

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

AGENDA – May 21, 2014

There will be a meeting of the Planning Advisory Committee on May 21, 2014 at 2:00 p.m. The meeting will be held in the One Stop Shop Conference Room A, City Hall Room 7W03.

- 1) **Consideration:** Minutes from the May 7, 2014 PAC meeting.
- 2) **Consideration:** A request by Loubar, L.L.C., for a purchase of a portion of the S. Miro St. public right-of-way, between the adjacent property line and the street for the location of two dumpsters, adjacent to Lot 15B, Square 134, Burtheville, 6th M.D., bounded by State Street Drive, S. Claiborne Ave., Calhoun St., and S. Miro Street. The municipal address is 6200-6210 S. Claiborne Ave.
- 3) **Consideration:** A request by Magazine Race, L.L.C, for a grant of a predial servitude, for the proposed encroachments of cantilever balconies on/over the Magazine Street and Race Street public rights-of-way, adjacent to Lots 1 & 2, Square 144, 1st M.D., bounded Euterpe Street, Constance Street, Race Street, and Magazine Street. The municipal address of the property is 1476 Magazine Place.
- 4) **Consideration:** **ZONING DOCKET 047/14** – Request by MARK A. ANZALONE for a Conditional Use to permit a four-family dwelling in an HMR-3 Historic Marigny/Tremé Residential District, on Square 498, Lot 18, in the Third Municipal District, bounded by Pauger, Marais, Urquhart, and Saint Anthony Streets. The municipal addresses are 1914-1916 PAUGER STREET. (PD 4)
- 5) **Consideration:** **ZONING DOCKET 048/14** – Request by MINH V. NGUYEN for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a retail store in an LI Light Industrial District and the Lafitte Greenway Revitalization Corridor Interim Zoning District, on Square 272, Lots A and B, in the Second Municipal District, bounded by North Galvez, Saint Louis, Conti, and North Johnson Streets. The municipal addresses are 432 NORTH GALVEZ STREET AND 2120-2126 ST LOUIS STREET. (PD 4)
- 6) **Consideration:** **ZONING DOCKET 049/14** – Request by HARRISON 901-911, LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption and video poker at an existing restaurant in the LB-2 Lake Area Neighborhood Business District and within the LADC Lake Area Design Corridor Overlay District, on Square 236, Lots 22 through 26, in the Second

Municipal District, bounded by Harrison Avenue, Marshall Foch Street, Argonne Boulevard, and Bragg Street. The municipal addresses are 901-907 HARRISON AVENUE. (PD 5)

- 7) **Consideration: ZONING DOCKET 050/14** – Request by SCOTT AIGES AND LISANNE B. AIGES for an Amendment to Ordinance No. 18,038 MCS (Zoning Docket 127/96, which granted a Conditional Use to permit a Bed and Breakfast Guest Home with three (3) guest rooms in an RD-3 Two Family Residential District) to allow building expansions and site plan modifications, including the construction of rear structures, on Square 295, Lot A, in the Third Municipal District, bounded by Poland Avenue, Burgundy, Lesseps, and North Rampart Streets. The municipal address is 908 POLAND AVENUE. (PD 7)

- 8) **Consideration: ZONING DOCKET 051/14** – Request by CHATA, LLC for an Amendment to Ordinance No. 23,730 MCS (Zoning Docket 065/09, which granted a Conditional Use to permit the sale of alcoholic beverages for consumption on premises in a standard restaurant in an LB-1 Lake Area Neighborhood Business District and the LADC Lake Area Design Corridor Overlay District) to permit the expansion of the restaurant, on Square 275, Lot G, in the Second Municipal District, bounded by Harrison Avenue, Milne Boulevard, Colbert and French Streets. The municipal addresses are 300-316 HARRISON AVENUE. (PD 5)

- 9) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, June 4, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

Respectfully yours,

Robert D. Rivers, Director
May 16, 2014

The PAC was formed to meet and advise the Executive Director of the CPC on technical issues needed in the preparation of reports required as part of CPC official duties. The purpose of the PAC is to eliminate duplicated efforts, and to assist the public in determining the necessary department/agencies to meet with to resolve any technical problems that may need to be discussed or resolved prior to consideration by the CPC. A vote of “no objection” by the PAC does not give any blanket approval for a particular project or a zoning issue or a re-subdivision request, or a sale or lease of city-owned property, but only a statement on the technical issues considered by PAC.

Item #1

Consideration: Minutes from the May 7, 2014 PAC meeting.

CITY PLANNING COMMISSION PLANNING ADVISORY COMMITTEE

Minutes – May 7, 2014

A meeting of the Planning Advisory Committee was held on Wednesday, May 7, 2014 at 2:00 PM in the One Stop Shop conference room A, City Hall Room 7W03. Those in attendance were:

MEMBERS

LaJoyce Steib (SWB)
Mark Johnson (SWB)
Denise McCray (SWB)
Max Camp (RER)
Arlen Brunson (CPC)
Tracy St. Julien (HDLC)
Tica Hartman (PPW)
Bao Vu (DPW)
Martha Griset (RER)

GUESTS

Charles Neyrey (M2 Studio)
Kerry Soniat (Campo Architects)

CPC STAFF

Dale Thayer
Stephen Kroll
Rachel Mays

- 1) **Consideration:** Minutes from the April 23, 2014 PAC meeting.

The City Planning Commission passed a motion of no objection to accept the minutes from the mast meeting. The motion was seconded by the Historic District Landmarks Commission.

- 2) **Consideration:** A request for the sale of a portion of Argonne Street, bounded by Florida Avenue, a N.O.T.C. Railroad right-of-way, Square 400 and Square 401.

A representative from the Department of Property Management Division of Real Estate and Records explained the request. The Committee made a motion of no objection subject to further review by the City Planning Commission, the Department of Property Management Division of Real Estate and Records. The motion was seconded by the Historic District Landmarks Commission.

- 3) **Consideration:** A request by Unipark Ventures, L.P., for a grant of a predial servitude, for the proposed encroachments of an awning and marquis on/over the University Place (Roosevelt Way) public right-of-way, adjacent to Lot 18, Square 2627, 1st M.D., bounded Common Street, S. Rampart Street, Canal Street, and University Place (Roosevelt Way). The municipal address of the property is 145 University Place.

The applicant was present to explain the request. A representative from the Department of Property Management Division of Real Estate and Records confirmed the applicant's proposed installation of a new marquis which a staff member from the City Planning Commission affirmed would be in compliance with a provision of a Conditional Use application linked with this request. A representative from the Sewage and Water Board requested that the proposed canopy with a height of nine feet and seven inches (9'7") be raised to ten feet (10') in order for there to be ample clearance for any potential maintenance issues. The Committee made a motion of no objection subject to further review by the Department of Property Management Division of Real Estate and Records and Sewage and Water Board. The motion was seconded by the Historic District Landmarks Commission.

- 4) **Consideration:** A request by Logan Chase Enterprises, L.L.C., for a grant of a predial servitude, for the proposed encroachment of a gallery on/over the St. Charles Avenue public right-of-way, adjacent to Lot 5A, Square 210, 1st M.D., bounded by Terpsichore Street, Carondelet Street, Martin Luther King, Jr., Boulevard, and St. Charles Avenue. The municipal address of the property is 1515-1517 St. Charles Avenue.

The architect presiding over this development was present to explain the proposal. A representative from Sewage and Water Board stated that they would have to reject the location of the proposed balcony due to its proximity to an existing water line. The applicant resolved to work with the Sewage and Water Board regarding a preferred location of the proposed balcony. The Committee passed a motion of objection. The motion was seconded by the Historic District Landmarks Commission.

- 5) **Consideration:** A request by Supreme Bright New Orleans, L.L.C., for a grant of a predial servitude, for the proposed encroachment of an awning on/over the Carondelet Street public right-of-way, adjacent to Lots 6 and 7, Square 227, 1st M.D., bounded by Gravier Street, Baronne Street, Common Street, and Carondelet Street. The municipal address of the property is 221 Carondelet Street.

Kerry Soniat with Campo Architects was present to explain the request. A representative from the Department of Parks and Parkways informed the applicant that the Downtown Development District no longer requires tree grades; however the applicant will need to obtain a permit for the proposed tree installation. A representative from the Sewage and Water Board requested further review of the proposed tree installation in order to approve the proposed location due to the presence of existing water lines. The Committee passed a motion of no objection subject to further review by the Department of Property Management Division of Real Estate and Records. The motion was seconded by the Department of Property Management Division of Real Estate and Records.

- 6) **Consideration: ZONING DOCKET 042/14** – Request by OAK STREET HOLDINGS, LLC for a Conditional Use to permit a residential/commercial development with more than 10,000 square feet of floor area in a C-1A General Commercial District, on Square 139, Lots 8, Pt. Lots 7&9 or 28, Lot 6, Pt. Lot 7 or 27, Lot 5 and Pt. Lot 4, and Lot 26, in the Seventh Municipal District, bounded by Oak, Leonidas, Monroe, and Zimpel Streets. The municipal addresses are 8610-8622 OAK STREET. (PD 3)

Charles Neyrey, the site's architect of record, was present to explain the request pertaining to a development proposal for the construction of a new structure with 22 residential units, approximately 1,800 sq. ft. of ground floor retail space and a total of 45 off-street parking spaces on the ground level. A representative from the Department of Public Works (DPW) made a request for the applicant to submit plans showing the footings and existing sidewalk adjacent to the proposed development. Additionally, the representative requested that the revised plans indicate more clearly the location of the proposed structure and a drainage plan on the subject lot. A representative from the City Planning Commission (CPC) asked about the distance from the front columns to the front property line. Mr. Neyrey stated this distance is 5'. A representative from the Sewerage and Water Board (SWB) stated that at least 10' in clearance is needed from grade to the lowest point of the balcony over any public rights-of-way. A representative from the Department of Property Management - Office of Real Estate and Records (RER) stated that an air rights lease will need to be secured for the encroachments into the public right-of-way. The representative of RER also expressed concern over the Entergy power line, which appeared to be ongoing between the applicant and Entergy. A representative from the Department of Parks and Parkways (P&PKYS) asked for additional information relating to the seating (chairs and tables) and planters within the public right-of-way. The representatives from P&PKYS and the CPC agreed that no street trees will be required for the proposed development. The Committee passed a motion of no objection to both the Conditional Use and the granting of a predial servitude subject to further review by the Department of Public Works, Sewerage and Water Board, and Real Estate and Records. The motion was seconded by the Historic District Landmarks Commission.

- 7) **Consideration: ZONING DOCKET 043/14** – Request by CITY COUNCIL MOTION M-14-92 for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at an existing gasoline service station in a C-2 General Commercial District and the ICUC Inner-City Urban Corridor District overlay, on Square 690 or 690-A or 691, Lot A-2, in the First Municipal District, bounded by Tulane Avenue, Jefferson Davis Parkway, South Clark Street, and Gravier Street. The municipal address is 3402 TULANE AVENUE. (PD 4)

None of the departmental representatives present at the meeting had any comments regarding the application. The Committee passed a motion of no objection subject to further review by the City Planning Commission. The motion was seconded by the Historic District Landmarks Commission.

- 8) **Consideration: ZONING DOCKET 044/14** – Request by CITY COUNCIL MOTION M-14-93 for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at an existing gasoline service station in an LI Light Industrial District and the UC Urban Corridor District overlay, on an undesignated square, Lot 59-A, in the Third Municipal District, bounded by Chef Menteur Highway, Old Gentilly Road, Read Boulevard, and the Louisville & Nashville Railroad. The municipal address is 9232 CHEF MENTEUR HIGHWAY. (PD 9)

None of the departmental representatives present at the meeting had any comments regarding the application. The Committee passed a motion of no objection subject to further review by the City Planning Commission.

- 9) **Consideration: ZONING DOCKET 045/14** – Request by CITY COUNCIL MOTION M-14-121 for the rescission of Ordinance No. 12,052 MCS and a Conditional Use to permit a neighborhood center in an RD-2 Two-Family Residential District, on Square 791, Lots A and B, in the Sixth Municipal District, bounded by South Broad, General Taylor, South Dorgenois, and General Pershing Streets. The municipal address is 3900 GENERAL TAYLOR STREET. (PD 3)

A staff member from the City Planning Commission briefly explained the status of the proposal and petitioned request. A representative from the Department of Property Management Division of Real Estate and Records made a motion of no objection subject to further review by the City Planning Commission and the Historic District Landmarks Commission. The motion was seconded by the City Planning Commission and opposed by the Historic District Landmarks Commission.

- 10) **Any Other Matters:** The next Planning Advisory Committee meeting will be held on Wednesday, May 21, 2014, at 2:00 p.m. in the One Stop Shop conference room A, City Hall, Room 7W03.

Respectfully yours,

Robert D. Rivers, Director
May 8, 2014

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Item #2

Consideration: A request by Loubar, L.L.C., for a purchase of a portion of the S. Miro St. public right-of-way, between the adjacent property line and the street for the location of two dumpsters, adjacent to Lot 15B, Square 134, Burtheville, 6th M.D., bounded by State Street Drive, S. Claiborne Ave., Calhoun St., and S. Miro Street. The municipal address is 6200-6210 S. Claiborne Ave.

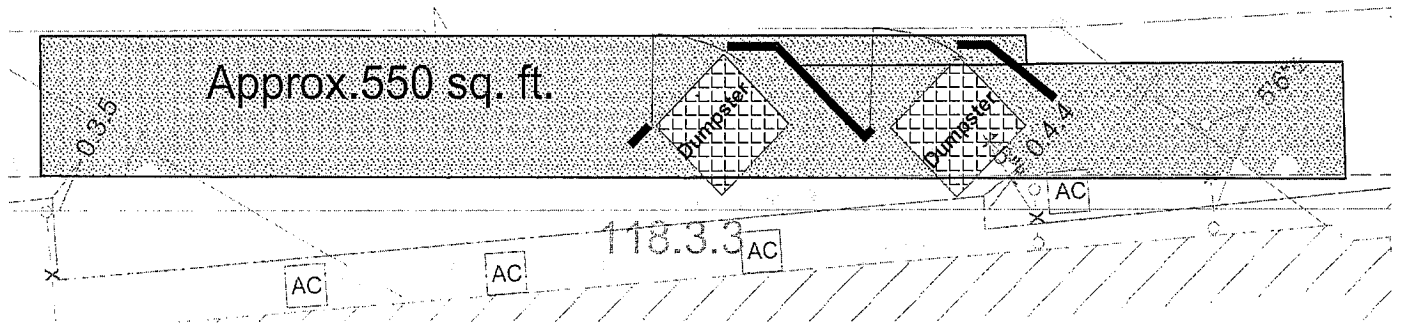
Proposal for Dumpsters showing screens and Gates

This shows 2 rather than 3 as in the past.

Note: This location without screens was approved in 2001 by the City Council.

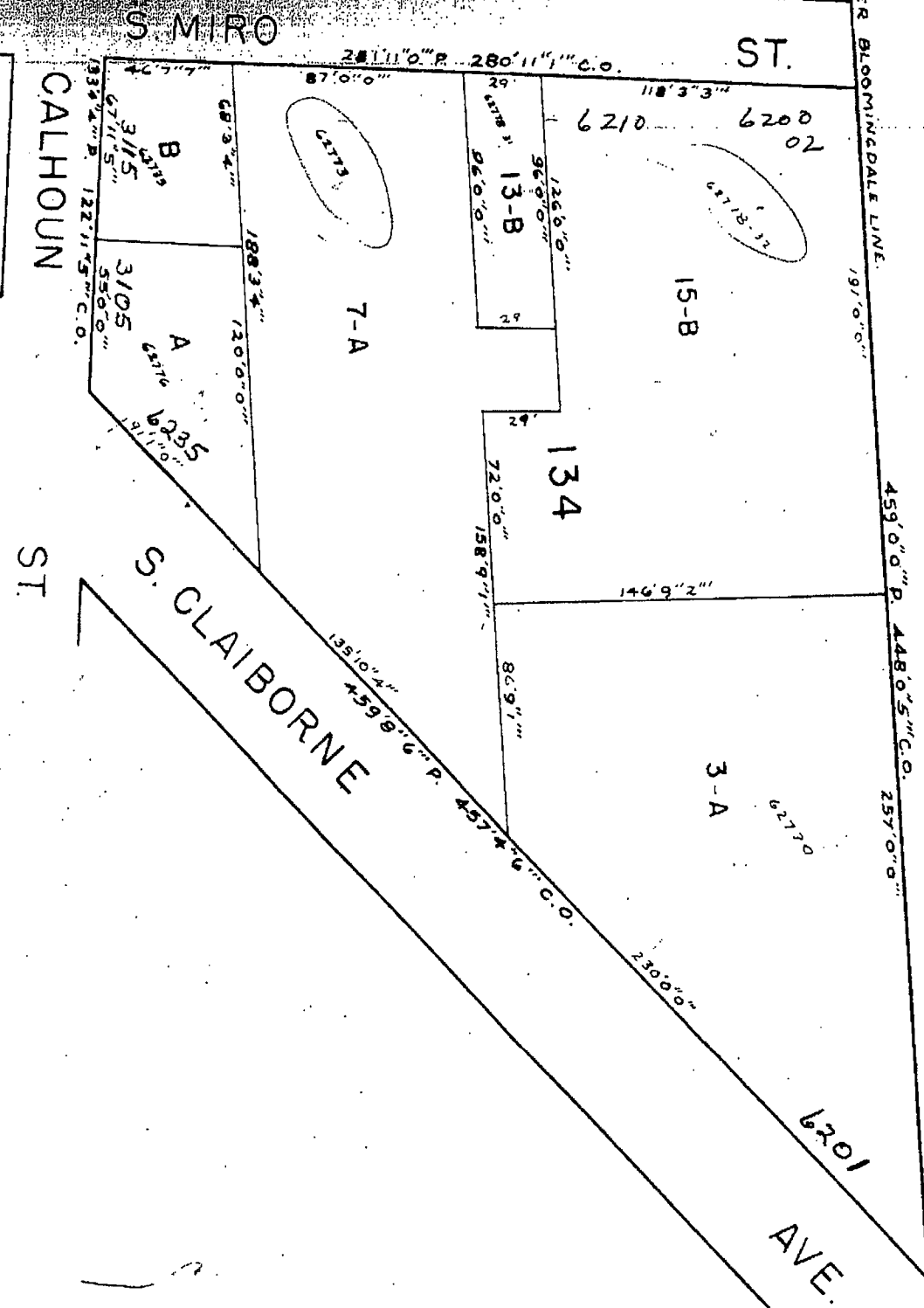
Loubar's preference is to purchase the land. If required we will screen the dumpsters and if necessary include gates.

S. Miro Street behind 3-story building.



Submitted by Loubar LLC
February 2014

#2



GM-15A SCALE: 1"=60'

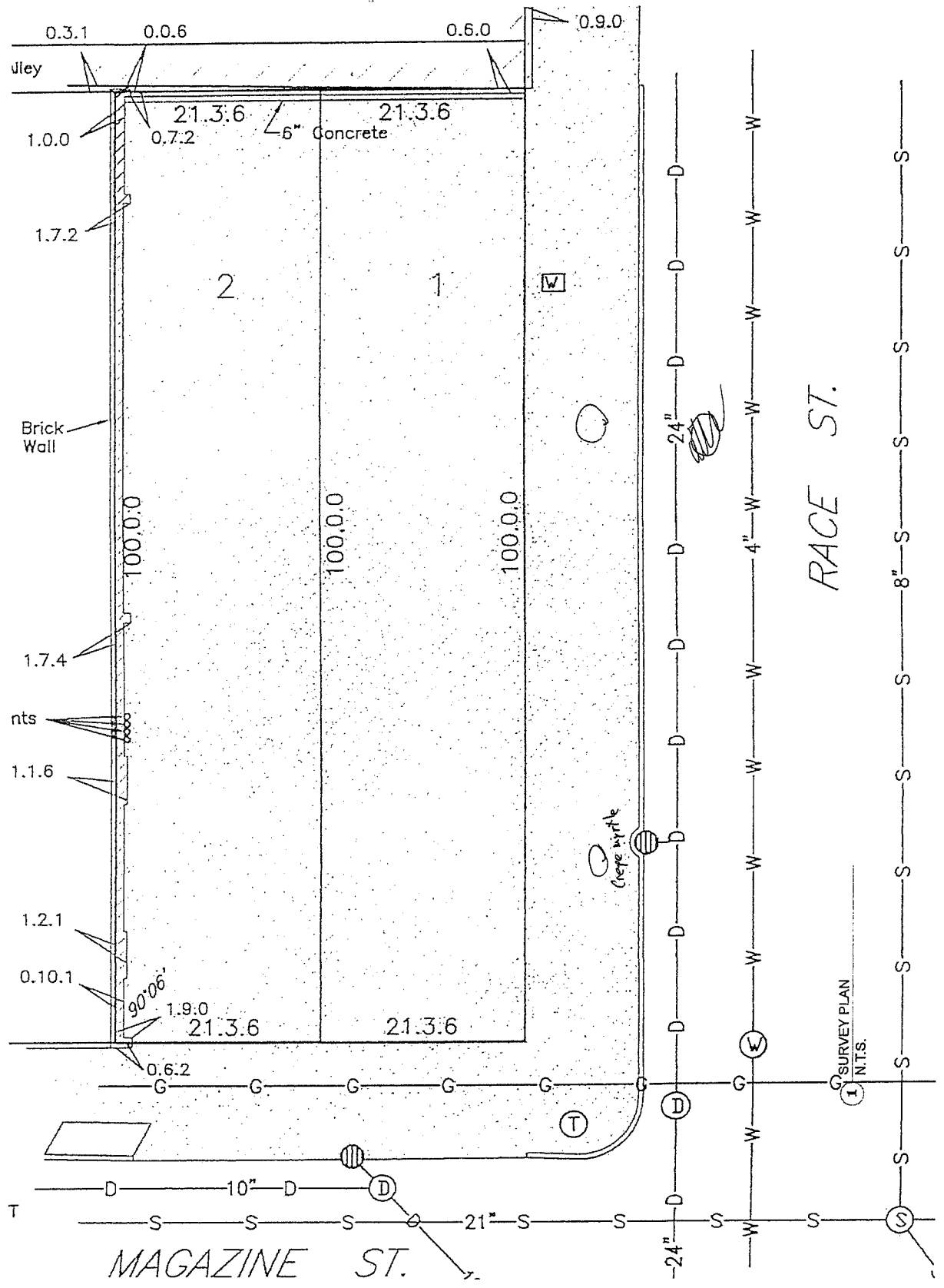
Item #3

Consideration: A request by Magazine Race, L.L.C, for a grant of a predial servitude, for the proposed encroachments of cantilever balconies on/over the Magazine Street and Race Street public rights-of-way, adjacent to Lots 1 & 2, Square 144, 1st M.D., bounded Euterpe Street, Constance Street, Race Street, and Magazine Street. The municipal address of the property is 1476 Magazine Place.

#3

1476 MAGAZINE STREET PROJECT INFORMATION		MUNICIPALITY		SURVEY		A100	
DATE: 04/14		SCALE: AS SHOWN		SHEET: 1		PROJECT: 1476 MAGAZINE STREET	

Post Ironed Drawn



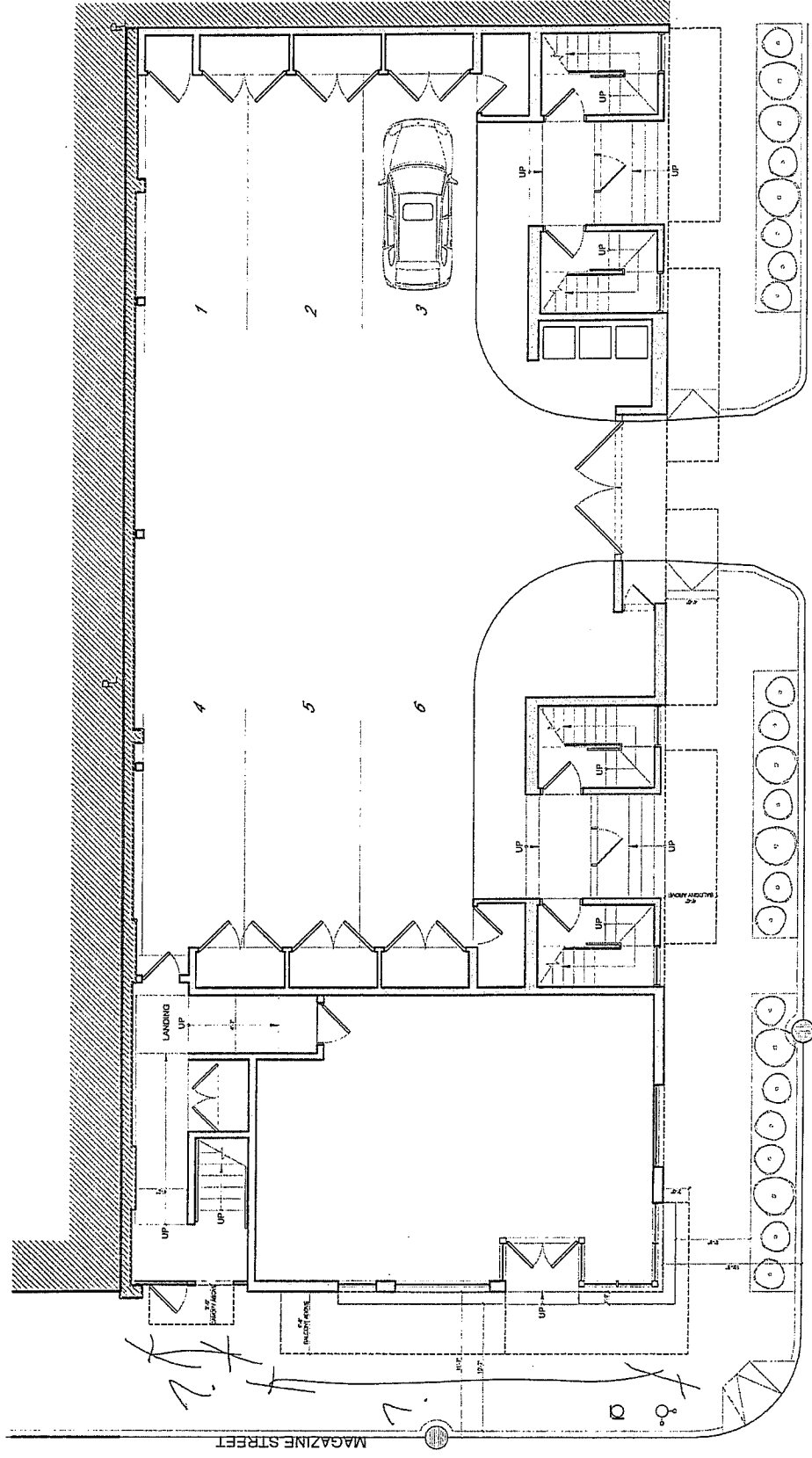
RACE ST.

MAGAZINE ST.

1 SURVEY PLAN
N.T.S.

43

1475 MAGAZINE STREET PROJECT INFORMATION		SHEET TITLE AND DESCRIPTION	
1475 MAGAZINE STREET		GROUND FLOOR PLAN	
DATE: 11/11/14		SCALE: AS NOTED	
PROJECT NO. A101		SHEET NO. 1	



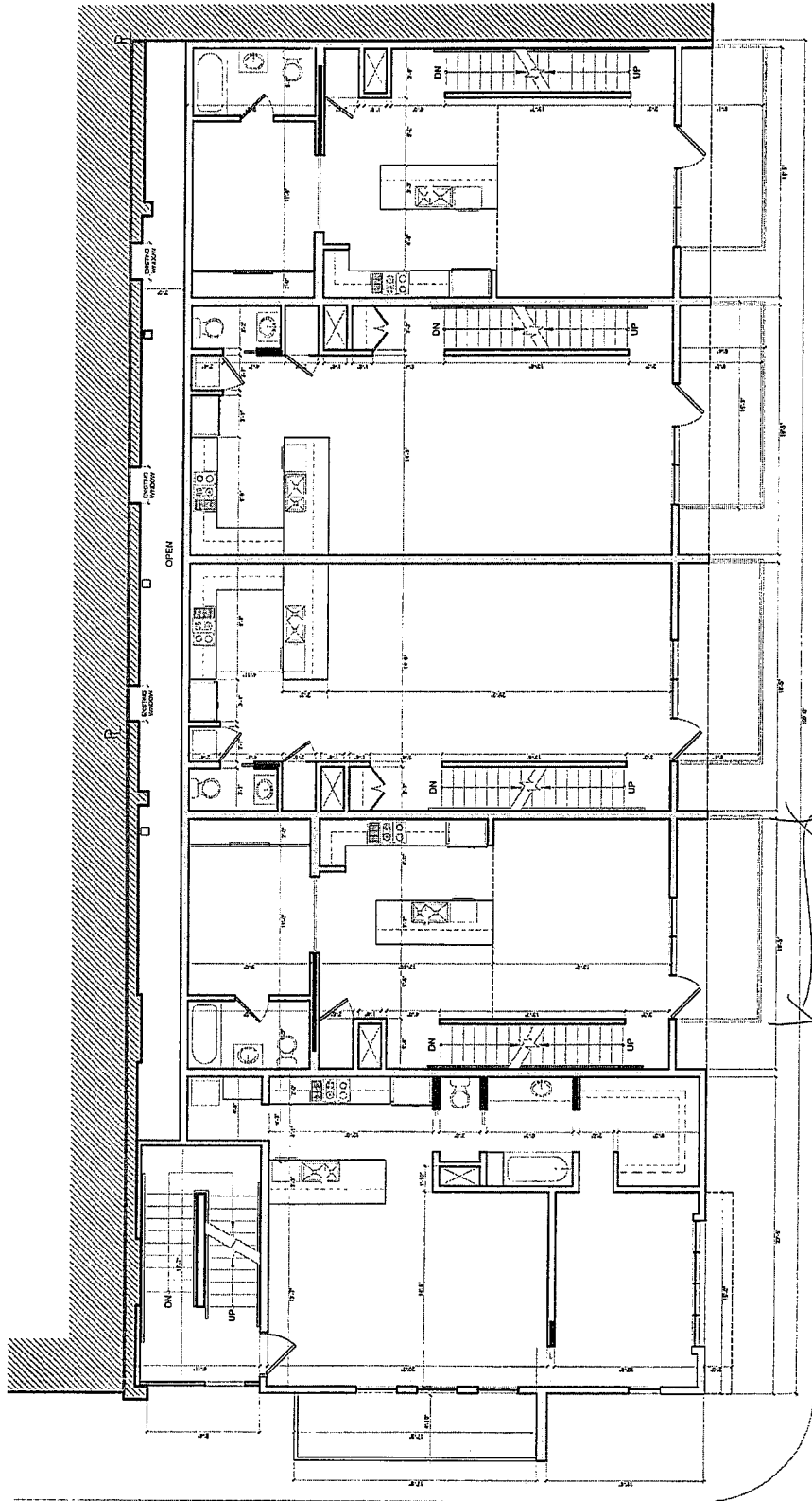
RACE STREET

MAGAZINE STREET

1 GROUND FLOOR PLAN
1/8" = 1'

#3

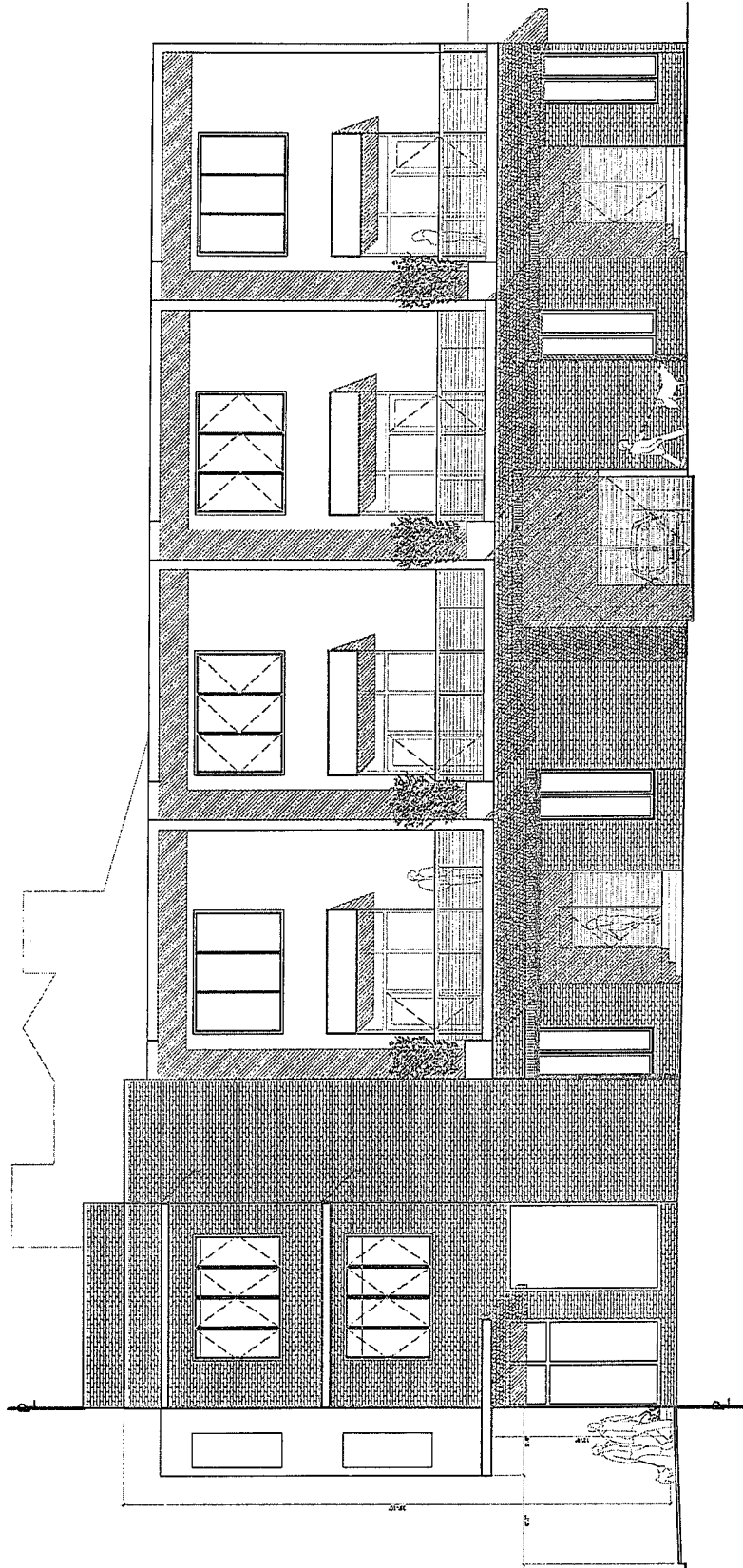
1470 MAGAZINE STREET PROJECT INFORMATION		DATE	PROJECT NO.
NO. OF SHEETS	TOTAL NO. OF SHEETS	DATE	PROJECT NO.
SECOND FLOOR PLAN			
A102		DATE	



1 SECOND FLOOR PLAN
1/8" = 1'

#3

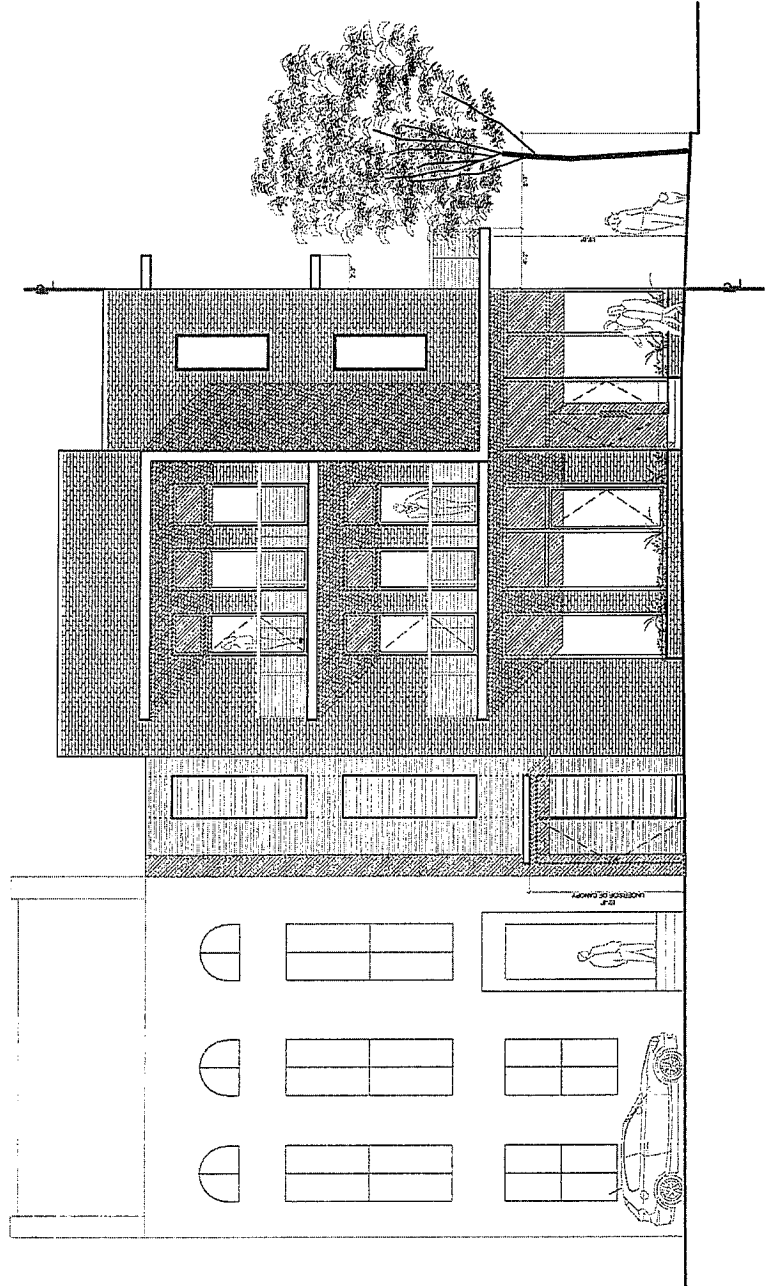
1476 MAGAZINE STREET PROJECT INFORMATION		DRAWING INFORMATION		REVISIONS		ELEVATIONS		SHEET INFORMATION	
PROJECT NO.		DATE		NO.		NO.		NO.	
OWNER		ARCHITECT		SCALE		DATE		SHEET NO.	
1476 MAGAZINE STREET		[Blank]		[Blank]		[Blank]		A200	



1 RACE STREET ELEVATION
1/8" = 1'

#3

CIVIL ENGINEERING PROJECTS AND ARCHITECTURE 1476 MAGAZINE STREET PROJECT INFORMATION	1476 MAGAZINE STREET PROJECT INFORMATION	DRAWING TITLE	SHEET NUMBER AND TOTAL SHEETS	DATE	SCALE	PROJECT NO.	CLIENT	ARCHITECT	ENGINEER	CHECKED BY	APPROVED BY	ELEVATIONS	SHEET NO.	TOTAL SHEETS
													A201	1

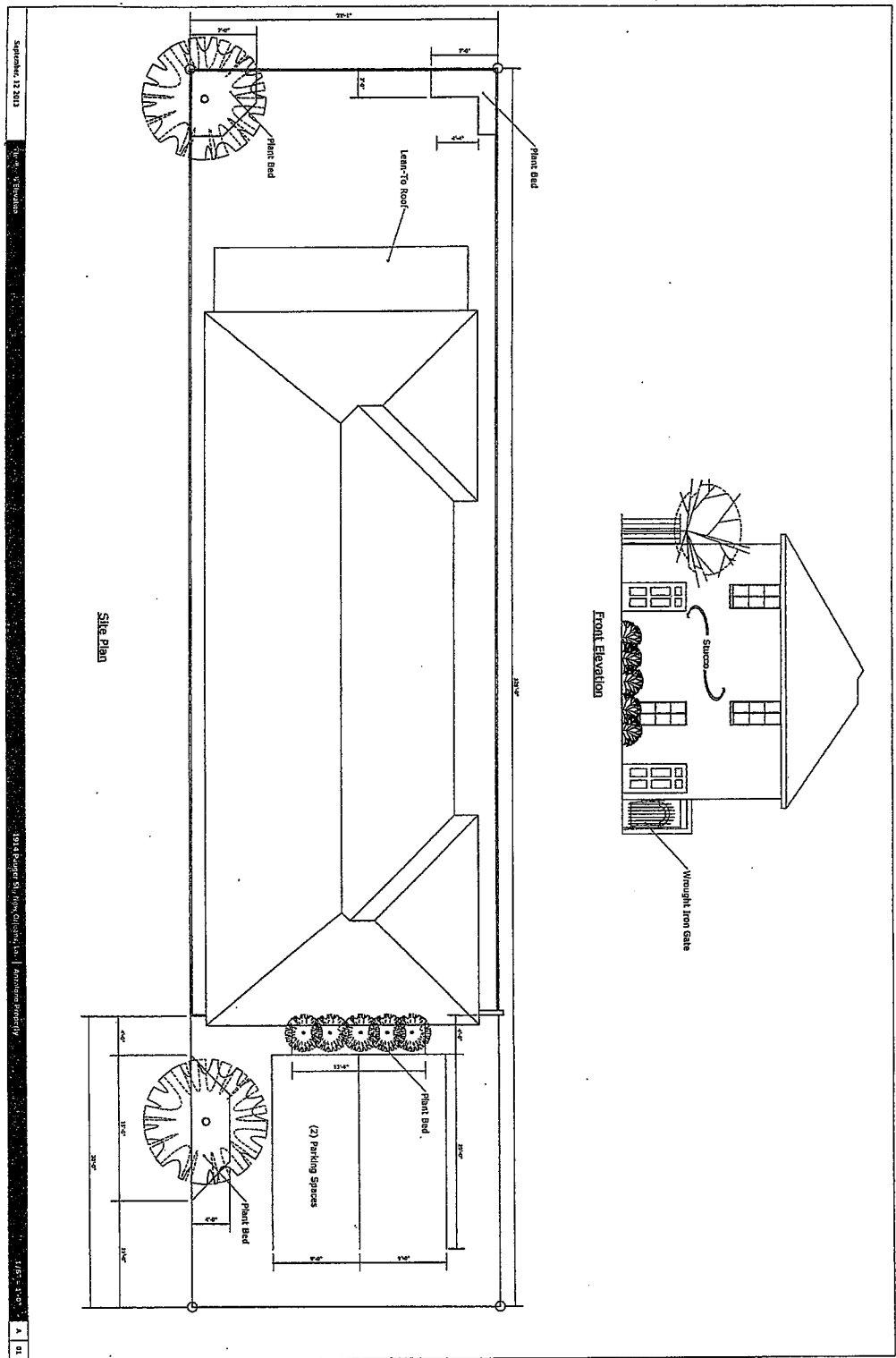


2 MAGAZINE STREET ELEVATION
 1/8" = 1'

Item #4

Consideration: **ZONING DOCKET 047/14** – Request by MARK A. ANZALONE for a Conditional Use to permit a four-family dwelling in an HMR-3 Historic Marigny/Tremé Residential District, on Square 498, Lot 18, in the Third Municipal District, bounded by Pauger, Marais, Urquhart, and Saint Anthony Streets. The municipal addresses are 1914-1916 PAUGER STREET. (PD 4)

#4



SQ. No. 498
3RD DISTRICT

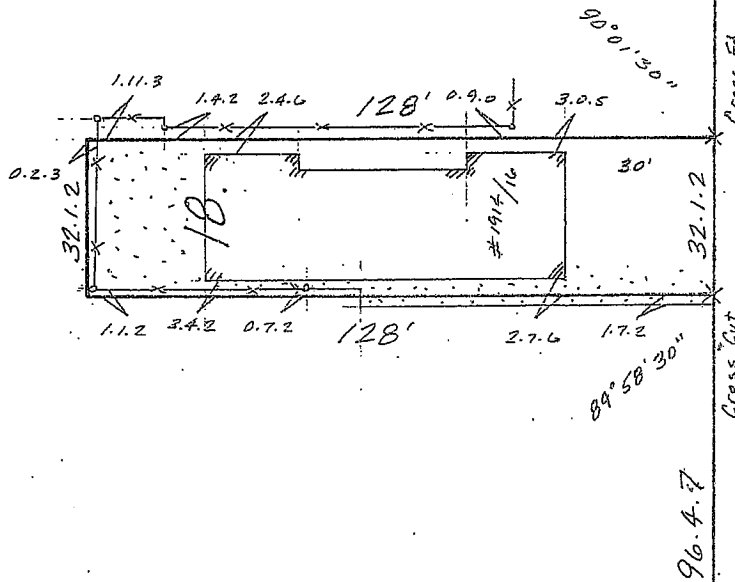
ORLEANS PARISH
NEW ORLEANS, LA.

#4

URQUHART ST. SIDE

ST. ANTHONY ST. SIDE

ST. PAUGER (Formerly Bourbon)



MARAIS ST.
(Formerly Morales)

Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.

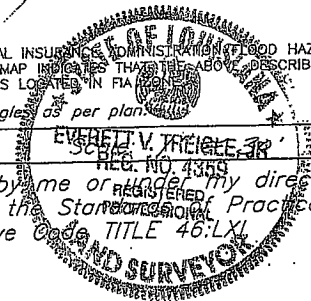
THE SERVITUDES SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP INDICATES THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FIA...

Lot angles as per plan

Date: June 21, 2012.

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standard of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:XXI Chapter 25 for a Class "C" survey.
Made at the request of Mark Anzalone.

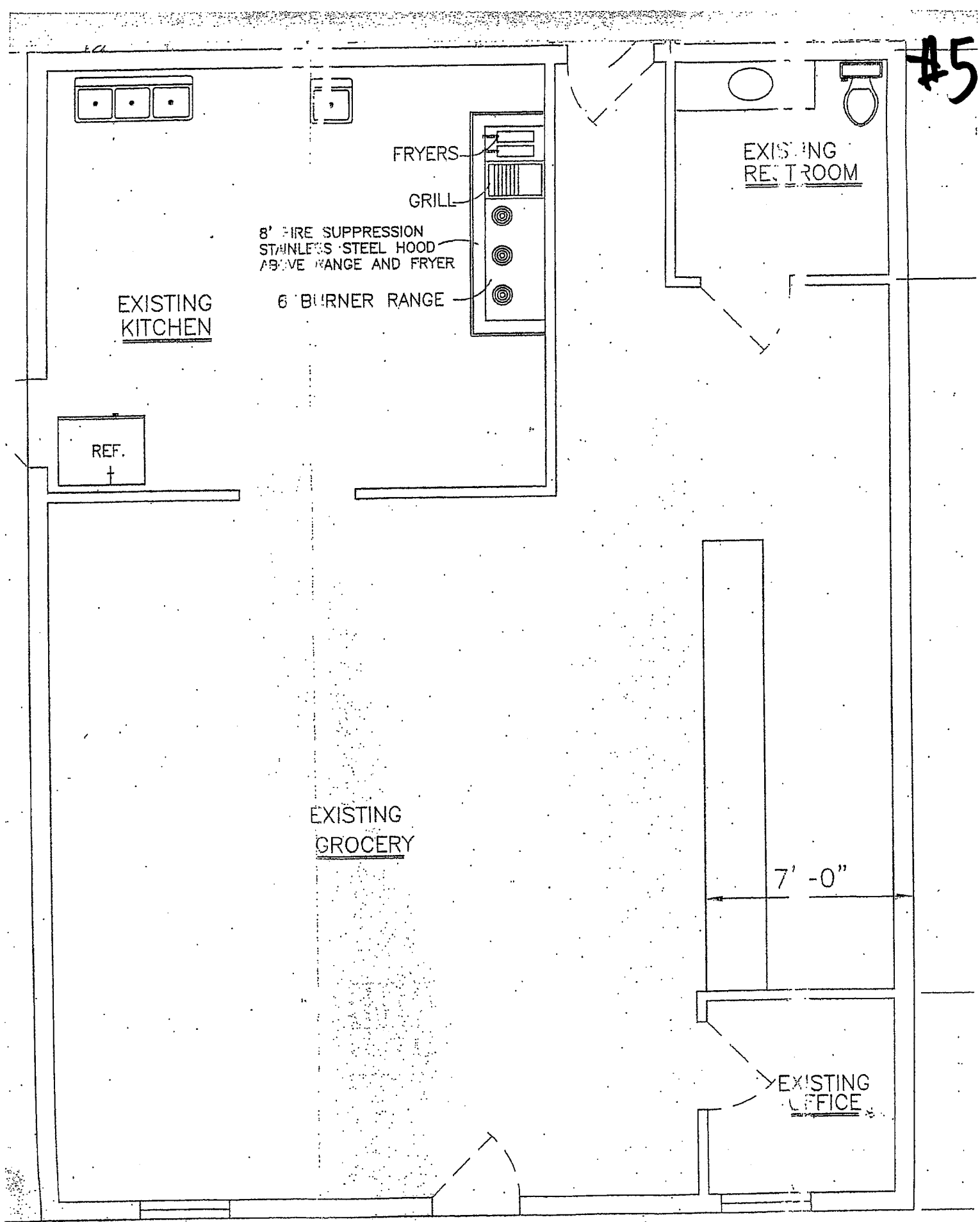


Gilbert, Kelly & Couturie, Inc., Surveying & Engineering
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

Item #5

Consideration: ZONING DOCKET 048/14 – Request by MINH V. NGUYEN for a Conditional Use to permit the sale of alcoholic beverages for off-premises consumption at a retail store in an LI Light Industrial District and the Lafitte Greenway Revitalization Corridor Interim Zoning District, on Square 272, Lots A and B, in the Second Municipal District, bounded by North Galvez, Saint Louis, Conti, and North Johnson Streets. The municipal addresses are 432 NORTH GALVEZ STREET AND 2120-2126 ST LOUIS STREET. (PD 4)

#5



EXISTING KITCHEN

FRYERS

GRILL

8' FIRE SUPPRESSION
STAINLESS STEEL HOOD
ABOVE RANGE AND FRYER

6 BURNER RANGE

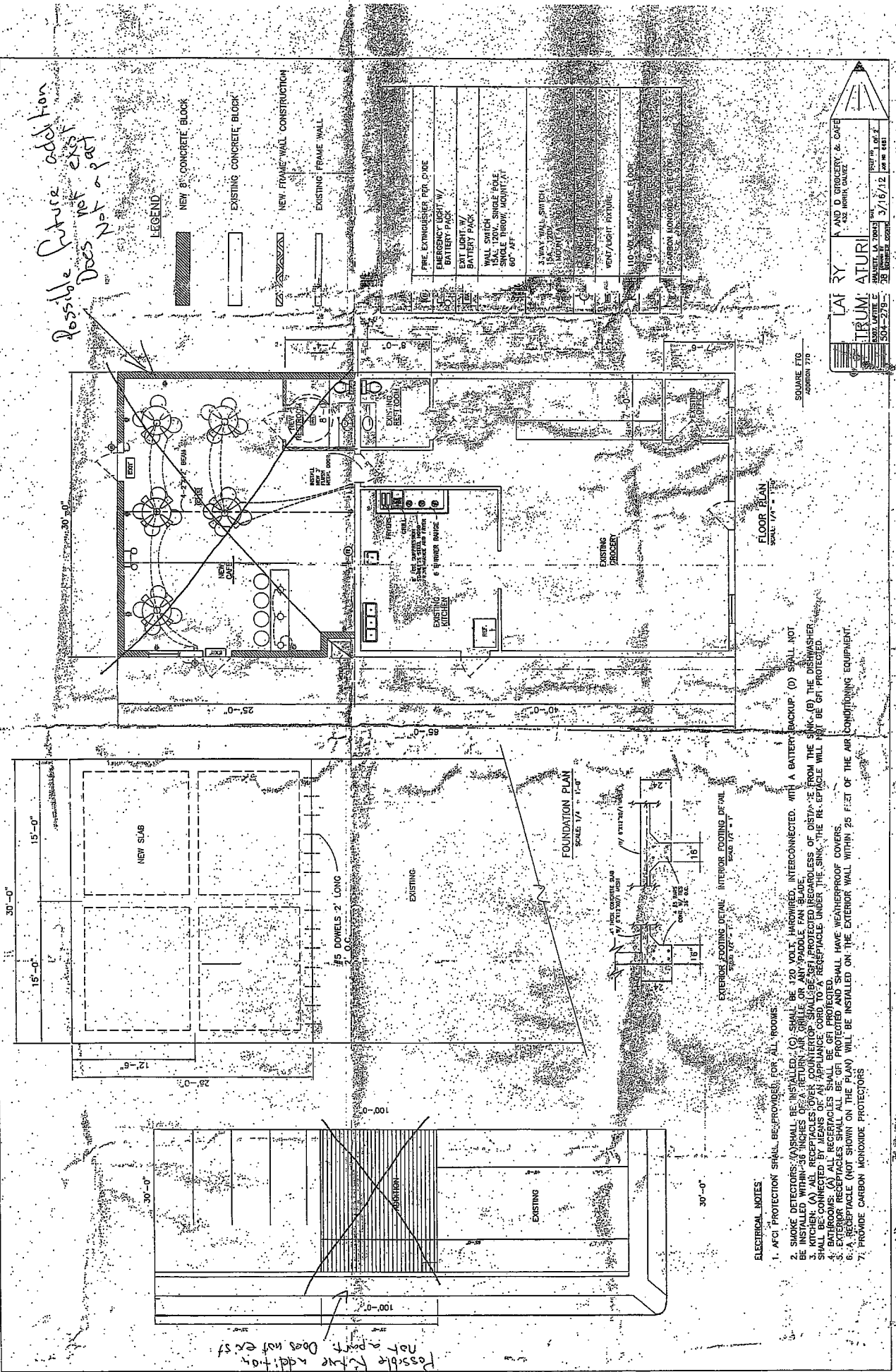
REF.
+

EXISTING REST ROOM

EXISTING GROCERY

7' - 0"

EXISTING OFFICE



*Possible Future addition
Does not exist
Not a part*

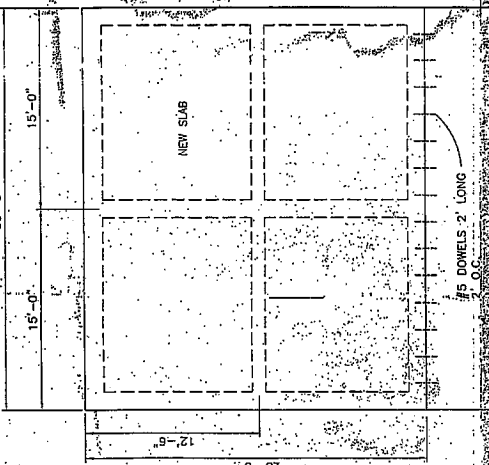
LEGEND

- NEW 8" CONCRETE BLOCK
- EXISTING CONCRETE BLOCK
- NEW FRAME WALL CONSTRUCTION
- EXISTING FRAME WALL

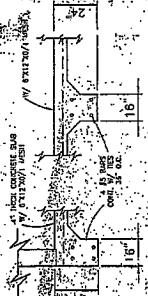
PRE. EXTINGUISHER PER CODE
EMERGENCY LIGHT W/ BATTERY PACK
EXIT LIGHT W/ BATTERY PACK
WALL SWITCH 15A/120V SINGLE POLE SINGLE THROW MOUNT AT 60" AFF
3-WAY WALL SWITCH 15A/120V
110-VOLT 52" ABOVE FLOOR
GREEN MONOXIDE DETECTOR
VENT LIGHT FRAME

ATURI
 5716/12
 AND O PROSECUTIVE & CORP
 432 NORTH CANAL
 SUITE 200
 NEW ORLEANS, LA 70112
 (504) 581-7778

FLOOR PLAN
SCALE: 1/4" = 1'-0"



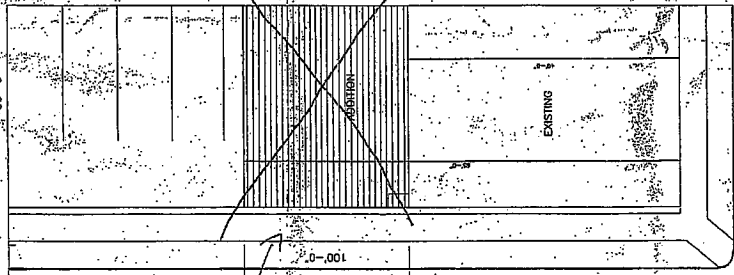
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



EXTERIOR FOOTING DETAIL INTERIOR FOOTING OF WALL
SCALE: 1/4" = 1'-0"

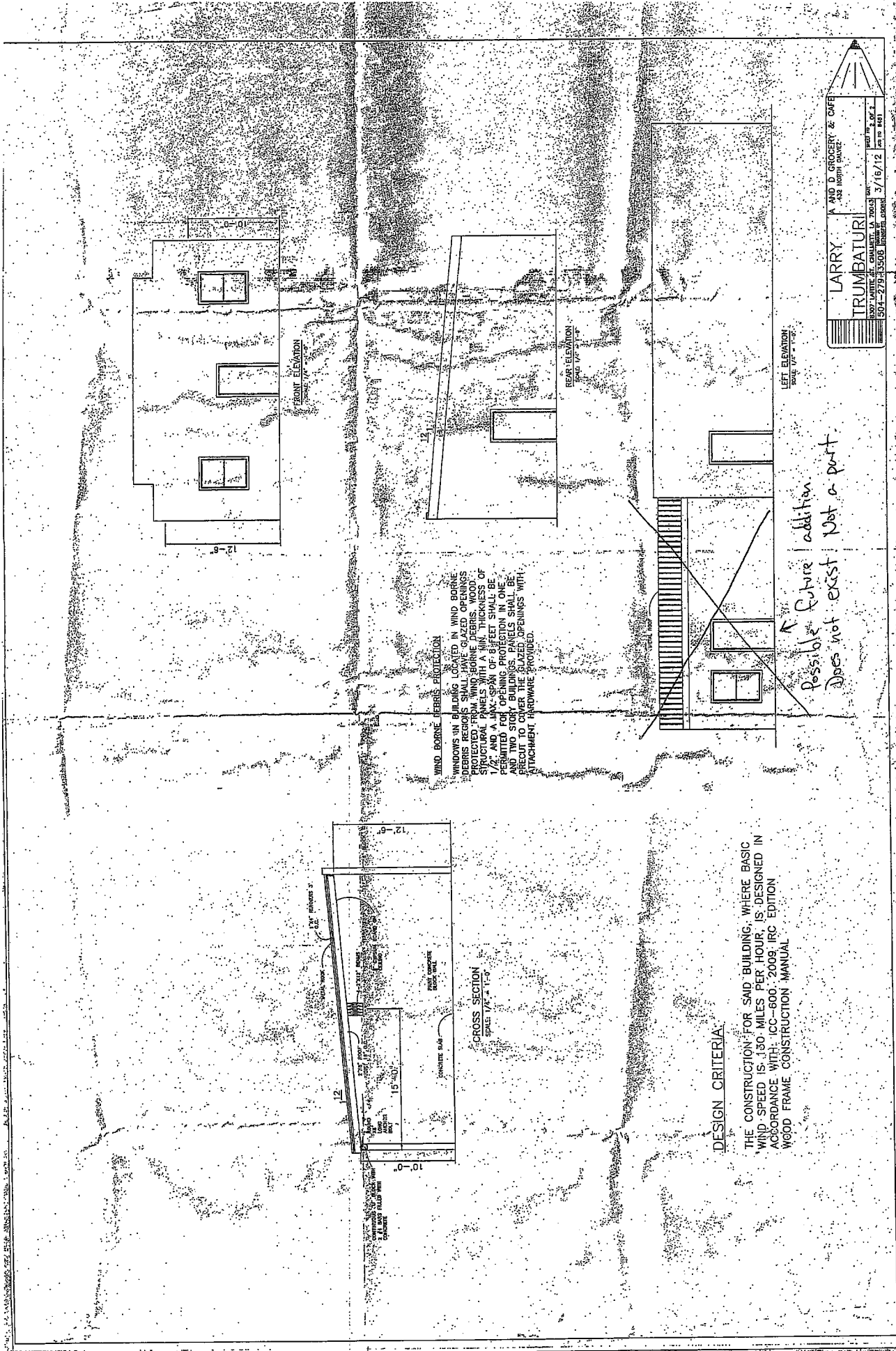
ELECTRICAL NOTES:

1. AFCI PROTECTION SHALL BE PROVIDED FOR ALL ROOMS.
2. SMOKER DETECTORS (A) SHALL BE 120 VOLT, INTERCONNECTED, WITH A BATTERY BACKUP. (D) SHALL NOT BE RETURNED TO THE KITCHEN OR ANY PARALLEL FAN BLADE SHALL BE CONNECTED BY MEANS OF AN APPLIANCE CORD TO A RECEPTACLE UNDER THE SINK. (B) THE DISHWASHER SHALL BE GFI PROTECTED (REGARDLESS OF DISTANCE FROM THE SINK). (C) THE RECEPTACLE WILL NOT BE GFI PROTECTED.
3. KITCHEN: (A) ALL RECEPTACLES OVER COUNTERTOP SHALL BE GFI PROTECTED (REGARDLESS OF DISTANCE FROM THE SINK). (B) THE DISHWASHER SHALL BE GFI PROTECTED.
4. BATHROOMS: (A) ALL RECEPTACLES SHALL BE GFI PROTECTED.
5. EXTERIOR RECEPTACLES SHALL ALL BE GFI PROTECTED AND SHALL HAVE WEATHERPROOF COVERS.
6. A RECEPTACLE (NOT SHOWN ON THE PLAN) WILL BE INSTALLED ON THE EXTERIOR WALL WITHIN 25 FEET OF THE AIR CONDITIONING EQUIPMENT.
7. PROVIDE CARBON MONOXIDE PROTECTORS



EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

*Possible Future addition
Does not exist
Not a part*



WIND-BORNE DEBRIS PROTECTION
 WINDOWS IN EXPOSED WALLS AND GLAZED OPENINGS
 PROTECTED FROM WIND-BORNE DEBRIS. WOOD
 STRUCTURAL PANELS WITH A MIN. THICKNESS OF
 1/2" AND A MAX. SPAN OF 8 FEET SHALL BE
 PERMITTED FOR OPENING PROTECTION IN ONE-
 AND TWO-STORY BUILDINGS. PANELS SHALL BE
 SECURED TO CONCRETE OR MASONRY WITH
 AN ANCHORAGE SYSTEM AS PROVIDED.

Possible future addition
 Does not exist Not a part

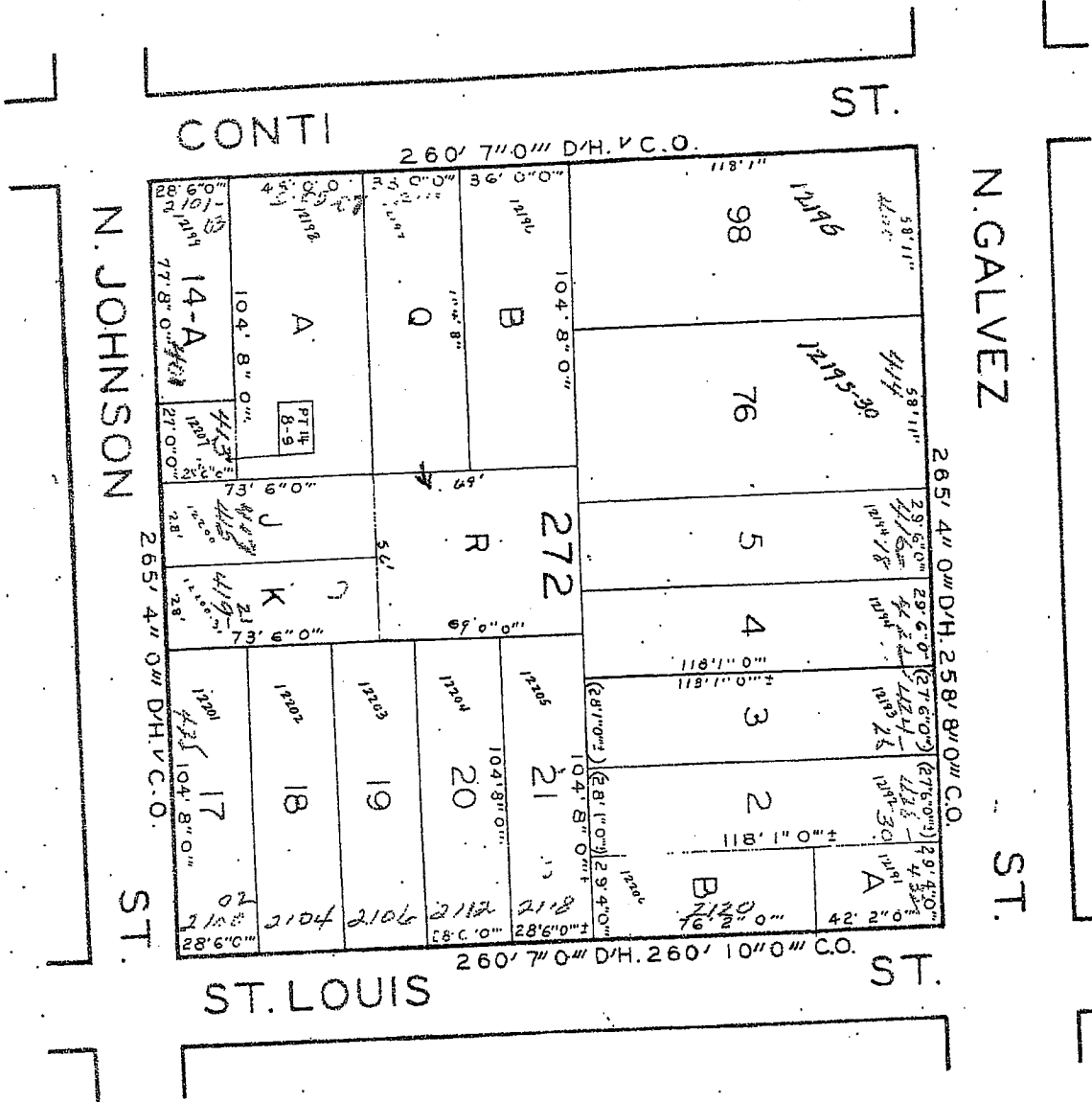
DESIGN CRITERIA

THE CONSTRUCTION FOR SAID BUILDING, WHERE BASIC
 WIND SPEED IS 130 MILES PER HOUR, IS DESIGNED IN
 ACCORDANCE WITH: ICC-600, 2009, IRC EDITION
 WOOD FRAME CONSTRUCTION MANUAL

LARRY TRUMBATURI
 ARCHITECT
 8307 LARITE ST. CHALMETTE, LA 70003
 504-279-3508
 3/18/12

AND D. GROCERY & CAFE
 433 NORTH PALMER
 2 OF 2
 1000 1000

#5



#5



Item #6

Consideration: ZONING DOCKET 049/14 – Request by HARRISON 901-911, LLC for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption and video poker at an existing restaurant in the LB-2 Lake Area Neighborhood Business District and within the LADC Lake Area Design Corridor Overlay District, on Square 236, Lots 22 through 26, in the Second Municipal District, bounded by Harrison Avenue, Marshall Foch Street, Argonne Boulevard, and Bragg Street. The municipal addresses are 901-907 HARRISON AVENUE. (PD 5)

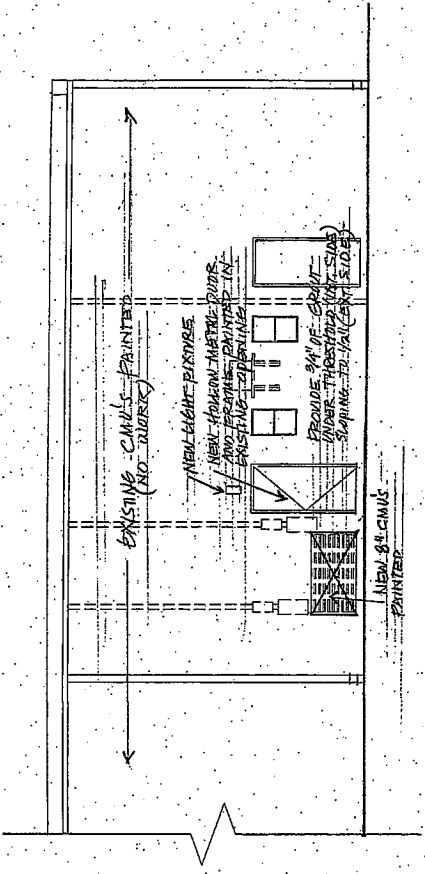


designed by: MAM
 drawn by: RHB
 checked by: MAM
 date: OCTOBER 2011
 reviewed:

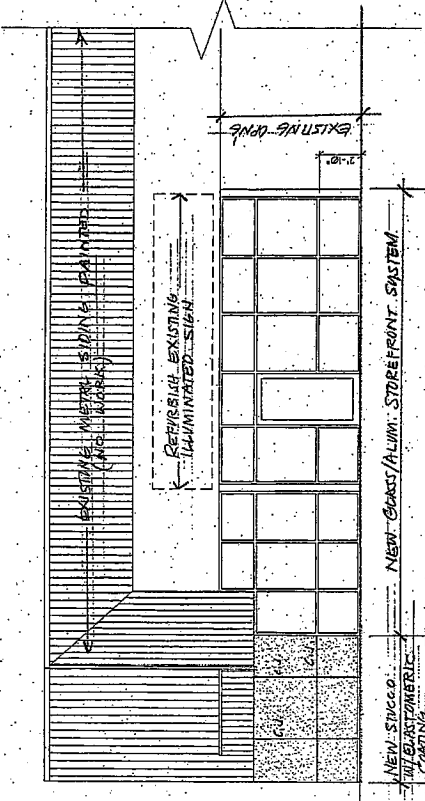
EXTERIOR ELEVATIONS
 AND KEYNOTES

TASTEE RESTAURANT
 903 HARRISON AVENUE
 NEW ORLEANS, LOUISIANA 70124

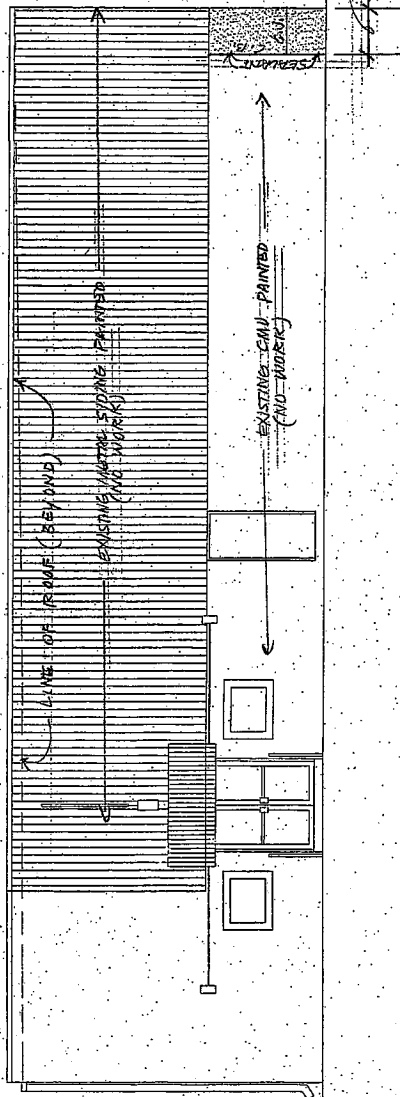
project number: 02005
 sheet number: A-5
 of 12 sheets



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

16

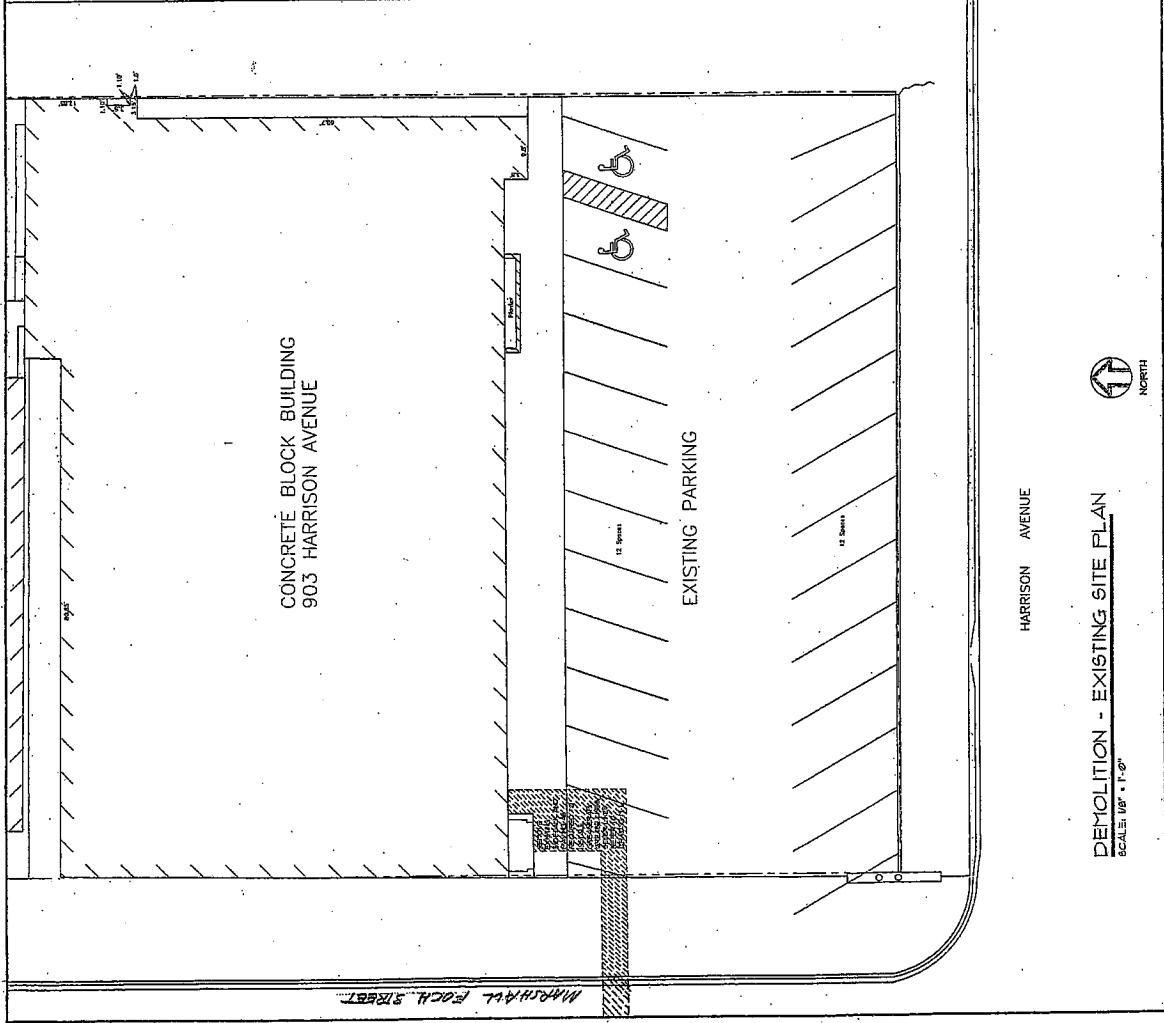
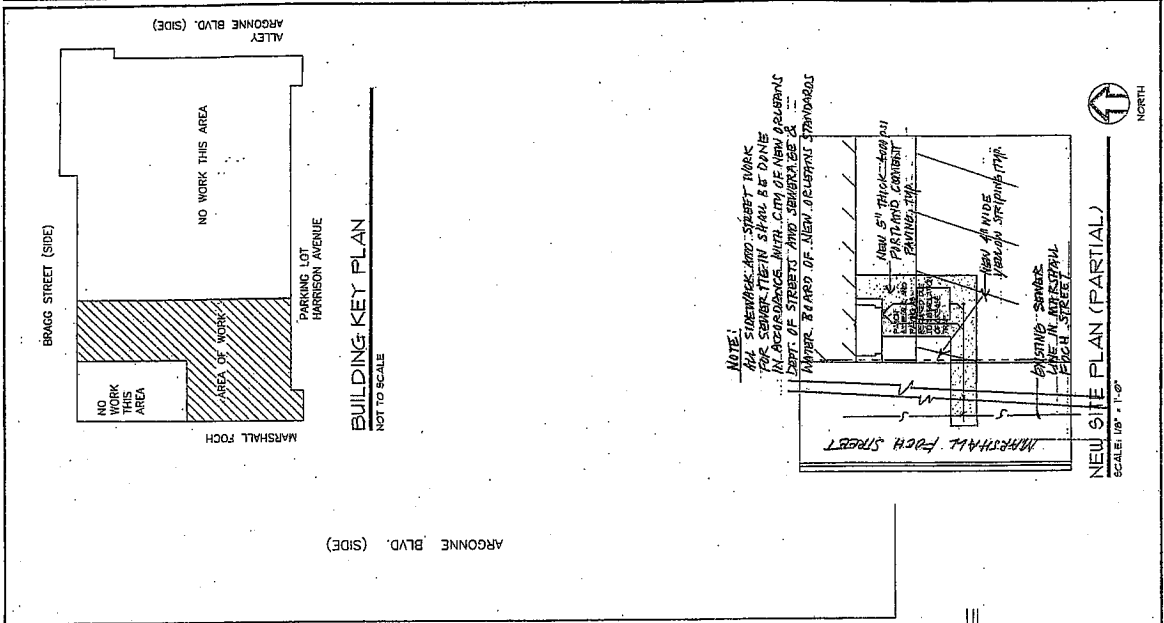


DESIGNED BY: M.A. KEYNOTES
 DRAWN BY: M.A. KEYNOTES
 CHECKED BY: M.A. KEYNOTES
 DATE: OCTOBER, 2002
 REVISION:

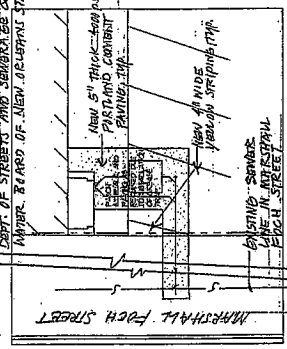
EXISTING SITE
 DEMOLITION PLAN,
 KEYNOTES AND NEW
 SITE PLAN

PROJECT NUMBER:
 020005
 SHEET NUMBER:
 A-1
 OF 1/2 SHEETS

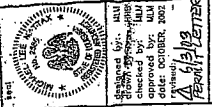
NEW OLEANS, LOUISIANA 70124
 TASTE RESTAURANT
 903 HARRISON AVENUE



NOTE:
 ALL SIDEWALK AND STREET WORK
 FOR SENIOR TRAIL SHALL BE DONE
 IN ACCORDANCE WITH CITY OF NEW ORLEANS
 DEPT. OF STREETS AND SEWERAGE &
 WATER BOARD OF NEW ORLEANS STANDARDS



#6



FLOOR PLAN

TASTEY RESTAURANT
903 HARRISON AVENUE
NEW ORLEANS, LOUISIANA 70124

PROJECT NUMBER: 02005
SHEET NUMBER: A-3
DATE: 11/2

LEGEND

ELEVATION NO.
SHEET WHERE ELEVATION IS SHOWN

SECTION OR DETAIL NUMBER
SHEET WHERE SECTION OR DETAIL IS SHOWN

DETAIL NO.
SHEET NUMBER ON WHICH ENLARGED DETAIL IS SHOWN

SHEET NUMBER WHERE DETAIL IS TAKEN

KEYNOTES

EXISTING WALL TO REMAIN

NEW WALL

NEW DOOR AND FRAME

EXISTING DOOR AND FRAME TO REMAIN

PARTITION TYPE, REFER TO SHEETS A-1, A-3

ROOM NAME

ROOM NUMBER

ROOM FINISH CODE, REFER TO FINISH SCHEDULE, DWS A-1

DOOR TAG, REFER TO FINISH SCHEDULE, SHEET A-1

FLOOR DRAIN, REFER TO FLUISING DRAWINGS

HIS DRAIN, REFER TO FLUISING DRAWINGS

FURNITURE AND EQUIPMENT, REFER TO DRAWINGS A-6 FOR EQUIPMENT PLANSCHEDULE.

WALL MOUNTED FIRE EXTINGUISHER CABINET

ALUMINUM THRESHOLD

MARBLE THRESHOLD

QUARRY TILE REDUCER

KEYNOTES FOR DETAILS A AND B

① 4" METAL SIDING @ 18" OC.

② 1/2" GYPSUM SHEATHING

③ 5/8" BUILDING PAPER

④ CEILING/ROOF JOIST BOARD

⑤ 1" SNUGCO

⑥ ELASTOMERIC PAINT FINISH

⑦ 3/4" TYPE 'X' Gypsum BOARD

⑧ BATT INSULATION

⑨ 7/8" TREATED WOOD BLOCKING

⑩ 3/4" DIA. X 6" LONG ANCHOR BOLTS @ 24" OC.

⑪ EXISTING CONCRETE WALL

⑫ EXISTING CONCRETE SLAB

⑬ 4" REBAR @ 12" OC. EACH WAY

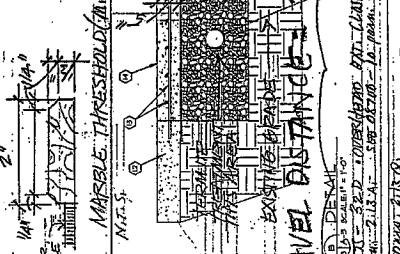
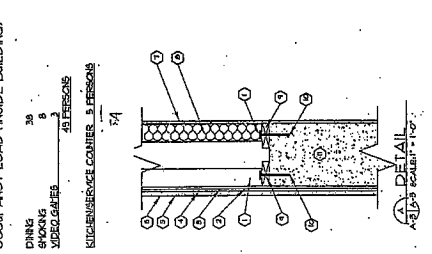
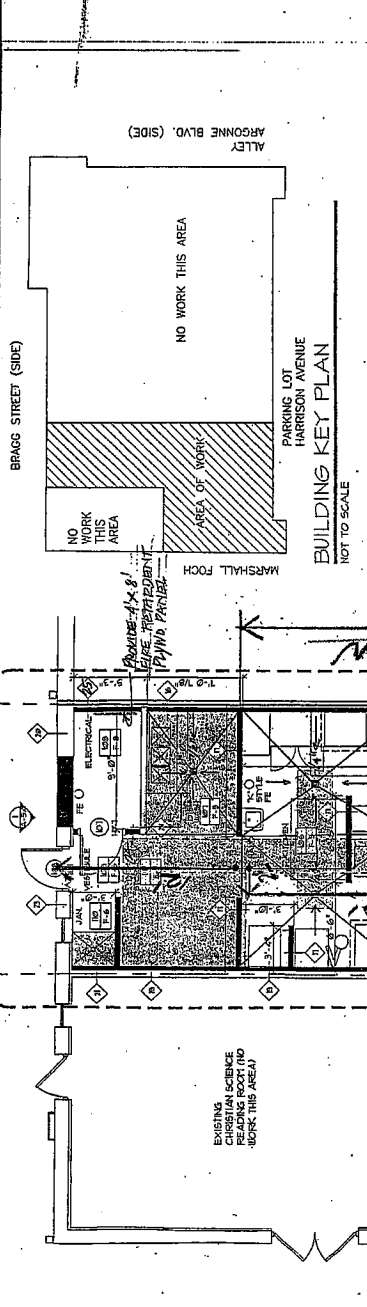
⑭ NEW 4000 PSI CONCRETE

⑮ 6 MIL VAPOR BARRIER

⑯ DRILL AND BRIDED UP EXIST. 4" INTO EXISTING SLAB

⑰ COMPACTED SELECT FILL

⑱ SEER OR GREASE LINE



DEPARTMENT OF SAFETY & PERMITS
EXAMINED
SHEET TO REMAIN WITH LETTERS

NOTED BY THE ARCHITECT:
"PLA PROCESSING, INC."
EXAMINED

NO ARCHITECTURAL RESPONSIBILITY FOR THE STRUCTURAL DESIGN OR CONSTRUCTION OF THIS BUILDING SHALL BE ASSUMED BY THE ARCHITECT. THE ARCHITECT HAS REVIEWED THE STRUCTURAL DRAWINGS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF NEW ORLEANS, LOUISIANA, BUILDING CODES AND REGULATIONS.

BRASS STREET (SIDE)

NO WORK THIS AREA

AREA OF WORK

MARBLE THRESHOLD (INT.)

TRAVEL DISTANCE = 150'

EXISTING CONCRETE WALL

EXISTING CONCRETE SLAB

4" REBAR @ 12" OC. EACH WAY

NEW 4000 PSI CONCRETE

6 MIL VAPOR BARRIER

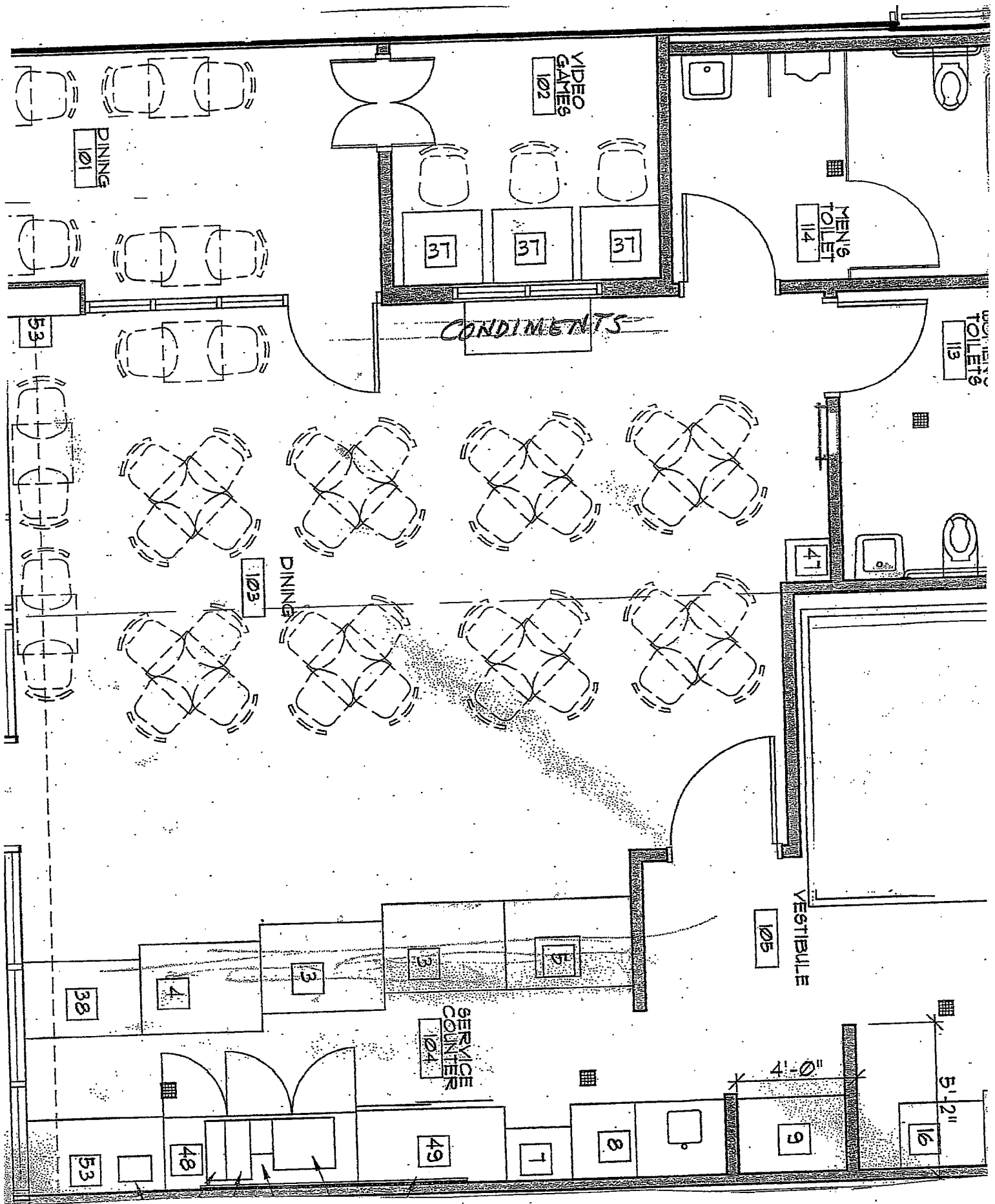
DRILL AND BRIDED UP EXIST. 4" INTO EXISTING SLAB

COMPACTED SELECT FILL

SEER OR GREASE LINE

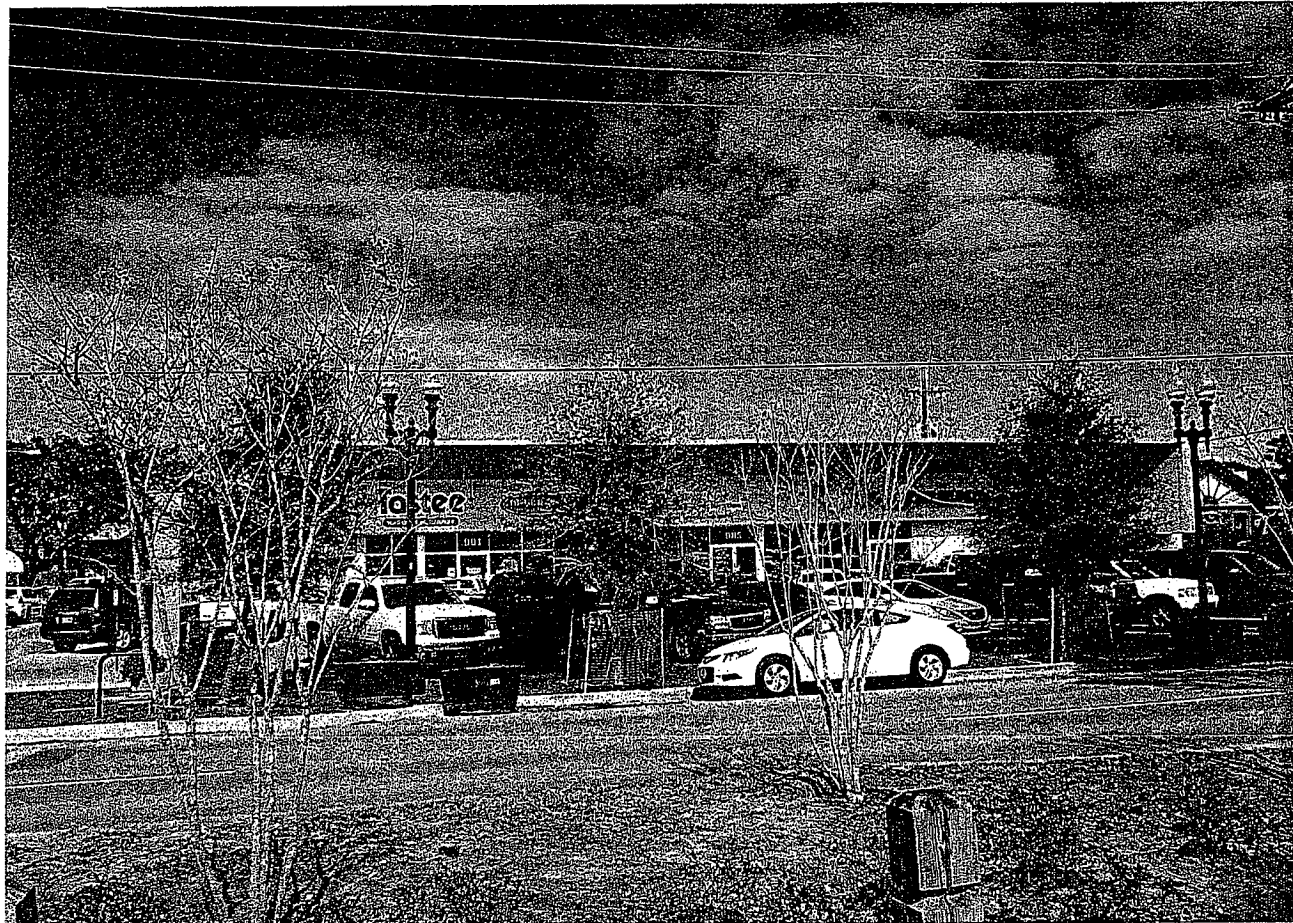
SCALE: 1/8" = 1'-0"

DATE: 11/2



#6

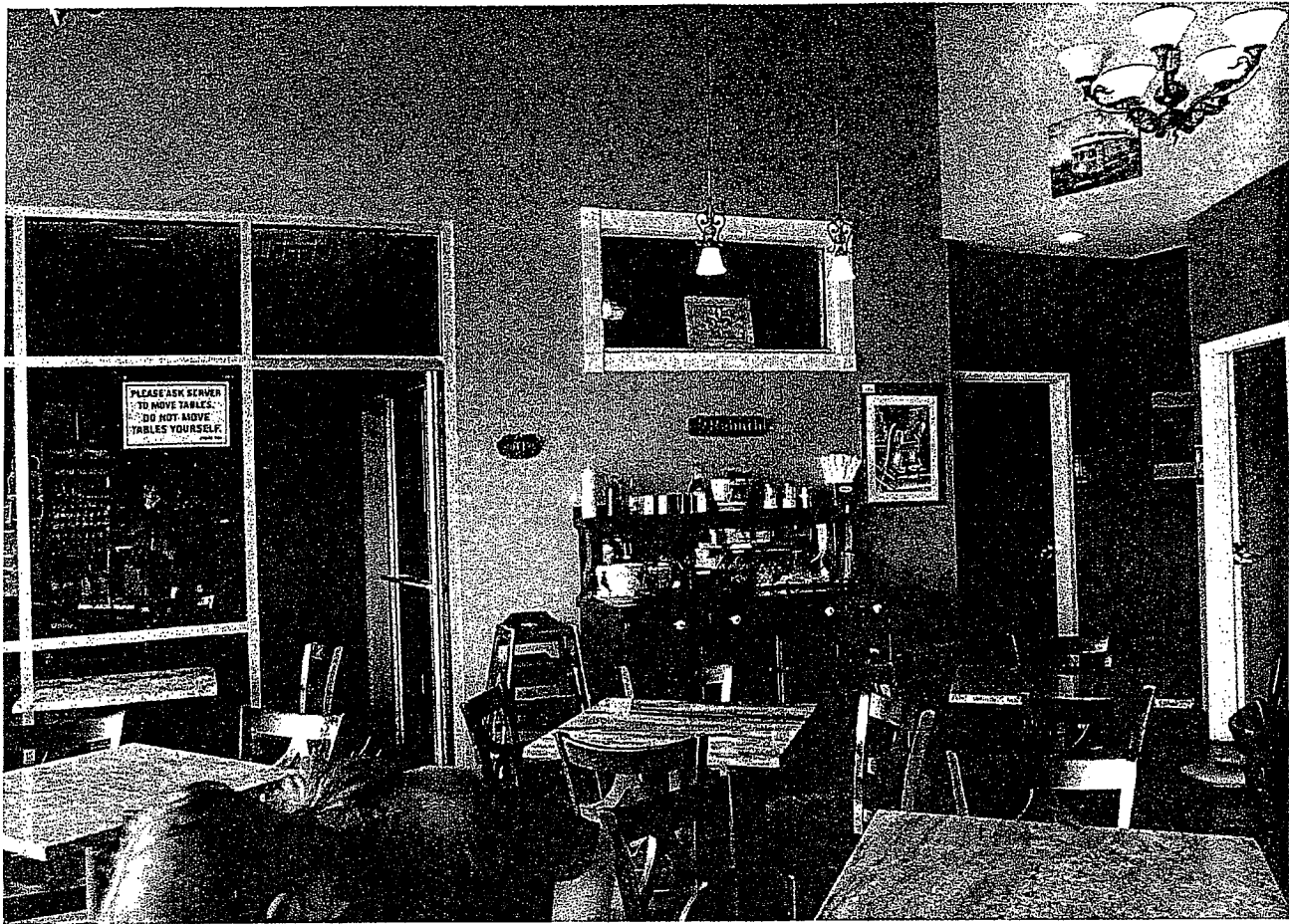
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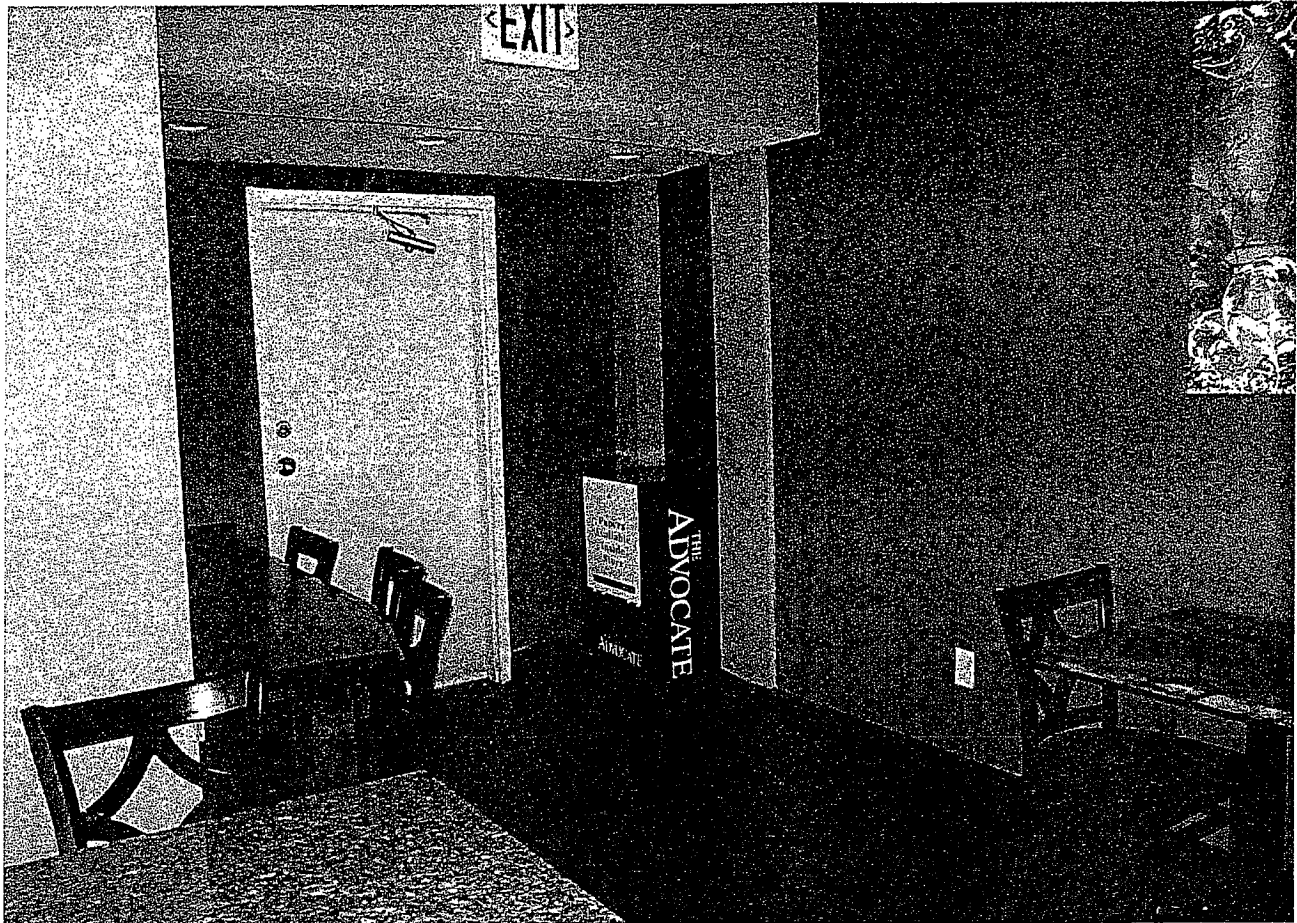
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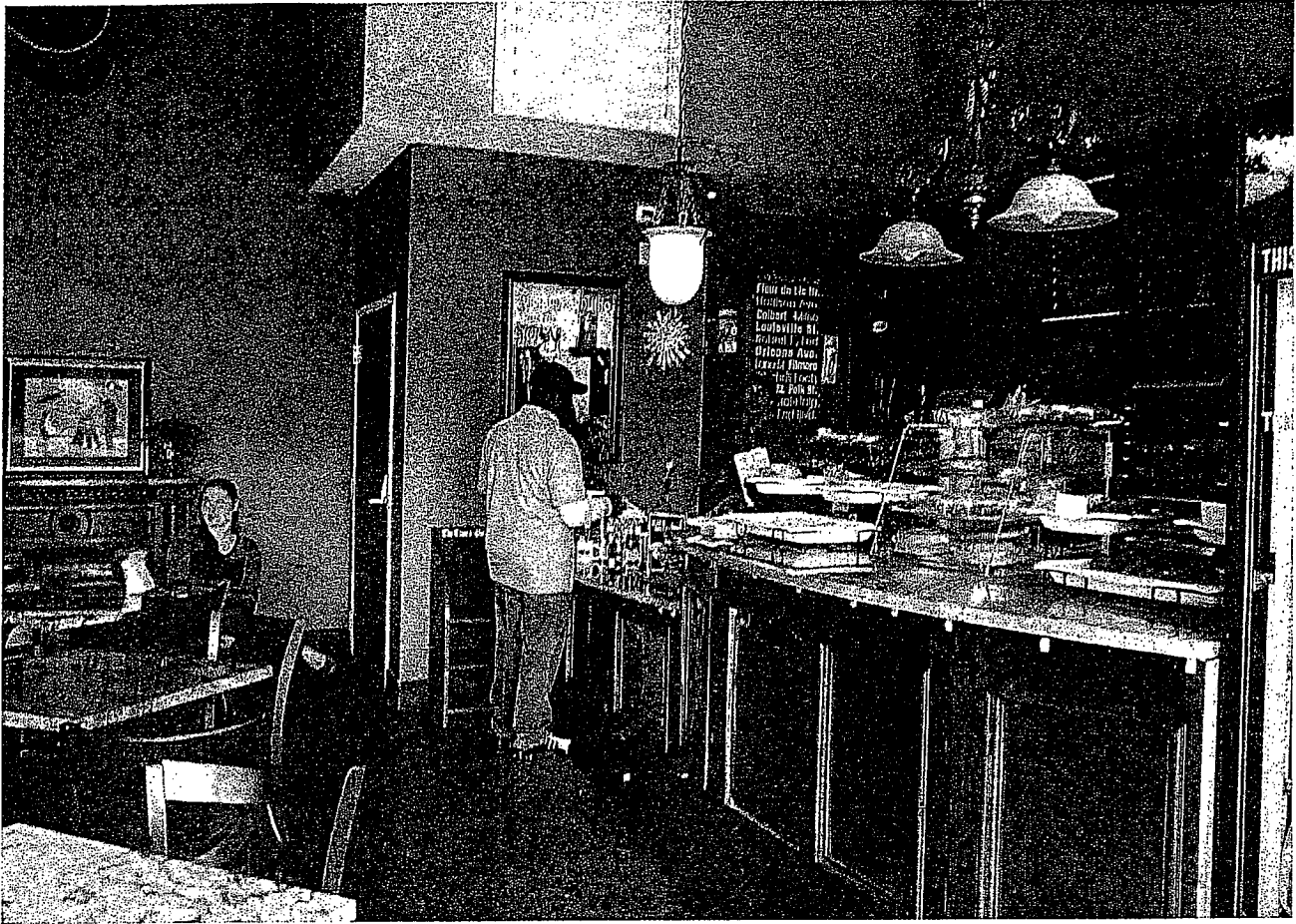
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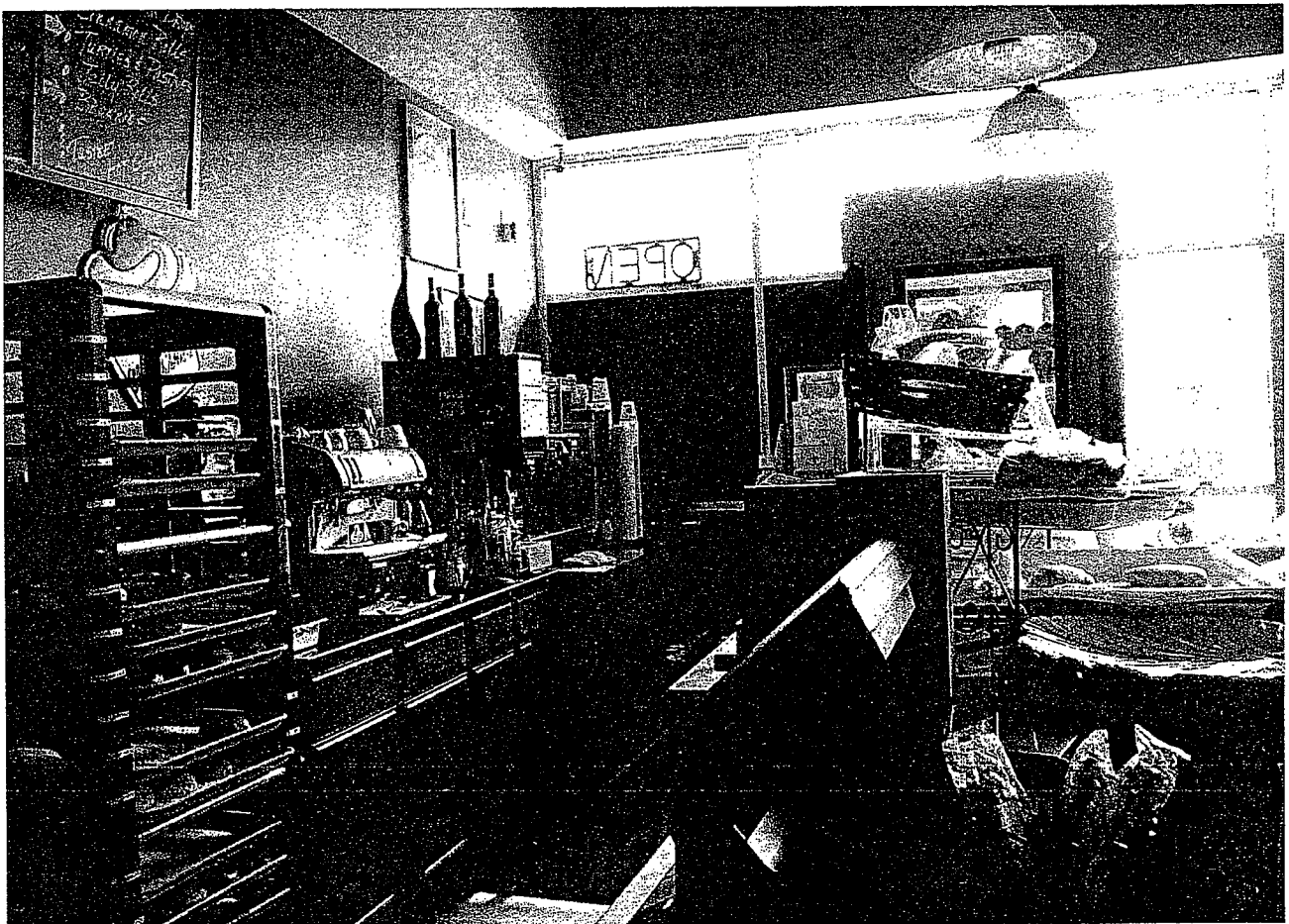
#6



#6



#6



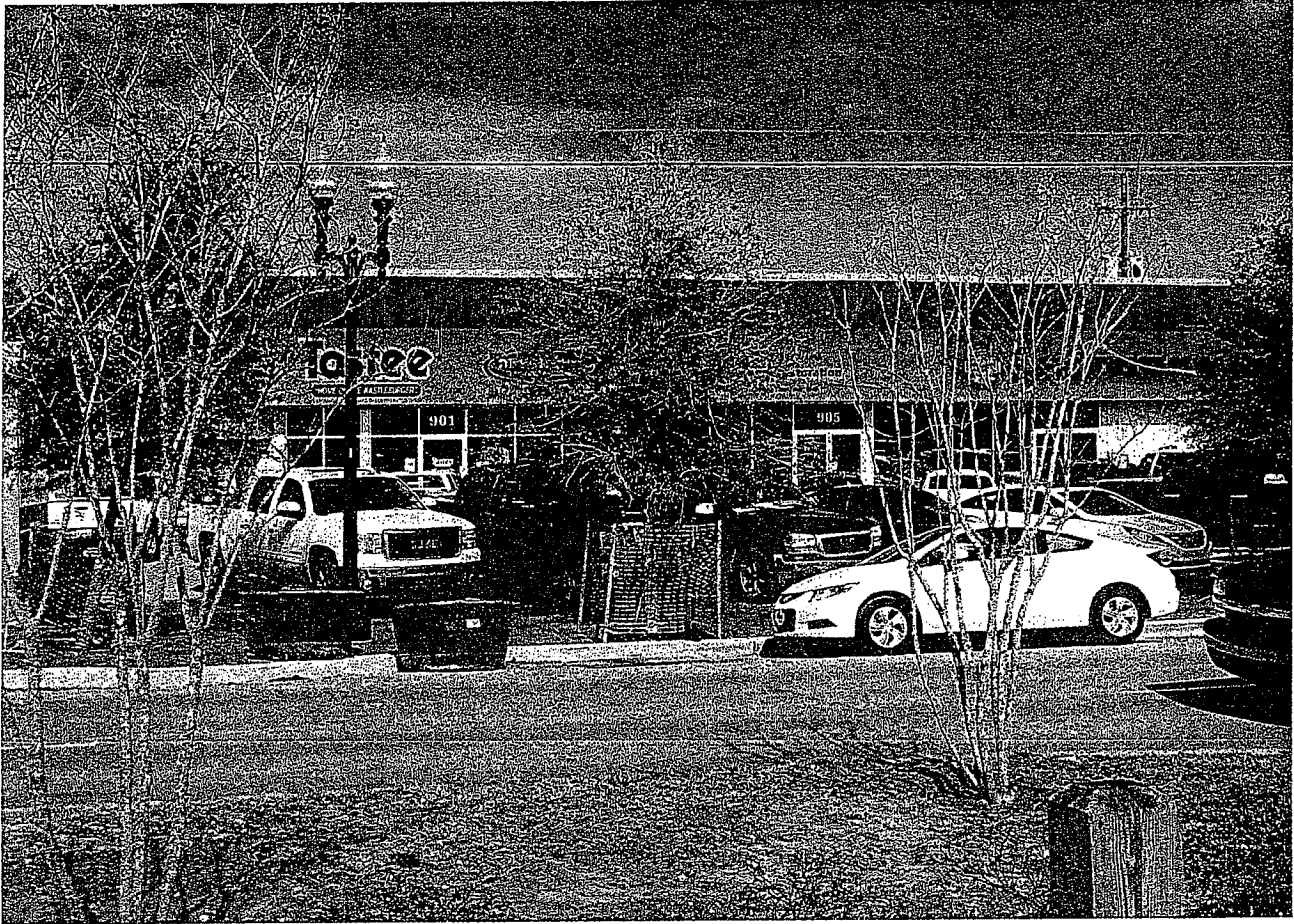
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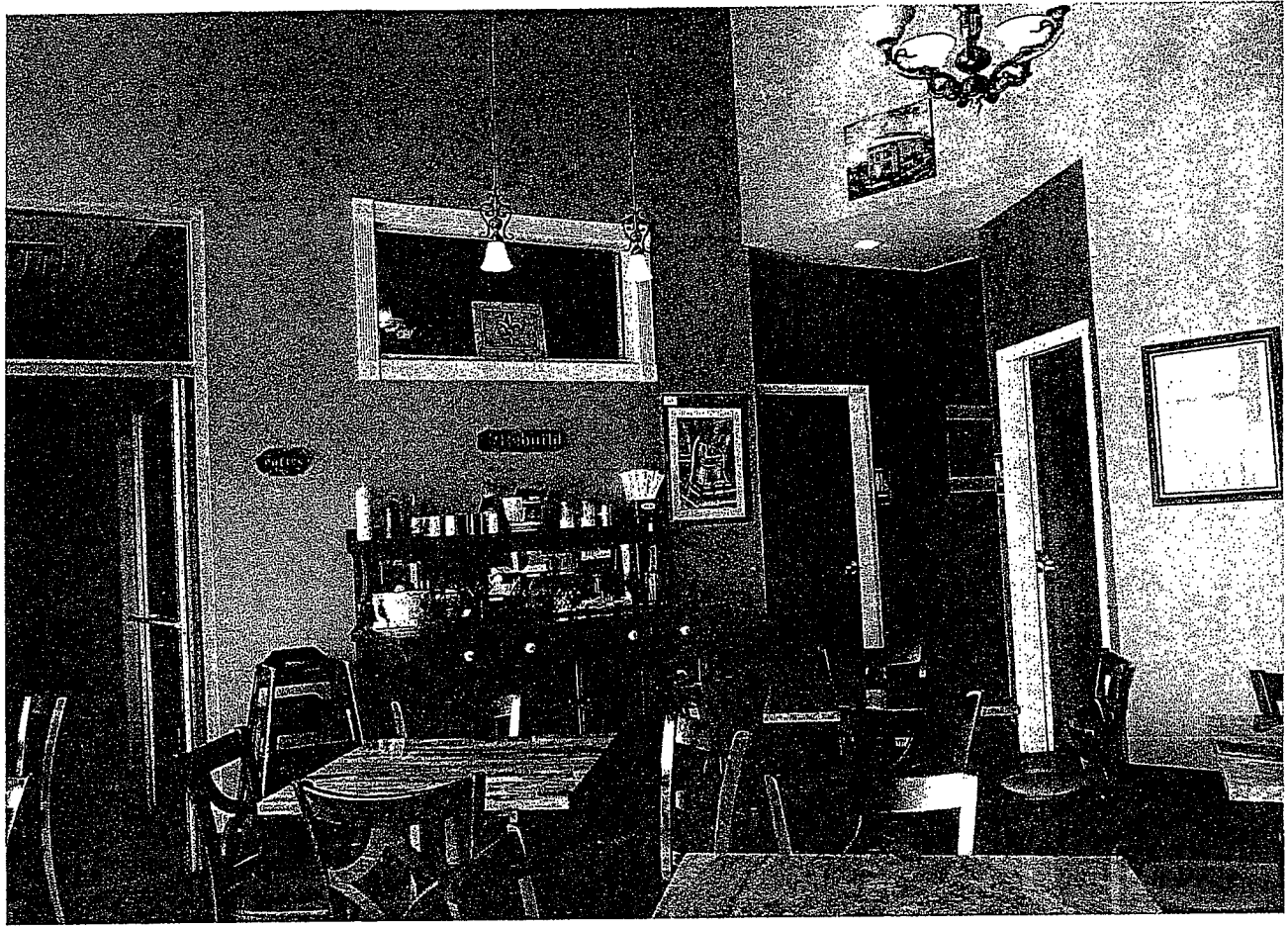
#6



#6



#6



Item #7

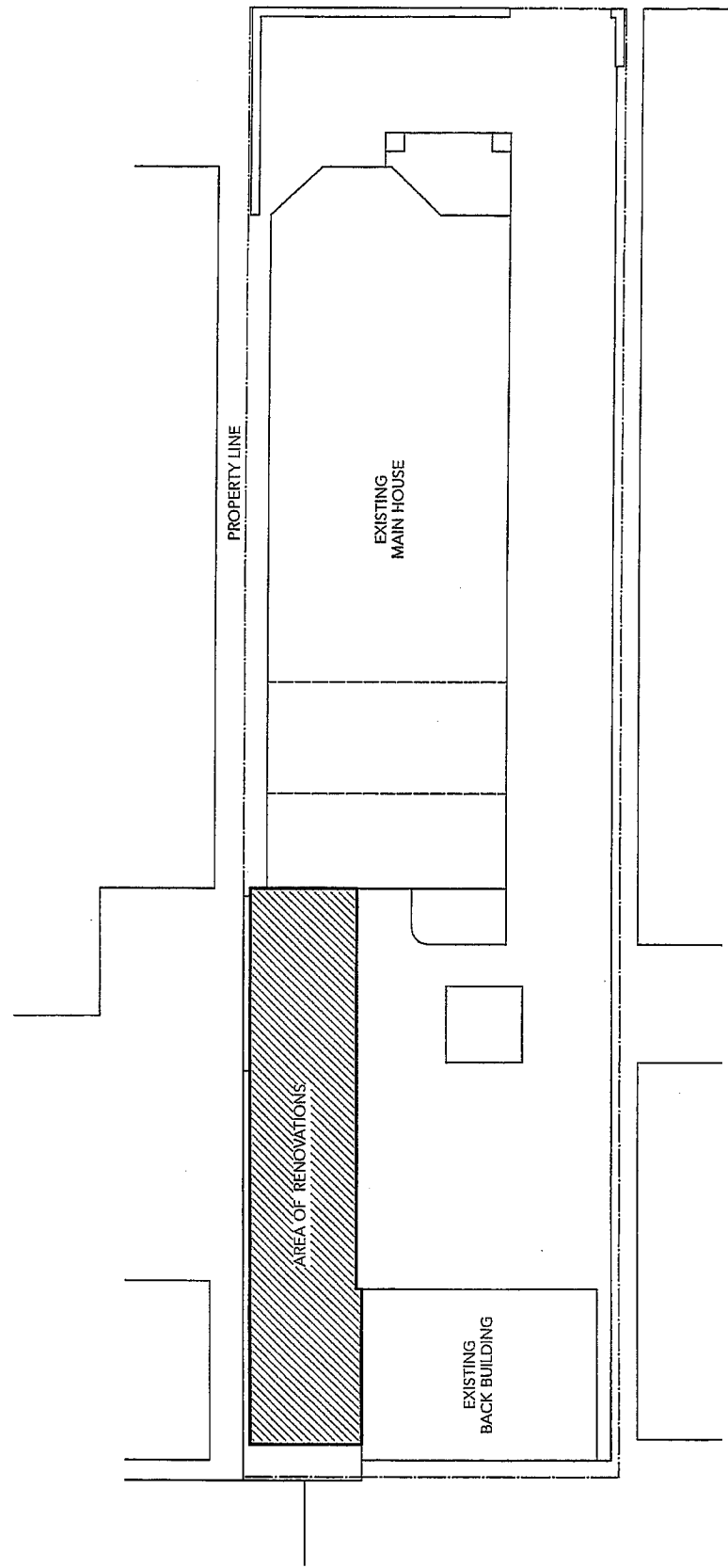
Consideration: ZONING DOCKET 050/14 – Request by SCOTT AIGES AND LISANNE B. AIGES for an Amendment to Ordinance No. 18,038 MCS (Zoning Docket 127/96, which granted a Conditional Use to permit a Bed and Breakfast Guest Home with three (3) guest rooms in an RD-3 Two Family Residential District) to allow building expansions and site plan modifications, including the construction of rear structures, on Square 295, Lot A, in the Third Municipal District, bounded by Poland Avenue, Burgundy, Lesseps, and North Rampart Streets. The municipal address is 908 POLAND AVENUE. (PD 7)

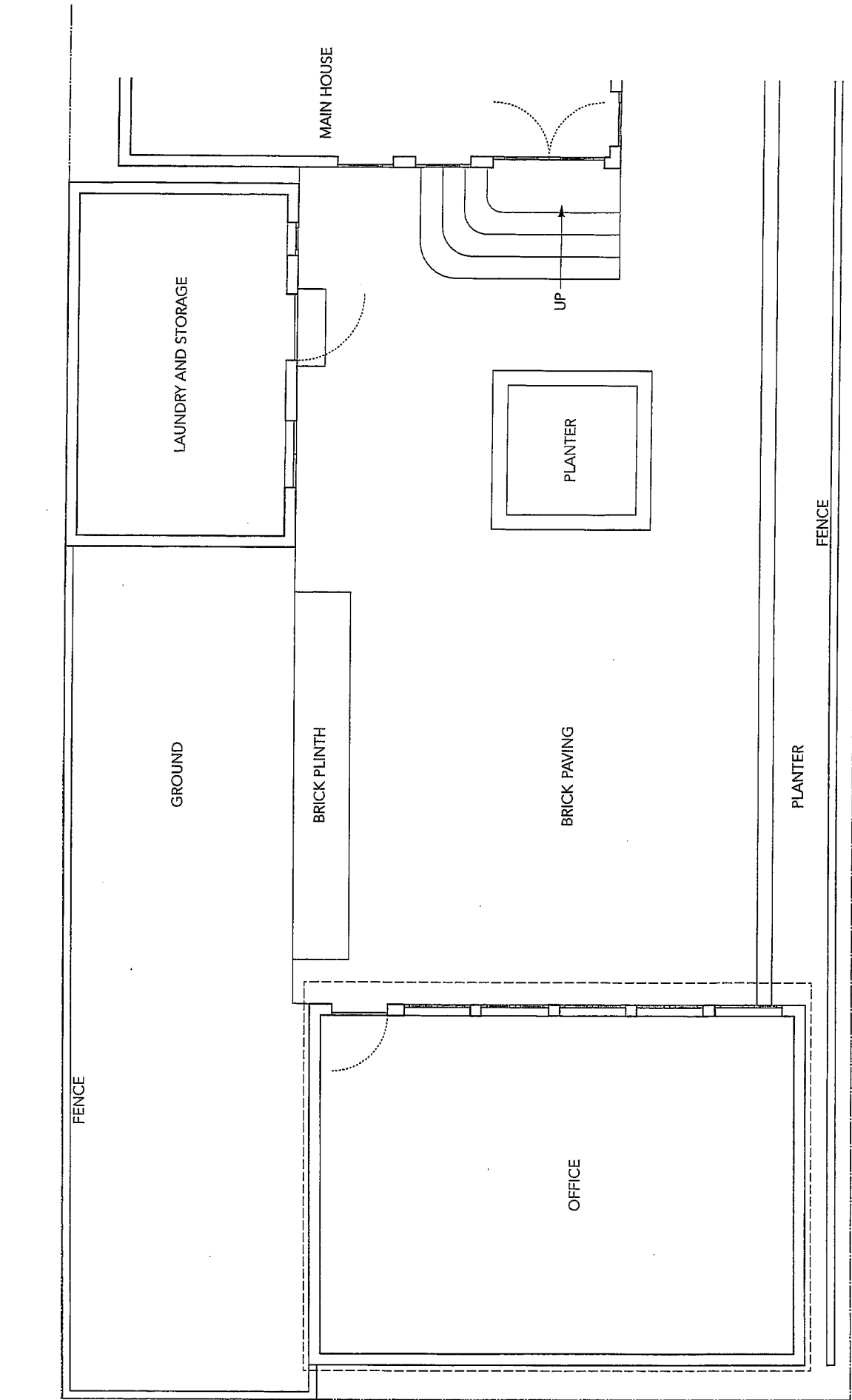
SITE PLAN
908 POLAND AVE
27 MAY 2013

#7



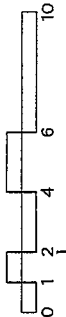
POLAND AVENUE



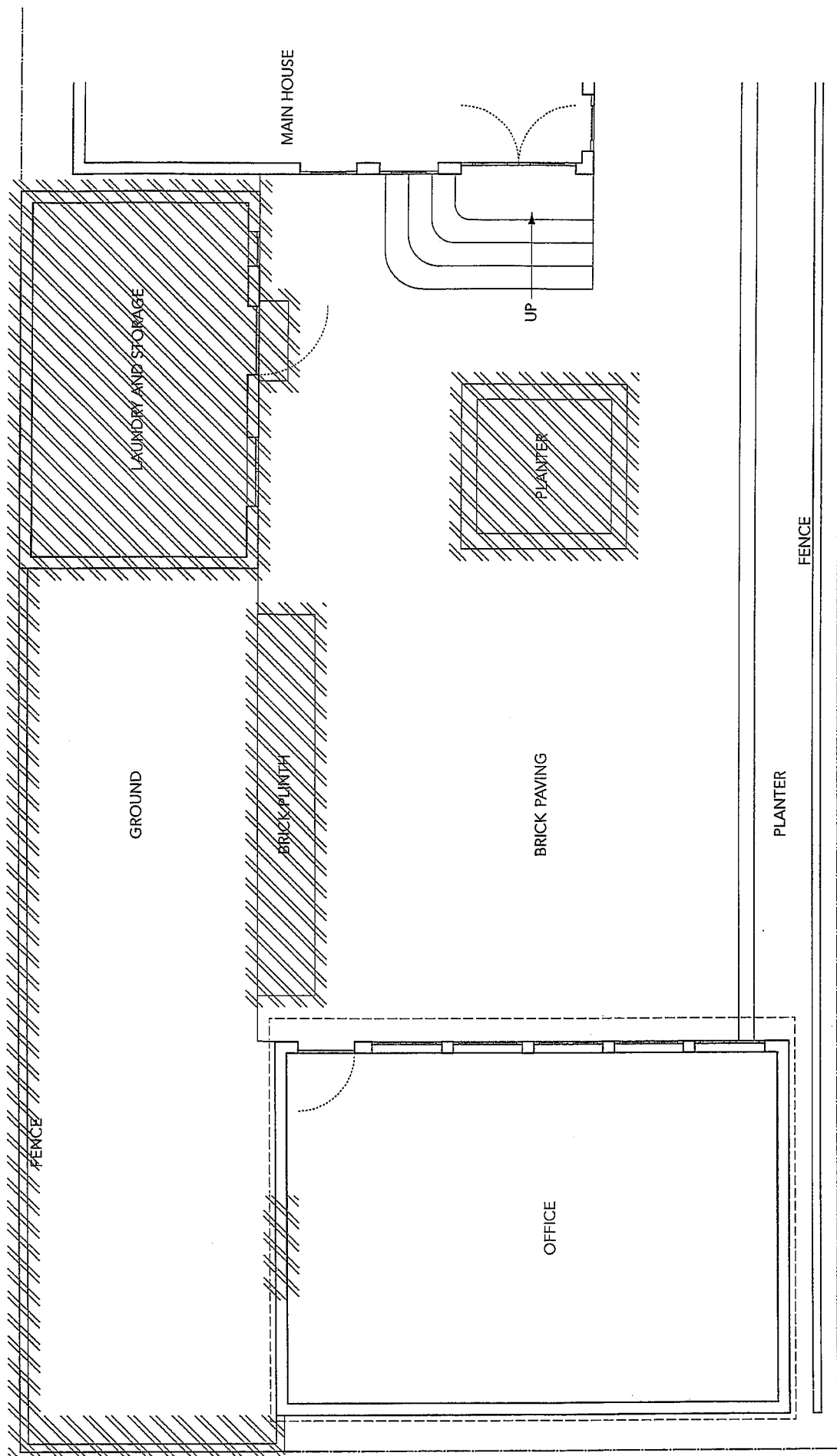


EXISTING PLAN
 908 POLAND AVE
 27 MAY 2013

#7

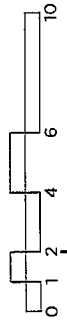


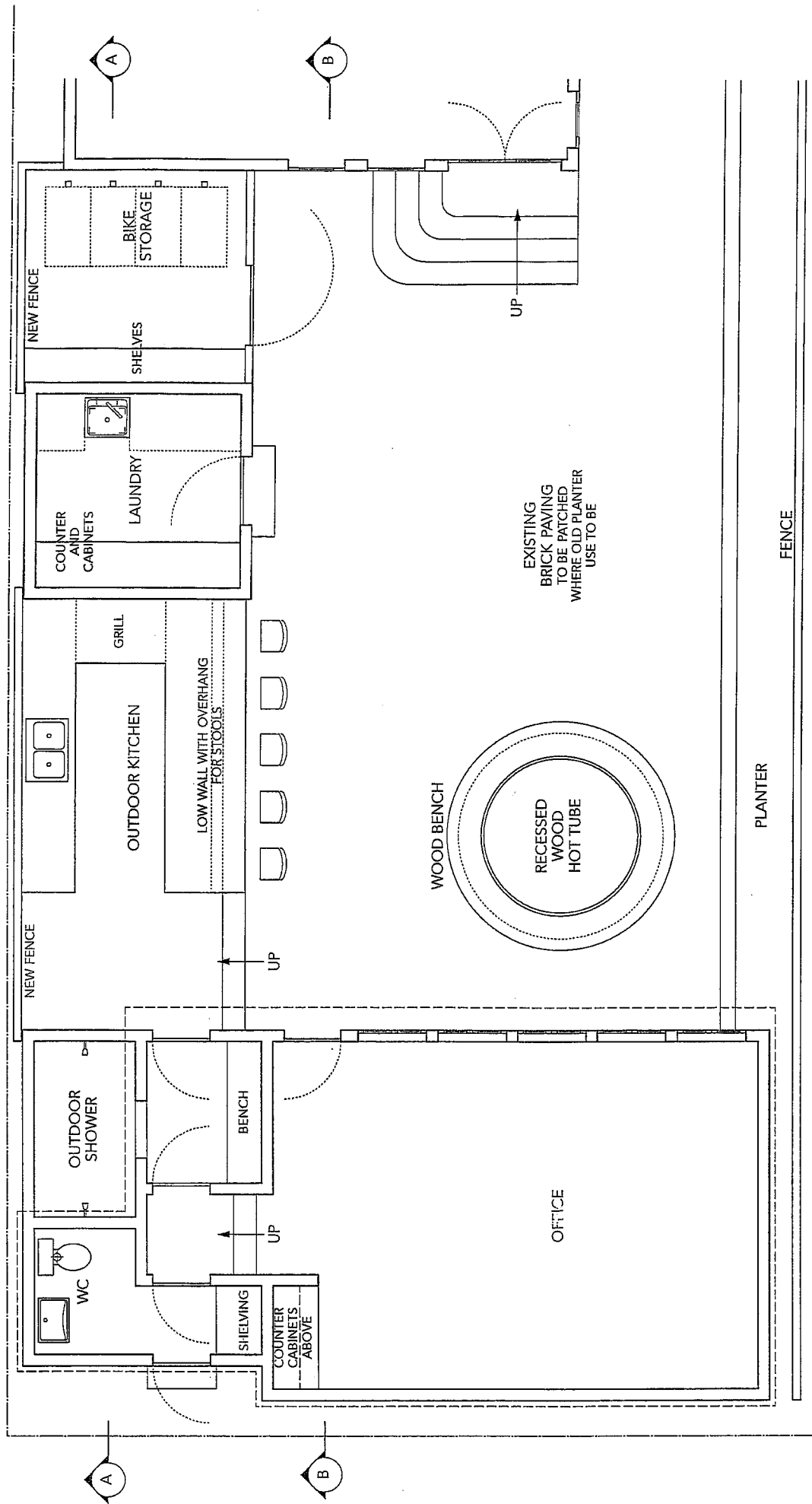
ALL HATCHED AREAS TO BE DEMOLISHED



DEMOLITION PLAN
908 POLAND AVE
27 MAY 2013

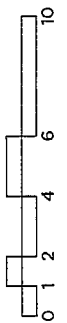
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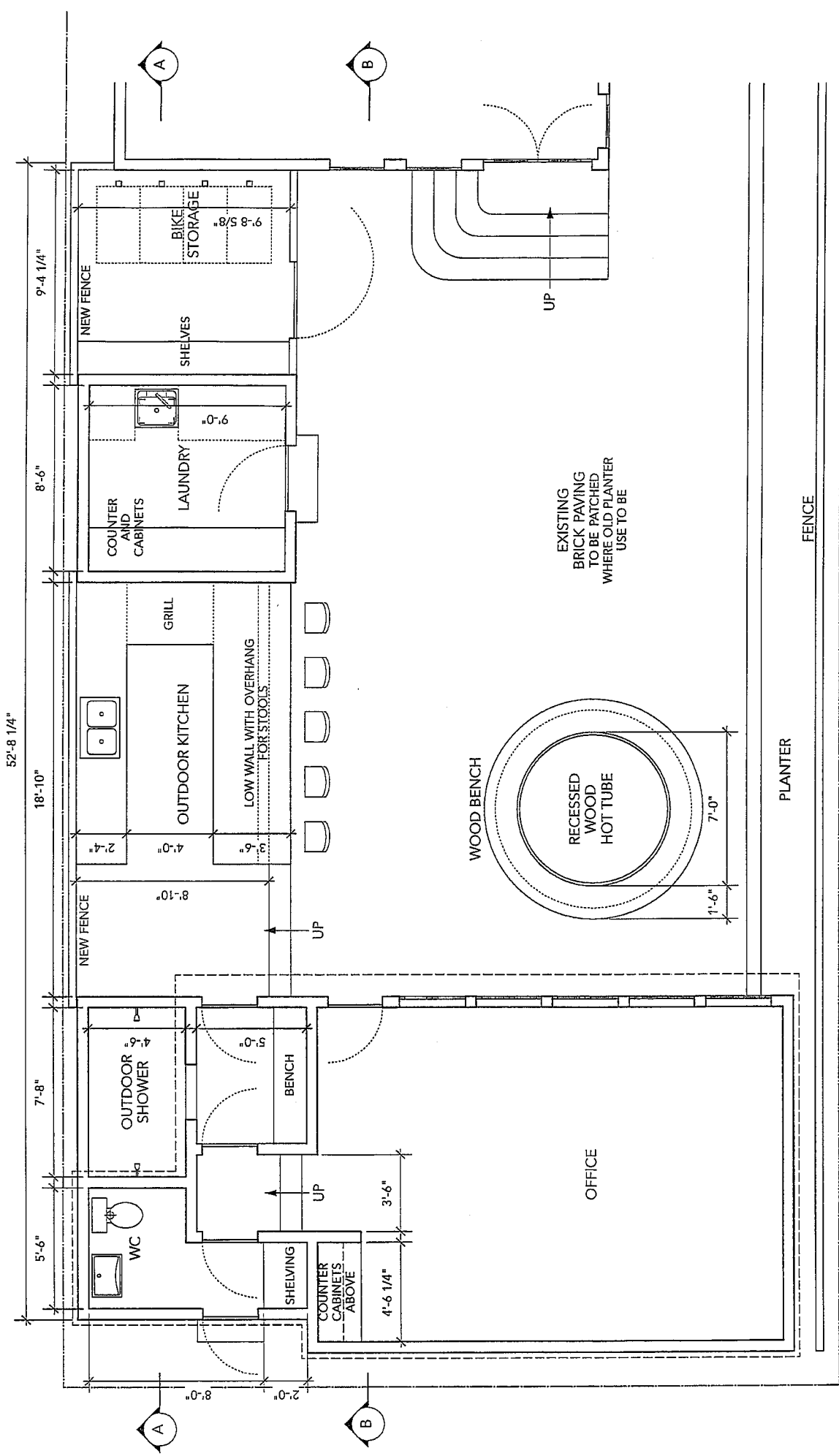




PROPOSED PLAN
 908 POLAND AVE
 27 MAY 2013

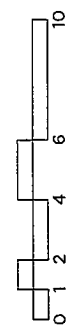
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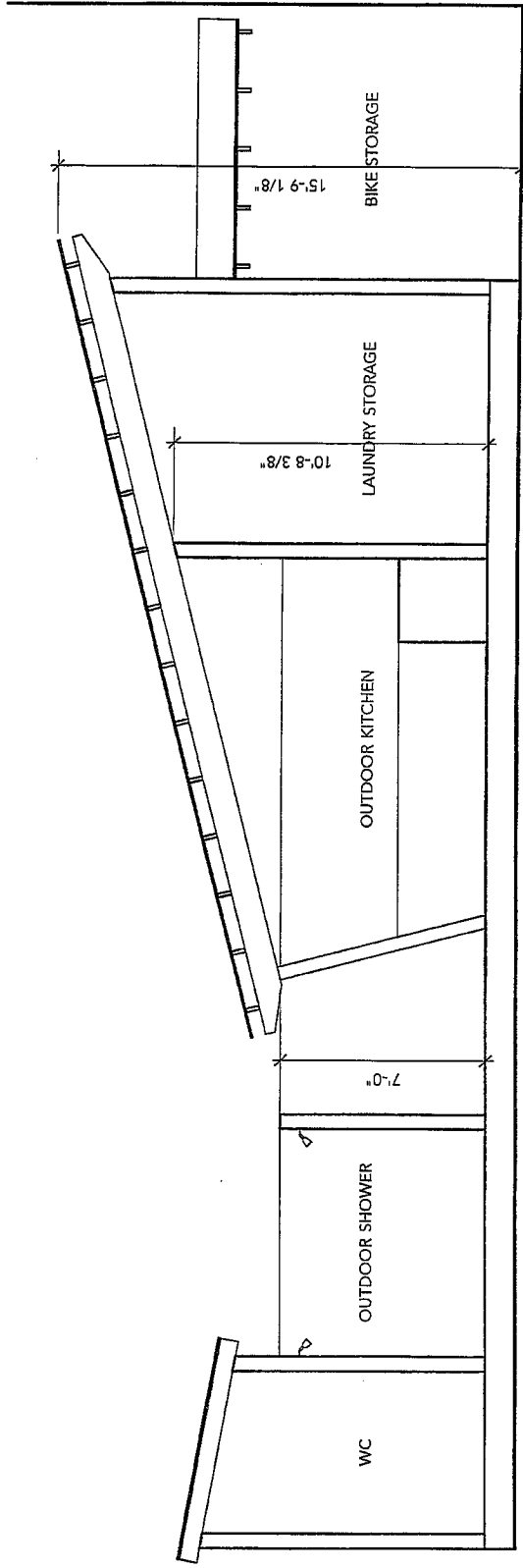




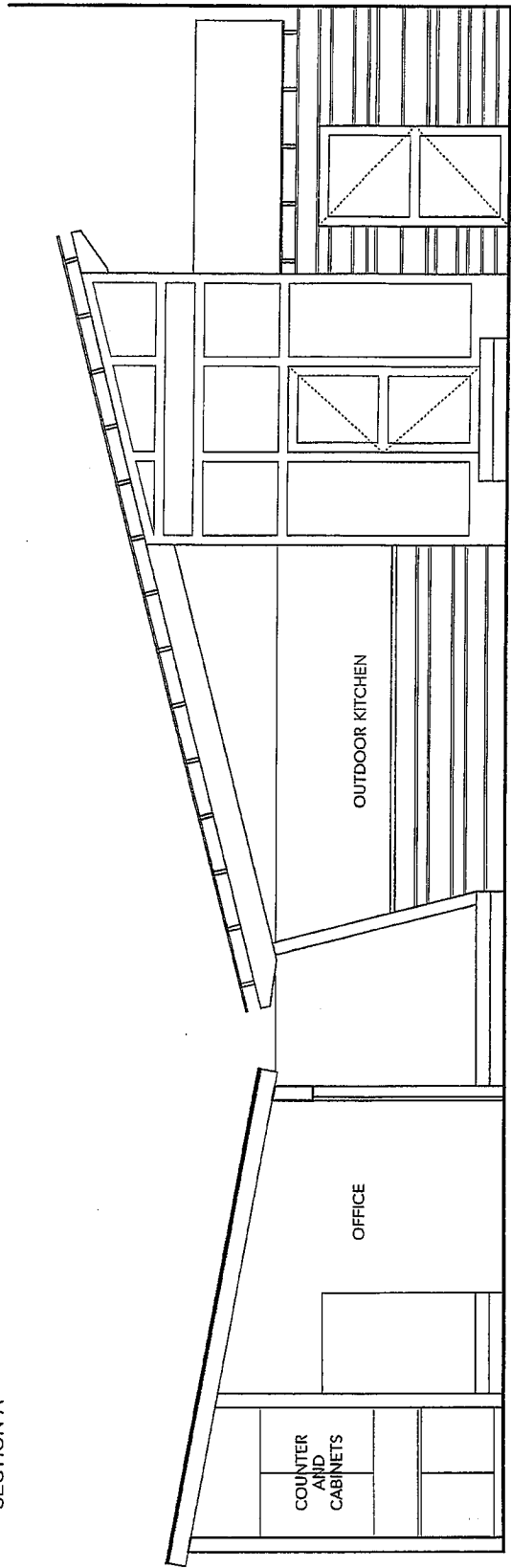
PROPOSED PLAN
 908 POLAND AVE
 27 MAY 2013

#7



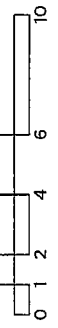


SECTION A



SECTION ELEVATION B

SECTIONS AND ELEVATIONS
 908 POLAND AVE
 27 MAY 2013



#7



ILLUSTRATIVE RENDERING
908 POLAND AVE
27 MAY 2013

#7

SQUARE
295

ASSUM'T
DISTRICT
9W

MUNICIPAL
DISTRICT
3 LOT
A

SQ. NO. 295
THIRD DISTRICT

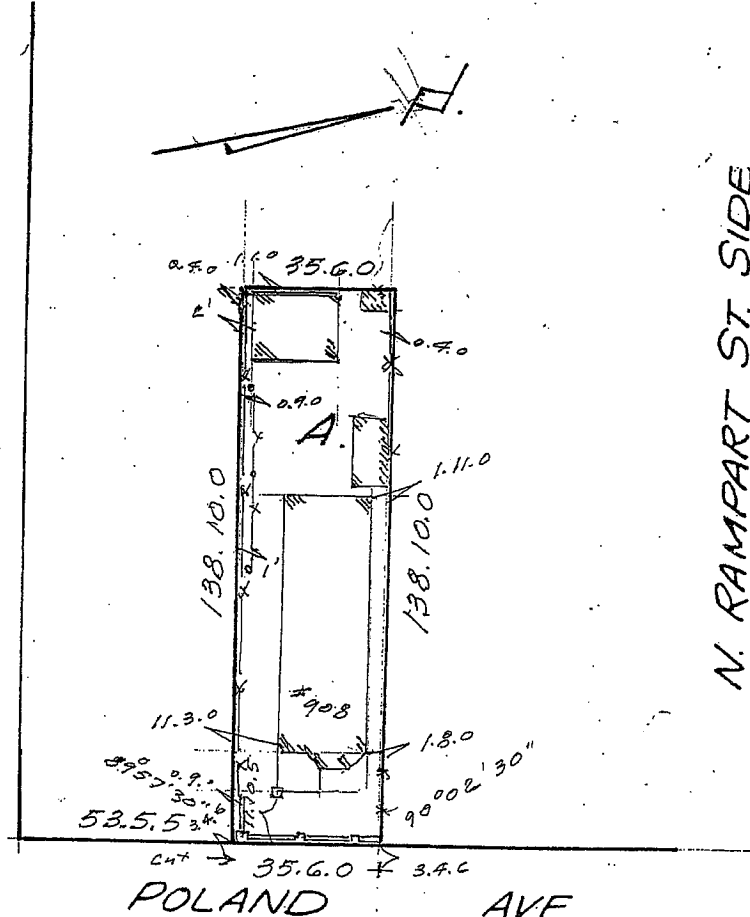
NEW ORLEANS, LA.
ORLEANS PARISH

LESSEPS ST. SIDE

#7

BURGUNDY ST.

N. RAMPART ST. SIDE



Note:
Improvements may not be to scale for clarity.
The dimensions shown prevail over scale.

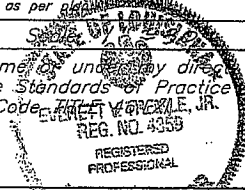
THE SERVITUDES SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP INDICATES THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FIA ZONE A-4

Lot angles as per plan

Date: February 15, 2012

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code, Title 148, Part 1, Chapter 25 for a Class "c" survey.
Made at the request of Calvin M. Johnson

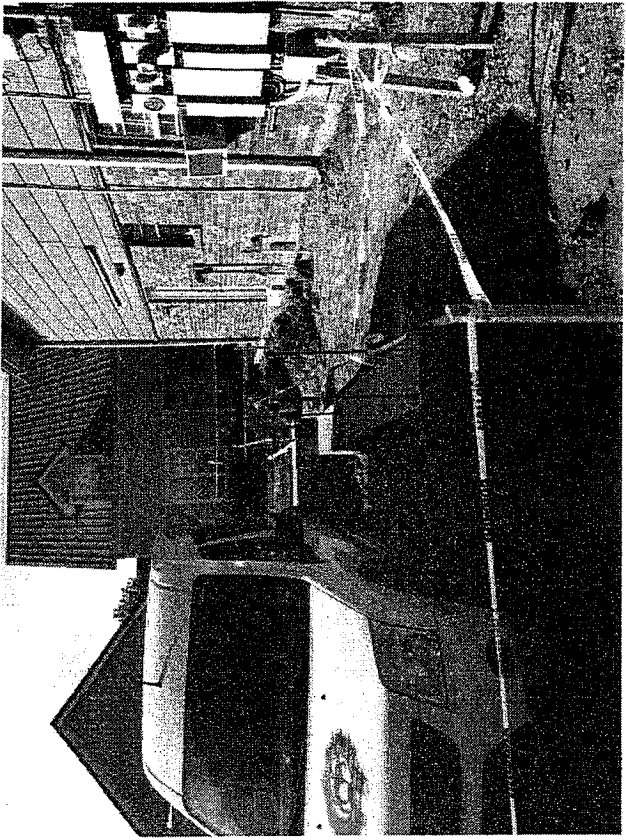


Gilbert, Kelly & Couturie, Inc., Surveying & Engineering
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

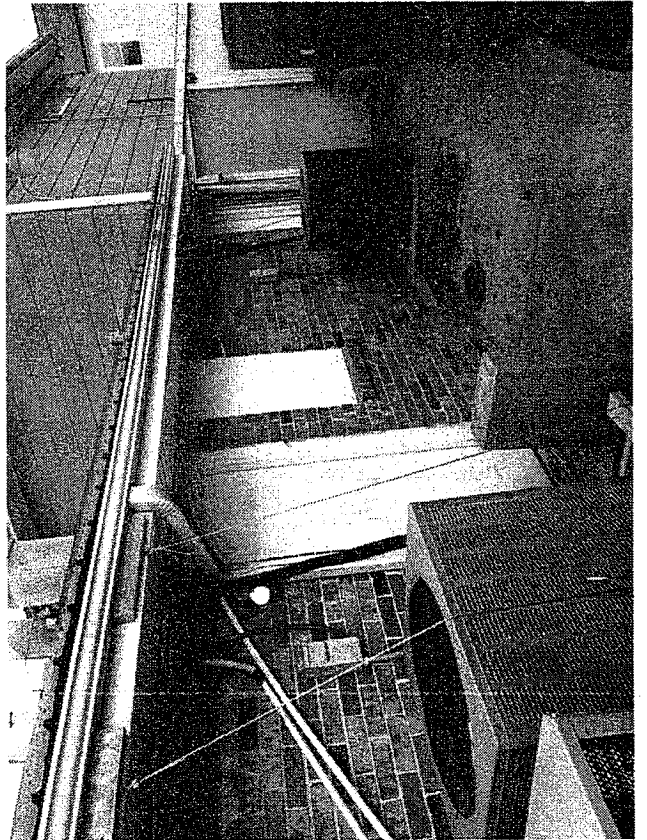
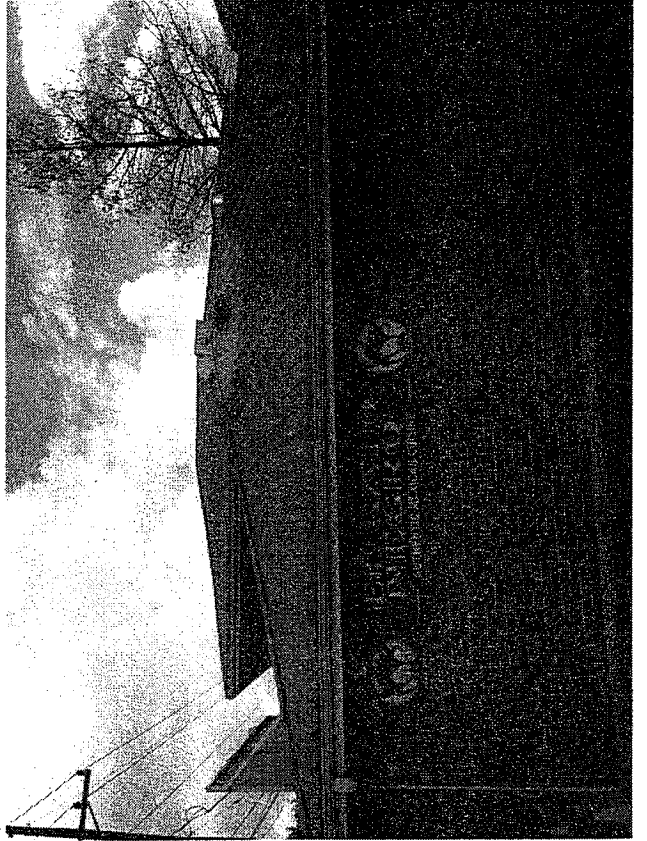
10318J

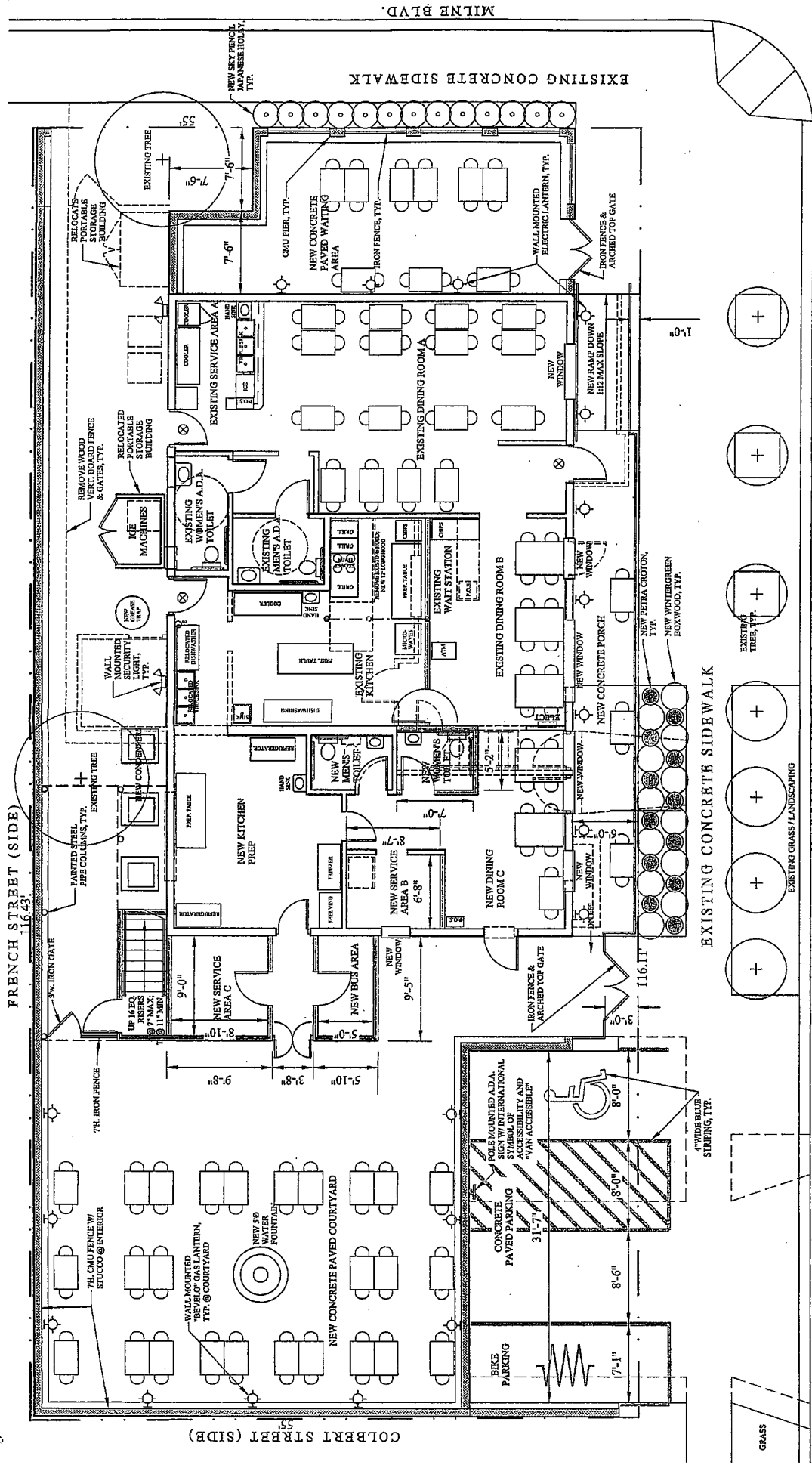
Item #8

Consideration: **ZONING DOCKET 051/14** – Request by CHATA, LLC for an Amendment to Ordinance No. 23,730 MCS (Zoning Docket 065/09, which granted a Conditional Use to permit the sale of alcoholic beverages for consumption on premises in a standard restaurant in an LB-1 Lake Area Neighborhood Business District and the LADC Lake Area Design Corridor Overlay District) to permit the expansion of the restaurant, on Square 275, Lot G, in the Second Municipal District, bounded by Harrison Avenue, Milne Boulevard, Colbert and French Streets . The municipal addresses are 300-316 HARRISON AVENUE. (PD 5)



EL GATO NEGRO: LAKEVIEW
300-316 HARRISON AVENUE
CONDITIONAL USE APPLICATION
MARCH 2014





SITE PLAN / FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

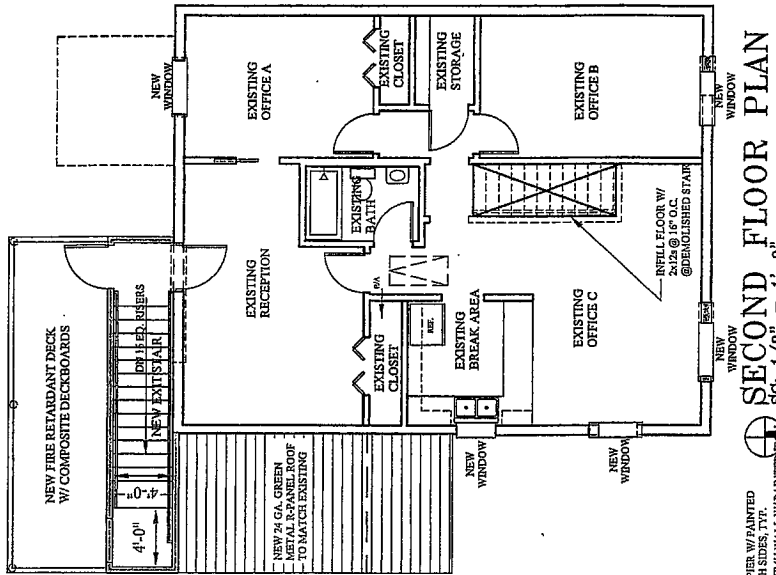
- LEGEND:**
- ILLUMINATED EXT SIGN
 - EXISTING WALLS
 - NEW WALL
 - CONSTRUCTION TO BE DEMOLISHED
- PROJECT DATA**
- BUILDING AREA AND OCCUPANT LOADS:
 - RESTAURANT.....218 G.S.F./ 83 OCCUPANTS
 - EXTERIOR COURTYARD, WAITING, PORCH.....2018 G.S.F./ 76 OCCUPANTS
 - GROSS BUILDING AREA.....586 G.S.F./ 10 OCCUPANTS
 - 1ST FLOOR.....2300 G.S.F.
 - 2ND FLOOR.....1180 G.S.F.
 - TOTAL.....3480 G.S.F.
 - PARKING:
 - 2 SPACES TOTAL INCLUDING I.A.D.A VAN ACCESSIBLE
 - CONCRETE AND IRON FENCES, GATES AND FOUNDATIONS HAVE BEEN PERMITTED UNDER PERMIT NUMBER 13-48769-RRVW

RENOVATION OF
EL GATO NEGRO LAKKVIEW
 900-316 Harrison Avenue
 New Orleans, Louisiana 70124

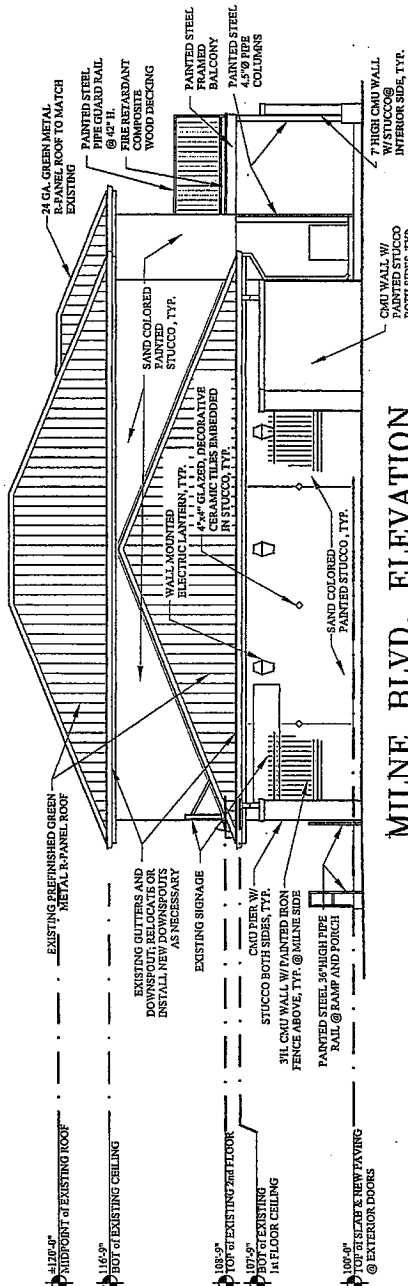
IK Harmon Architects
 A Professional Architectural Corporation
 New Orleans, Louisiana 70124
 504.586.0099 ikharmon@ikharmonarchitects.com

SCALE	1/8" = 1'-0"
DATE	07/14/14
PROJECT NO.	14001
CLIENT	EL GATO NEGRO
ARCHITECT	IK Harmon Architects
PROJECT NAME	RENOVATION OF EL GATO NEGRO LAKKVIEW
ADDRESS	900-316 Harrison Avenue, New Orleans, LA 70124
PROJECT NO.	14001
DATE	07/14/14
SCALE	1/8" = 1'-0"

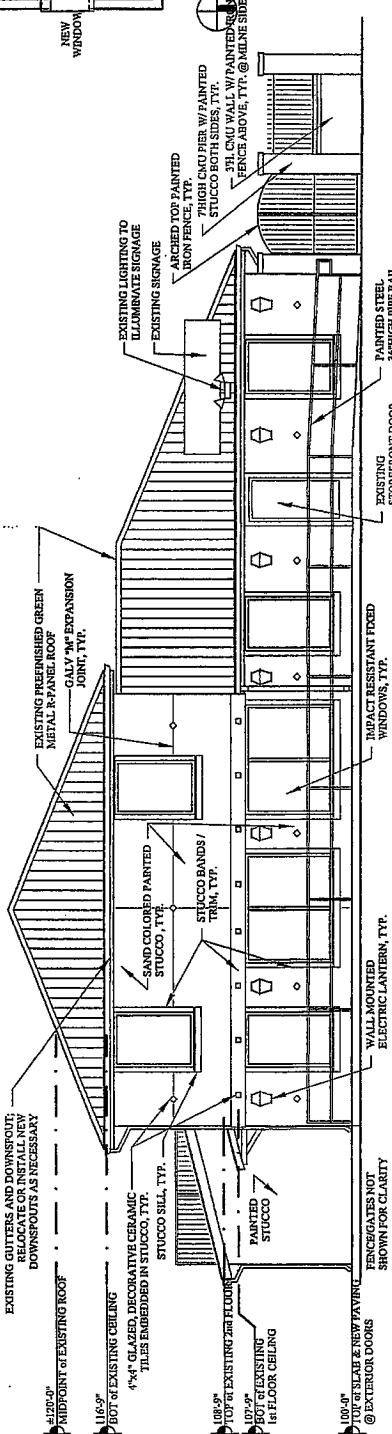
#8



SECOND FLOOR PLAN
 SC: 1/8" = 1'-0"



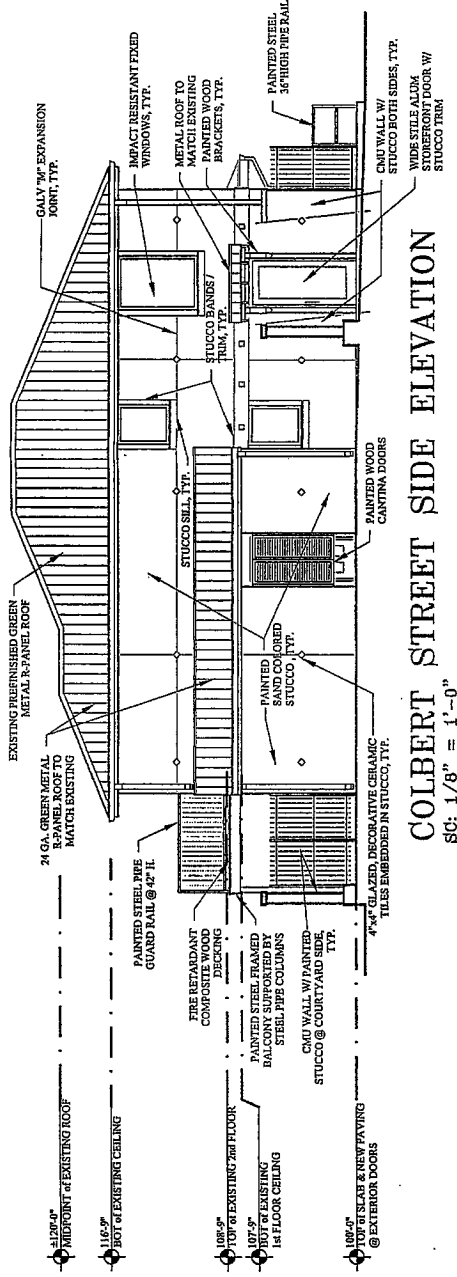
MILNE BLVD. ELEVATION
 SC: 1/8" = 1'-0"



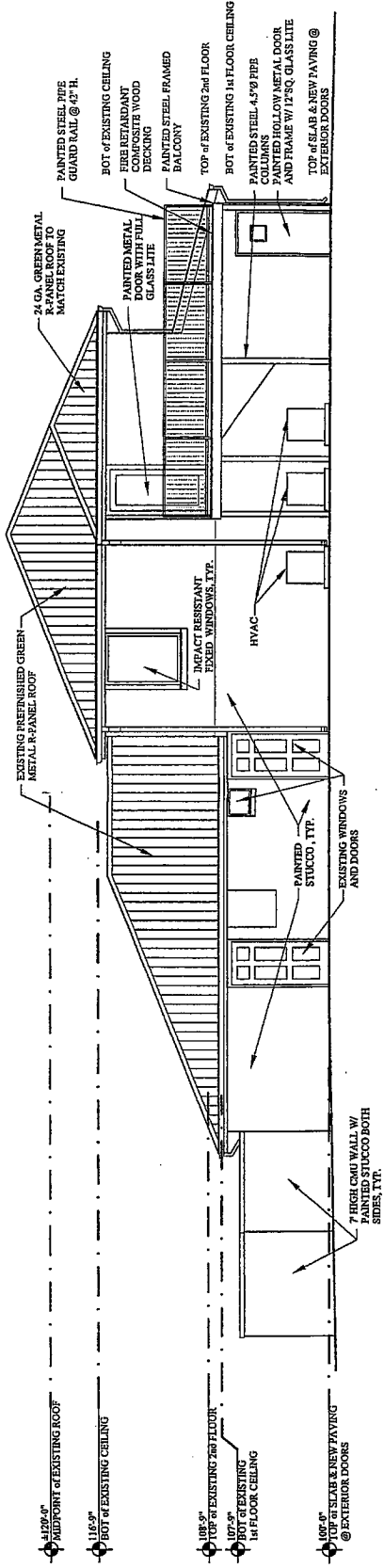
HARRISON AVENUE ELEVATION
 SC: 1/8" = 1'-0"

<p>LKHARMON ARCHITECTS A Professional Architectural Corporation 6228 Argonne Boulevard New Orleans, Louisiana 70124 504-835-8877</p>	<p>RENOVATION OF EL GATO NEGRO LAKEVIEW 300-316 Harrison Avenue New Orleans, Louisiana 70124</p>	<p>DATE: 01.14.2014 LADO REVIEW A2 LKH#10814</p>
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#8



COLBERT STREET SIDE ELEVATION
 SC: 1/8" = 1'-0"



FRENCH STREET SIDE ELEVATION
 SC: 1/8" = 1'-0"

 LKHerrmon Architects A Traditional Architectural Firm 6833 Arques Boulevard New Orleans, Louisiana 70184 504.885.8888	9.11.2014 LADD REVIEW	A3	LKH0014
	RENOVATION OF EL GATO NEGRO LAKEVIEW 300-316 Harrison Avenue New Orleans, Louisiana 70124		

#8