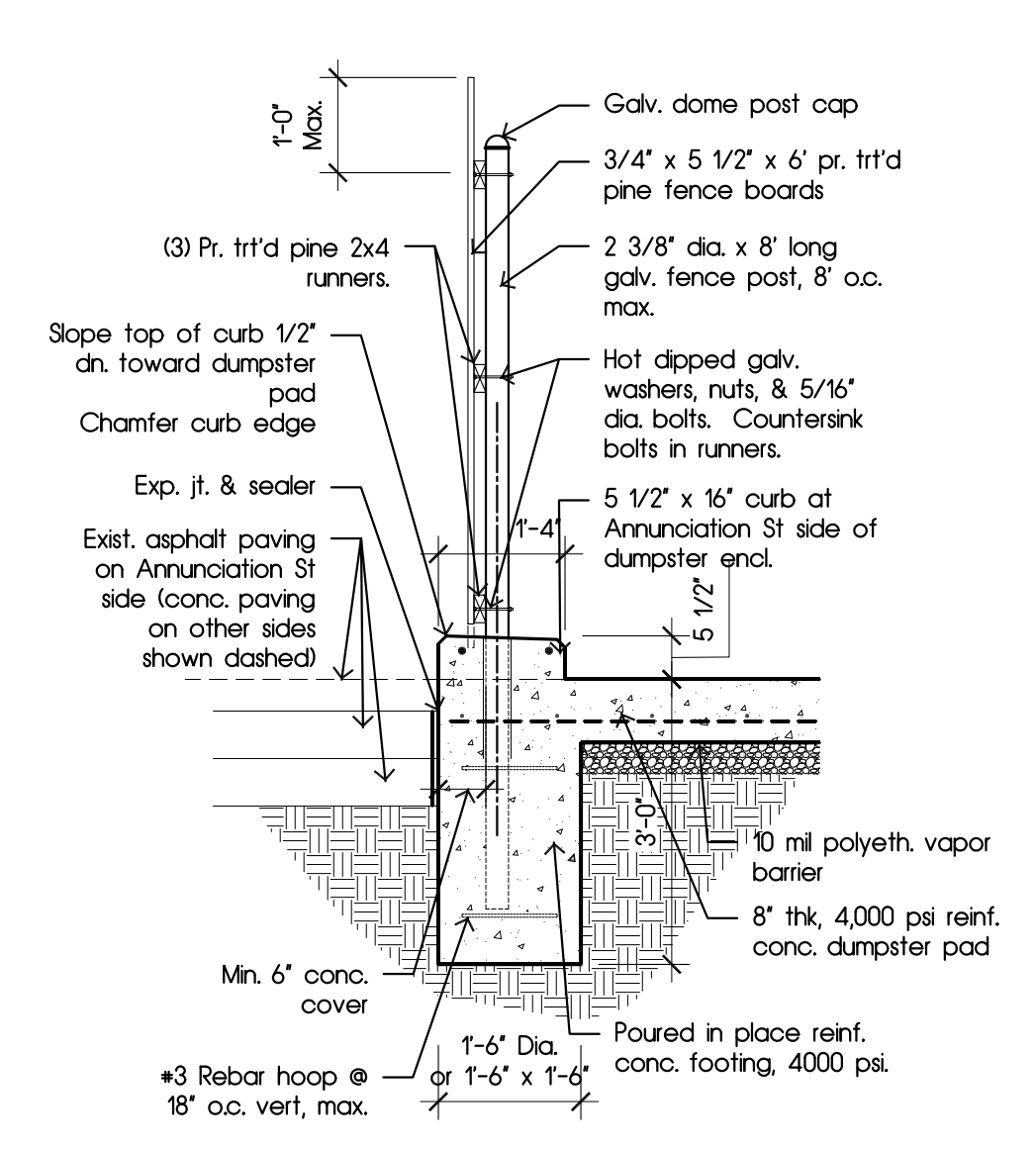
B Partial Site Plan - Elec. Equipment Yard
SCALE: 1/4" = 1'-0"
(1/8"=1'-0" in 11x17 Format)



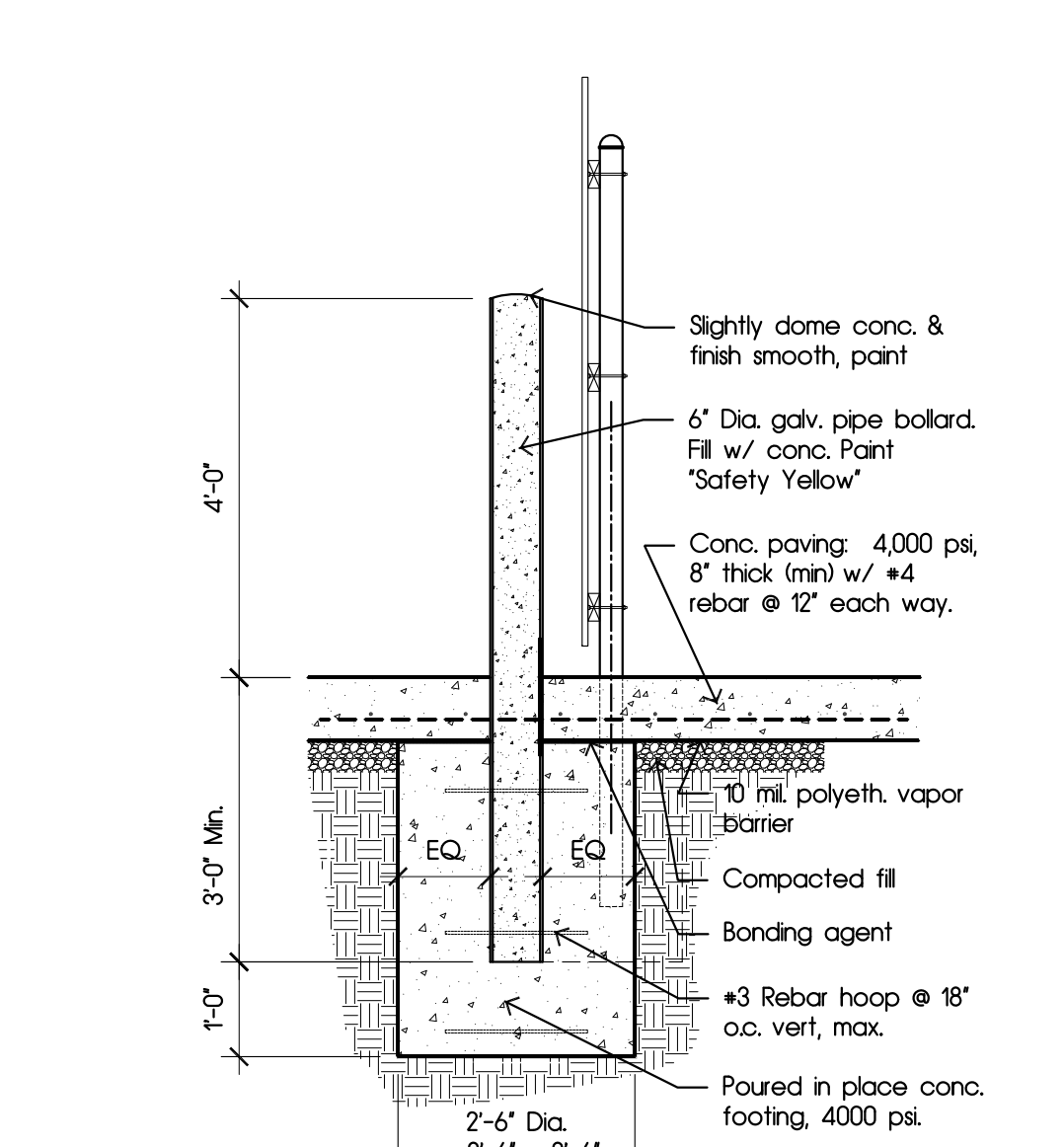
C Chain Link Fence - Typ. Elevation
SCALE: 1/4" = 1'-0"



D Typ. Section @ Chain Link Fence
SCALE: 1/2" = 1'-0"



E Typ. Section @ Wood Fence
SCALE: 1/2" = 1'-0"



F Typ. Detail @ Pipe Bollard
SCALE: 1/2" = 1'-0"

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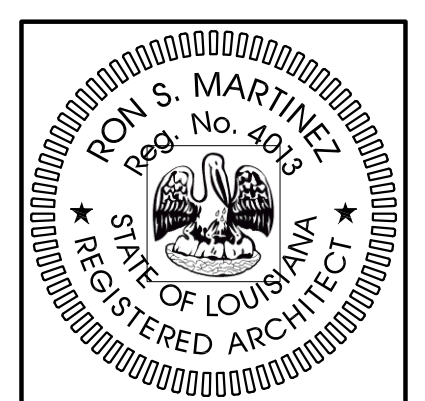
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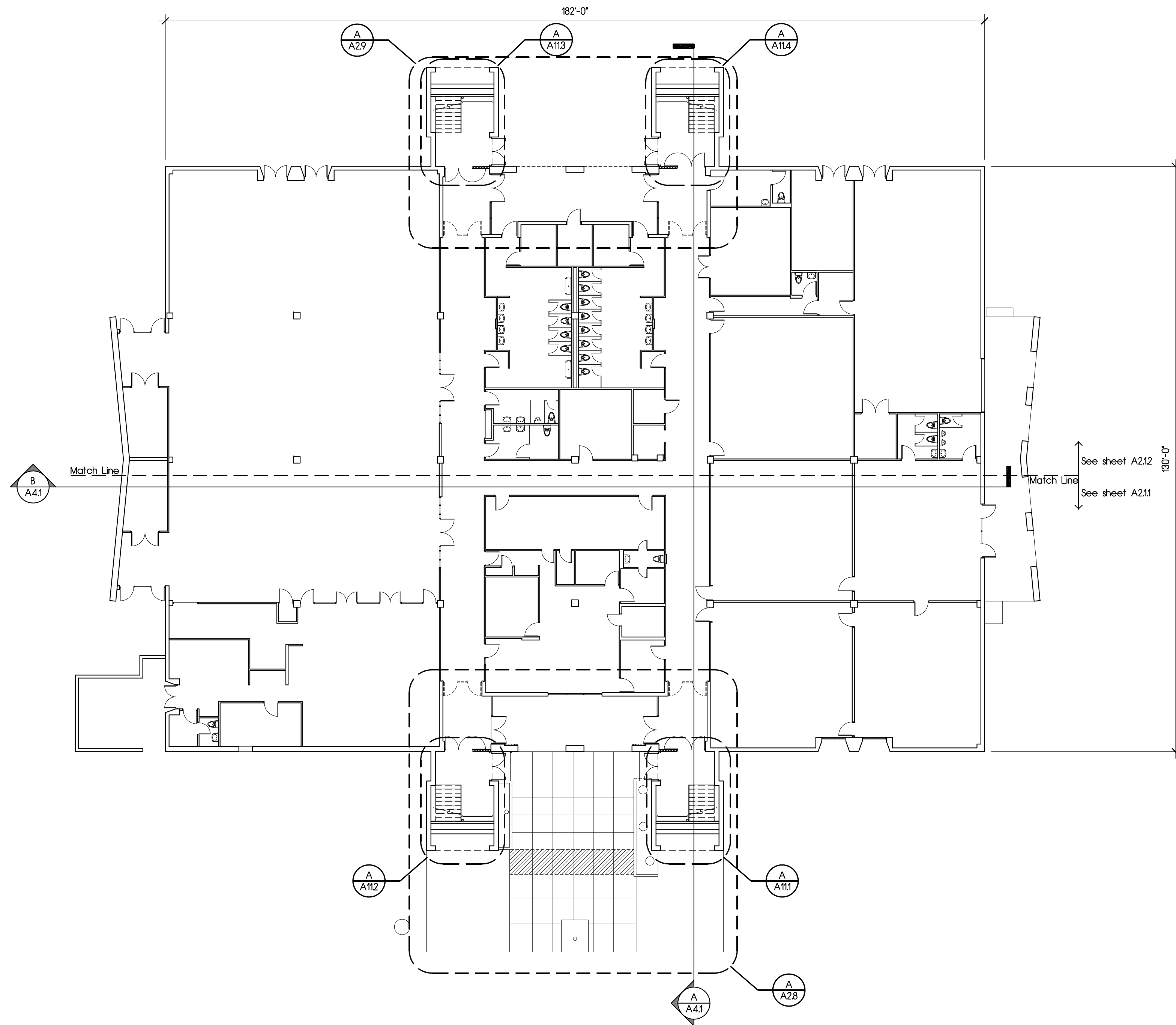
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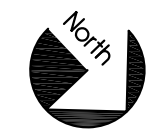


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Building 1
First Floor Plan-Overall
 SCALE: 1/16" = 1'-0" (1/32"=1'-0" in 1x17 Format)

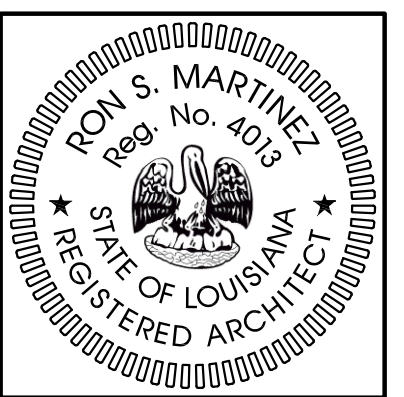


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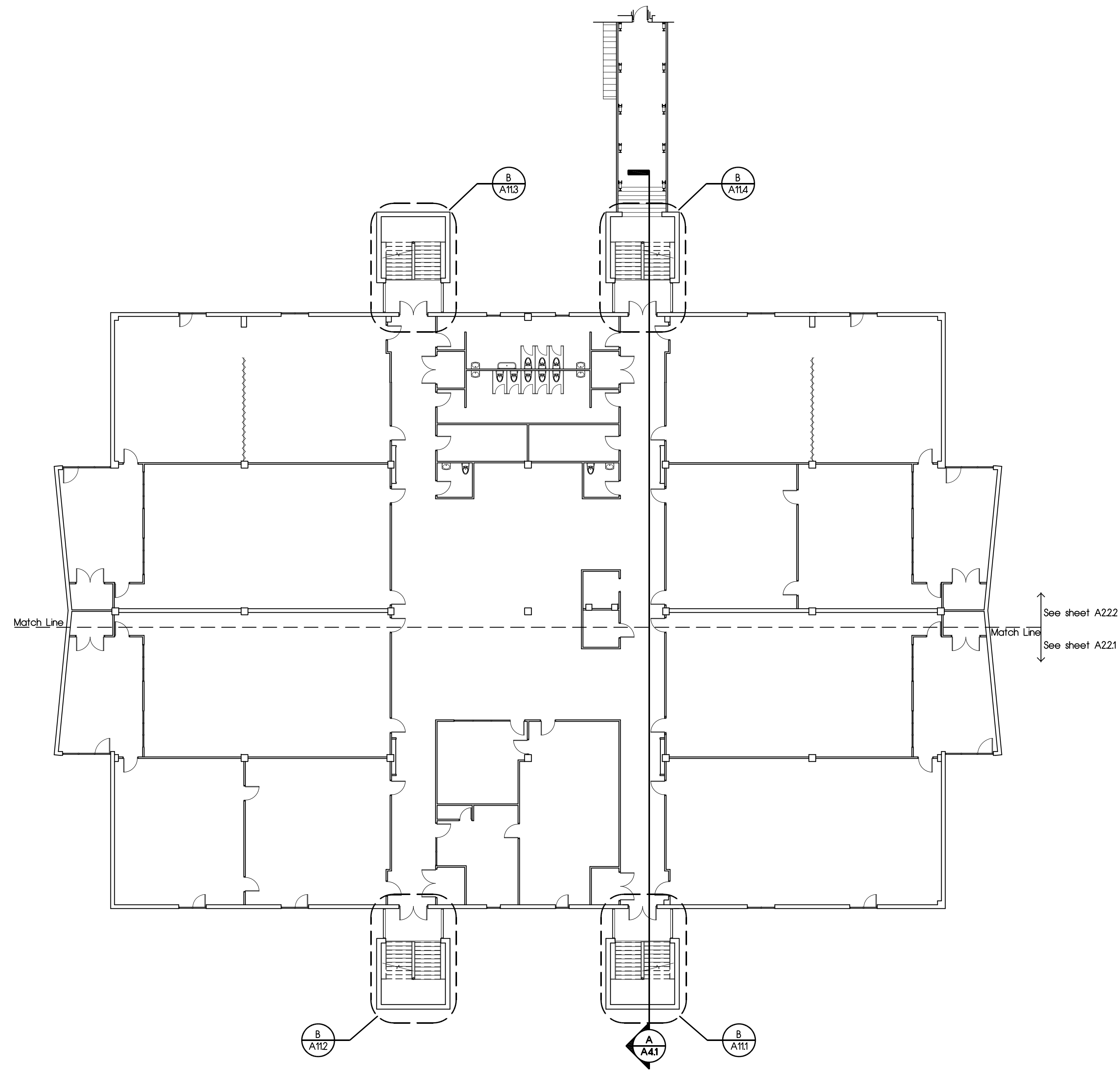
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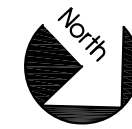


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A
Building 1
Second Floor Plan-Overall
 SCALE: 1/16" = 1'-0" (1/32"=1'-0" in 11x17 Format)



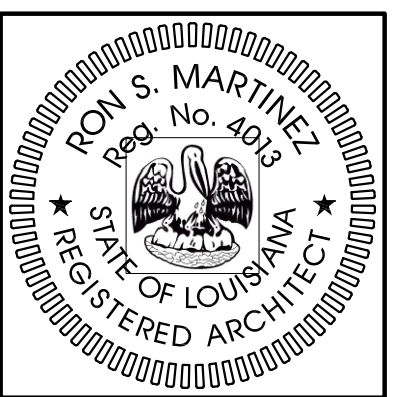
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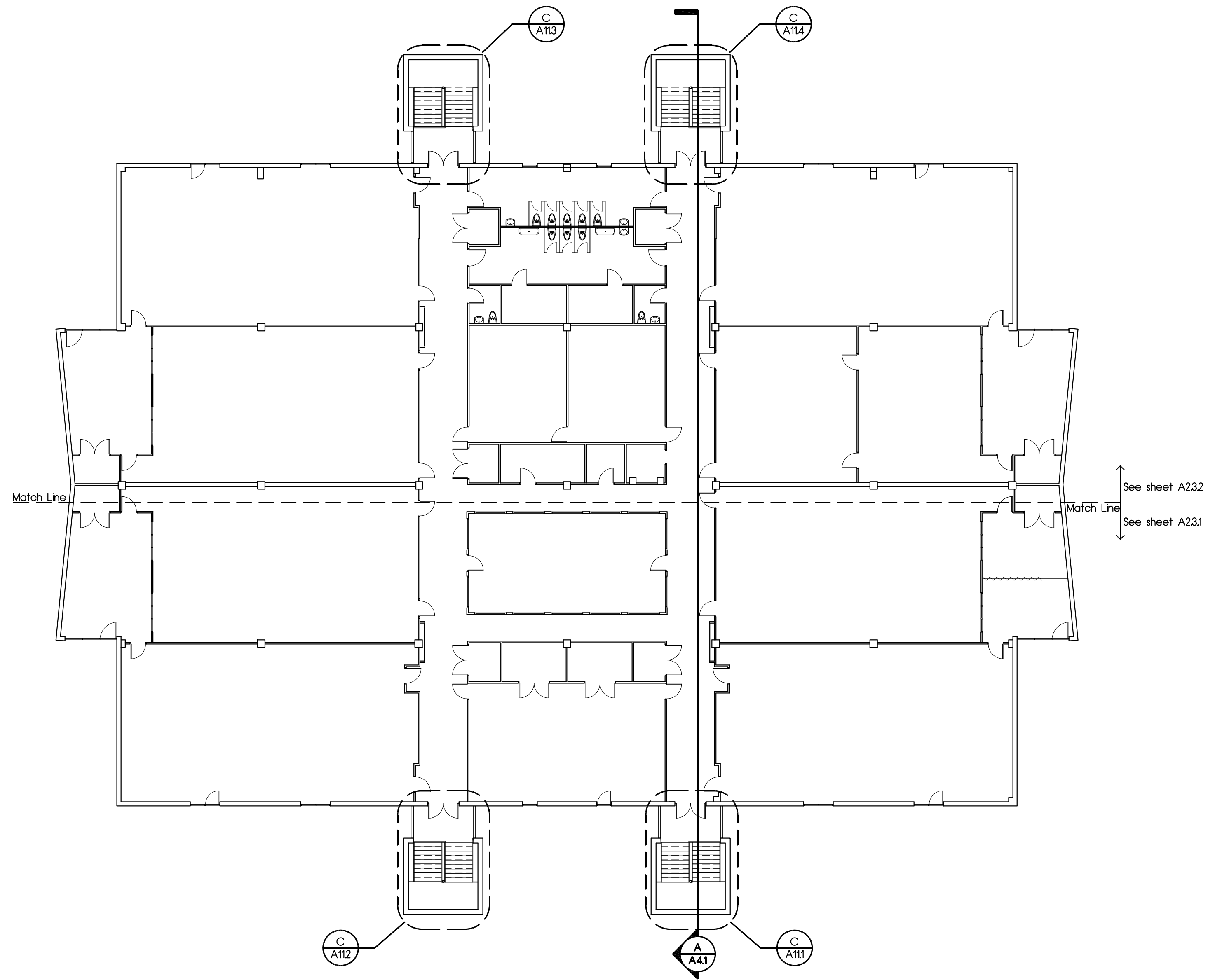
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A
**Building 1
Third Floor Plan-Overall**
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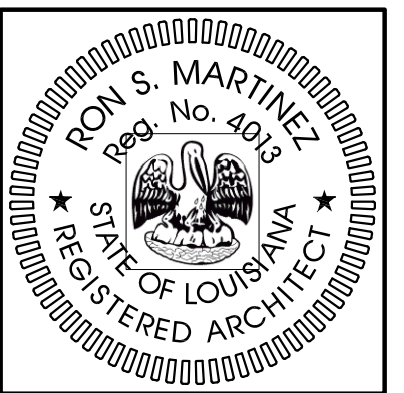
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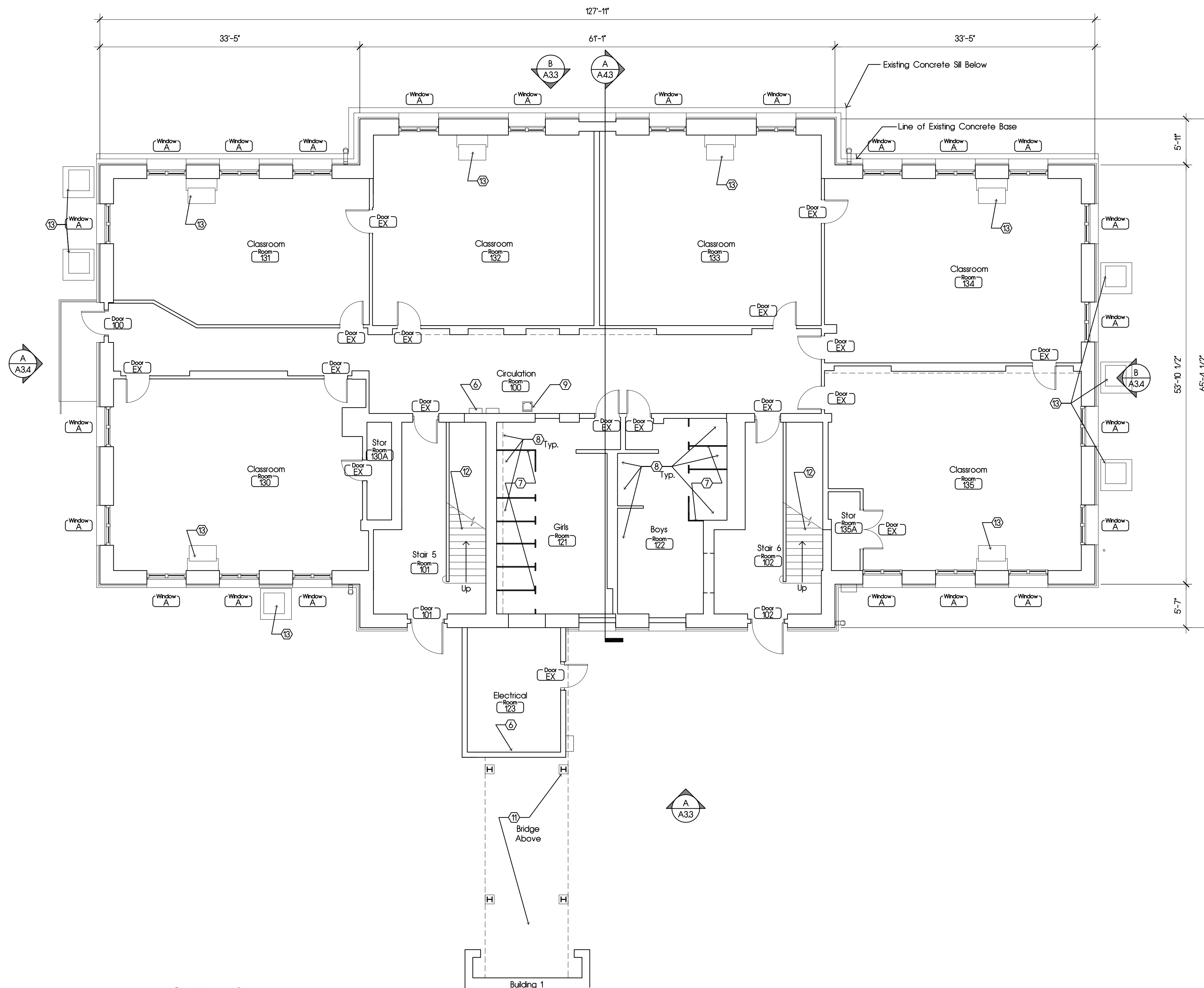
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Building 2
First Floor Plan
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)

Key Notes

- Existing HVAC unit to be removed in its entirety, including ductwork, louvers, refrigerant piping, utility connections, controls, etc. Patch all wall & trim surfaces to match existing adjacent conditions. See MEP documents for additional info.
- Area of existing water damaged floor & subfloor to be removed and replaced. GC to remove all damaged floor and subfloor and notify architect to schedule a review of the condition of the existing framing. Architect will review conditions and clarify if structural repairs are required. Existing conditions include original, solid wood T&G subfloor, original, solid wood T&G finish floor plus two layers VCT with associated 1/4" wood panel underlayment. Intent is to save as much of the original floor and subfloor as possible. Replacement floor finish is to be level with existing adjacent floor finish, build up subfloor with various plywood thickness as necessary.
- Existing casework or trim to remain, protect during construction.
- Existing casework or trim to be removed to allow floor replacement. Casework to be preserved & reinstalled. Prep & repaint casework, patch wall & trim surfaces damaged during removal / reinstallation to match existing adjacent conditions.
- Existing furred casework box to remain.
- Existing piping, utility box, conduit, etc. Coordinate w/ MEP documents for work to be performed. If MEP does not indicate any work, existing is to remain. If MEP indicates item is to be removed or replaced, patch wall / ceiling/floor finish as necessary to match existing adjacent finishes.
- Existing restroom partition to remain.
- Existing restroom fixture. Coordinate w/ MEP documents for work to be performed. If MEP does not indicate any work, existing is to remain.
- Existing drinking fountain to remain.
- Existing metal roof below, to remain.
- Existing bridge, bridge supports and stair, to remain.
- Existing wood stair, to remain. Including all handrails, guardrails, etc.
- Existing HVAC unit to remain. Coordinate with MEP documents.
- Gyp. bd. on wood stud chase for mech duct. See Mechanical documents for info on duct and damper.
- Existing casework to be relocated in room. Patch any finishes & trim damaged during work to match existing adjacent finishes. Replace any missing finishes, trim & associated supports - match existing adjacent finishes, trim profiles, etc.

Note: All work in Building 2 shall meet the Technical Preservation Services, National Park Service, US Dept of the Interior standards.

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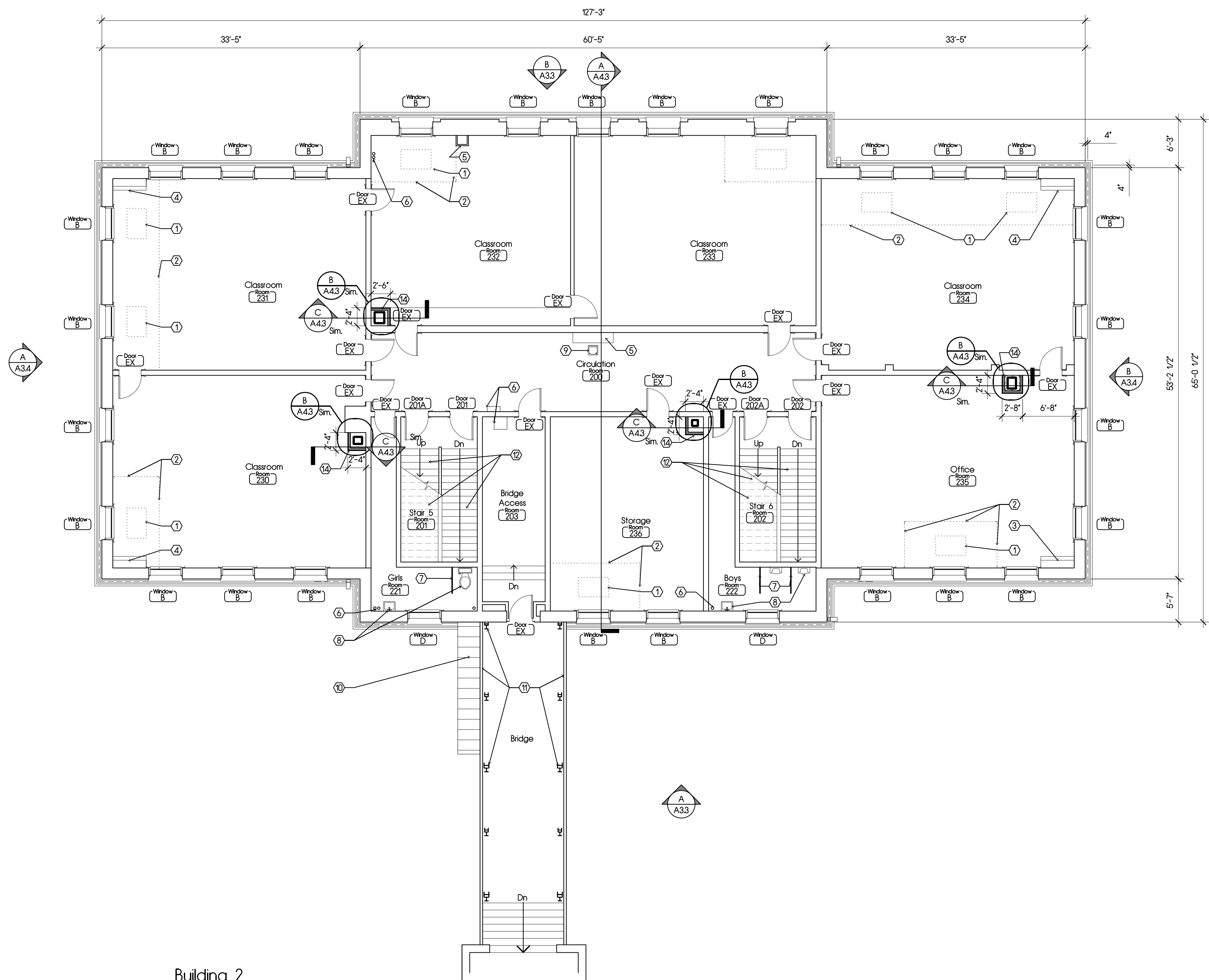
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Building 2
Second Floor Plan
SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)

Key Notes

1. Existing HVAC unit to be removed in its entirety, including ductwork, louvers, refrigerant piping, utility connections, controls, etc. Patch all wall & trim surfaces to match existing adjacent conditions. See MEP documents for additional info.
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3. Existing casework or trim to remain, protect during construction.
4. Existing casework or trim to be removed to allow floor replacement. Casework to be preserved & reinstalled. Prep & repaint casework, patch wall & trim surfaces damaged during removal / reinstallation to match existing adjacent conditions.
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7. Existing restroom partition to remain.
8. Existing restroom fixture. Coordinate w/ MEP documents for work to be performed. If MEP does not indicate any work, existing is to remain.
9. Existing drinking fountain to remain.
10. Existing metal roof below, to remain.
11. Existing bridge, bridge supports and stair, to remain.
12. Existing wood stair, to remain. Including all handrails, guardrails, etc.
13. Existing HVAC unit to remain. Coordinate with MEP documents.
14. Gyp. bd. on wood stud chase for mech duct. See Mechanical documents for info on duct and damper.
15. Existing casework to be relocated in room. Patch any finishes & trim damaged during work to match existing adjacent finishes. Replace any missing finishes, trim & associated supports - match existing adjacent finishes, trim profiles, etc.

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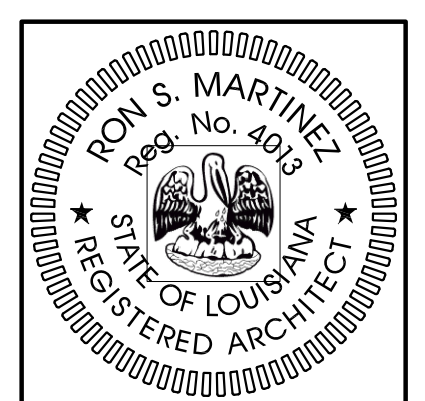


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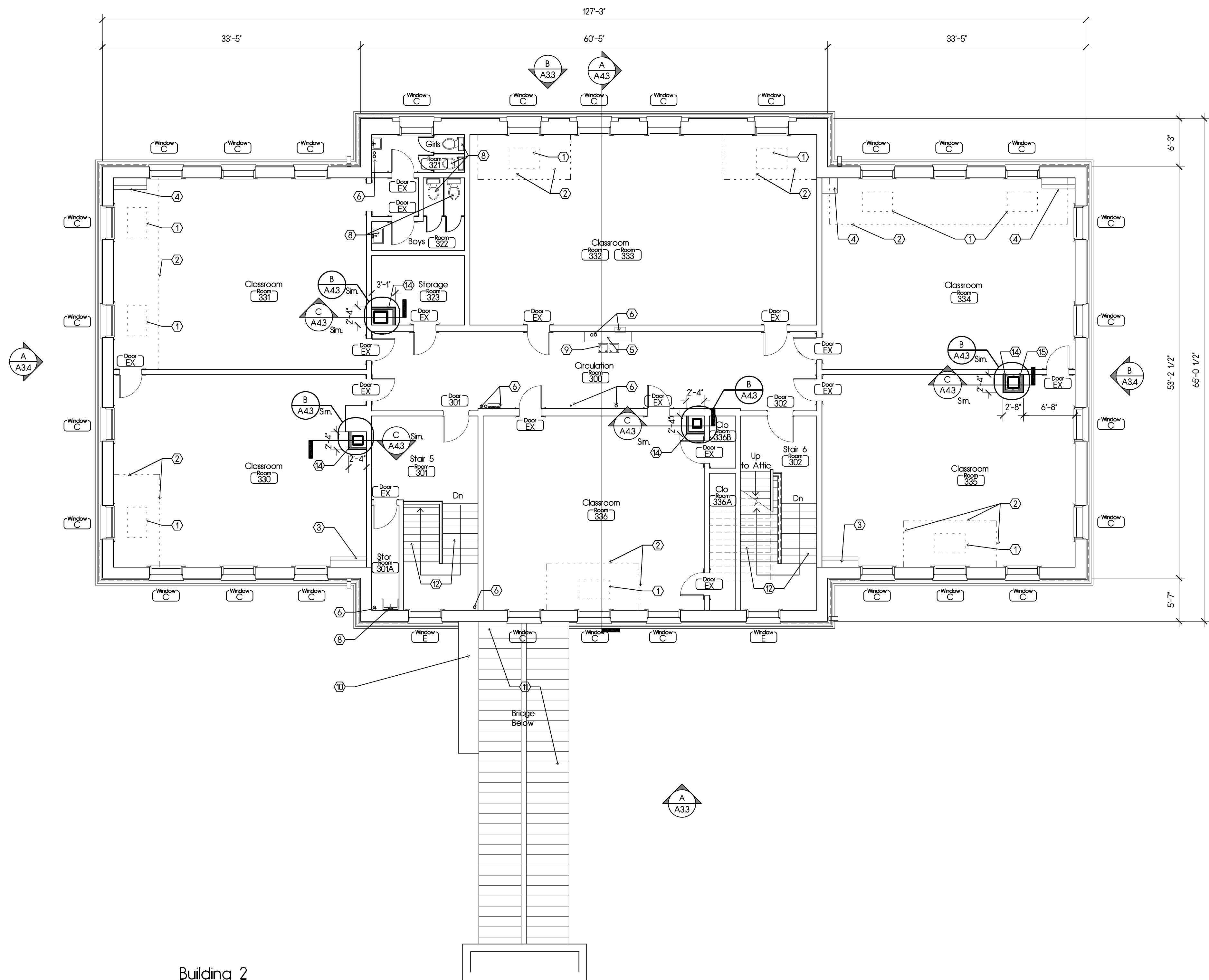
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Building 2
Third Floor Plan
SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)

Key Notes

1. Existing HVAC unit to be removed in its entirety, including ductwork, louvers, refrigerant piping, utility connections, controls, etc. Patch all wall & trim surfaces to match existing adjacent conditions. See MEP documents for additional info.
2. Area of existing water damaged floor & subfloor to be removed and replaced. GC to remove all damaged floor and subfloor and notify architect to schedule a review of the condition of the existing framing. Architect will review conditions and clarify if structural repairs are required. Existing conditions include original solid wood T&G subfloor, original solid wood T&G finish floor plus two layers VCT with associated 1/4" wood panel underlayment. Intent is to save as much of the original floor and subfloor as possible. Replacement floor finish is to be level with existing adjacent floor finish, build up subfloor with various plywood thickness as necessary.
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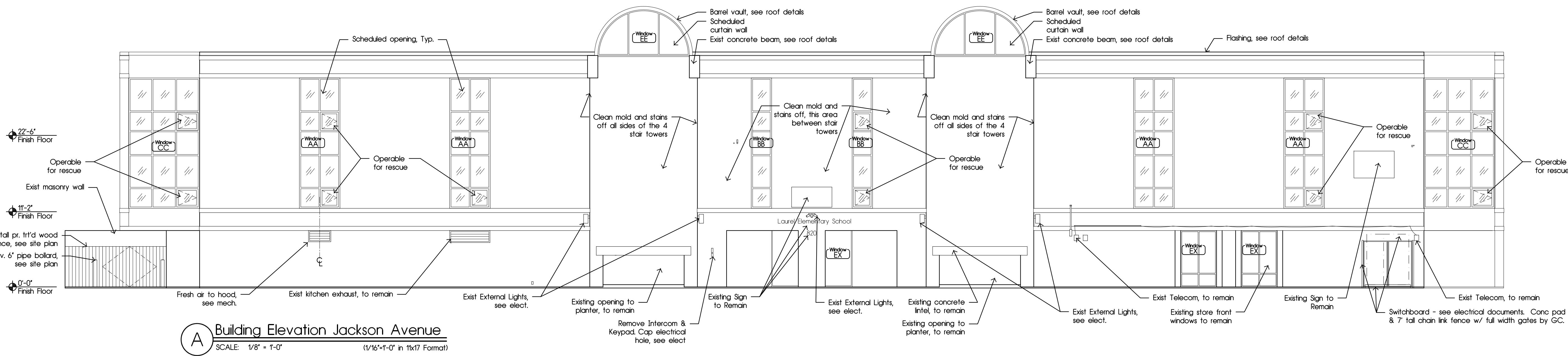


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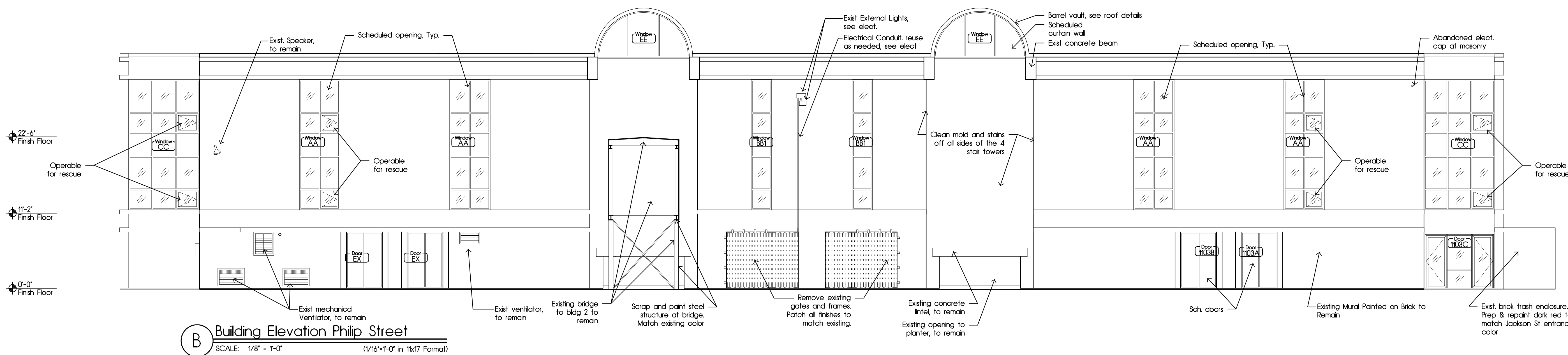
SMA Project No.
1236
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A2.6

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A Building Elevation Jackson Avenue
 SCALE: 1/8" = 1'-0" (1/16"-1'-0" in 1x17 Format)



B Building Elevation Philip Street
 SCALE: 1/8" = 1'-0" (1/16"-1'-0" in 1x17 Format)

Laurel School Refurbishment
 for the
Recovery School District
 RSD Project No: 2011-0891-0001
 820 Jackson Ave. New Orleans, LA 70130

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 Date 04 Apr 2014
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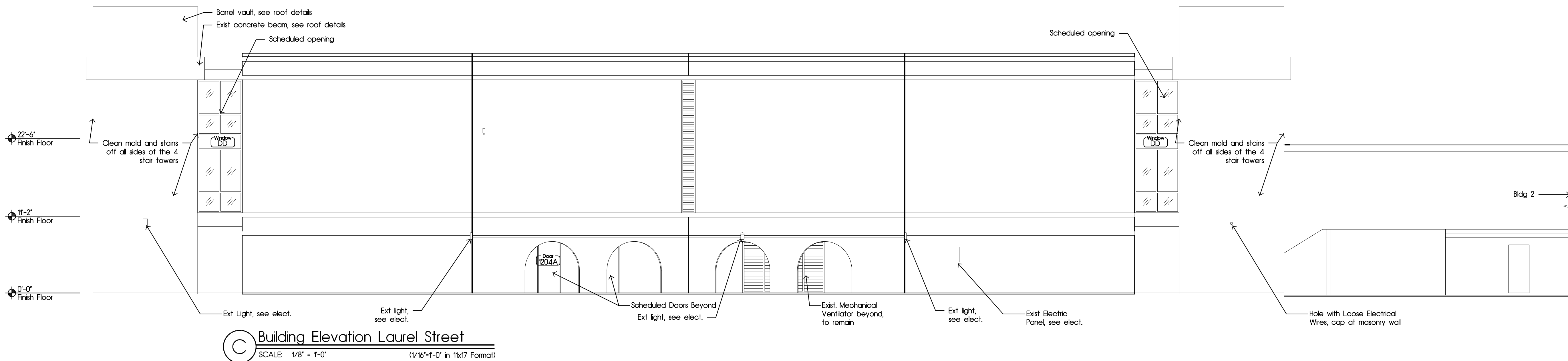
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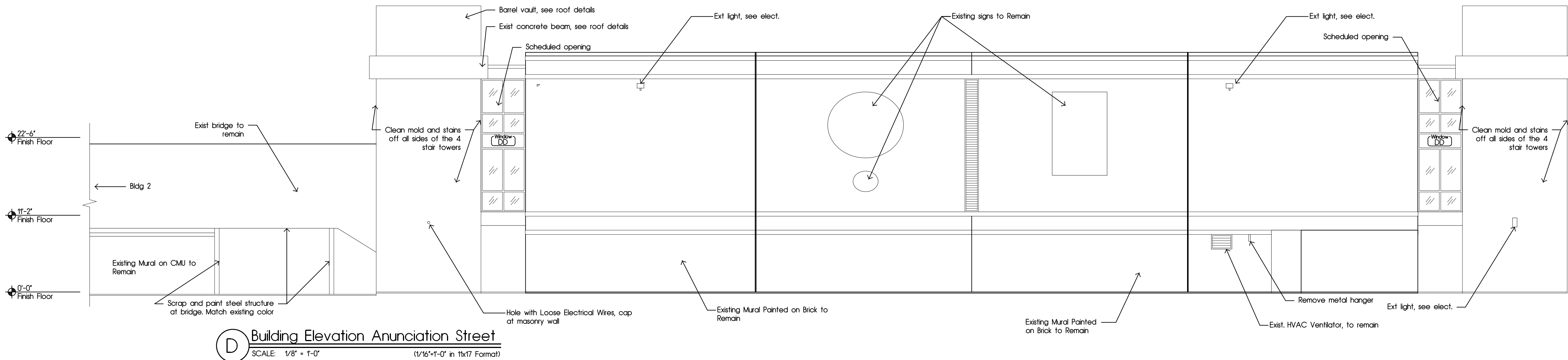


Tele (504) 896-2000
 Fax (504) 896-2220
 3642 Magazine St
 New Orleans, LA
 70115 - 2554
 scaranomartinez.com

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C Building Elevation Laurel Street
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 1x17 Format)



D Building Elevation Anunciation Street
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 1x17 Format)

Laurel School Refurbishment
 for the
Recovery School District
 RSD Project No: 2011-0891-0001
 820 Jackson Ave. New Orleans, LA 70180

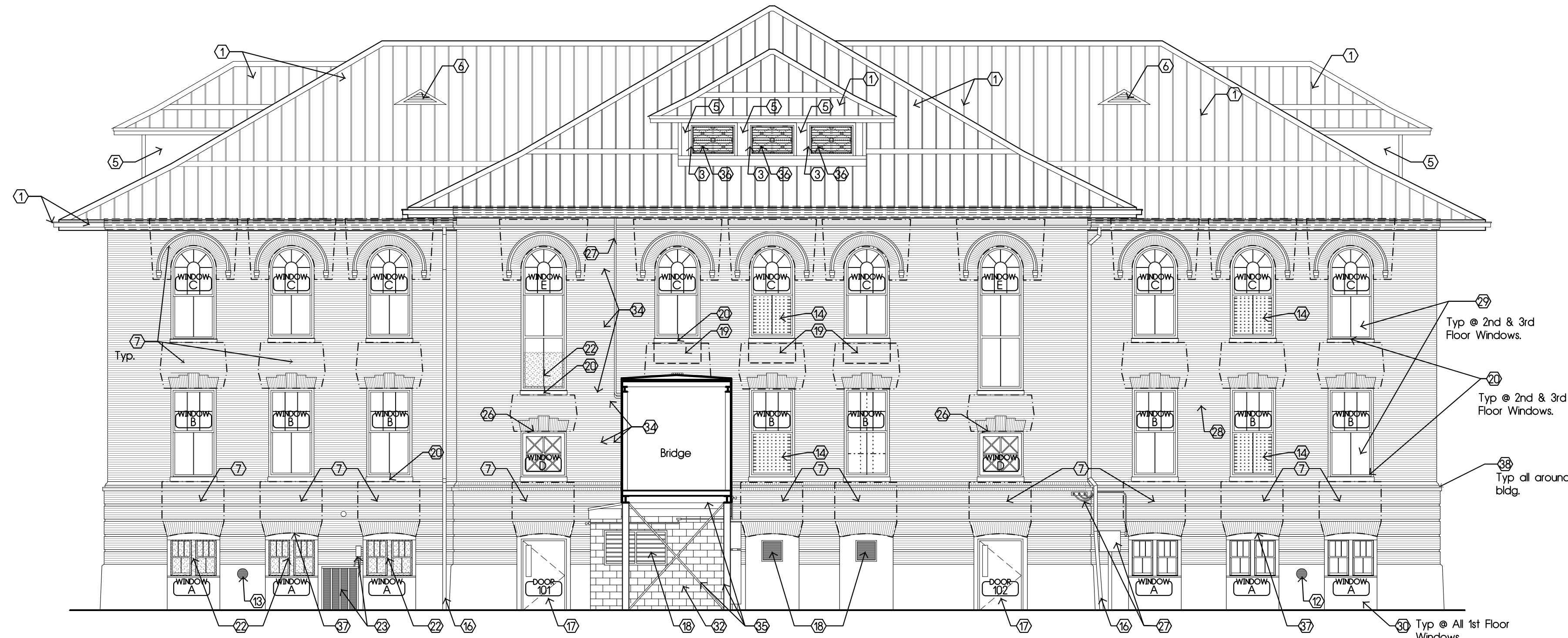
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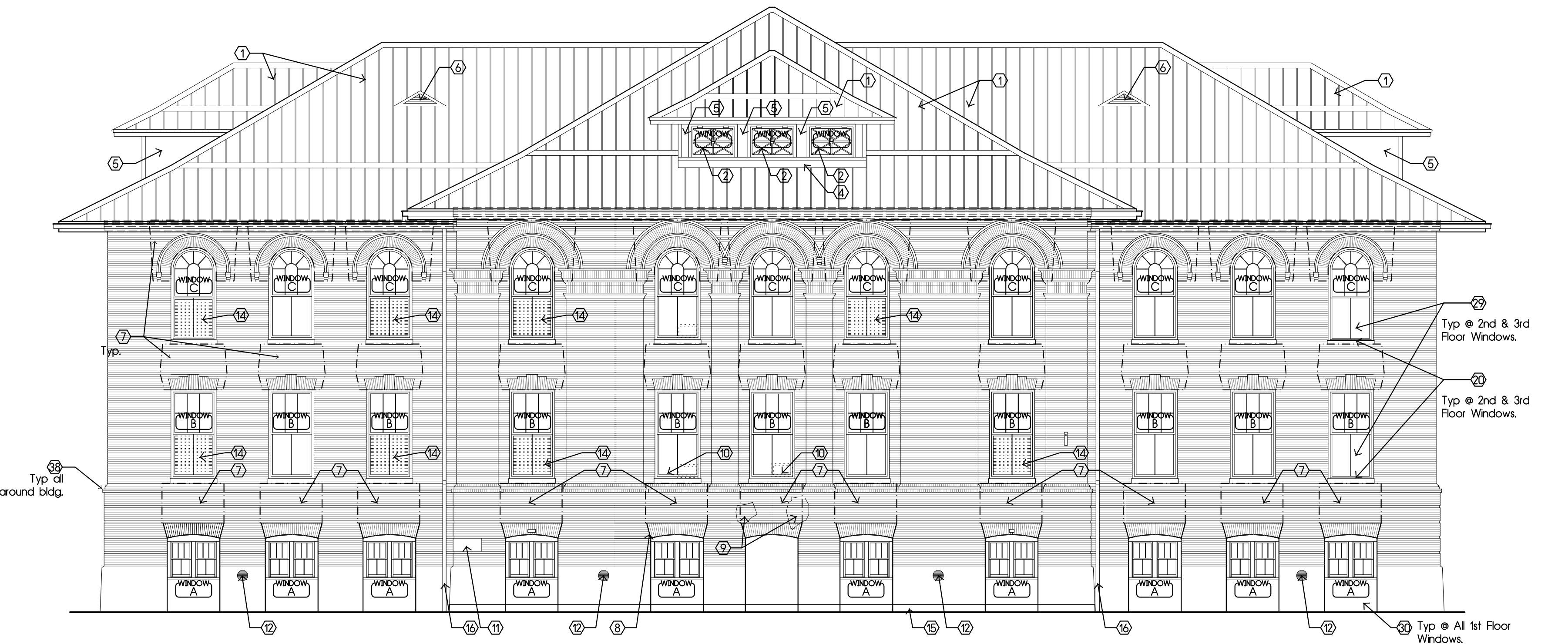
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SMA Project No.
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A Northeast Building Elevation (Jackson Ave)
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)



B Southwest Building Elevation (Phillip Street)
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)

General Notes

1. Work on Bldg 2 to be performed to meet the requirements of the National Park Service Standards & Guidelines for preserving, rehabilitating and restoring historic buildings. Technical Preservation Services, National Park Service, Department of the Interior.
2. All brick on the exterior of Bldg 2 is to be cleaned & protected w/ a transparent water repellent after repair / restoration work is complete.
3. Coordinate work on all MEP devices, fixtures and equipment with the MEP documents.

Keynotes

1. Existing standing seam metal roof with pre-finished metal soffit, fascia & gutters - no work.
2. Existing wood Awning windows - Replace. See schedule & details.
3. Existing wood trim - Prep & repaint.
4. Existing pre-finished metal soffit, siding & trim - no work.
5. Existing wood siding & trim to remain, prep & paint.
6. Existing attic vent to remain, no work.
7. Approx. area of existing brick w/ loose mortar joints. Provide temporary support, remove and rebuild to stable condition. Reuse existing brick, match existing mortar color, material and joint size.
8. Loose Brick - reinstall.
9. Plants in brick - remove. Prep & repaint.
10. Existing window unit A/C - Remove & discard.
11. Existing cornerstone to remain, prep & seal.
12. Existing intake louver to remain, no work.
13. Existing damaged intake louver, remove & replace w/ new anodized aluminum louver w/ screen. Match existing louver. Coord w/ mechanical documents.
14. Existing HVAC louver - remove.
15. Existing Concrete base to remain, prep & seal.
16. Existing D.S. to remain, no work.
17. Existing HM door in metal frame, prep & repaint.
18. Existing exhaust louver to remain, no work.
19. Existing brick - remove stains.
20. Existing cracked cast stone window sill - repair crack. Grind exist. crack to form a consistent groove, apply bonding agent and patch with material to match existing. Prep & repaint.
21. Not used.
22. Existing woven wire security screen. Remove.
23. Existing HVAC condensing unit w/ wire mesh security cage & associated piping & electricity all to remain, no work.
24. Existing pipe handrail to remain, no work.
25. Existing concrete ramp to remain, no work.
26. Existing steel lintel. Prep & repaint.
27. Existing utility box, conduit, pipe or support to remain, no work.
28. Existing utility box, conduit, pip or support to be removed.
29. Existing wood windows. Remove & replace. See window schedules & details sheet A73, 76 & 77.
30. Existing CMU infill w/ cement plaster face to remain, no work.
31. Not used.
32. Existing CMU to remain, no work.
33. Existing metal wall panel to remain, no work.
34. Existing hole in brick wall. Patch w/ mortar mixed to color of brick.
35. Existing structural steel bridge support, no work.
36. Existing wood awning windows, replace with louvers for O.A. system. See mechanical documents.
37. See gdlv. steel lintel details A77 for low arched window. Typical all arched openings on the first floor of Building 2.
38. Remove all mortar placed to shed water at brick ledge and replace w/ new to match existing mortar color.

Note: All work on Building 2 shall meet the Technical Preservation Services, National Park Service, US Dept of the Interior standards.
 GC to analyze existing mortar to verify color and material match for new mortar. Provide report to architect.

mahlum
scarano
Martinez
ARCHITECTS

A PROFESSIONAL ARCHITECTURAL CORPORATION

Tel: (504) 896-2000
 Fax: (504) 896-2220
 3642 Magazine St
 New Orleans, LA
 70115 - 2554
 scaronomartinez.com

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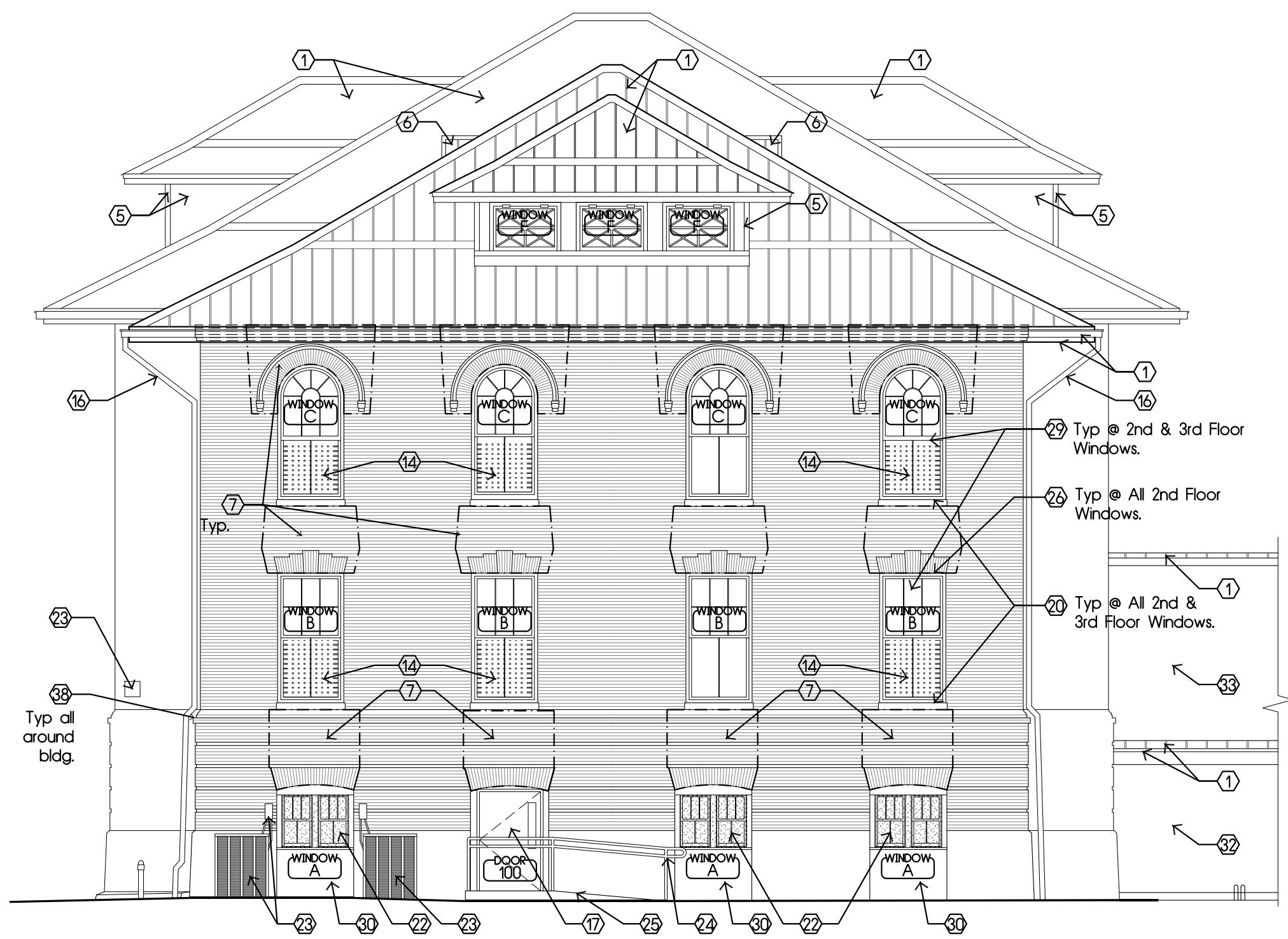
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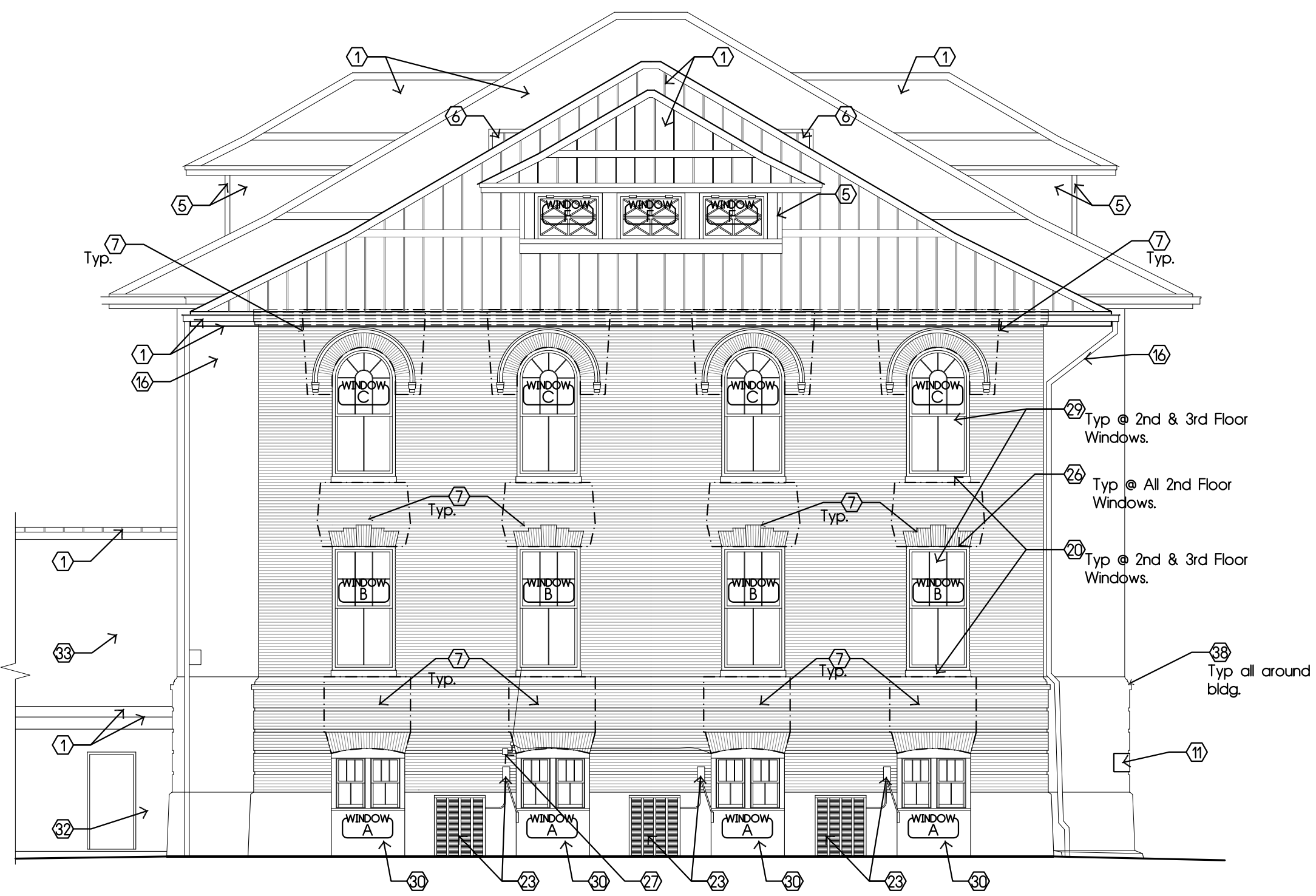
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SMA Project No.
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A Southeast Building Elevation (Annunciation St)
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)



B Northwest Building Elevation (Laurel St)
 SCALE: 1/8" = 1'-0" (1/16"=1'-0" in 11x17 Format)

General Notes

- 1. Work on Bldg 2 to be performed to meet the requirements of the National Park Service Standards & Guidelines for preserving, rehabilitating and restoring historic buildings, Technical Preservation Services, National Park Service, Department of the Interior.
- 2. All brick on the exterior of Bldg 2 is to be cleaned & protected w/ a transparent water repellent after repair / restoration work is complete.
- 3. Coordinate work on all MEP devices, fixtures and equipment with the MEP documents.

Keynotes

- 1. Existing standing seam metal roof with pre-finished metal soffit, fascia & gutters - no work.
- 2. Existing wood Awning windows - Replace. See schedule & details
- 3. Existing wood trim - Prep & repaint.
- 4. Existing pre-finished metal soffit, siding & trim - no work.
- 5. Existing wood siding & trim to remain, prep & paint.
- 6. Existing attic vent to remain, no work.
- 7. Approx. area of existing brick w/ loose mortar joints. Provide temporary support, remove and rebuild to stable condition. Reuse existing brick, match existing mortar color, material and joint size.
- 8. Loose Brick - reinstall.
- 9. Plants in brick - remove. Prep & repaint.
- 10. Existing window unit A/C - Remove & discard.
- 11. Existing cornerstone to remain, prep & seal.
- 12. Existing intake louver to remain, no work.
- 13. Existing damaged intake louver, remove & replace w/ new anodized aluminum louver w/ screen. Match existing louver. Coord w/ mechanical documents.
- 14. Existing HVAC louver - remove.
- 15. Existing Concrete base to remain, prep & seal.
- 16. Existing D.S. to remain, no work.
- 17. Existing HM. door in metal frame, prep & repaint.
- 18. Existing exhaust louver to remain, no work.
- 19. Existing brick - remove stains.
- 20. Existing cracked cast stone window sill - repair crack. Grind exist. crack to form a consistent groove, apply binding agent and patch with material to match existing. Prep & repaint.
- 21. Not used.
- 22. Existing woven wire security screen, Remove.
- 23. Existing HVAC condensing unit w/ wire mesh security cage & associated piping & electricity all to remain, no work.
- 24. Existing pipe handrail to remain, no work.
- 25. Existing concrete ramp to remain, no work.
- 26. Existing steel Intel. Prep & repaint.
- 27. Existing utility box, conduit, pipe or support to remain, no work.
- 28. Existing utility box, conduit, pip or support to be removed.
- 29. Existing wood windows. Remove & replace. See window schedules & details sheet A73, 76 & 77.
- 30. Existing CMU infill w/ cement plaster face to remain, no work.
- 31. Not used.
- 32. Existing CMU to remain, no work.
- 33. Existing metal wall panel to remain, no work.
- 34. Existing hole in brick wall. Patch w/ mortar mixed to color of brick.
- 35. Existing structural steel bridge support, no work.
- 36. Existing wood awning windows, replace with louvers for O.A. system. See mechanical documents.
- 37. See galv. steel Intel details A77 for low arched window. Typical all arched openings on the first floor of Building 2.
- 38. Remove all mortar placed to shed water at brick ledge and replace w/ new to match existing mortar color.

Note: All work on Building 2 shall meet the Technical Preservation Services, National Park Service, US Dept of the Interior standards.
 GC to analyze existing mortar to verify color and material match for new mortar. Provide report to architect.

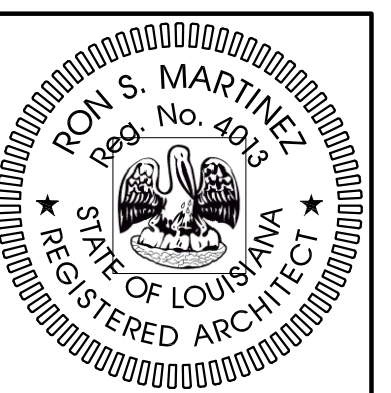


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SMA Project No.
 1236
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 A3.4

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 1

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 1

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 1

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 1-Stair Tower

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 1-Front Entrance

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 2

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 2

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 2

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 2

Laurel School Refurbishment

Mahlum / Scairono Martinez Architects
April 25, 2014



Building 2