

City Planning Commission Meeting
Tuesday, May 26, 2015

CPC Deadline: 07/10/15
CC Deadline: 08/11/15
Council District: A - Guidry

PRELIMINARY STAFF REPORT

To: City Planning Commission

Prepared by: Brittany DesRocher

Zoning Docket: 047/15

Date: May 14, 2015

I. GENERAL INFORMATION:

Applicant: Semolina Development LLC

Request: This is a request for a Zoning Change from an LRS-3 Lakewood and Country Club Gardens Single-Family Residential District to an LB-1 Lake Area Neighborhood Business District and a Conditional Use to permit a parking lot in an LB-1 Lake Area Neighborhood Business District.

Location: The petitioned site is located on Square Metairie Road, Lot 52, in the Seventh Municipal District, bounded by Pontchartrain Boulevard, Metairie Road and Oakland Drive. The municipal address is 5068-5070 Pontchartrain Boulevard. (PD 5)

Description: The petitioned site is located on the block face of Pontchartrain Boulevard between Metairie Road and Oakland Drive, measuring approximately sixty-two (62) feet in width and one hundred seventeen (117) feet in depth, for a total area of seven thousand two hundred fifty-four (7,254) square feet (0.17 acre). The site is currently developed with a two-family home that the applicant is proposing to demolish for the purpose of creating additional parking spaces for a restaurant on an adjacent lot. The proposed parking lot would provide thirty-two (32) additional parking spaces. The restaurant on the adjacent lot is a single-story stucco building with a floor area of approximately four thousand eight hundred fifty (4,850) square feet and a seven hundred fifty-five (755) square foot patio. Currently the adjacent lot has thirty-eight (38) off-street parking spaces, including two (2) handicap accessible spaces.

Why is City Planning Commission action required?

Article 9A, Section 9A.3 LRS-3 Lakewood And Country Club Gardens Single-Family Residential District of the Comprehensive Zoning Ordinance states that a parking lot is not a permitted use or a conditional use in this district. The City Planning Commission is required to make a recommendation on all zoning amendment applications prior to City Council action, in accordance with **Article 16, Section 16.2.6 Actions on Zoning Amendments** of the Comprehensive Zoning

Ordinance.

Article 9A, Section 9A.8.5 *Conditional Uses* of the Comprehensive Zoning Ordinance states that a parking lot is a conditional use in the LB-1 Lake Area Neighborhood Business District¹. The City Planning Commission is required to make a recommendation on all conditional use applications prior to City Council action, in accordance with **Article 16, Section 16.6.4. Procedures for Conditional Use Permits** of the Comprehensive Zoning Ordinance

II. ANALYSIS

A. What is the zoning of the surrounding areas? What is the existing land use and how are the surrounding areas used?

The subject site is located within a large LRS-3 Lakewood & Country Club Gardens Single-Family Residential District that extends from the southern boundary of the New Orleans Country Club north to the I-610, and from the 17th Street Canal east to Canal Boulevard, City Park Avenue and Pontchartrain Boulevard. The site is located within a small residential community consisting of a dozen large, two-story single family homes developed on large lots, most of which front Oakland Drive. Immediately adjacent to the petitioned site, there is a small LB-2 Lake Area Neighborhood Business District that encompasses only one lot at the intersection of Metairie Road and Pontchartrain Boulevard. This adjacent LB-2 Lake Area Neighborhood Business District contains the business that the petitioned site would be providing parking for. Across Pontchartrain Boulevard, there is a small C-1 General Commercial District that encompasses the Greenwood and Cypress Grove Cemeteries, and two smaller LI-Light Industrial Districts following the I-10 right-of-way.

The nearby St. Patrick and LA State Charity Cemeteries are zoned RD-3 Two-Family Residential District. There is a LB-2 Lake Area Neighborhood Business District in the vicinity of the petitioned site. It extends along Canal Boulevard and encompasses a variety of commercial uses including bars, an auto service shop, a gas station with a convenience store, a general store, offices, a paint shop and a dry cleaner. Delgado Community College, zoned LRM-1 Lake Area Low-Rise Multiple-Family Residential District, is located several blocks away, along City Park Avenue.

B. What is the zoning and land use history of the site?

Zoning: 1929 – A Single- and Two-Family Residential District
 1953 – B Two Family Residential District
 1970 – RS-1 Single-Family Residential District

¹ Article 9A, Section 9A.8.5 states that uses and/or structures permitted as a conditional use shall be limited to a maximum of 5,000 square feet of gross floor area. It is the determination of Safety and Permits that this limit applies only to structures and that a parking lot exceeding 5,000 square feet would be allowed as a conditional use.

2007 – LRS-3 Lakewood & Country Club Gardens Single Family Residential²

Land Use: 1929 – Single Family Residential
1949 – Two Family Residential
1999 – Parkland, Recreation, Green Space³
2011 – Residential Single-Family Post-War

C. Have there been any recent zoning changes or conditional uses in the area? If so, do these changes indicate any particular pattern or trend?

Zoning Docket 84/14 was a request for a Conditional Use to permit an office building exceeding 5,000 square feet in floor area in an LB-2 Lake Area Neighborhood Business District, an LRS-3 Lakewood and Country Club Gardens Single-Family Residential District, and within the LADC Lake Area Design Corridor Overlay District. It was recommended for approval by the City Planning Commission and was subsequently approved by the City Council. *The petitioned site is located approximately 2000 feet from the impacted site.*

Zoning Docket 119/13 was a request for a Conditional Use to permit the sale of alcoholic beverages for on-premises consumption at a standard restaurant in an LB-2 Lake Area Neighborhood Business District. It was recommended for approval by the City Planning Commission and was subsequently approved by the City Council. *The petitioned site is adjacent to the impacted site and would serve as a parking lot for the business.*

Zoning Docket 103/12 was a request for a Zoning Change from an RD-3 Two-Family Residential District to a B-1A Neighborhood Business District and a Conditional Use to permit the expansion of a cocktail lounge. It was recommended for modified approval by the City Planning Commission and was subsequently approved without modifications by the City Council. *The petitioned site is located approximately 2500 feet from the impacted site.*

Zoning Docket 62/07 was a request for text and map amendments to create new zoning districts for all of Planning District 5, resulting in a new Article in the Comprehensive Zoning Ordinance titled the “Lake Area Zoning Districts.” It was recommended for modified approval by the City Planning Commission and was subsequently approved subject to the suggested modifications by the City Council. *The petitioned site is located in the area covered by the text and map amendments.*

² In 2007, Ordinance #22,896 M.C.S. (ZD 62/07) rezoned the site from RS-1 Single-Family Residential District to LRS-3 Lakewood & Country Club Gardens Single Family Residential, as part of the adoption of the Lake Area zoning districts.

³ The 1999 Land Use Plan presented a generalized indication of land uses, and was not lot-specific.

The above zoning actions seem to show a trend towards rezoning in the vicinity of the petitioned site. Additionally, Conditional Uses have been granted in similar zoning districts. Specifically, Zoning Docket 103/12 permitted a neighborhood business district to expand into a residential district in order to approve the expansion of an existing business. This example is most similar to the applicant's request.

D. What are the comments from the design review staff?

The applicant is proposing to demolish a two-family residence and create a parking lot that will service an existing restaurant on the adjacent lot. The petitioned site fronts Pontchartrain Boulevard and measures approximately sixty-two (62) feet in width and one hundred seventeen (117) feet in depth, for a total area of seven thousand two hundred fifty-four (7,254) square feet (0.17 acre). The existing restaurant on the adjacent lot is a single-story stucco building with a floor area of approximately four thousand eight hundred fifty (4,850) square feet and a seven hundred fifty-five (755) square feet patio. Currently the adjacent lot has thirty-eight (38) off-street parking spaces, including two (2) handicap accessible spaces. Given that the proposed parking lot will be serving the adjacent restaurant, the staff recommends resubdividing the lots into one lot of record. If the proposal is recommended for approval, it should be subject to the following proviso:

- The applicant shall submit an application to resubdivide the petitioned lot and adjacent lot into one lot of record prior to the finalization of the conditional use. Additionally, the subdivision shall be finalized prior to the issuance of the Certificate of Use and Occupancy by the Department of Safety and Permits.

The proposal includes an additional thirty-two (32) parking spaces. The overall site will include seventy (70) parking spaces. Sixteen (16) of the parking spaces or approximately twenty-three (23) percent are compact spaces measuring seven (7) foot six (6) inches wide by sixteen (16) foot deep. The remainder of the parking spaces will be a standard size measuring eight (8) foot six (6) inches wide by eighteen (18) foot deep. Two (2) spaces will be designated handicap accessible. The proposed vehicular use area and parking spaces have an area of approximately six thousand four hundred twenty (6,420) square feet which will be paved with four (4) inches of asphalt. This paving accounts for eighty-nine (89) percent of the petitioned lot.

The proposed parking lot on the petitioned site provides parking in excess of what is required by **Article 15, Section 15.2 – Off-Street Parking Regulations** of the Comprehensive Zoning Ordinance. Therefore, due to the limited amount of interior vehicular area landscaping, the staff would recommend the use of pervious paving in place of asphalt to reduce stormwater runoff on adjacent properties as well as in the public right-of-way. If the proposal is recommended for approval, it should be subject to the following proviso:

- The applicant shall submit a revised site plan to provide pervious paving in the vehicular use areas on the petitioned site.

Landscaping, Screening & Fencing

The applicant is providing a two (2) foot six (6) inch perimeter landscaping strip where the lot abuts residential lots which will include shrubs and trees. Additionally, the proposal includes a landscaping buffer in the public right-of-way between the parking lot and the adjacent sidewalk. The proposal includes three (3) landscape islands within the vehicular use area. The first landscape island is adjacent to the curb cut on Pontchartrain Boulevard and measures approximately five (5) foot wide and sixteen (16) foot deep for a total area of eighty (80) square feet. The second landscape island is adjacent to a bank of parking spaces that are centered on the lot and measures approximately five (5) foot wide and thirty-one (31) foot deep for a total area of one hundred fifty-five (155) square feet. The third landscape island is at the rear of the lot where there is an existing oak tree and measures approximately eight (8) foot six (6) inches wide and eighteen (18) foot deep for a total area of one hundred fifty-three (153) square feet. The proposal includes reconfiguring the parking spaces on the adjacent lot and will eliminate a small triangular landscaping island. The approximate area of the perimeter landscaping and all three landscape islands is eight hundred thirty-five (835) square feet.

The petitioned site is located next to an elevated portion of Interstate 10 and near the recessed intersection of two major roads. The front yard of the site is not traditional. Immediately adjacent to the sidewalk is a retaining wall and small terrace because the site is elevated noticeably higher than the recessed public right-of-way. There are stairs that provide access from the sidewalk to the front yard of the petitioned site.



Figure 2: Front yard of petitioned site

The proposal uses this small terrace as a landscaping buffer although it is in the public right-of-way. There are nine (9) new parking spaces immediately adjacent to the landscaping buffer in the required front yard. According to **Article 15, Section 15.2.3 - Parking in Front Yards** of the Comprehensive Zoning Ordinance, these parking spaces would be prohibited. Additionally, **Article 15, Section 15.6.6 – Limitation on Pavement of Required Yard Areas** of the Comprehensive Zoning Ordinance, limits paving in the required front yard to forty (40) percent. The applicant is proposing to pave approximately ninety (90) percent of the required front yard. If the proposal is recommended for approval, it would require the following waivers:

- The applicant shall be granted a waiver of **Article 15, Section 15.2.3** of the Comprehensive Zoning Ordinance, which prohibits parking in the required front yard, to permit nine (9) parking spaces in the required front yard.
- The applicant shall be granted a waiver of **Article 15, Section 15.6.6** of the Comprehensive Zoning Ordinance, which limits pavement of the required front yard to forty (40) percent, to permit pavement of ninety (90) percent of the front yard.

Signage and Lighting

The submitted proposal does not include any new signage however during a site visit the staff discovered signage on the adjacent lot that is in violation. A directional sign was installed without City Planning Commission review and approval. Per **Article 9, Section 9A.9.6.6**, directional signs are permitted but are limited to ten (10) square feet. Additionally, there was a temporary sign promoting alcoholic beverages which is prohibited by the existing conditional use.⁴ To ensure that existing and any proposed signage meets the Comprehensive Zoning Ordinance requirements, if the proposal is recommended for approval, it should be subject to the following proviso:

- The applicant shall submit signage plans for all existing and proposed signage to City Planning Commission for review and approval. All exterior signage shall be in accordance with the requirements of **Article 9, Section 9A.9.6 Permitted Signs** of the Comprehensive Zoning Ordinance. No signage promoting alcoholic beverages shall be permitted on the exterior of the building or visible from the exterior of the building.

⁴ ZD119-13 was an approved request for a conditional use to permit the sale of alcoholic beverages for on-premises consumption at a standard restaurant in an LB-2 Lake Area Neighborhood Business District. Proviso 8 states, “No signage promoting alcoholic beverages shall be permitted on the exterior of the building or visible from the exterior of the building.”



Figure 2: Existing signage on adjacent lot.

The submitted proposal does not include any lighting details. Per **Article 15, Section 15.2.5.7 – Lighting** of the Comprehensive Zoning Ordinance, adequate lighting shall be provided if off-street parking spaces are to be used at night. To ensure the site provides adequate lighting that will not become a nuisance to the adjacent residential use, if the proposal is recommended for approval, it should be subject to the following proviso:

- The applicant shall submit details for all existing and proposed exterior lighting to City Planning Commission for review and approval. All exterior lighting shall be in accordance with the requirements of **Article 15, Section 15.2.5.7 – Lighting** of the Comprehensive Zoning Ordinance.

E. What is the potential traffic impact? What are the off-street parking and off-street loading requirements? Can the required number of off-street parking spaces be provided on site, or would a waiver be required?

Traffic

Pontchartrain Boulevard, on which the site fronts, is a major street, according to the *Plan for the 21st Century*, and provides two lanes of travel in each direction separated by a neutral ground. The elevated section of I-10 is raised above the Pontchartrain Boulevard. There are no parking lanes on any side of the road. Metairie Road, which is to the north of the site, is a two-way, four lane major arterial road with a narrow neutral ground and no parking on the side. Oakland Drive, which is to the west of the site, is a short, one

lane, two-way street that provides access to a dozen residential properties.

The petitioned site is currently developed with a two-family residence. The site is accessible via two (2) existing twelve (12) feet wide, one-way curb cuts from Pontchartrain Boulevard. The proposal would eliminate one of the existing curb cuts on the petitioned site as well as one the existing curb cuts on the adjacent site leaving just one twelve (12) feet wide, one-way curb cut on Pontchartrain Boulevard. The proposal is for additional parking space for an existing restaurant therefore there wouldn't be an increase in traffic. Both Pontchartrain Boulevard and Metairie Road should easily be able to continue to accommodate the traffic generated by the restaurant use.

Parking

The proposal is for additional parking for the restaurant on the adjacent lot. The total interior area of the restaurant is approximately 4,850 square feet. The outdoor seating area is approximately 755 square feet. The gross square footage for the parking calculation is approximately 5,605 square feet. According to **Article 15, Section 15.2**, 1 parking space per 150 square feet of floor area is required in an LB-2 Lake Area Neighborhood Business District. Therefore, a total of thirty-eight (38) off-street parking spaces are required. The site adjacent to the petitioned site currently has thirty-eight (38) off street parking spaces, including two (2) handicap accessible spaces, thus meeting the stated standards. The proposal includes thirty-two (32) additional parking spaces for a total of seventy (70) parking spaces.

Loading

According to **Article 15, Section 15.3** Table 15.G, one loading space is required for restaurants between 2,000 and 10,000 square feet in floor area. This requirement was waived under ZD119-13 because the staff believed that delivery hours can be arranged so that some of the vehicular parking area can have dual function serving as a loading area during certain time of the day.

F. Are there any comments from other agencies, departments or committees?

The proposal was considered by the Planning Advisory Committee at its meeting on May 6th 2015. The representative of the Department of Public Works noted that the public right-of-way adjacent to this site is under the jurisdiction of Louisiana Department of Transportation. Sewage and Water Board noted that all trees should be five (5) foot from any water lines or house connections. The committee then passed a motion of no objection subject to further review by the City Planning Commission.

G. What effects or impacts would the proposed conditional use/planned development district have on adjacent properties?

The primary negative impacts of surface parking lots are their visual impact, the potential

for an increase in stormwater runoff, and the potential for an increase in traffic. The visual impact of the proposed surface parking lot should be minimized by the proposed landscaping. The proposed landscaping would also help mitigate some of the stormwater runoff however the applicant is proposing to pave eighty-nine (89) percent of the petitioned site. In order to further alleviate the impact of stormwater runoff on the adjacent properties the staff is recommending that one hundred (100) percent of the paving be of a pervious material. Finally, the proposed parking lot is meant to service an existing establishment and there is no indication that there would be an increase in traffic.

III. Are the proposed actions supported by or in conflict with the policies and strategies of the *Plan for the 21st Century: New Orleans 2030*?

A land use action is consistent with the Master Plan if it furthers, or at least does not interfere with, the goals, policies, and guidelines in the Land Use Element of the Master Plan and is compatible with the uses, densities, and intensities of the designation of its site on the Future Land Use Map. The proposed Conditional Use is addressed by the Plan for the 21st Century, commonly known as the Master Plan. "Chapter 14: Land Use Plan" of the Master Plan designates the future land use of the petitioned site as **Residential Post-War Single-Family**. The goal, range of uses and development character for these designations are copied below:

RESIDENTIAL POST-WAR SINGLE-FAMILY

Goal: Preserve the existing character and scale of low density single-family residential in post-war (WWII) areas of the city and allow for compatible infill development.

Range of Uses: Single-family dwellings and supporting public recreational and community facilities allowed (e.g., schools and places of worship).

Development Character: New development will fit with the character and scale of surrounding neighborhoods where single- and two-family residential structures are typically set back away from the street on larger lots than in older, pre-war neighborhoods. Maximum density of 10 units/acre.

The requested Zoning Change would modify the zoning of the petitioned lot from Single-Family Residential which is consistent with the Master Plan, to Neighborhood Business which would conflict with the goals of the Master Plan. Additionally, a parking lot does not align with the range of uses of the Residential Post-War Single-Family Land Use category.

IV. SUMMARY

Zoning Docket 047-15 is a request for a Zoning Change from a LRS-3 Lakewood and Country Club Gardens Single-Family Residential District to a LB-1 Lake Area Neighborhood Business District and a Conditional Use to permit a parking lot in a LB-1

Lake Area Neighborhood Business District. The petitioned site, located near the intersection of Pontchartrain Boulevard and Metairie Road, has historically been residential. A Zoning Change is required because under the current zoning, LRS-3 Lakewood and Country Club Gardens Single-Family Residential District, a parking lot is not a permitted use or a conditional use. Additionally, this zoning change and conditional use to permit a parking lot is not consistent with the Master Plan. A number of standard conditions are recommended to address negative impacts that could potentially result from the use. Specifically, the staff recommends screening and landscaping as well as the use of pervious paving to help mitigate stormwater runoff.

V. PRELIMINARY STAFF RECOMMENDATION⁵

The staff recommends **DENIAL** of Zoning Docket 047/15, a Zoning Change from an LRS-3 Lakewood and Country Club Gardens Single-Family Residential District to an LB-1 Lake Area Neighborhood Business District and a Conditional Use to permit a parking lot in a LB-1 Lake Area Neighborhood Business District.

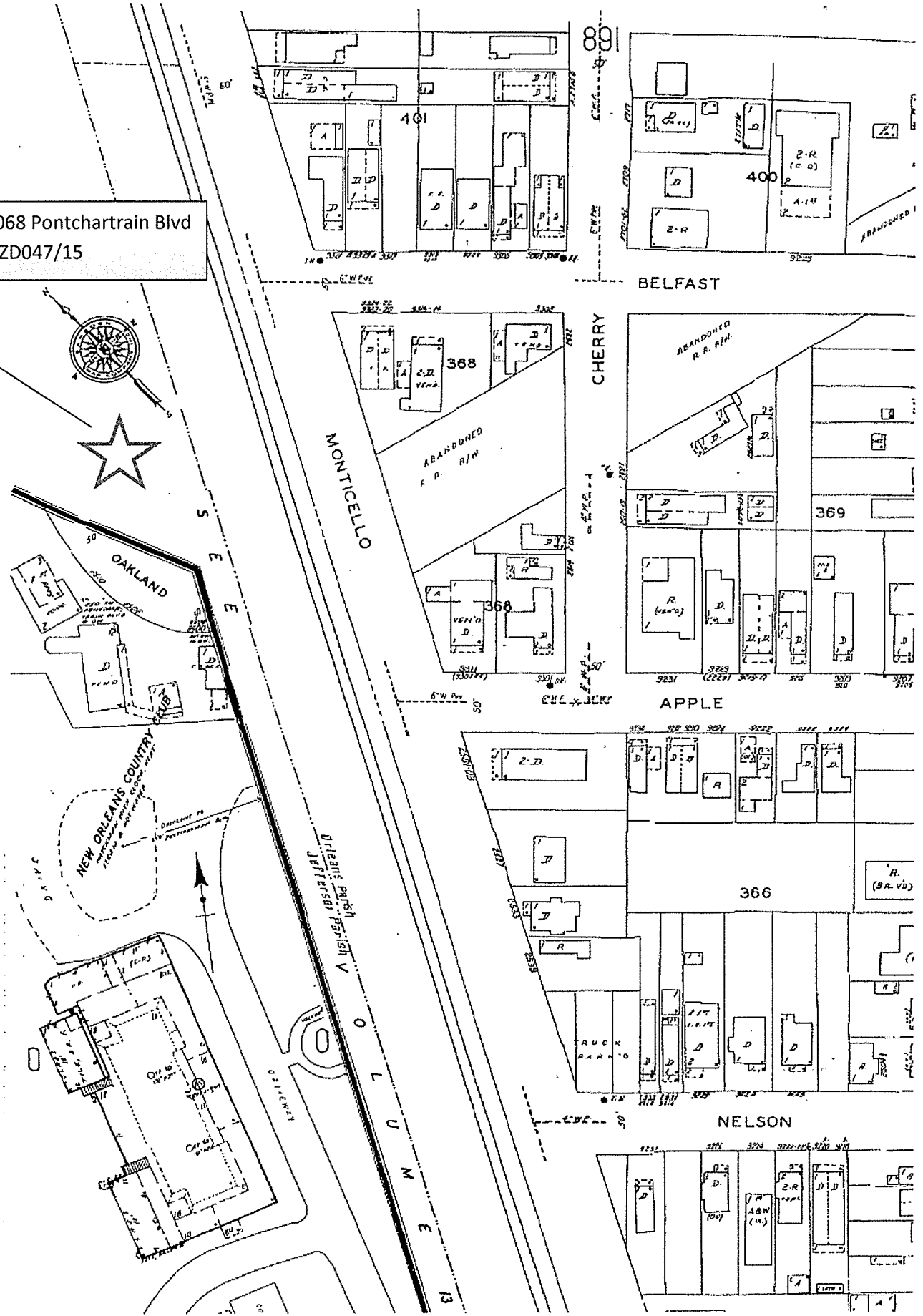
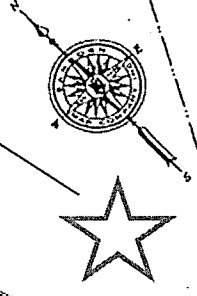
VI. REASONS FOR RECOMMENDATION

1. The proposal is not consistent with the *Plan for the 21st Century*.
2. The proposed use is not consistent with the historic use of the site.

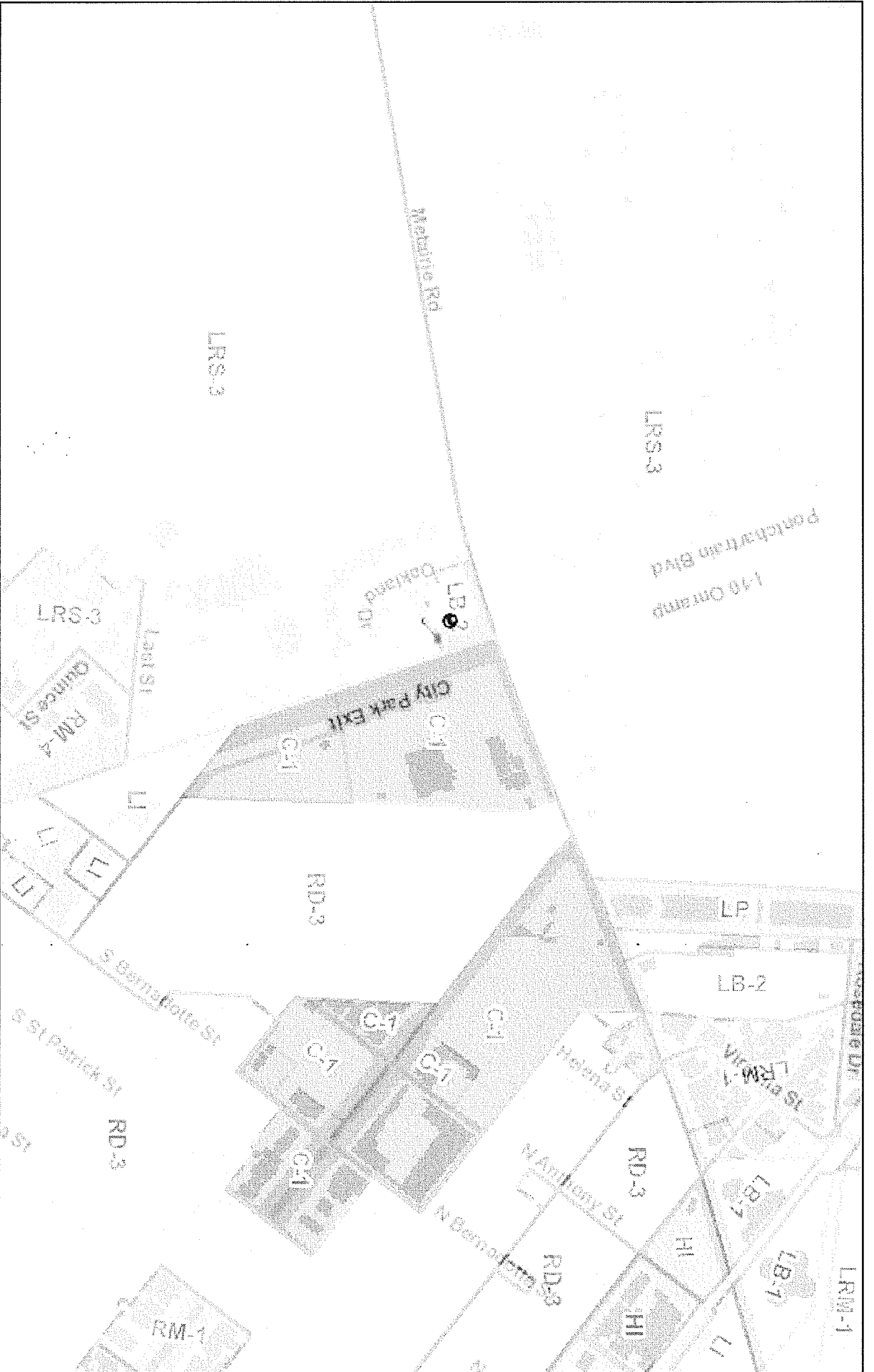
VII. Should the applicant desire changes to any recommended waivers or provisos, the applicant is encouraged to bring any proposed alternative language for discussion at the meeting.

⁵ Subject to modification by the City Planning Commission

5068 Pontchartrain Blvd
- ZD047/15



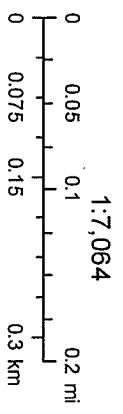
City of New Orleans Property Viewer



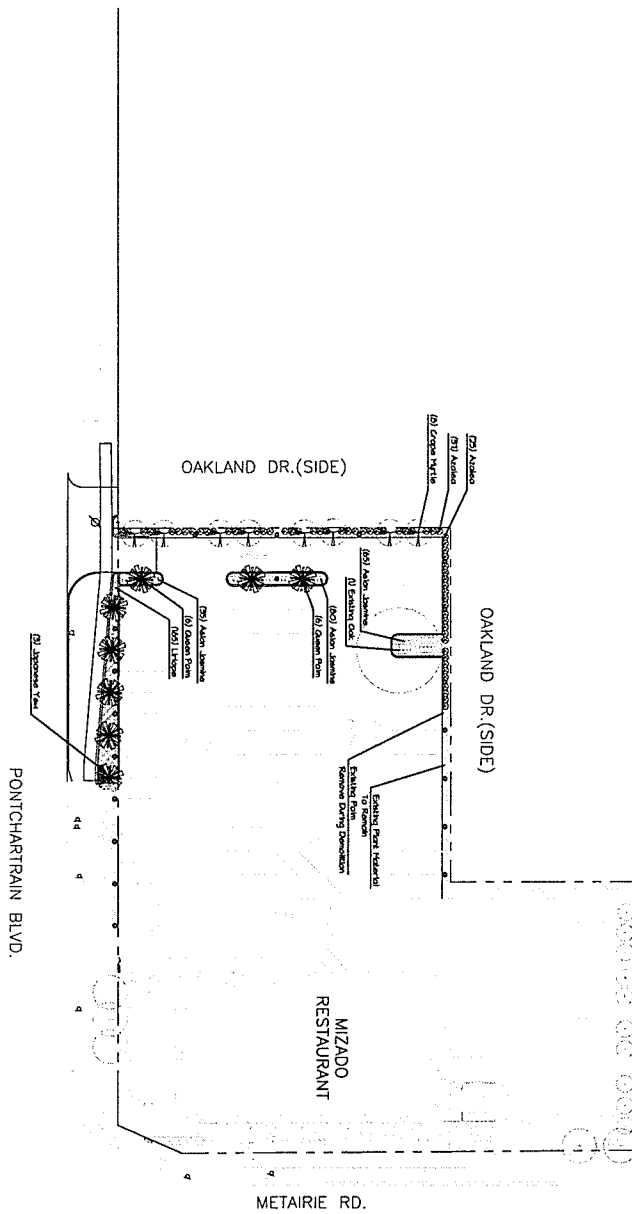
April 30, 2015



Override 1



PRELIMINARY



Quantity	Symbol	Scientific Name	Common Name	Proposed Size
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03	(Symbol)	Asplenium nidus	Common Nerve	1'-0"
04	(Symbol)	Asplenium nidus	Common Nerve	1'-0"
05	(Symbol)	Asplenium nidus	Common Nerve	1'-0"
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98	(Symbol)	Asplenium nidus	Common Nerve	1'-0"
99	(Symbol)	Asplenium nidus	Common Nerve	1'-0"
100	(Symbol)	Asplenium nidus	Common Nerve	1'-0"

NOTE: Field verify plant materials. All included plant material to match existing site in species and size.

LANDSCAPE PLAN
SCALE: 1" = 20'

L-1

MIZADO COCINA
NEW ORLEANS, LOUISIANA
THIS SHEET:
LANDSCAPE PLAN

REV. NO.	DATE

SOIL

LINFIELD, HUNTER & JUNIUS, INC.
PROFESSIONAL ENGINEERS AND ARCHITECTS
1608 18th Street, Suite 2003
Metairie, Louisiana 70002
PHONE: (504) 833-3300
FAX: (504) 833-5350

11. DETAILS

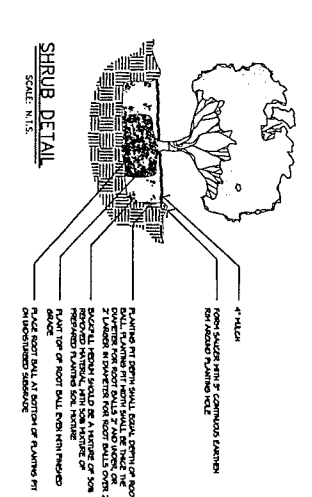
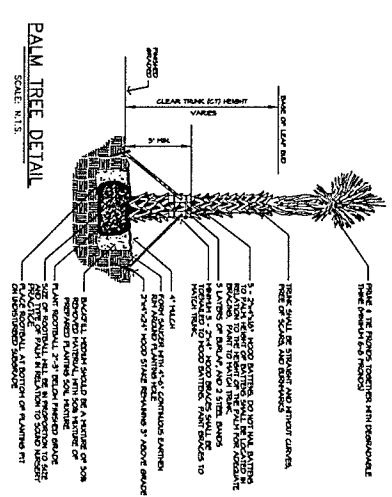
- A. Installation to ground level, unless the finishing shows otherwise.
- B. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- C. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- D. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- E. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- F. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- G. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- H. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- I. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- J. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- K. Provide a minimum of 2" of landscape grade, or as noted on schedule.
- L. Provide a minimum of 2" of landscape grade, or as noted on schedule.

12. INSTALLATION

- A. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- B. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- C. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- D. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- E. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- F. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- G. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- H. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- I. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- J. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- K. Excavate to grade, backfill with landscape grade, or as noted on schedule.
- L. Excavate to grade, backfill with landscape grade, or as noted on schedule.

PRELIMINARY

Quantity	Symbol	Supplier Name	Common Name	Planting Size
0	1	Asiatic Palm	Asiatic Palm	1-04
0	2	Large Palm	Large Palm	1-04
0	3	Medium Palm	Medium Palm	1-04
0	4	Small Palm	Small Palm	1-04
0	5	Very Small Palm	Very Small Palm	1-04
0	6	Shrub	Shrub	1-04
0	7	Flowering Shrub	Flowering Shrub	1-04
0	8	Tree	Tree	1-04
0	9	Large Tree	Large Tree	1-04
0	10	Medium Tree	Medium Tree	1-04
0	11	Small Tree	Small Tree	1-04
0	12	Very Small Tree	Very Small Tree	1-04



LEGEND	
⊙ OR □	EXIST. DROP INLET
-C-	EXIST. CITY WIRE
---W(SIZE)---	EXIST. WATERLINE
---G(SIZE)---	EXIST. GAS LINE
---	EXIST. UNDERGROUND ELECTRIC LINE
---	EXIST. SEWER LINE
---	EXIST. TELEPHONE LINE
---	EXIST. DRAIN LINE
---	TEMPORARY BENCHMARK
---	TOP OF CASTING/CURB ELEVATION
T.B.M.	TEMPORARY BENCHMARK
C5	CONCRETE CURB
ELEVATION	ELEVATION
T.C.	TOP OF CURB
L.C.	LOWEST CURB
S.M.	SEWER MANHOLE
⊙	EXIST. SEWER MANHOLE
⊙	EXIST. DRAIN MANHOLE
⊙	EXIST. FIRE HYDRANT
⊙	EXIST. WATER METER
⊙	GAS METER
⊙	GAS VALVE
⊙	EXIST. SEWER CLEANOUT
⊙	EXIST. SIGN
⊙	EXIST. BOLLARD
⊙	EXIST. FUEL FILLER LIDS
⊙	EXIST. TRAFFIC LIGHT
⊙	HOSE BB
⊙	EXIST. TRAFFIC SIGNALBOX
⊙	EXIST. RIGHT-OF-WAY MARKER
⊙	EXIST. TELEPHONE POLE
⊙	EXIST. CATCH BASIN
⊙	CROSS CUT IN CONC.
⊙	EXIST. SPOT ELEVATION
⊙	FOUND
⊙	OVERHEAD ELECTRIC
⊙	EXIST. TREE OR SHRUB
⊙	EXIST. SWITCH
⊙	EXIST. CHAINLINK FENCE
⊙	EXIST. WIRE FENCE
⊙	FOUND IRON PIPE
⊙	EXIST. MANHOLE
⊙	EXIST. TELEPHONE PEDestal
⊙	EXIST. ELECTRICAL TRANSFORMER
⊙	EXIST. STIAL POLE
⊙	⊙ DENOTES 1/2" IRON ROD SET

CONSTRUCTION LEGEND

- REDO ASPHALT PAVEMENT (SEE DETAIL C-3)
- REDO 5" PORTLAND CEMENT CONCRETE PAVEMENT (SEE DETAIL DMC C-3)
- REDO CONCRETE PAVEMENT (SEE DETAIL DMC C-3)
- REDO CONCRETE SIDEWALK (SEE DETAIL DMC C-3)
- REDO DIRECTIONAL ARROW (SEE DETAIL DMC C-3)
- REDO MARKING SYMBOL (SEE DETAIL DMC C-3)
- REDO 4" WIDE YELLOW STRIPING (SEE DETAIL DMC C-3)
- REDO 4" WIDE BLUE STRIPING (SEE DETAIL DMC C-3)
- REDO PARKING BANDED (SEE DETAIL DMC C-3)
- REDO TRUNCATED DOMES (SEE CITY OF NEW ORLEANS STANDARD DRAWING) (SEE DETAIL DMC C-3)
- REDO CURB, GUTTER AND CUTTER (SEE DETAIL DMC C-3)

EXISTING FEATURES

- EXIST. DROP INLET
- EXIST. CITY WIRE
- EXIST. WATERLINE
- EXIST. GAS LINE
- EXIST. UNDERGROUND ELECTRIC LINE
- EXIST. SEWER LINE
- EXIST. TELEPHONE LINE
- EXIST. DRAIN LINE
- TEMPORARY BENCHMARK
- TOP OF CASTING/CURB ELEVATION
- ELEVATION
- T.C.
- L.C.
- S.M.
- EXIST. SEWER MANHOLE
- EXIST. DRAIN MANHOLE
- EXIST. FIRE HYDRANT
- EXIST. WATER METER
- GAS METER
- GAS VALVE
- EXIST. SEWER CLEANOUT
- EXIST. SIGN
- EXIST. BOLLARD
- EXIST. FUEL FILLER LIDS
- EXIST. TRAFFIC LIGHT
- HOSE BB
- EXIST. TRAFFIC SIGNALBOX
- EXIST. RIGHT-OF-WAY MARKER
- EXIST. TELEPHONE POLE
- EXIST. CATCH BASIN
- CROSS CUT IN CONC.
- EXIST. SPOT ELEVATION
- FOUND
- OVERHEAD ELECTRIC
- EXIST. TREE OR SHRUB
- EXIST. SWITCH
- EXIST. CHAINLINK FENCE
- EXIST. WIRE FENCE
- FOUND IRON PIPE
- EXIST. MANHOLE
- EXIST. TELEPHONE PEDestal
- EXIST. ELECTRICAL TRANSFORMER
- EXIST. STIAL POLE
- ⊙ DENOTES 1/2" IRON ROD SET

REV. NO.	DATE

MIZADO COCINA
NEW ORLEANS, LOUISIANA

NO. SHEET: _____

PROJ. NO. 11-08

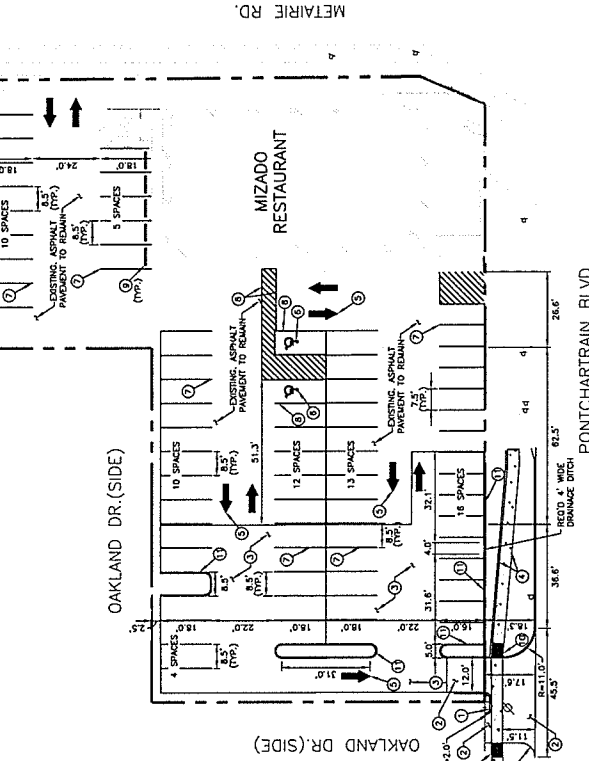
DATE 8/27/14

C-1

PRELIMINARY

PARKING TABLE	
ASPH. SPACES	27
CONC. SPACES	7
TOTAL SPACES	34
COMPACT	19
TOTAL SPACES	70

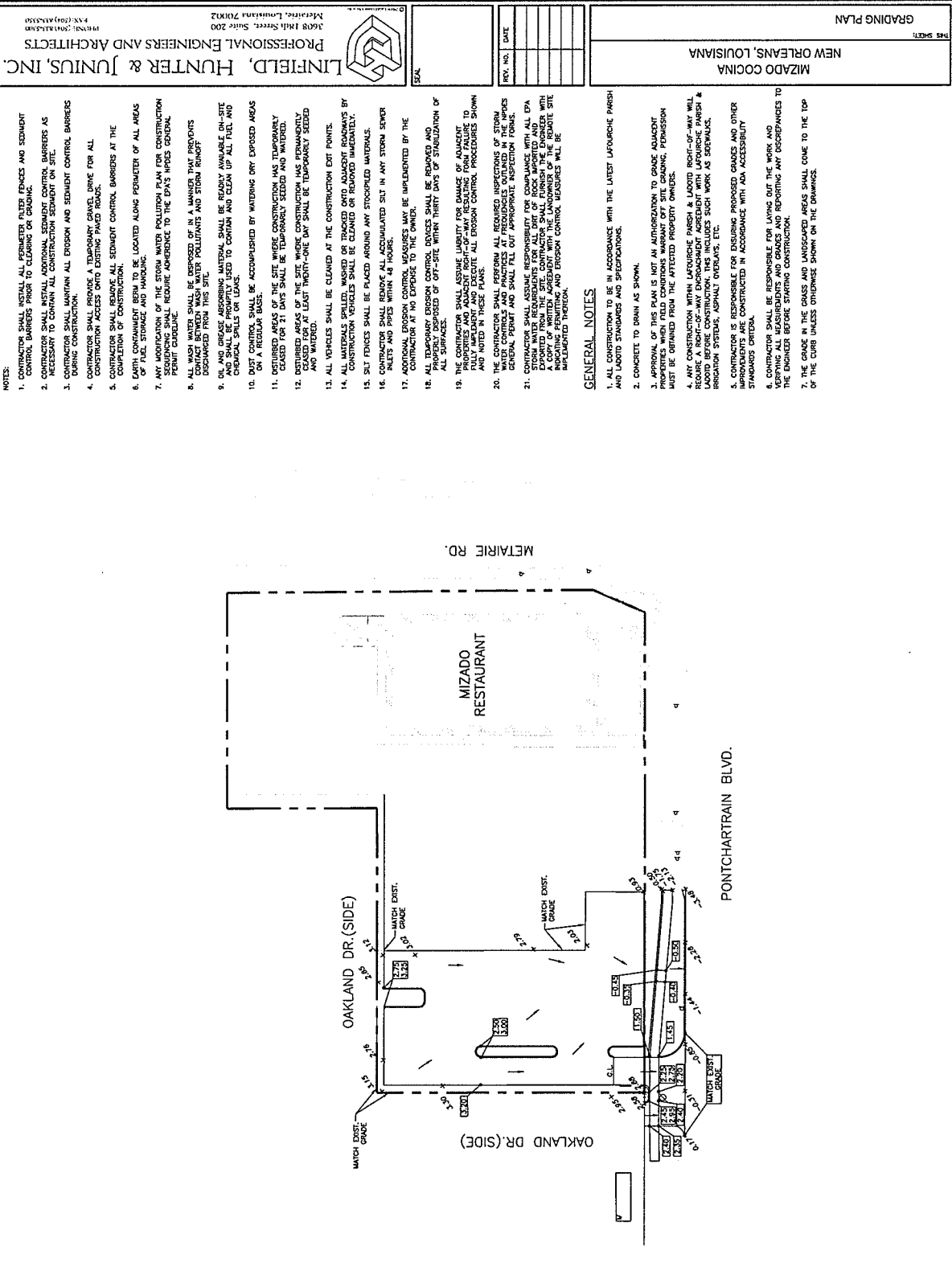
PAVING LEGEND	
	CONCRETE PAVING
	DIRTYWALL PAVING
	STRIPPED ISLAND



- NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF THE WORK VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
 - ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO ORLEANS PARISH AND LAOCD TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE LAOCD TRAFFIC CONTROL MANUAL. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM THROUGHOUT CONSTRUCTION ACTIVITY.
 - BRING UP GRADE UNDER ALL PAVED/UT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
 - ALL DIMENSIONS SHOWN ARE FROM:
 - FACE OF CURB TO FACE OF CURB
 - FACE OF CURB TO PROPERTY LINE
 - PROPERTY LINE TO BUILDING FACE
 - ALL CURB RADIUS SHALL BE 2.5 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
 - ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE STATE AND PARISH CONSTRUCTION STANDARDS AS IDENTIFIED IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN A CURRENT RELEASE OF THE STATE AND PARISH LAND DEVELOPMENT STANDARDS MANUAL ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND ALL NEW SIGNS SHALL BE INSTALLED ON GUARANTEED POSTS AND IN ACCORDANCE WITH STATE AND PARISH REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER ORLEANS PARISH AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.

LINFIELD, HUNTER & JUNIUS, INC.
PROFESSIONAL ENGINEERS AND ARCHITECTS
3608 18th Street, Suite 200
Metairie, Louisiana 70002
PHONE: (504) 885-1500
FAX: (504) 885-1500

LEGEND	
⊙ OR □	EXIST. DRAIN INLET
-C-	EXIST. GUT WIRE
---	EXIST. WATERLINE
---	EXIST. GAS LINE
---	EXIST. UNDERGROUND ELECTRIC LINE
---	EXIST. SEWER LINE
---	EXIST. TELEPHONE LINE
---	EXIST. DRAIN LINE
---	TEMPORARY BENCHMARK
---	EXIST. SURVEY BENCHMARK
---	CIRCULAR CURVE TO SPINAL
---	TOP OF CASTING/CURB ELEVATION
---	WALKWAY
---	SEWER MANHOLE
---	EXIST. SEWER MANHOLE
---	EXIST. DRAIN MANHOLE
---	EXIST. WATER VALVE
---	EXIST. WATER METER
---	GAS METER
---	GAS VALVE
---	EXIST. SEWER CLEANOUT
---	EXIST. SIGN
---	EXIST. RELIUS
---	EXIST. LIGHT POLE
---	EXIST. TRAFFIC LIGHT
---	HOSE BB
---	EXIST. TRAFFIC SIGNALBOX
---	EXIST. RIGHT-OF-WAY MARKER
---	EXIST. TELEPHONE POLE
---	EXIST. CATCH BASIN
---	CROSS CUT IN CONC.
---	EXIST. REINFORC. LINE
---	REINFORCED CONCRETE PIPE
---	CORRODATED METAL PIPE
---	INVERT ELEVATION
---	EXIST. MANHOLE
---	S/W
---	EXIST. SPOT ELEVATION
---	FOUND
---	OVERHEAD ELECTRIC
---	EXIST. TREE OR SHRUB
---	EXIST. DITCH
---	EXIST. CHAINLINK FENCE
---	EXIST. WIRE FENCE
---	FOUND HIGH PIPE
---	EXIST. MAILBOX
---	EXIST. TELEPHONE PEDestal
---	EXIST. ELECTRICAL TRANSFORMER
---	EXIST. AC UNIT
---	EXIST. STEEL POLE
NEW FEATURES	
---	DRAINAGE ARROW
---	GUTTER ELEVATION
---	TOP OF CURB ELEVATION
---	TOP OF CASTING
---	GRADE LINE
---	TOP OF CASTING
---	FINISHED BACKSLOUT GRADE
---	TOP OF DITCH
---	B.O.D.
---	EXISTING GRADE



- NOTES:**
- CONTRACTOR SHALL INSTALL ALL PERIMETER FENCE AND SEDIMENT CONTROL BARRIERS AT THE PERIMETER OF THE PROJECT.
 - CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT CONTROL BARRIERS AS NECESSARY TO CONTAIN ALL CONSTRUCTION SEDIMENT ON SITE.
 - CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL BARRIERS DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE A TEMPORARY GRAVEL DRIVE FOR ALL CONSTRUCTION ACCESS ONTO EXISTING PAVED ROADS.
 - CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROL BARRIERS AT THE COMPLETION OF CONSTRUCTION.
 - ALL EXISTING UTILITIES SHALL BE LOCATED ALONG PERIMETER OF ALL AREAS OF FILL, STORMWATER HANDLING, AND HANDLING.
 - ANY MODIFICATION OF THE STORM WATER POLLUTION PLAN FOR CONSTRUCTION SEDIMENTATION SHALL REQUIRE ADHERENCE TO THE EPA'S NPDES GENERAL PERMIT GUIDELINE.
 - ALL WASH WATER SHALL BE DEPOSED OF IN A MANNER THAT PREVENTS POLLUTANTS FROM ENTERING POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
 - DIRT AND GRADE ADJUSTING MATERIAL SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND CLEAN UP ALL DIRT AND GRADE ADJUSTING MATERIAL.
 - DIRT AND GRADE ADJUSTING MATERIAL SHALL BE READILY AVAILABLE ON-SITE ON A REGULAR BASIS.
 - ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS.
 - ALL MATERIALS SPILLED, WASHED OR TRACKED INTO ADJACENT ROADWAYS BY CONSTRUCTION VEHICLES SHALL BE CLEANED OR REMOVED IMMEDIATELY.
 - SOIL FENCES SHALL BE PLACED AROUND ANY STOCKPILED MATERIALS.
 - CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT IN ANY STORM SEWER DUCTS AND EROSION CONTROL MEASURES. THIS SHALL BE IMPLEMENTED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND PROPERLY DEPOSED OF OFF-SITE WITHIN THIRTY DAYS OF STABILIZATION OF ALL SURFACES.
 - THE CONTRACTOR SHALL MAINTAIN SUFFICIENT LIGHTING FOR SAFETY TO ALL OPERATIONS AND SHALL MAINTAIN ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THESE PLANS.
 - ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EPA REGULATIONS AND STANDARDS FOR EROSION CONTROL. THE CONTRACTOR SHALL EXPLORE ALL OPTIONS FOR EROSION CONTROL AND SHALL REPORT THE RESULTS OF SUCH INVESTIGATION TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPOSED GRADES AND OTHER IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY STANDARDS CRITERIA.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ENGINEER SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER BEFORE STARTING CONSTRUCTION.
 - THE GRADE IN THE AREAS AND MARKERS AREAS SHALL COME TO THE TOP OF THE CURB UNLESS OTHERWISE SHOWN ON THE DRAWING.
- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST LAPOURCHÉ PAGES AND LAOBT STANDARDS AND SPECIFICATIONS.
 - CONCRETE TO BE DRUM AS SHOWN.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJUSTMENT OR TO CONSTRUCT ANY OTHER WORK. PERMISSION MUST BE OBTAINED FROM THE APPLICABLE PROPERTY OWNERS.
 - ANY CONSTRUCTION WITH LAPOURCHÉ PAGES AS LAOBT RIGHT-OF-WAY WILL BE SUBJECT TO THE LAOBT RIGHT-OF-WAY. THIS INCLUDES SUCH WORK AS SIDEWALKS, IRRIGATION SYSTEMS, ASPHALT OVERLAYS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPOSED GRADES AND OTHER IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY STANDARDS CRITERIA.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ENGINEER SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER BEFORE STARTING CONSTRUCTION.
 - THE GRADE IN THE AREAS AND MARKERS AREAS SHALL COME TO THE TOP OF THE CURB UNLESS OTHERWISE SHOWN ON THE DRAWING.

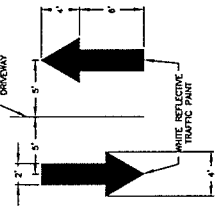


REV. NO.	DATE

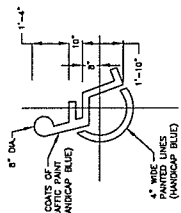
MIZADO COCINA
 NEW ORLEANS, LOUISIANA
 THIS SHEET:

SHEET NO. 14-09
 DATE 10/2/91
C-3

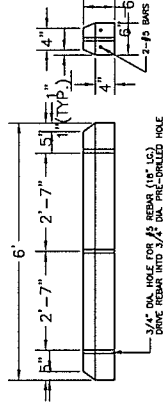
NOTE: TEMPLATE AVAILABLE FROM UNISEL SIGNS.
 CONTACT THE DEALER GENERAL CONSTRUCTION PROJECT
 MANAGER FOR MORE INFORMATION.



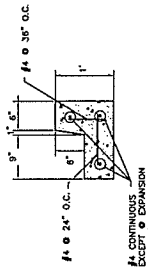
5 DRIVEWAY TRAFFIC FLOW DIRECTIONAL ARROW DETAIL
 NOT TO SCALE



6 HANDICAP SYMBOL
 NOT TO SCALE



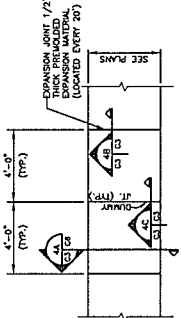
7 DETAIL OF PARKING BUMPERS
 NOT TO SCALE



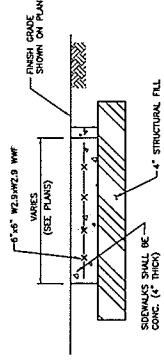
8 DETAIL OF INTEGRAL BARRIER CURB
 NOT TO SCALE

NOTES:
 1. CURB SHALL HAVE SCORE JOINTS AT 20' (MAX.) INTERVALS AND EXPANSION JOINTS AT 100' (MAX.) INTERVALS.

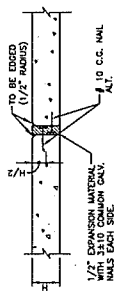
PRELIMINARY



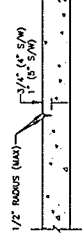
3A SIDEWALK DETAIL
 SCALE: NOT TO SCALE



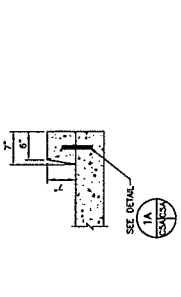
4A SECTION
 SCALE: NOT TO SCALE



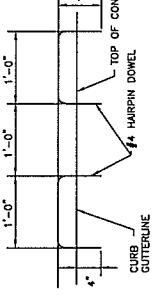
4B EXPANSION JOINT (TYPE A)
 SCALE: NOT TO SCALE



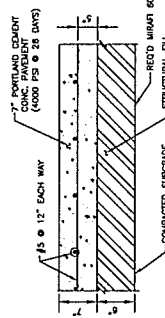
4C HAND TOOLED CONTRACTION JOINT
 SCALE: NOT TO SCALE



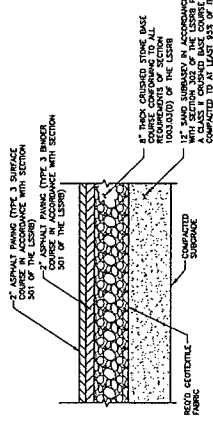
1 DETAIL OF 6" CONG. BARRIER CURB
 NOT TO SCALE



1A BAR DETAIL
 NOT TO SCALE



2 PCC.P. SECTION
 NOT TO SCALE



3 DETAIL OF 4" ASPHALT PAVING
 NOT TO SCALE

NOTES:
 1. SEE DRAWING FOR ACCESSORY REQUIREMENTS FOR CURB AND BARRIER.

NPP Report

**N.P.P. Summary Report
Proposed Zoning Change**

**Semolina Development, L.L.C.
5068/5070 Pontchartrain Boulevard
New Orleans, La. 70118**

Date of Report:

~~March 11, 2015~~
April

Project Name:

Parking Lot: Zoning change from LRS-3 to LB-1

Overview:

This report provides results of the implementation of the Project Neighborhood Participation Program for property located at 5068/70 Pontchartrain Blvd. New Orleans, La. 70118. The applicant intends to file an application to rezone the property from LRS-3 to LB-1 to permit commercial parking for the restaurant property adjacent to this property. This report provides a summary of contacts with citizens, neighbors, public agencies, and interested parties. Opportunities have been provided to learn about and comment on the proposed plans and actions. Comments, sign in lists, petitions, letters, summary sheets, and other materials are attached.

Contact:

Greg Reggio
8301 Oak St.
New Orleans, La. 70118
504-931-4734
greg@thetastebuds.com

Neighborhood Meetings: The following dates and locations of all meetings held:

1. March 5, 2015 - Mizado cocina 5080 Pontchartrain Blvd. 4:30 - 5:30 pm 7 people in attendance.
2. August 5, 2014 - Mizado cocina 5080 Pontchartrain Blvd. 5 - 6 pm 7 people in attendance.

Correspondence and Telephone Calls:

1. March 4, 2015 - Discussed proposal w/ neighbor Robert Boh via telephone
2. March 8, 2015 - Discussed proposal w/ CCGA president Tim Hurley via telephone
3. March 9, 2015 - Discussed proposal w/ neighbor John Eastman via telephone
4. March 24, 2015 - Discussed proposal w/ NO Country Club General Manager, Robert Crifasi via telephone.
5. April 1, 2015 - Discussed proposal w/ Metairie Lake Lawn Cemetery & Funeral Home General Manager Tiffany Simmons via telephone.

Participation:

The total number of people that participated in the process for March 5, 2015 was thirteen.

March 5, 2015 Attendees:

Holly R. Abbott 6505 Oakland Drive, N.O., La. 70118 and 5066 Pontchartrain Blvd. N.O., La. 70118
Dr. Argimiro & Andree Lago 6464 Oakland Drive N.O., La. 70118
Jeff Meckstroth 6500 Oakland Drive N.O., La. 70118
David Mason 6565 Oakland Drive N.O., La. 70118
Ruth A. Monteleone 6561 Oakland Drive N.O., La. 70118
Metairie Rd Investors LLC Tenant 5080 Pontchartrain Blvd N.O., La. 70118
Semolina Development, LLC, Property Owner 5080 Pontchartrain Blvd N.O., La. 70118

E-mails/Letters of Support from March 5, 2015 process:

Robert S. Boh Oakland Drive N.O., La. 70118
John & Kathy Eastman Oakland Drive N.O., La. 70118
Country Club Gardens Association President Tim Hurley 123 Bellaire Dr. N.O., La. 70124
Semolina Development, LLC Property owner 5080 Pontchartrain Blvd. N.O., La. 70118
Dr. Argimiro & Andree Lago 6464 Oakland Drive N.O., La. 70118
Metairie Rd Investors, L.L.C. Tenant 5080 Pontchartrain Blvd. N.O., La. 70118
NO Country Club Robert Crifasi General Manager Rcrifasi@neworleanscountryclub.com
✓ Metairie Cemetery General Manager Tiffany tiffany.simmons@dignitymemorial.com

Letters of Support from Previous Meeting August 5, 2014:

Gary Brewster 6501 Oakland Dr. . N.O., La. 70118
John & Kathy Eastman 6510 Oakland Dr. . N.O., La. 70118
Dr. Argimiro & Andree Lago 6464 Oakland Drive N.O., La. 70118
Ruth A. Monteleone 6561 Oakland Drive N.O., La. 70118

Results:

There were 25 persons/addresses invited to the community meeting. See list.

1. Concerns Discussed at the Meeting:
 - a. Commercial use of the land for purposes other than parking.
 - b. Future tenant/property owners use of the land for commercial purposes.
 - c. Parking lot lighting.
 - d. General cleanliness and landscaping of the restaurant property, the proposed parking area and the area underneath the interstate.
2. How concerns, issues and problems will be addressed:
 - a. The meeting participants were in favor of tearing down the existing home on the property and inquired if conditions could be placed upon the 5068/70 property in order to limit its use to parking only and that no new building could take place on the property. The applicant does not intend and agrees to use the property only for parking and agrees to have conditions placed upon the property to limit its use strictly to parking.
 - b. The participants expressed their pleasure with the current operation of the restaurant and the management of the business. There was discussion regarding what might take place in the event the current owners of the restaurant were no longer involved. The group inquired if the 5068/70 property's zoning could revert back to residential in the event that the current owners were to sell the property. The applicant is willing to provide conditions/safeguards by working with the planning and zoning departments to help alleviate the participant's concerns.

- d. The applicant (who also owns the adjacent property and leases the building to Metairie Rd Investors, LLC - the restaurant operator) shall ensure that the 5068/70 property, the restaurant property, the section of Metairie road along the residential area, and the area underneath the interstate shall remain clean and well maintained. The applicant continues to ensure that existing landscaping is maintained and that additions are made on a seasonal basis.

c. ALL LOW LEVEL LIGHTING,
LIMITED GLARE TO NEIGHBOR'S PROPERTY

**August 5, 2014
Contact List**

THE@ACF_LLC.NET

Gary H. Brewster, Sr.
6501 Oakland Dr.
New Orleans, LA 70118

Semolina Development
8301 Oak St.
New Orleans, LA 70118

~~Sammy~~ & Gary H. Brewster
6501 Oakland Dr.
New Orleans, LA 70118

Donald W. Cropper
6465 Oakland Dr.
New Orleans, LA 70118

Ruth A. Monteleone
6561 Oakland Dr.
New Orleans, LA 70118

~~Robert B. Regg, Jr.
2102 Indian Crest Dr.
Pelham, AL 35124~~

NO NAME ON CITY INFO

~~Barrett &~~ Charles Heuer
6550 Oakland Dr.
New Orleans, LA 70118

✓ Charles Heuer, et al
6550 Oakland Dr.
New Orleans, LA 70118
6540?

✓ Glen C. McGovern
6565 Oakland Dr.
New Orleans, LA 70118
NONAME

~~Randy Layman~~
1723 Marengo St.
New Orleans, LA 70115

✓
Dr. Walter & Holly R. Abbott
6505 Oakland Dr.
New Orleans, LA 70118
PO NAME

✓
5066



~~John M. Eastman~~

6510 Oakland Dr.
New Orleans, LA 70118

~~Ann & Robert S. Boh~~

6554 Oakland Dr.
New Orleans, LA 70118

Metairie Cemetery Association

5100 Pontchartrain Blvd.
New Orleans, LA 70124

~~Sandra & Jeff A. Meckstroth~~

6500 Oakland Dr.
New Orleans, LA 70118

~~Dr. Robert & Denise Schimnek~~

6506 Oakland Dr.
New Orleans, LA 70118

Ann F. Heuer

4705 Fox Hall Crescents NW
Washington, DC 20007

Marsha Cropper
6465 Oakland Dr.
New Orleans, LA 70118

911 Center

hand delivered

New Orleans Country Club

Hand delivered

UPPER
DOWN (MIA)

Country Club Garden Assoc.

Attn.: Tim Hurley
123 Bellaire Dr.
New Orleans, LA 70124

Dr. Argi & ~~Andrew~~ Lago

6464 Oakland Dr.
New Orleans, LA 70118

David Mason & Betsy McGovern
6565 Oakland Dr.
New Orleans, LA 70118

NO NAME

Ann F. Heuer
6540 Oakland Dr.
New Orleans, LA 70118

UPHILL
CITY CENTER
UPHILL

Firemen Charitable Association

5200 Canal Blvd.
New Orleans, LA 70124

Firemens Char. and Ben. Association

5200 Canal Blvd.
New Orleans, LA 70124

Firemens Charitable Association

116 City Park Ave
New Orleans, LA 70119

Firemens Charitable Association

5200 Canal Blvd.
New Orleans, LA 70124

Lakeview Civic Improvement Assoc.

PO Box 24378
New Orleans, LA 70184
Attn.: Ray Bergeron

August 5, 2014
Contact Sign in Sheet

Aug 5, 2014

Neighbor/Association


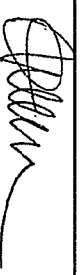
Street Address

City, State, Zip

Present
Y/N

Signature

E-Mail Address

Neighbor/Association	Street Address	City, State, Zip	Present Y/N	Signature	E-Mail Address
Brewster Cathy & Gary H.	6501 Oakland Dr.	New Orleans, LA 70118			
Brewster, Sr., Gary H.	6501 Oakland Dr.	New Orleans, LA 70118			
Cropper Donald W.	6465 Oakland Dr.	New Orleans, LA 70118			
Marsha Cropper	6465 Oakland Dr.	New Orleans, LA 70118			
Heuer Dancel & Charles	6550 Oakland Dr.	New Orleans, LA 70118			
Heuer, et al Charles	6550 Oakland Dr.	New Orleans, LA 70118			
Schimnek Dr. Robert & Denise	6506 Oakland Dr.	New Orleans, LA 70118			
Abbott Dr. Walter & Holly R.	6505 Oakland Dr.	New Orleans, LA 70118		 (Erich Abbott)	hholle@oak.com
Eastman John M.	6510 Oakland Dr.	New Orleans, LA 70118			Jme@acs-llc.net

Lago Dr. Argi & Andree	6464 Oakland Dr.	New Orleans, LA 70118			<i>Argi & Andree Lago</i>	<i>argal@hotmail.com</i>
Meckstroth Sarah & Jeff A.	6500 Oakland Dr.	New Orleans, LA 70118				
Boh Ann & Robert S.	6534 Oakland Dr.	New Orleans, LA 70118				
David Mason & Betsy McGovern	6565 Oakland Dr.	New Orleans, LA 70118				
Monteleone Ruth A.	6561 Oakland Dr.	New Orleans, LA 70118			<i>Ruth Monteleone</i>	

McGovern Glen C.	6565 Oakland Dr.	New Orleans, LA 70118				
Tim Hurley CC Gardens Assoc						
Councilmember Guidry						

MIZADO RESTAURANT NPP MEETING 8/5/14

I/we (print name) GARY BREWSTER of
(address) 6501 OAKLAND DRIVE wish to
express my/our support of Metairie Road Investors, L.L.C. dba Mizado restaurant in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____

Gary Brewster 8/5/14
Signature Date

Signature Date

MIZADO RESTAURANT NPP MEETING 8/5/14

I/we (print name) JOHN + KATHY EASTMAN of
(address) 6510 OAKLAND DR wish to
express my/our support of Metairie Road Investors, L.L.C. dba Mizado restaurant in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. None
2. _____
3. _____
4. _____
5. _____

[Signature] 8/5/14
Signature Date

Kathy Eastman 8/5/14
Signature Date

MIZADO RESTAURANT NPP MEETING 8/5/14

I/we (print name) DR. MRS ARGIMIRO D. LAGO of
(address) 6464 OAKLAND Drive wish to
express my/our support of Metairie Road Investors, L.L.C. dba Mizado restaurant in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. We approve the development of the parking lot
2. as explained by Greg Regsjo at the meeting today.
3. _____
4. _____
5. _____

Argi) Lago 8/5/14
Signature Date

Andrée B. Lago 8-5-14
Signature Date

MIZADO RESTAURANT NPP MEETING 8/5/14

I/we (print name) Ruth A Montelone of
(address) 6561 Oakland Dr wish to
express my/our support of Metairie Road Investors, L.L.C. dba Mizado restaurant in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____

Ruth A Montelone

Signature

Date

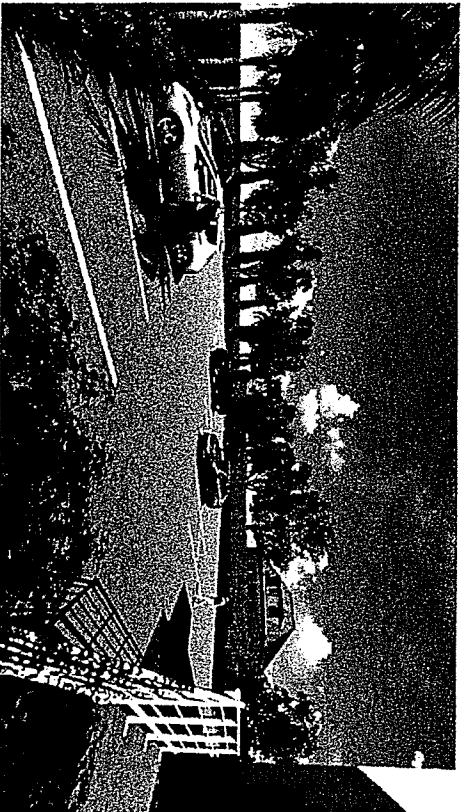
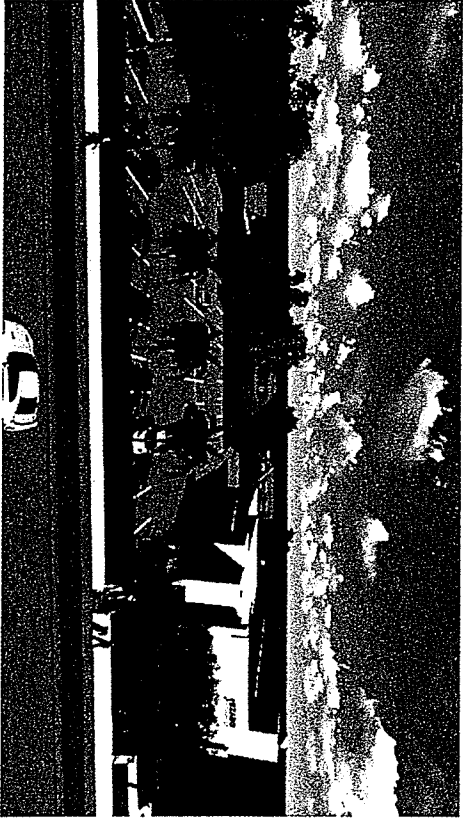
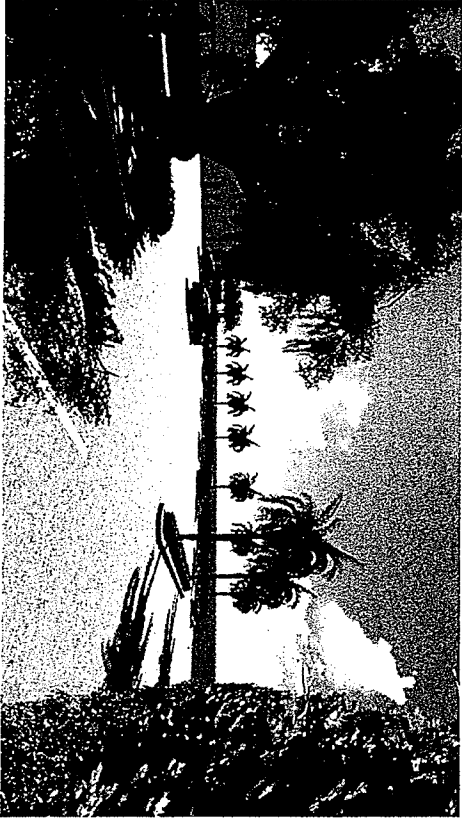
Signature

Date

Project Renderings



PROPOSED PARKING LOT LAYOUT



NPP Meeting Letter



2/24/15

I apologize if you have received this information in error or if it is addressed to a person who no longer resides at this address. However, the City of New Orleans has provided a list of people whom we **must** contact. Their list is compiled from the information they currently have on file. Please contact the city to update your information if necessary.

We hope to see you at the upcoming meeting to update the progress of our project. If you cannot attend, please complete the attached response form and drop it by the restaurant.

Thank you.

Sincerely,

Greg Reggio
Owner, Mizado

Mizado Cocina
Neighborhood Participation Program (NPP)
Community Meeting Invitation

February 24, 2015

Dear Neighbor,

Semolina Development, L.L.C. owns the property located at 5068 & 5070 Pontchartrain Blvd. Semolina Development, L.L.C. is a company owned by Greg Reggio, Gary Darling and Hans Limburg (the owners and operators of Mizado Restaurant located at the corner of Metairie Road and Pontchartrain Blvd).

Many of you attended meetings in 2013 and 2014 to discuss the opening of the restaurant and regarding the purchase of the 5068/70 Pontchartrain boulevard property and our desire to remove the apartment building and use the land for parking.

In order to comply with city parking requirements, the zoning of the property must be changed from residential to "commercial". Please note that we **do not** intend to build on the property. As we have stated in the past, this parcel shall be used for parking only. We are willing to have conditions, restrictions placed on the zoning change that limit it to parking only.

Our application has to be heard by the City Planning Commission and the City Council. Because you are a nearby neighbor or otherwise interested in the neighborhood, we are inviting you to a meeting where you can learn more about what we propose, and present questions or concerns. We are required to do this before we submit our application to the City Planning Commission.

The meeting will take place:

Thursday March 5, 2015 at 4:30 pm

Mizado Restaurant 5080 Pontchartrain Blvd. New Orleans, La. 70118

This letter is being delivered through U.S. mail. At the meeting, we will provide a sign in sheet to obtain e-mail addresses, so that we can keep you updated on our progress or changes to our plans.

If you have questions or comments, please contact Greg Reggio at (504) 931-4734; (fax) 486-5563; or via e-mail: greg@thetastebuds.com

We look forward to seeing you at our meeting on March 5th.

Sincerely,
Greg Reggio, Gary Darling & Hans Limburg

March 5, 2015
Contact List

Type	Source	Name	Address1	Address2	City	St
Person	County	Metairie Cemetery Assn	5100 Pontchartrain Bd		New Orleans	LA
Person	County	Meckstroth Jeff A	6500 Oakland Dr		New Orleans	LA
Person	County	Brewster Gary H	6501 Oakland Dr		New Orleans	LA
Business	County	Semolina Development, LLC	8301 Oak St		New Orleans	LA
Person	County	Mcgovern Glenn C	6565 Oakland Dr		New Orleans	LA
Person	County	New Orleans Country Club	5024 Pontchartrain Blvd		New Orleans	LA
Person	County	Brewster Gary H Sr	6501 Oakland Dr		New Orleans	LA
Person	County	Schimek Robert	6506 Oakland Dr		New Orleans	LA
Person	County	Lago Argimiro D	6464 Oakland Dr		New Orleans	LA
Person	County	Cropper Donald W	6465 Oakland Dr		New Orleans	LA
Person	County	Abbott Walter R Jr	6505 Oakland Dr		New Orleans	LA
Person	County	Monteleone Ruth A	6561 Oakland Dr		New Orleans	LA
Person	County	Firemen Charitable Assn	5200 Canal Blvd		New Orleans	LA
Person	County	Firemens Charitable Assn	5200 Canal Blvd		New Orleans	LA
Business	County	Board Of Adm Of Charity Hospital	1532 Tulane Av		New Orleans	LA
Person	County	New Orleans Country Club	5024 Pontchartrain Bl		New Orleans	LA
Person	County	Metairie Cemetery Assoc.	Po Box 11250		New Orleans	LA
Person	County	N O Country Club	5024 Pontchartrain Bd		New Orleans	LA
Person	County	Boh Robert S	6554 Oakland Drive		New Orleans	LA
Person	County	Heuer Charles	6550 Oakland Dr		New Orleans	LA
Person	County	Abbott Walter R Jr	6505 Oakland Dr		New Orleans	LA
Person	County	Eastman John M	6510 Oakland Dr		New Orleans	LA
Person	County	Heuer Charles	Etal	6550 Oaklar	New Orleans	LA
Business	County	Semolina Development LLC	8301 Oak St		New Orleans	LA

Address Label	OwnerName
Building	OwnerAddress
6501 Oakland Dr	Gary H Sr Brewster 6501 Oakland Dr New Orleans, LA 70118-2631
5062 Pontchartrain Blvd	Gary H Brewster 6501 Oakland Dr New Orleans, LA 70118-2631
6465 Oakland Dr	Donald W Cropper 6465 Oakland Dr New Orleans, LA 70118-2661
6550 Oakland Dr	Charles Heuer 6550 Oakland Dr New Orleans, LA 70118
6540 Oakland Dr	Charles Heuer Etal 6550 Oakland Dr New Orleans, LA 70118- 0
6506 Oakland Dr	Robert Schimek 6506 Oakland Dr New Orleans, LA 70118-2632
5066 Pontchartrain Blvd	Walter R Jr Abbott 6505 Oakland Dr New Orleans, LA 70118- 0
6510 Oakland Dr	John M Eastman 6510 Oakland Dr New Orleans, LA 70118- 0
6464 Oakland Dr	Argimiro D Lago 6464 Oakland Dr New Orleans, LA 70118-2662
6500 Oakland Dr	Jeff A Meckstroth 6500 Oakland Dr New Orleans, LA 70118-2632
6554 Oakland Dr	Robert S Boh 6554 Oakland Drive New Orleans, LA 70118
5070 Pontchartrain Blvd	Semolina Development LLC 8301 Oak St New Orleans, LA 70118
6505 Oakland Dr	Walter R Jr Abbott 6505 Oakland Dr New Orleans, LA 70118-2631
6561 Oakland Dr	Ruth A Monteleone 6561 Oakland Dr New Orleans, LA 70118-2631
6565 Oakland Dr	Glenn C MCGovern 6565 Oakland Dr New Orleans, LA 70118-2631
5080 Pontchartrain Blvd	Semolina Development, LLC 8301 Oak St New Orleans, LA 70118

Zip	DayPhone	MobilePhone	Email	Website
70124-1031				
70118-2632				
70118-2631				
70118				
70118-2631				
70118-2650				
70118-2631				
70118-2632				
70118-2662				
70118-2661				
70118-2631				
70118-2631				
70124				
70124				
70112				
70118-2650				
70181-1250				
70118-2699				
70118				
70118				
70118- 0				
70118- 0				
70118- 0				
70118				

**Letters of Support
From August 5, 2014
Meeting**

March 5, 2015
E-mails /Letters of Support

MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) Robert S. Boh of
(address) 6554 Oakland Drive wish to
express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____

Robert S Boh 3/4/15
Signature Date

Signature Date

MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) MR & MRS JOHN EASTMAN of
(address) 6510 OAKLAND DR NOLA 70118 wish to
express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. Many thanks for keeping
2. the neighborhood informed
3. _____
4. _____
5. _____

[Signature] 3/10/15
Signature Date

Katley Eastman 3/10/15
Signature Date

MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) Tim Hurley, Pres. of CCGA of

(address) 123 Bellair Dr NOLA 70124 wish to

express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in

their pursuit of obtaining a change of zoning for purposes of parking at

5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our satisfaction.

Other Comments/Concerns:

- 1. _____
- 2. _____
- 3. _____
- 4. _____
- 5. _____

TH Hurley, Pres. CCGA
 Signature Date
 3-8-15

 Signature Date

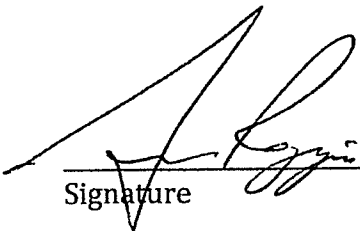
MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) SEMOLINA DEVELOPMENT of
(address) 5080 PONTCHARTRAIN BLVD (PROPERTY OWNER) wish to
express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. NONE
2. _____
3. _____
4. _____
5. _____


Signature _____ Date 3-5-15

MANAGER/MEMBER

Signature Date

MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) Dr. & Mrs Argimiro D. Lago at
(address) 6464 Oakland Dr. N.O. LA 70118 wish to

express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in their pursuit of obtaining a change of zoning for purposes of parking at 5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____

Argimiro D. Lago 3/5/15
Signature Date

Signature Date

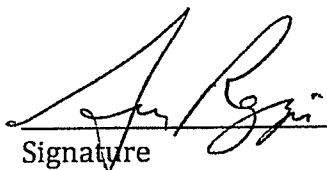
MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) METairie Road INVESTORS LLC of
(address) 5080 PONTCHARTRAIN BLVD (TRUANT) wish to
express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____

 3-5-15 MANAGER/MEMBER
Signature Date

Signature Date

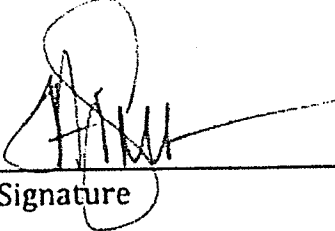
MIZADO RESTAURANT NPP

I, Tiffany Simmons, General Manager_Metairie Lake Lawn Cemetary & Funeral Home
5100 Pontchartrain Blvd. New Orleans, LA 70124 wish to express my/our support
of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____



Signature

4/1/15

Date

Signature

Date

MIZADO RESTAURANT NPP MEETING 3/5/15

I/we (print name) Robert Schimek of
(address) 6506 Oakland Drive N.O. LA 70118 wish to

express my/our support of Semolina Development, L.L.C. (Mizado Restaurant) in
their pursuit of obtaining a change of zoning for purposes of parking at
5068/70 Pontchartrain Blvd, New Orleans, La. 70118.

Any concerns and/or comments have be voiced and have been addressed to my/our
satisfaction.

Other Comments/Concerns:

1. _____
2. _____
3. _____
4. _____
5. _____


Signature

3/25/15
Date

Signature

Date

Received
signed
and
Delivered
18-May 2015 (out-of-town?)

May 17, 2015

6464-OAKLANDDR
LAGO ARGIMIRO D

Against 6465-OAKLANDDR ✓
CROPPER DONALD & Marsha

Against 6500-OAKLANDDR ✓ Jeff@JeffMeck.com
MECKSTROTH JEFF A **504.236.6000**

Against 6501-OAKLANDDR ✓
BREWSTER GARY H SR

Against 6505-OAKLANDDR ✓
ABBOTT WALTER R JR

Against 6506-OAKLANDDR ✓
SCHIMEK ROBERT

6510-OAKLANDDR (out-of-town?)
EASTMAN JOHN M

Against 6540-OAKLANDDR ✓
HEUER CHARLES

Against 6550-OAKLANDDR ✓
HEUER CHARLES

6554-OAKLANDDR (out-of-town?)
BOH ROBERT S BOH and Ann

6561-OAKLANDDR
MONTELEONE RUTH A spoke w/ will get form to me later
in wk very much against.

Against 6565-OAKLANDDR ✓
MCGOVERN GLENN C

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6465 OAKLAND DR, New Orleans, LA 70118

I am AGAINST (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,



Donald Cropper

5-18-15

Date



Marsha Cropper

Comments:

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6500 OAKLAND DR, New Orleans, LA 70118

I am AGAINST (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,



Jeff Meckstroth

May 18, 2015
Date

May 17, 2015

Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6501 OAKLAND DR, New Orleans, LA 70118

I am Against (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,

Catherine Beahm

Gary Brewster

May 17, 2015

Date

Comments:

I want it to stay single family
Residential w/ possibility of one
time grant to Semolinas for
a parking lot

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6505 OAKLAND DR, New Orleans, LA 70118

I am AGAINST (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,

Holly Abbott

Holly Abbott

5-17-15

Date

Comments:

Please see attached.

May 17, 2015

Re: ZD047-15

I am **against** changing the zoning of this property from Lakewood and Country Club Gardens Single-Family Residential District TO Lake Area Business District.

Thank you for your consideration,



Holly H. Abbott

6505 Oakland Dr. & 5066 Pontchartrain Blvd.

May 17, 2015

Comments:

Gregg Reggio and Semolina Development, LLC have been good neighbors to the residents of Oakland Dr. They have made patrons aware of our private street designation, kept us informed of the plans for the restaurant, status of licensing requirements, and construction updates.

While acknowledging Semolina's outreach to the Oakland Drive homeowners, I am **against** the property located at 5068 and 5070 Pontchartrain Blvd. change from Single Family Residential to Lake District Business. However, I would consider supporting the possible exception of granting Semolina's, and it's current owners, a one time exemption for a parking lot only. Furthermore, additional restrictions for the use of the parking lot would be required.

The proposal, as described, ZD047/15, is unacceptable. It would ultimately erode the character of Oakland Drive, and the Oakland Drive neighborhood - a neighborhood with a long history, and one in which many of the current homeowners are second generation homeowners. To change the zoning would jeopardize the Oakland Drive architecture, character, landuse and lifestyle.

Sincerely,



Holly H. Abbott

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6506 OAKLAND DR, New Orleans, LA 70118

I am against (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

No zoning changes whatsoever

Thank you for your consideration,

Witness: Denise Villan Schimek
Robert M. Schimek MD

Robert Schimek

May 17, 2015

Date

Comments: as owners of 6506 Oakland Dr
we are also against the possibility of
granting Semolina's a one-time exception
for a parking lot only.

Sincerely,

Witness: *Robert M. Schimek MD*
05/17/2015

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

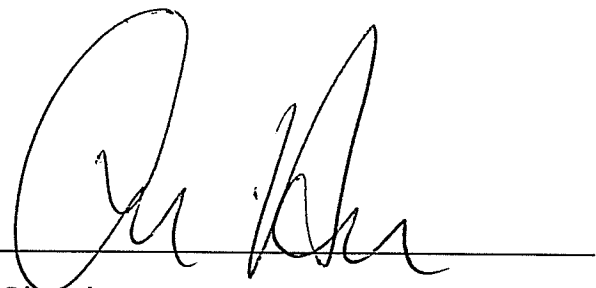
Re: ZD047-15

I am the owner of

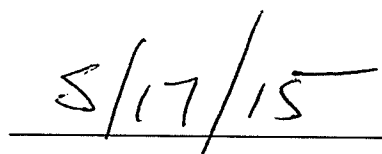
6540 & 6550 OAKLAND DR, New Orleans, LA 70118

I am against (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,



Charles Heuer



Date

Comments:

May 17, 2015

New Orleans City Planning Commission
1300 Perdido Street, Suite 7W03
New Orleans, LA 70112

Re: ZD047-15

I am the owner of and reside at
6565 OAKLAND DR, New Orleans, LA 70118

I am AGAINST (for or against),
changing the zoning of this property **FROM** Lakewood and
Country Club Gardens Single-Family Residential District **TO** Lake
Area Business District.

Thank you for your consideration,

David Mason

DAVID MASON

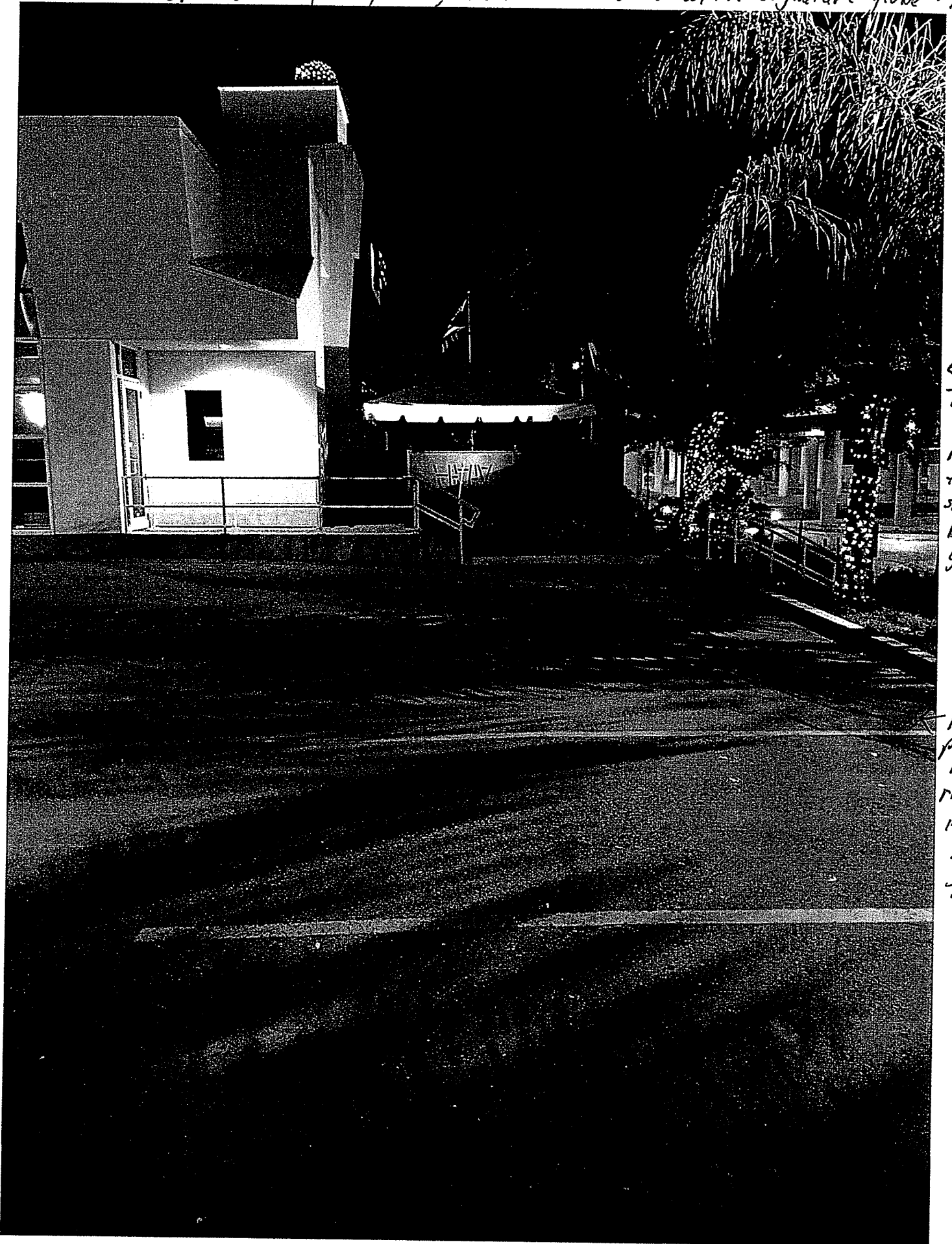
5/18/2015

Date

Comments:

I WOULD VERY MUCH LIKE THE BUSINESS
SITUATION TO REMAIN EXACTLY AS THEY
ARE RIGHT NOW.

Tower not re-designed; now illuminated with signature globe lighted



←
Tent
EDGE,
Patio
that
should
be
green
space

←
pave
parking
in
required
front
Yard
Space

Photograph Sunday May 17, 2015



16 ft
12 ft
12 ft

16 ft

56 parking spaces under I-10 Nevada maintains.

Comments on Semolina Development LLC non-compliance with previous Board of Zoning Adjustments (BZA) provisos, and why I am concerned about changing the zoning of a single-family residence to a Lake Area Business District designation.

Yards and Open Space:

BZA previously stated to Semolina Development LLC a zoning requirement that a canopy may project no more than five feet into a required yard, **if** a minimum distance of two feet remains open to the sky. Mizado was grated the canopy.

Mizado then constructed a non-permeant lighted tent over the patio and under the canopy to effectively cover their entire patio circumventing BZA's/zoning rules/intensions.

Mizado has never become compliant with the BZA's/zoning requirement requiring a smaller footprint for their patio - "Limitation on Paving a Front Yard". (see BZA's ruling dated July 15, 2003, attached).

Off-Street Parking

The BZA determined Mizado was not compliant with required front yard space and should remove eight (8) off-street parking spaces located within Mizado's **required front yard.**

Mizado has never removed 8 spaces in their required front yard (see picture taken 17 May, 2015).

In addition, Mizado has striped, lit and is using 56 additional parking spaces under the I-10 overpass of Metairie Rd. giving Mizado many more parking spaces than required of an under 5,000 sq. foot restaurant (see current picture).

Design of an Incompatible Tower Element

The Board of Zoning Adjustments required Mizado to work with BZA staff to redesign their tower element.

Mizado has not redesigned their Tower element to integrate better with the design of the building.

Signs above the first floor

The BZA denied Mizado's request for a variance to attach two signs to its building, neither of which could be above the second floor.

Mizado attached one compliant 'named' sign.

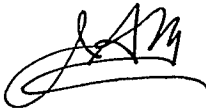
Mizado also attached and lit their 'signature globe' on top of their Tower (disregarding prohibition of a sign above the second floor) and illuminated the perimeter of the top of their 'incompatible tower element' causing it to stand out even more.

I suppose the definition of a 'sign' and 'signature markings' may need to be parsed.

My greatest concerns:

Mizado's building footprint may enlarge because provided parking will be increased (using 1 parking space per 150 sq feet of building), should the zoning of an adjacent property be changed and incorporated.

Semolina Development LLC or other developer (if/when sold) may decide to construct another currently permitted restaurant or business on what is now a single-family residential property.

A handwritten signature in black ink, appearing to be 'J. AM' with a stylized flourish underneath.

May 18, 2015

Board of Zoning Adjustments
Staff Report
Monthly Meeting
Monday, July 08, 2013

Docket Number: 131-13
Prepared by: Misty Owens

Applicant or Agent:	Semolina Development LLC	
Property Location:	5076 and 5080 Pontchartrain Blvd	Zip: 70118
Bounding Streets:	Pontchartrain Blvd Metairie Rd & Oakland Dr	
Zoning District:	LB-2 Lake Area Neighborhood Business District	ZBM: B-12
Historic District:	N/A	Planning District: 5
Existing Use:	Vacant Lot	Square Number: 665-1
Proposed Use:	Standard Restaurant	Lot Numbers: 30-A & 30-C

Request Citation: This request is for variances from the provisions of Article 9A, Section 9A.9.6, Article 15, Section 15.2.3(4), and Article 15, Section 15.6.6 of the Comprehensive Zoning Ordinance.

Request:

This request is to permit the placement of two signs, both above the first floor, uncovered parking in the required front yard area, and excessive paving in the required front yard area.

Requested Waivers:

Section 9A.9.6(1) - Permitted Signs

Required: 1st Floor Provided: Above First Floor Waiver: Above First Floor

Section 9A.9.6(1) - Permitted Signs

Permitted: 1 Sign Provided: 2 Signs Waiver: 2 Signs

Section 15.2.3(4) – Parking in Front Yards

Required: 1st Floor Provided: Uncovered Waiver: Uncovered

Section 15.6.6 – Limitation of Pavement

Permitted: 40% Provided: 44% or 751 sq. ft. Waiver: 4% or 71 sq. ft.

Project Description:

The petitioned site consists of two (2) lots, Lot 30-A and 30-C. Lot 30-A is a rectangular corner lot that has a width of approximately eighty-five feet (85') along Pontchartrain Boulevard, a

depth of one hundred fifty-nine feet (159') along Metairie Road, and a width of approximately ninety-four feet (94') along the rear property line for an area of approximately fourteen thousand nine hundred forty-six square feet (14,946 sq. ft.). Lot 30-C is a rectangular lot with frontage along Pontchartrain Boulevard that has a width of sixty-two feet, six inches (62' 6"), a depth of one hundred seventeen feet (117') and an area of seven thousand two hundred fifty-four square feet (7,254 sq. ft.). The site was previously developed with a restaurant that was destroyed in a fire.

A standard restaurant is being constructed on Lot 30-A along with nineteen (19) off-street parking spaces. A standard restaurant is a permitted use within the LB-2 Lake Area Neighborhood Business District. The plans submitted to the Department of Safety and Permits indicate a bar in the restaurant. As per **Article 9A, Section 9A.9.5 – Conditional Uses**, any conditional use authorized in the LB-1 Lake Area Neighborhood Business District is a conditional use in the LB-2 District. As per **Article 9A, Section 9A.9.5(8) – Conditional Uses**, any permitted use allowed in the LB-1 Lake Area Neighborhood Business District which sells alcoholic beverages for consumption on or off the premises requires conditional use approval. The applicant must apply for a conditional use to permit the sale of alcoholic beverages.

Lot 30-C is proposed for use as off-street parking with sixteen (16) spaces for use by the standard restaurant. As per **Article 9A, Section 9A.9.5 – Conditional Uses**, any conditional use authorized in the LB-1 Lake Area Neighborhood Business District is a conditional use in the LB-2 District. As per **Article 9A, Section 9A.9.5(12) – Conditional Uses**, parking lots, parking spaces, and parking area require conditional use approval. Because the petitioned site consists of two (2) individual lots of record, the proposed off-street parking is a conditional use in the LB-2 Lake Area Business District. Regardless of the decision of the Board of Zoning Adjustments, the applicant must either subdivide Lot 30-A and Lot 30-C into one lot of record (thereby making the parking lot a part of the main use on Lot 30-A) or obtain a conditional use for the proposed parking lot on Lot 30-C.

The proposed building has a width of fifty-three feet (53'), a depth of ninety-three feet (93') for a building footprint of four thousand nine hundred twenty-nine square feet (4,929 sq. ft.). The submitted site plan indicates an enclosed square footage of four thousand eight hundred fifty-one square feet (4,851 sq. ft.). The site plans indicate a proposed patio along the front of the building with a depth of sixteen feet (16') that is covered by a canopy that is five feet (5') in depth. This will be discussed in a section below.

The petitioned site is zoned LB-2 Lake Area Neighborhood Business District. The zoning district does not have minimum lot area, lot width, or lot depth requirements. The area regulations are shown in the table below along with the provided amounts. As shown in the table the applicant is meeting the minimum yard requirements.

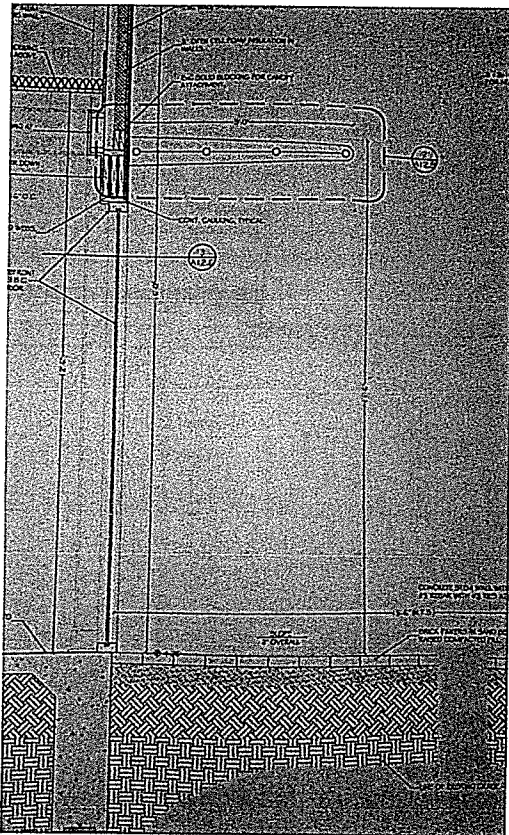
Minimum Requirement	Required Amount	Provided Amount
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Front Yard	20'	20'
Side Yard abutting a residential district	5'	31' 1"
Yard on a side street when rear yard abuts a residential district	10'	10'
Rear yard abutting a residential district	20'	69' 7"
Maximum FAR	2.00	0.32

Article 9A, Section 9A.9.6(1) – Permitted Signs restricts each business to one (1) attached wall or projecting sign. The sign is limited to one (1) square foot per linear foot of building width or tenant space up to a maximum of seventy square feet (70 sq. ft.). The building width is fifty-three feet (53'). Exterior attached signs are not permitted to project above the first floor of a building. The applicant is proposing to place two (2) attached wall signs on the building above the first floor on a tower that extends twenty feet (20') above the highest point of the first floor that is topped with a stucco sphere that is four feet (4') in height¹. The first proposed sign would face the east bound Pontchartrain Expressway and would have a height of three feet (3'), a proposed width of nine feet, six inches (9' 6") for an area of approximately twenty-eight square feet (28 sq. ft.). The second proposed sign would face the west bound Pontchartrain Expressway and would have a height of three feet, six inches (3' 6"), a width of ten feet (10') for an area of thirty-five square feet (35 sq. ft.). The applicant is requesting a waiver to permit two (2) signs above the second floor.

Article 15, Section 15.5.8(4) – Yards and Open Space Generally (in all districts except the Vieux Carré Districts) a roof, gutter, eave, fixed awning, marquee, or canopy, attached to a building but having no other support, may project no more than five feet (5') into a required front, side, or rear yard, if a minimum distance of two feet (2') remains open to the sky between the farthest projection and the lot lines. The applicant is proposing to place a canopy that extends five feet (5') into the required front yard area, as shown in the photograph below.

¹ Sheet A12.7 indicates a tower height of 20' while sheet A10.1 indicates a tower height of 14'.



The canopy would be over a proposed patio that would be constructed of brick pavers on raised compacted fill. The proposed patio would have a width of forty-eight feet, six inches (48' 6") and a depth of fifteen feet, six inches (15' 6") for an area of seven hundred fifty-one square feet (751 sq. ft.). **Article 15, Section 15.6.6 – Limitation of Pavement** limits the amount of pavement in a required front yard area to forty percent (40%). Pavement includes the placement of impermeable material on the surface of the land such as brick, stone, asphalt, or concrete. The required front yard area of Lot 30-A is one thousand seven hundred square feet (1,700 sq. ft.) of which six hundred eighty square feet (680 sq. ft.) can be covered. The applicant needs a waiver four percent (4%) or seventy-one square feet (71 sq. ft.) to permit the patio in the required front yard area.

Article 15, Section 15.2.1 (Table 15.A) – Off-Street Parking requires one off-street parking space per one hundred fifty square feet (150 sq. ft.) of floor area. The proposed building has a floor area of four thousand eight hundred fifty-one square feet (4,851 sq. ft.),

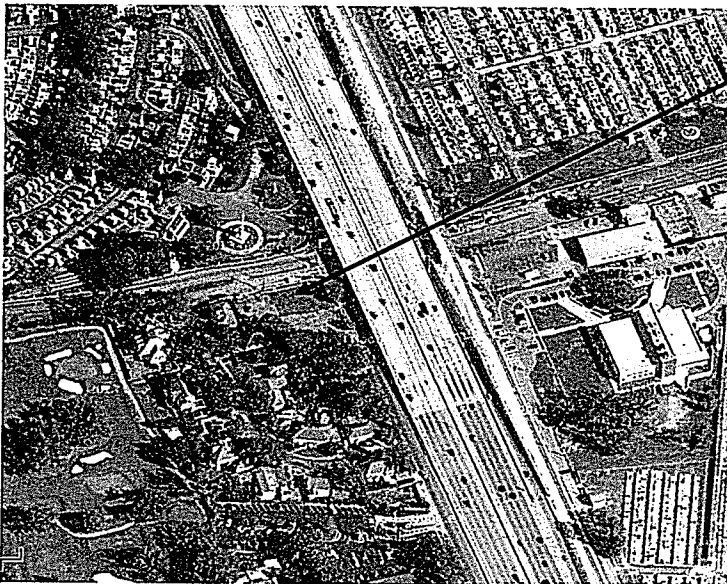
necessitating thirty-three (33) off-street parking spaces. The applicant is providing twenty-one (21) off-street parking spaces on Lot 30-A and sixteen (16) off-street parking spaces on Lot 30-C for a total of thirty-seven (37) off-street parking spaces.

Eight (8) off-street parking spaces are located within a required the required front yard area. **Article 15, Section 15.2.3(4) – Parking in Front Yards** states in the RM-3, RM-4, MS, RO, B-1, B-2, SI, and SC Districts, required off-street parking may be located in a required front yard and other yards where permitted, provided that such area is completely enclosed and the total height including all railings, parapets and similar walls, railings, or fencing does not exceed seven feet (7') above grade level and is completely covered with a roof area. The roof shall be planted and landscaped and served as a required front yard area. As per the submitted drawings, a waiver is required for the placement of uncovered off-street parking in the required front yard area.

The applicant applied for a building permit January 9, 2013. A building permit was issued by the Department of Safety and Permits March 19, 2013. With the exception of the sign placement all items discussed above there shown on the submitted plans for which the building permit was issued.

Surrounding Development

The petitioned site is located near the major streets of Canal Boulevard, Metairie Road, and I-10 in the Lakewood neighborhood of Lakeview. This area is composed of single- and two-family residences and commercial uses along Canal Boulevard. The petitioned site is located within an LB-2 Lake Area Neighborhood Business District that covers the petitioned site. An LRS-3 Lakewood and Country Club Gardens Single-Family Residential District is located on the lots surrounding the site. A C-1 General Commercial District is located to the east of the petitioned site. The area consists of single-family residences, the Metairie Cemetery, Greenwood Cemetery, and Cypress Grove Cemetery. The New Orleans Country Club is located south of the site and the City of New Orleans 911 Call Center is located to the east of the site.



Petitioned Site

Impact and Analysis

According to the Comprehensive Zoning Ordinance, the Board of Zoning Adjustments must consider the following criteria in order to determine what impact the requested variance would have on adjacent properties if it were approved. The procedure affords an applicant relief from the strict requirements of the zoning law when unnecessary hardship or practical difficulty exists.

- 1. Do special conditions and circumstances exist which are peculiar to the land, structure, or building involved which are not applicable to other lands, structures, or buildings in the same zoning district?**

Yes. Special conditions do exist in regards to the requests for the location and number of signs. While the petitioned site meets the requirements of the underlying zoning district, there are special conditions and circumstances that are peculiar to the site that are not applicable to other sites in the same zoning district. The building is located adjacent to Interstate 10 (I-10), near cemeteries that are across the street from the site, and residences that abut the petitioned site on the rear and side property lines, on a site that is greater in

area than most sites in the area. Due to the location of the Interstate, there is limited visibility from the street level.

No. Special conditions do not exist in regards to the requests for the placement of parking in the required front yard area and excessive paving in the required front yard area. While the Department of Safety and Permits reviewed and approved the plans, the applicant has not yet proceeded with the construction of the proposed patio and parking area and there is time to address these issues.

2. Will the literal interpretation of the provisions of the ordinance deprive the applicant of rights commonly enjoyed by other properties in the same district?

Yes. There are instances of new construction in the LB-2 Lake Area Business District along Harrison Avenue that meet the sign requirements of the overlay and the underlying zoning district. However, the petitioned site is located along an elevated portion of I-10 that causes limited visibility from street level. Because of this it is difficult to compare the petitioned site to those along Harrison Avenue. The land use of the adjacent properties near the petitioned site is unlike the proposed use and are not comparable.

No. As for the needed waiver for covered parking in the required front yard area, applicant is providing thirty-seven (37) off-street parking spaces, four (4) more than is required. The applicant could eliminate the four (4) additional spaces and reconfigure the off-street parking to meet the aforementioned requirements.

No. As for the needed waiver for excessive paving in the required front yard area, the applicant can reduce the proposed amount to meet the forty percent (40%) limitation and still provide an outdoor patio area for the patrons of the proposed restaurant.

3. Do any special conditions and circumstances result from the actions of the applicant or any other person who may have (or had) an interest in the property?

Yes. The applicant is proposing to place a sign above the first floor of the proposed building on a tower that extends twenty feet (20') above the first floor to allow greater visibility from the Interstate.

Yes. As for the requests for uncovered parking in the required front area and excessive paving, these violations were noticed during the Board of Zoning Adjustments staff review of the submitted plans. While the Department of Safety and Permits issued a building permit based on these plans, the applicant has not proceeded with striping the proposed parking lot and is able to reconfigure the parking to provide the minimum number of off-street parking spaces outside of the required front yard areas and can reduce the paving to allow compliance.

4. Will the granting of the variance confer on the applicant any special privilege which is denied by this ordinance to other lands, structures, or buildings in the same district or similarly situated?

Yes. The petitioned site is unlike other sites in the LB-2 Lake Area Business District by being located adjacent to I-10, while the majority of the properties with similar zoning are located along Harrison Avenue. Those businesses along Harrison Avenue meet the sign requirements of the overlay district and the underlying zoning district. The petitioned site is unique and there are no other comparable properties. The nearest comparison would be the First Baptist Church located at 5290 Canal Boulevard². The BZA granted a waiver of sign area to permit a sign that would be visible from the Interstate and would be in scale with the size of the church.

No. As for the needed waivers for uncovered parking in the required front yard area and excessive paving in the required front yard area, the granting the variances would confer on the applicant a special privilege which is denied to others. New construction in the LB-2 District meets the requirements of the zoning ordinance by providing off-street parking outside the required front yard area and meeting the paving limitation.

5. Will the variance(s), if granted, alter the essential character of the locality?

Yes/No. The variance for the location and number of signs would alter the essential character of the locality. The location of the petitioned site is unique and the proposed location of the proposed signage would allow it to be visible from the right-of-way from a distance greater than intended by the regulations of the underlying zoning district. The previous restaurant signage consisted of a non-conforming roof sign which was a crawfish sitting on the roof of the building.

Yes. The variance for the location uncovered parking in the required front yard area along with excessive paving in the required front yard area could set a precedent for other businesses to request similar waivers. The previous restaurant provided parking in the required front yard area and the paving is located in the proposed location of the off-street parking. However, the building was demolished and any grandfathered conditions were lost at the time of demolition. Also, the request, if granted, could contribute to additional covered areas leading to an increase in stormwater run-off because the site is elevated above street level. It would be beneficial to the surrounding area to provide a permeable area or employ best stormwater management practices in conjunction with increased landscaping.

6. Will strict adherence to the property regulations result in a demonstrable hardship upon the owner, as distinguished from mere inconvenience?

² BZA 123-12

Yes/No. Strict adherence to the property regulations would not prevent the applicant from placing the one sign in a permitted space. However, the petitioned site is unique in its nature due to the location near I-10 which causes limited visibility from the street level.

No. As for the requests for uncovered parking in the required front area and excessive paving, these violations were noticed during the Board of Zoning Adjustments staff review of the submitted plans. While the Department of Safety and Permits issued a building permit based on these plans, the applicant has not proceeded with striping the proposed parking lot and is able to reconfigure the parking to provide the minimum number of off-street parking spaces outside of the required front yard areas.

7. Is the purpose of the variance based exclusively upon a desire to serve the convenience or profit of the property owner, or other interested party(s)?

Yes. The purpose of the variance for signage is based exclusively upon a desire to serve the convenience or profit of the property owner. The petitioned site is located in an unusual space in Lakeview and the applicant is requesting to place the signage in a location that would afford greater visibility from Interstate 10.

No. The proposed location of the off-street parking would be in a space that is similar to the previous off-street parking location. The granting of a waiver to permit the parking in the required front yard area would allow the applicant to use area that was used for off-street parking instead of removing the existing paving. However, the request is for new construction and the applicant can meet the requirements of the zoning ordinance.

8. Will the variance be detrimental to the public welfare, or injurious to other property or improvements in the neighborhood in which the property is located?

Yes/No. The variance, if granted, would permit the placement of two (2) signs, each facing in the direction of oncoming traffic on I-10. The adjacent residences would have a greater impact from this placement than if the signs were placed at the first floor because the light from the proposed sign facing the west bound I-10 could shine onto their property.

The variance for uncovered off-street parking and excessive paving in the required front yard area, if granted, would be detrimental to the public welfare, or injurious to other property or improvements in the neighborhood in which the property is located because it could contribute to greater stormwater run-off in the immediate area.

9. Will the variance impair the adequate supply of light and air to adjacent property, substantially increase traffic congestion in the public street, increase the danger of fire, or endanger the public safety?

No. None of these impacts are associated with the proposed project.

Staff Recommendation

Based on this report, the staff believes the request does not satisfy the nine criteria as they pertain to the requested variances for **Article 9A, Section 9A.9.6(1) - Permitted Signs** for the placement of two signs, **Article 15, Section 15.2.3(4) – Parking in Front Yards** and **Article 15, Section 15.6.6 – Limitation of Pavement** as related to the uncovered parking in the required front yard area and excessive paving in the required front yard area and therefore recommends **DENIAL WITH PREJUDICE** of the request.

Based on its report, the staff believes the request does satisfy the nine criteria as they pertain to the requested variances for **Article 9A, Section 9A.9.6(1) - Permitted Signs** for the placement of one sign above the first floor, and therefore recommends **APPROVAL** of the request, subject to the following provisos:

1. **Prior** to the issuance of a Sign Permit by the Department of Safety and Permits, the applicant shall submit sign plans, to the Board of Zoning Adjustments staff for review and approval.
2. The applicant shall submit revised site plans to the staff of the Board of Zoning Adjustments for their review and approval indicating the removal of off-street parking spaces in the required front yard area. This area shall be landscaped.
3. The applicant shall obtain a conditional use to permit the sale of alcoholic beverages at the petitioned site.
4. The applicant call either subdivide Lot 30-A and Lot 30-C into one lot of record or obtain a conditional use for the proposed parking lot on Lot 30-C.
5. The applicant shall work with the staff of the Board of Zoning Adjustments to redesign the tower element in such a way that it integrates the architectural features of the building.

APPROVED, in part, and DENIED in part

Applicant or Agent: Taste Bud Management and Frank Langenbacker
Property Location: 5080 Pontchartrain Boulevard **Zip:** 70118
Bounding Streets: Pontchartrain Blvd., Metairie Rd., & Oakland Dr.
Zoning District: LB-2 Lake Area Neighborhood **ZBM:** B-12
Historic District: N/A **Planning District:** 5
Existing Use: Vacant Lot **Square Number:** 665-1
Proposed Use: Standard Restaurant **Lot Number:** 30-A & 30-C

Whereas, the above appeal was heard by the Board of Zoning Adjustments at its public hearing of **Monday, July 08, 2013;** and

Whereas, the applicant appeared before the Board seeking relief from the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, as it applies to Article 9A, Section 9A.9.6, Article 15, Section 15.2.3(4), and Article 15, Section 15.6.6, to permit the placement of two signs, both above the first floor, uncovered parking in the required front yard area, and excessive paving in the required front yard area, as indicated below:

Requested Waivers:

Section 9A.9.6(1) - Permitted Signs

Required: 1st Floor Provided: Above First Floor Waiver: Above First Floor

Section 9A.9.6(1) - Permitted Signs

Permitted: 1 Sign Provided: 2 Signs Waiver: 2 Signs

Section 15.2.3(4) – Parking in Front Yards

Required: Covered Provided: Uncovered Waiver: Uncovered

Section 15.6.6 – Limitation of Pavement

Permitted: 40% Provided: 44% or 751 sq. ft. Waiver: 4% or 71 sq. ft.

And Whereas, the Board carefully considered the facts and arguments for and against the application at the public hearing, and after considering the Comprehensive Zoning Ordinance, No. 4264 M.C.S., as amended, the Board is of the opinion that the weight of the evidence indicates that the Standards for Variances of Article 14, Section 14.6.4, have not been met for the requested variances of Article 9A, Section 9A.9.6(1) – Permitted Signs for the placement of two signs, Article 15, Section 15.2.3(4) – Parking in Front yards and Article 15, Section 15.6.6 – Limitation on Pavement and that the Standards for Variances of Article 14, Section 14.6.4, have been met for the requested variance of Article 9A, Section 9A.9.6(1) – Permitted Signs for the placement of one sign above the first floor, and therefore, a motion was made by Todd James and seconded by Candice Forest, for **DENIAL WITHOUT PREJUDICE** of the requested variance of Article 9A, Section 9A.9.6(1) – Permitted Signs for the placement of two signs, Article 15, Section 15.2.3(4) – Parking in Front yards and Article 15, Section 15.6.6 – Limitation on Pavement and **APPROVAL** of the requested variance of Article 9A, Section 9A.9.6(1) – Permitted Signs for the placement of one sign above the first floor, subject to the following provisos:

1. Prior to the issuance of a Sign Permit by the Department of Safety and Permits, the applicant shall submit sign plans, to the Board of Zoning Adjustments staff for review and approval.
- 2. The applicant shall submit revised site plans to the staff of the Board of Zoning Adjustments for their review and approval indicating the removal of off-street parking spaces in the required front yard area. This area shall be landscaped.
3. The applicant shall obtain a conditional use to permit the sale of alcoholic beverages at the petitioned site.
4. The applicant call either subdivide Lot 30-A and Lot 30-C into one lot of record or obtain a conditional use for the proposed parking lot on Lot 30-C.
- 5. The applicant shall work with the staff of the Board of Zoning Adjustments to redesign the tower element in such a way that it integrates the architectural features of the building.

Approved by the Board of Zoning Adjustments,

Moll for Denise Plante
Denise Plante, Chairman

