

DEPARTMENT OF FINANCE  
BUREAU OF PURCHASING  
**CITY OF NEW ORLEANS**

MITCHELL J. LANDRIEU  
MAYOR

NORMAN S. FOSTER  
DIRECTOR

**Date: November 17, 2015**

**ADDENDUM NO.: 1**

**RE: BID PROPOSAL NO.: 2285-01934**

**BID OPENING DATE: 11/30/2015**

**AT: 2:00P.M.**

**SUBJECT: HUNTER'S FIELD PHASE II REBID**

**TO ALL PROSPECTIVE BIDDERS:**

**PLEASE BE ADVISED OF THE FOLLOWING ADDS/DELETES/CHANGES WHICH SHALL BE CONSIDERED AS INCLUDED IN THE ORIGINAL SPECIFICATIONS AND SHALL TAKE PRECEDENCE OVER ANY PART OF THE ORIGINAL SPECIFICATIONS IN CONFLICT THEREWITH.**

**SEE ATTACHMENTS**

**THIS ADDENDUM MUST BE ACKNOWLEDGED BY INITIALING THE BID FORM WHERE INDICATED, AS THIS ADDENDUM WILL BE MADE PART OF THE BID AND CONTRACT DOCUMENTS.**







**Hunter's Field Phase II Improvements**  
 at 1659 North Claiborne Avenue, New Orleans, Louisiana 70116  
 a New Orleans Recreation Development Commission (NORDC) facility  
 for the City of New Orleans

Issue and print dates:  
 June 1, 2015  
 October 28, 2015 -- Revision 1

These drawings and specifications have been prepared by me or under my supervision, and they comply with all City requirements to the best of my knowledge and belief. I shall be administering the construction work.



signed electronically  
 Michael Cajski  
 Registered Architect #5201  
 Architect's project no. 14-018  
 drawn by MC  
 sheet no.

City Bid Proposal Number 2285-01934

# City of New Orleans

# HUNTER'S FIELD PHASE II IMPROVEMENTS

Stacy Head, Councilmember-at-Large  
 Jason Rogers Williams, Councilmember-at-Large  
 Susan G. Guidry, District "A" Councilmember  
 LaToya Cantrell, District "B" Councilmember

Mitchell J. Landrieu, Mayor

Hunter's Field is a facility administered by the  
 New Orleans Recreation Development Commission,  
 Victor N. Richard III, CEO

Nadine M. Ramsey, District "C" Councilmember  
 Jared C. Brossett, District "D" Councilmember  
 James Austin Gray II, District "E" Councilmember

## PROJECT GENERAL NOTES

- Volume Zero LLC is the project Designer. Wherever the word "Architect" is used in the Drawings and Specifications, "Architect" shall be interpreted to mean "Designer". "Designer" is the work consistent with most of the City of New Orleans contract language. "Consultant" shall also be interpreted to mean "Designer" except where context clearly indicates another meaning.
- The Contractor shall verify all relevant dimensions and field conditions and shall notify the Architect of any discrepancies between existing field conditions and how they are portrayed in these drawings. Contractor shall verify the fit of all proposed construction.
- The Contractor shall make a reasonable effort to prevent hazards & inconveniences to park users, NORDC personnel, park maintenance personnel, neighbors, and the general public. The Contractor shall make a reasonable effort to provide for the safety of persons in the park and on the adjacent public right of ways and shall secure any necessary City permits for barricades, signs, covered walks or other safety features. Such safety features, as deemed to be reasonable, shall be within the Contractor's scope of work.
- The Contractor shall ensure that all workers are provided with reasonable gear and equipment for personal safety and that all workers on the site have had reasonable training in safety procedures. The Contractor shall ensure that all Contractor personnel at the project site are covered with Workers' Compensation insurance.
- The Contractor shall provide reasonable protection to prevent damage to all new (and existing to remain) work, materials, equipment, and existing structures, finishes, plants, soil, grading, and furnishings. The Contractor shall also take reasonable precautions to protect adjacent City property and utilities. Any damaged items shall be quickly replaced or repaired by the Contractor at the Contractor's expense. Turf grass is explicitly included.
- To the extent that is feasible and safe, areas of the park shall remain available to the public for recreational use. See General Note #3 above regarding safety barricades and public safety.
- All materials, fixtures, etc. shall be new unless otherwise specified and shall be handled & installed according to all of the manufacturers' instructions & recommendations. Should the Contractor discover an apparent discrepancy between the manufacturer's instructions & recommendations and the Architect's instructions (including these documents), the Contractor shall immediately bring the discrepancy to the Designer's attention.
- The Contractor shall acquire all the required permits to perform the work, and the work shall comply with all applicable codes & laws. Should the Contractor discover an apparent discrepancy between applicable codes & laws and the Designer's instructions (including these documents), the Contractor shall immediately bring the discrepancy to the Designer's attention.
- The Contractor shall carry insurance as indicated in the Project Manual for the entire duration of the work, and the Contractor shall promptly provide documentation of such insurance when requested by the Designer or Owner. The Designer and the Owner shall be named as insured on the Contractor's General Liability policy, and the Contractor shall provide certificates of insurance indicating so prior to commencement of the Contractor's on-site operations.
- The Contractor shall price and perform all work necessary to legally complete the Work as described in this drawing set. Provide all necessary incidental and prerequisite work, whether or not the necessary incidental and prerequisite work is explicitly indicated. (Exceptions: No remediation of existing materials regulated by the Environmental Protection Agency or the Louisiana Department of Environmental Quality is required as Base Bid work, and no such work is expected by the Architect to be required. No archaeological work is required as Base Bid work, and no such work is expected by the Architect to be required.)
- The Contractor shall provide security measures during construction as required to reasonably protect the work area and Contractor storage areas from vandalism and theft.
- The Contractor shall promptly notify the Architect if any discrepancies within the Contract Documents are discovered. In the absence of prompt feedback from the Architect, the Specifications documents shall supercede the Drawings. If there are discrepancies within the Drawings or within the Specifications that are not clarified by the Architect prior to the submission of construction bids, the construction bid shall be for the most costly of the conflicting work items.
- Except as explicitly indicated in the Drawings and Specifications, all indicated Work shall be included in the Base Bid.
- Provide a Final Cleaning as per Spec Sec 01770 throughout all areas at which work is done. Also, provide a Final Cleaning as per Spec Sec 01770 at all areas used by the Contractor for temporary facilities and at all areas used by the Contractor for movement of personnel, equipment, and materials.
- See Specification Section 02060 regarding demolition. In addition to all demolition explicitly indicated in these Drawings, provide all demolition work that is prerequisite to the proposed new construction.
- Provide any and all cutting and patching work as required for proposed new construction. See Specification Section 01731.
- Prior to submitting a bid, each Bidder shall visit the site with the Drawings and Specifications to familiarize themselves with the site conditions, especially all existing items that will be affected by the Work.
- Comply with all rules and regulations of the City of New Orleans Parks and Parkways Department. These regulations govern tree protection, tree removal, tree pruning, and other types of work. These regulations require permits for certain types of work, and the Contractor shall acquire such permits. See the Department's website for more information: <http://www.nola.gov/parks-and-parkways/>.
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- Louisiana Department of Transportation and Development (DOTD) approval is required for a new highway-mounted gutter assembly as per the Civil drawings. Provide Shop Drawings as per Specification Section 01330 and allow 28 calendar days for review plus an additional 28 calendar days after any rejection of the shop drawings due to the Contractor's failure to comply with the contract documents. The DOTD has informally indicated approval of the design concept to the Civil Engineer. If the DOTD rejects shop drawings that comply with the contract document, that DOTD rejection shall not be considered to be the fault of the Contractor. The shop drawings are the only documents required of the Contractor for submittal to the DOTD.
- All areas of the site that are removed from public use by the Contractor (such as areas fenced off for security or for tree protection) shall be maintained by the Contractor. Maintenance shall include grass cutting.

## ABBREVIATIONS

Abv.	ABOVE	J-BOX	JUNCTION BOX
A/C	AIR CONDITIONING	KDAT	KILN DRIED AFTER TREATMENT
ADA	AMERICANS WITH DISABILITIES ACT	KDFA	KNOCKED DOWN FIELD ASSEMBLY
AFF	ABOVE FINISHED FLOOR	Lav.	LAVATORY
AHU	AIR HANDLING UNIT	Lb.	POUND (S)
Alum.	ALUMINUM	LEED	LEADERSHIP IN ENERGY & ENVIRONMENTAL DESIGN
Approx.	APPROXIMATE (LY)	M	MECHANICAL DRAWINGS AND SPECIFICATIONS
Arch.	ARCHITECT (URAL)	Max.	MAXIMUM
ARRA	AMERICAN RECOVERY AND REINVESTMENT ACT	MECH	MECHANICAL
ASF	ABOVE SUB-FLOOR	MEP	MECHANICAL/ELECTRICAL/PLUMBING
A.T.	ALUMINUM THRESHOLD	MH	MOUNTING HEIGHT
Bd.	BOARD	Min.	MINIMUM
BFE	BASE FLOOD ELEVATION	Misc.	MISCELLANEOUS
Bldg.	BUILDING	MO	MASONRY OPENING
Blk.	BLOCK (ING)	MPE	MECHANICAL/PLUMBING/ELECTRICAL
Btm.	BEAM	MR	MOISTURE RESISTANT
Btm.	BOTTOM	M.T.	MARBLE THRESHOLD
Btwn.	BETWEEN	Mtl.	METAL
Cab.	CABINET	NIC	NOT IN CONTRACT
Cem.	CEMENT	NFPA	NFPA CODES, 2006 EDITIONS
CJ	CONTROL JOINT	NORDC	NEW ORLEANS RECREATION DEVELOPMENT COMMISSION
CL	CENTERLINE	NTS	NOT TO SCALE
Clg.	CEILING	OC	ON CENTER (S)
CMU	CONCRETE MASONRY UNIT	OD	OUTER DIAMETER
Col.	COLUMN	P	PLUMBING DRAWINGS AND SPECIFICATIONS
Conc.	CONCRETE	Plywd.	PLYWOOD
Cont.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
Cu Yds	CUBIC YARDS	PT	PRESERVATIVE TREATED
D	DRYER	Ptd.	PAINTED
Dbl.	DOUBLE	PVC	POLYVINYL CHLORIDE
Demo.	DEMOLISH, DEMOLITION	R/A	RETURN AIR
Diag.	DIAGONAL	Ref.	REFRIGERATOR
Dim.	DIMENSION	Reqd	REQUIRED
DN	DOWN	RH	ROUGH HEAD (ROUGH HEADER)
Dr.	DOOR	RJ	ROUGH JAMB
DS	DOWNSPOUT	RO	ROUGH OPENING
Dtl.	DETAIL	Sec	SECTION
DW	DISHWASHER	SEER	SEASONAL ENERGY EFFICIENCY RATIO
DWG	DRAWING	Sht.	SHEET
E	ELECTRICAL DRAWINGS AND SPECIFICATIONS	Sim.	SIMILAR
EIFS	EXTERIOR INSULATING FINISH SYSTEM	Sl.	SLOPE
EJ	EXPANSION JOINT	SC	SOLID CORE
Elec.	ELECTRICAL (AL)	Spec	SPECIFICATION, SPECIFIED
Elev.	ELEVATION	Sq.	SQUARE
EQ	EQUAL	SS	STAINLESS STEEL
Exist.	EXISTING	Std.	STANDARD
Ext.	EXTERIOR	Stl.	STEEL
FE	FIRE EXTINGUISHER	Svc.	SERVICE
FJ	FINGER-JOINED PINE OR FIR	Tel.	TELEPHONE
Ft.	FOOT (FEET)	T&G	TONGUE AND GROOVE
Galv.	GALVANIZED	Thk.	THICK (NESS)
GFI	GROUND FAULT CIRCUIT INTERRUPTER	TV	TELEVISION
Gyp.	GYPSUM	Typ.	TYPICAL
HB	HOSE BIB	UL	UNDERWRITERS LABORATORIES (UL, LLC)
HC	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
Ht.	HEIGHT	Vert.	VERTICAL
HVAC	HEATING/VENTILATING/AIR CONDITIONING	VIF	VERIFY IN FIELD
IBC	INTERNATIONAL BUILDING CODE, 2006 EDITION	W	WASHING MACHINE
ID	INNER DIAMETER	W/	WITH
In.	INCHES	Wd.	WOOD
Insul.	INSULATION, INSULATING	Wdw.	WINDOW
Int.	INTERIOR	WH	WATER HEATER
IRC	INTERNATIONAL BUILDING CODE	W/O	WITHOUT
IRC	INTERNATIONAL RESIDENTIAL CODE	WP	WATERPROOF
		Yr.	YEAR (S)

Notes on Abbreviations:  
 1. The use of punctuation and capitalization may vary in the Drawings and Specifications; meanings shall nonetheless be as indicated above.  
 2. Electrical and Civil Drawings and Specifications may include additional abbreviations.  
 3. Industry standard abbreviations may be used in the Contract Documents in addition to the abbreviations listed above.

## BUILDING & OCCUPANCY INFORMATION

An existing building on the property had been flooded in 2005 and has been vacant for several years. This project does not include bringing the building back to use. This project does not include any new buildings, any new building additions, or any interior renovations. The only new work at the existing building is work to reduce water infiltration.

The property is a public park owned by the City of New Orleans, and no change of use is proposed.

## MUNICIPAL LOCATION OF PROJECT

ADDRESS: 1659 North Claiborne Avenue  
 (at the intersection of St. Bernard Avenue)  
 New Orleans, Louisiana, 70113

LOT NUMBER: Not applicable; the property is an entire Square

SQUARE NUMBER: 754

DISTRICT: Third

BOUNDING STREETS: St. Bernard Ave, I-10 westbound Saint Bernard Avenue Exit  
 (downramp), I-10 eastbound onramp.

Note that a portion of the property is under an elevated section of the I-10 freeway.

## INDEX OF DRAWINGS

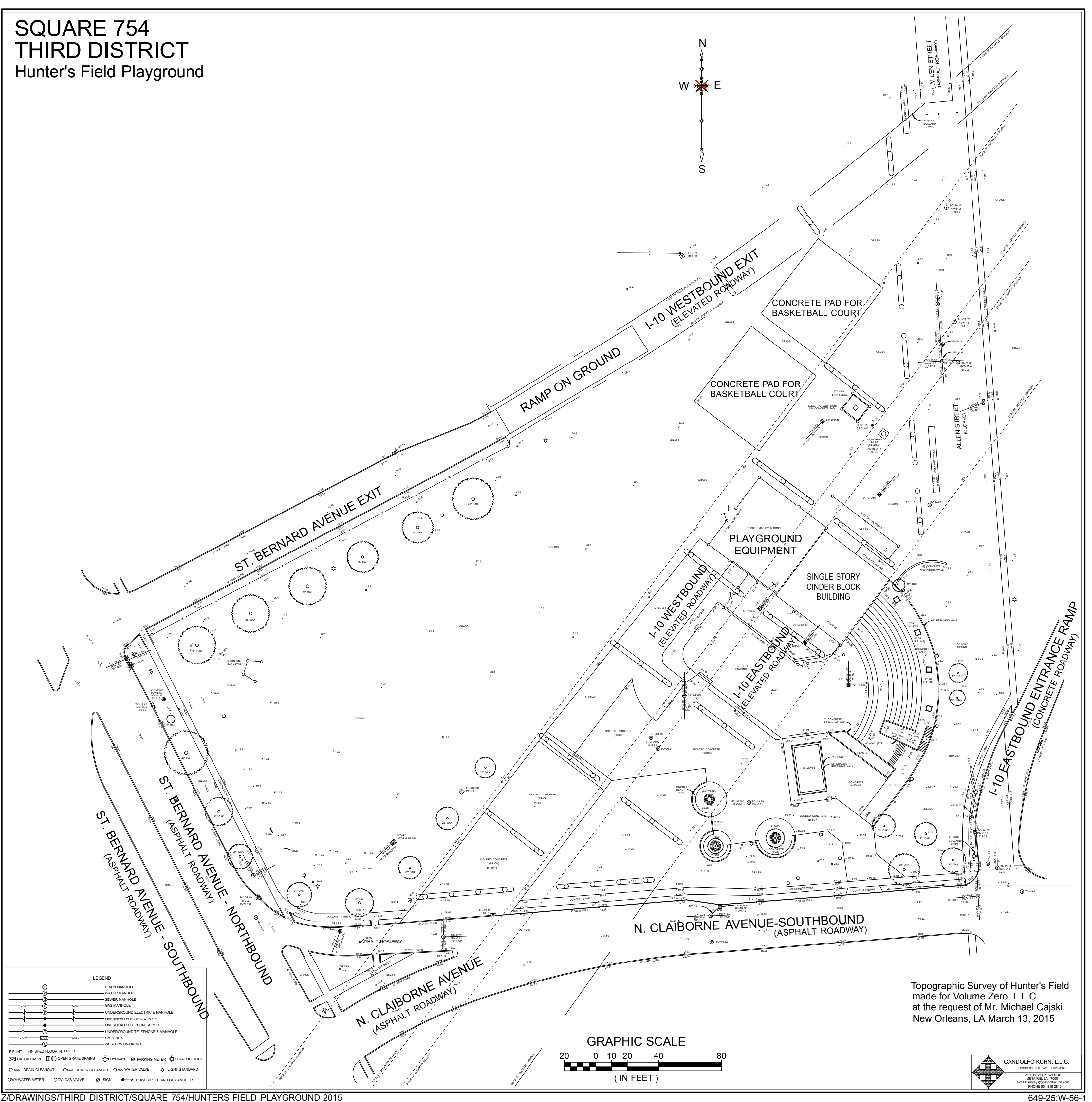
GENERAL	
G-1	Project Directory, Index of Drawings, Miscellaneous Notes
G-2	Property Survey
G-3	Site Plan
ARCHITECTURAL	
A-1	New Enclosure at New Electrical Service & Misc.
ELECTRICAL	
E-1	Electrical
CIVIL	
<del>C-1</del>	<del>Pre Existing Site Conditions</del>
C-1	Site Plan
C-2	Grading & Drainage Plan
C-3	Details
C-4	Tree Protection
LANDSCAPE	
<del>LS-1</del>	<del>Landscape</del>

## PROJECT DIRECTORY

<b>OWNER:</b> City of New Orleans Capital Projects Administration Jerry Harris, Project Manager 1300 Perdido St., Suite 6E-15 New Orleans, LA 70112 phone: 504-658-8681 jeharris@nola.gov	SPACE FOR ADDITIONAL NOTES:
<b>DESIGNER (ARCHITECT):</b> Volume Zero, LLC Michael Cajski, Project Architect 1034 Joliet St. New Orleans, LA 70118 phone: 504-864-9909 fax: 504-864-9983 michael@volumezero.com	
<b>ELECTRICAL ENGINEER:</b> Creighton Engineering, LLC Bruce Creighton, PE 2517 Metairie Ct. Metairie, LA 70002 phone: 504-583-9484 fax: 504-834-1242 bcreighton@aol.com	
<b>CIVIL ENGINEER:</b> Creighton Engineering, LLC Sean Burkes 1805 Shortcut Hwy. Slidell, LA 70458 phone: 985-640-1298 fax: 985-649-0075 sburkes@jvburkes.com	



**SQUARE 754  
THIRD DISTRICT  
Hunter's Field Playground**



CERTAIN FEATURES I.E. FENCES, WALLS, ETC. MAY BE EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS SHOW ACTUAL LOCATIONS.

THIS PROPERTY IS LOCATED IN FLOOD ZONE B AS SHOWN ON FEMA COMMUNITY PANEL NUMBER 225203 0095 E MARCH 1, 1984

SMALL SLANT FIGURES DENOTE ELEVATIONS. ELEVATIONS SHOWN HEREON ARE DERIVED FROM GPS OBSERVATIONS AND ARE REPORTED IN CAIRO DATUM. SUBTRACT 20.43 FROM VALUES SHOWN HEREON TO CONVERT ELEVATIONS TO NAVD'88 GEOID 12A.

THE SERVITUDES SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE RECORD DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

Z:\DRAWINGS\THIRD DISTRICT\SQUARE 754\HUNTERS FIELD PLAYGROUND 2015

**SURVEY GENERAL NOTES**

1. This Survey drawing is included in the drawings by the Architect to show existing conditions. No new work to be performed by the Contractor is indicated in this Survey Drawing.
2. See Sheet G-3 for a Site Plan that indicates some of the new work. More new work is indicated in the other Contract Documents.

Volume **Zero**  
architectural design studio

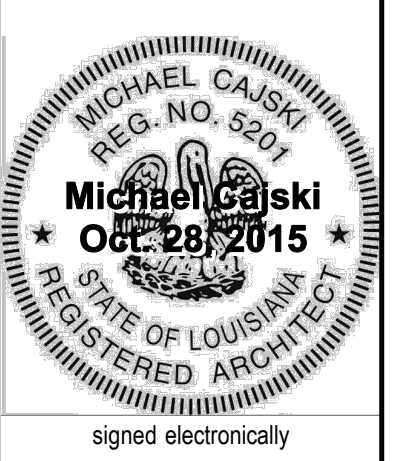
1034 Joliet Street  
New Orleans, La 70118  
504-864-9909 phone  
504-864-9983 fax

a limited liability company  
Michael Cajski &  
Van Tran, Architects



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Michael Cajski  
Registered Architect #5201

Architect's project no. 14-018  
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sheet no.

**G-2**

**1** Topographic Property Survey of the Hunter's Field Property  
**G-2** Scale: 1" = 40 ft



**SITE PLAN GENERAL NOTES**

1. Items that appear on this Site Plan and also on the Survey (See Sheet G-2.) are existing items.
2. New work is identified as such on this Site Plan. Additional new work is also indicated in the other Contract Documents.
3. See the Legend on the Survey drawing, Sheet G-2; some of the Legend symbols are applicable to this Site Plan.

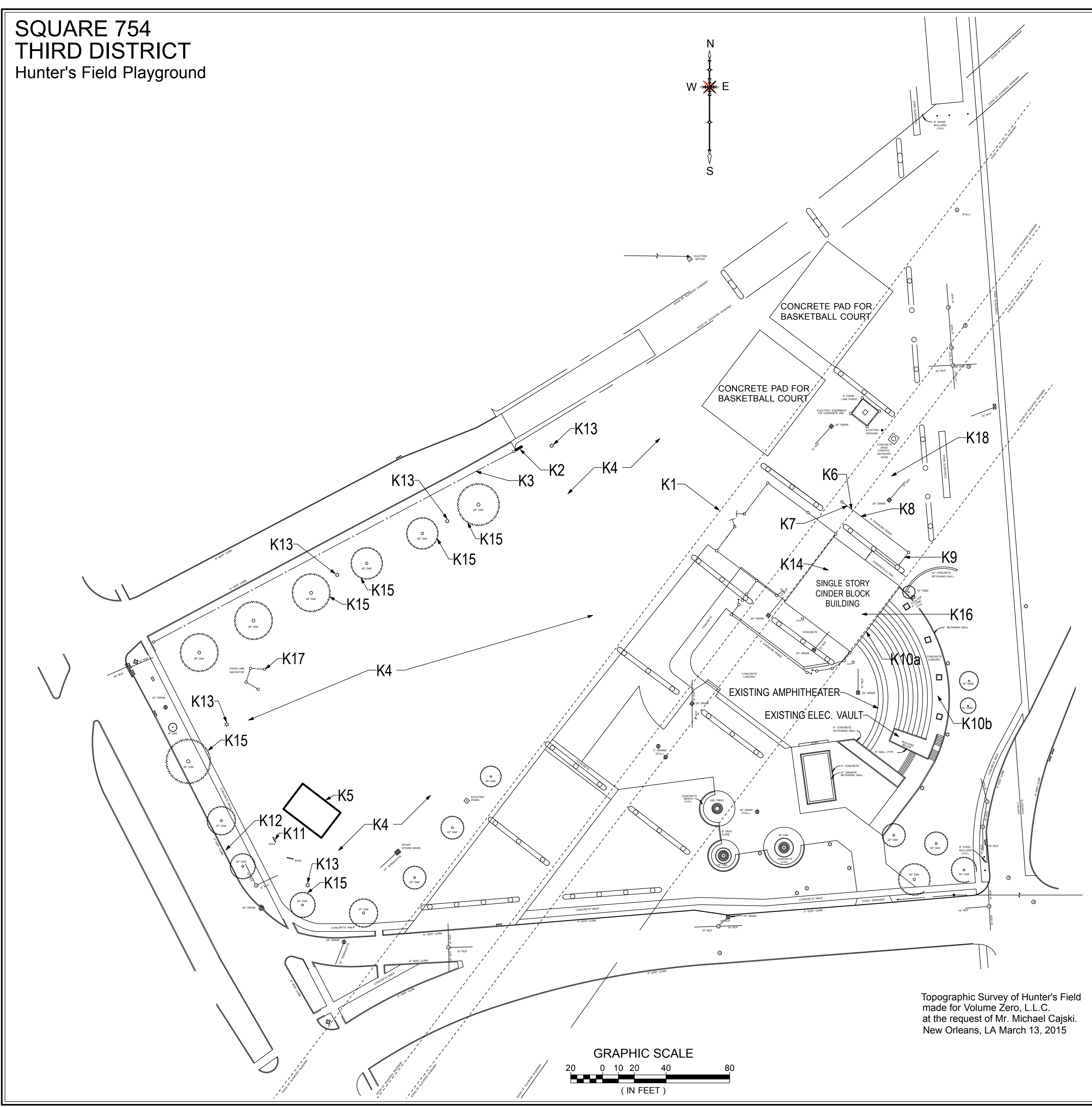
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**SQUARE 754  
THIRD DISTRICT  
Hunter's Field Playground**



1 Site Plan  
G-3 Scale: 1" = 40 ft

**SITE PLAN KEY NOTES**

- K1. Provide construction at grade below freeway drip line to prevent soil erosion. See Civil drawings, especially 4/C-3.
- K2. Extension of new chain link fence 4 feet beyond end of existing fence (shown as heavy line)
- K3. Remove existing four-foot-high chain link fence, including posts and post footings. Backfill where post footings are removed, flush with surrounding grade as per Drawing 6/C-3. Total length of this existing fence is approximately 260 feet. Replace existing fence with new six-foot-high chain link fence at same location. New fence shall be 4' longer than the existing fence at the northeast end as noted above. See Specification Section 02830.
- K4. Not used. Disregard this key wherever it appears on the Site Plan.
- K5. Temporary stage location for special events. See Electrical Drawings for new electrical items to service temporary stage area. Provide even grade for temporary stages as per the Civil drawings, especially 5/C-3. Note that the Civil drawings use the term "grandstand" in lieu of "stage". The temporary stage is NIC, but the grading and related work is included in the contract work.
- K6. Not used. Disregard this key wherever it appears on the Site Plan.
- K7. Remove existing tree stump to 6" below grade. Tree stump size it approximately 10" diameter at grade. This work shall be performed by a Louisiana-licensed arborist. See Project General Note #19 on Sheet G-1.
- K8. Remove this run of 8'-high chain link fence, including posts and post footings. Backfill where post footings are removed, flush with surrounding grade as per Drawing 6/C-4. Total length of this existing fence run is approximately 52 feet.
- K9. Remove this run of 8'-high chain link fence, including posts and post footings. Backfill where post footings are removed, flush with surrounding grade as per Drawing 6/C-4. Total length of this existing fence run is approximately 12 feet.
- K10a. Remove twelve lineal feet of deficient sealant from building-to-amphitheater connection. Architect on site to point out which twelve lineal feet to replace. Provide new backer rod and new sealant as per Specification Section 07901. The forty lineal feet are not necessarily continuous, but shall be provided at no more than four continuous beads. See Drawing 9/A-1.
- K10b. forty lineal feet of deficient sealant from concrete joints at amphitheater. Architect on site to point out which forty lineal feet to replace. Provide new backer rod and new sealant as per Specification Section 07901. The forty lineal feet are not necessarily continuous, but shall be provided at no more than four continuous beads. See Drawing 10/A-1.
- K11. New Electrical items (including receptacles for temporary stages and special events). See Sheet E1, especially the NEW STAGE SERVICE drawing. All unistrut and unistrut fasteners shall be hot-dipped galvanized. Remove all burrs from cut ends of unistrut and coat cut ends with galvanizing coating. See Allowances regarding Entergy Fees.
- K12. Approximate location for utility pole as required for new Electrical service to temporary stage area. See Sheet E1, especially ELECTRICAL NOTE #9. See Allowances regarding Entergy Fees.
- K13. Existing high-mast light pole. The Architect has recently observed that most of the fixtures were in working order. The Contractor shall take all reasonable precautions to avoid damage to the poles and fixtures. See Allowances regarding minor electrical repairs.
- K14. Clean debris from entire building roof and from all roof drains to a depth of 48" below each roof drain cover/strainer. Remove drain covers/strainers and reinstall as required. Do not push or otherwise apply pressure to debris in roof drains that would move the debris downward. Roof area is approximately 2700 SF. Provide ladder or lift access to Architect for inspection of roof before and after cleaning.
- K15. Prune existing tree such that no branches are within eight feet of any existing high-mast light fixture. The Contractor shall have this work performed by a Louisiana-licensed arborist and shall provide the license information to the Architect prior to this work. Note that the sizes of the tree canopies as shown on this drawing are roughly approximated, and that the actual canopies are typically larger. See Project General Note #19 on Sheet G-1.
- K16. Remove damaged existing gutter mounted to the I-10 overpass. Replace it with a new gutter of the same dimensions. See Civil drawings, especially the GUTTER DETAIL. Comply with any and all applicable regulations, including LADOTD regulations. See Project General Note #20 on Sheet G-1.
- K17. Remove existing chain link fence backstop assembly, including posts and post footings. Backfill where post footings are removed, flush with surrounding grade as per Drawing 6/C-4. Replace Backstop with new ten-foot-high chain link fence, 24 lineal feet in three 8-foot-long segments. Verify exact position and layout on site with Architect. See Specification Section 02830.
- K18. Provide Civil work at this area as per the Civil Drawings. Also provide Landscape Work at this area as per the Landscape Drawings. Provide 12' X 12' physical samples of synthetic turf along with synthetic turf submittal documents. See the Landscape Drawings regarding synthetic turf.



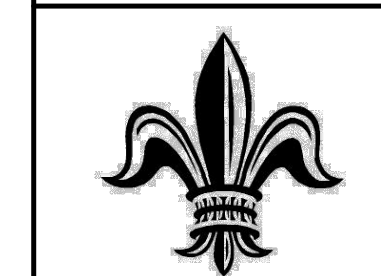
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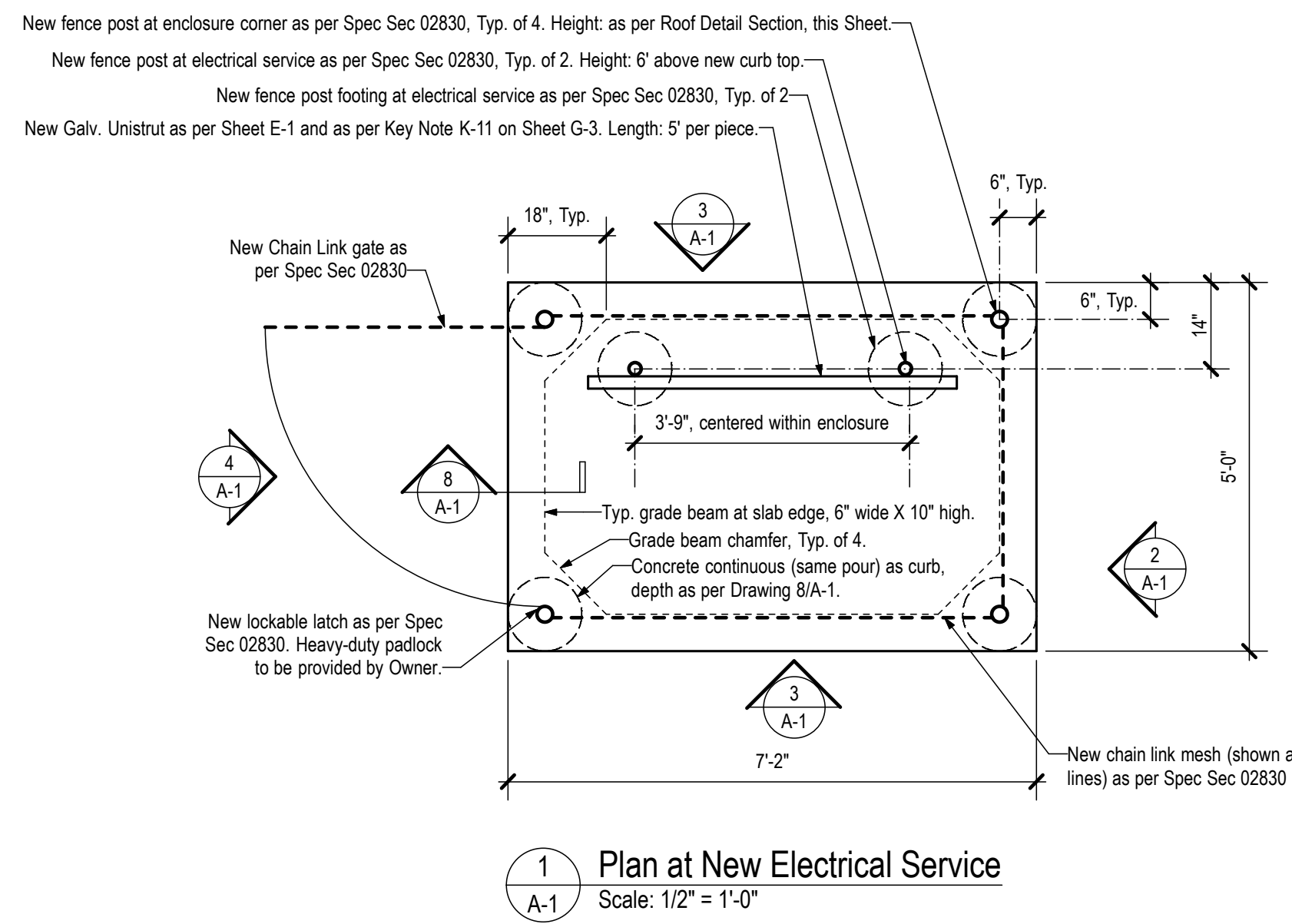
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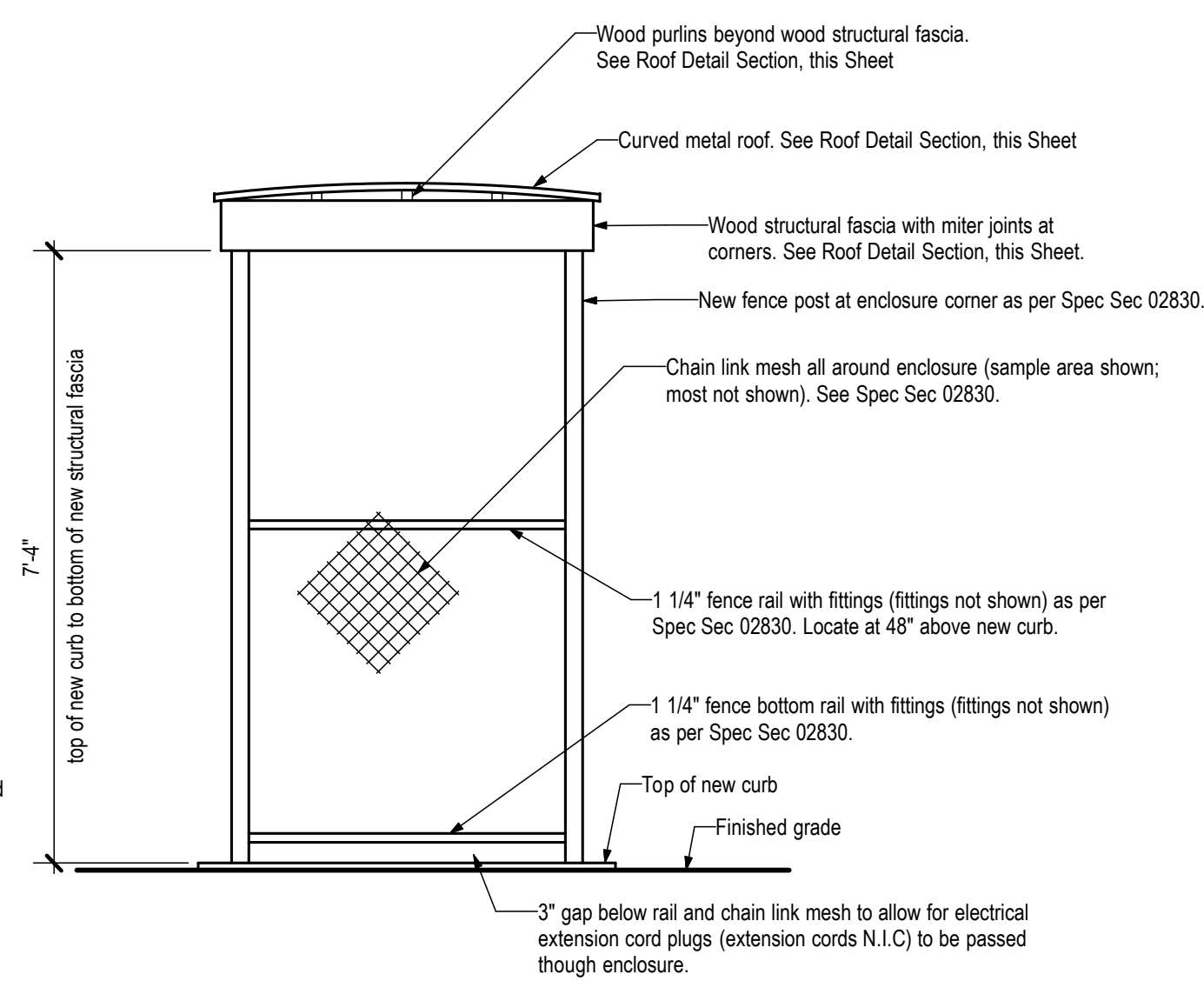
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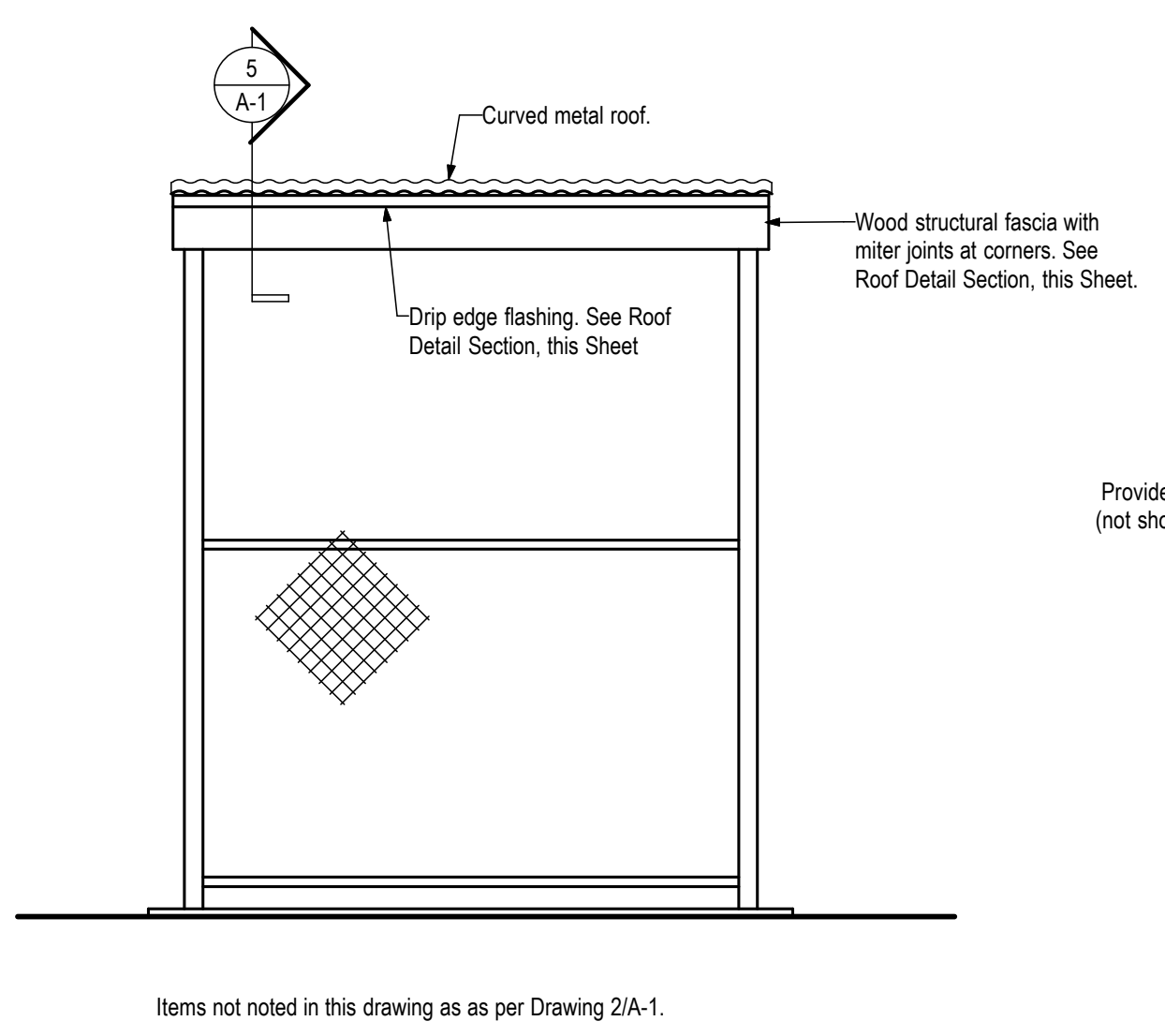
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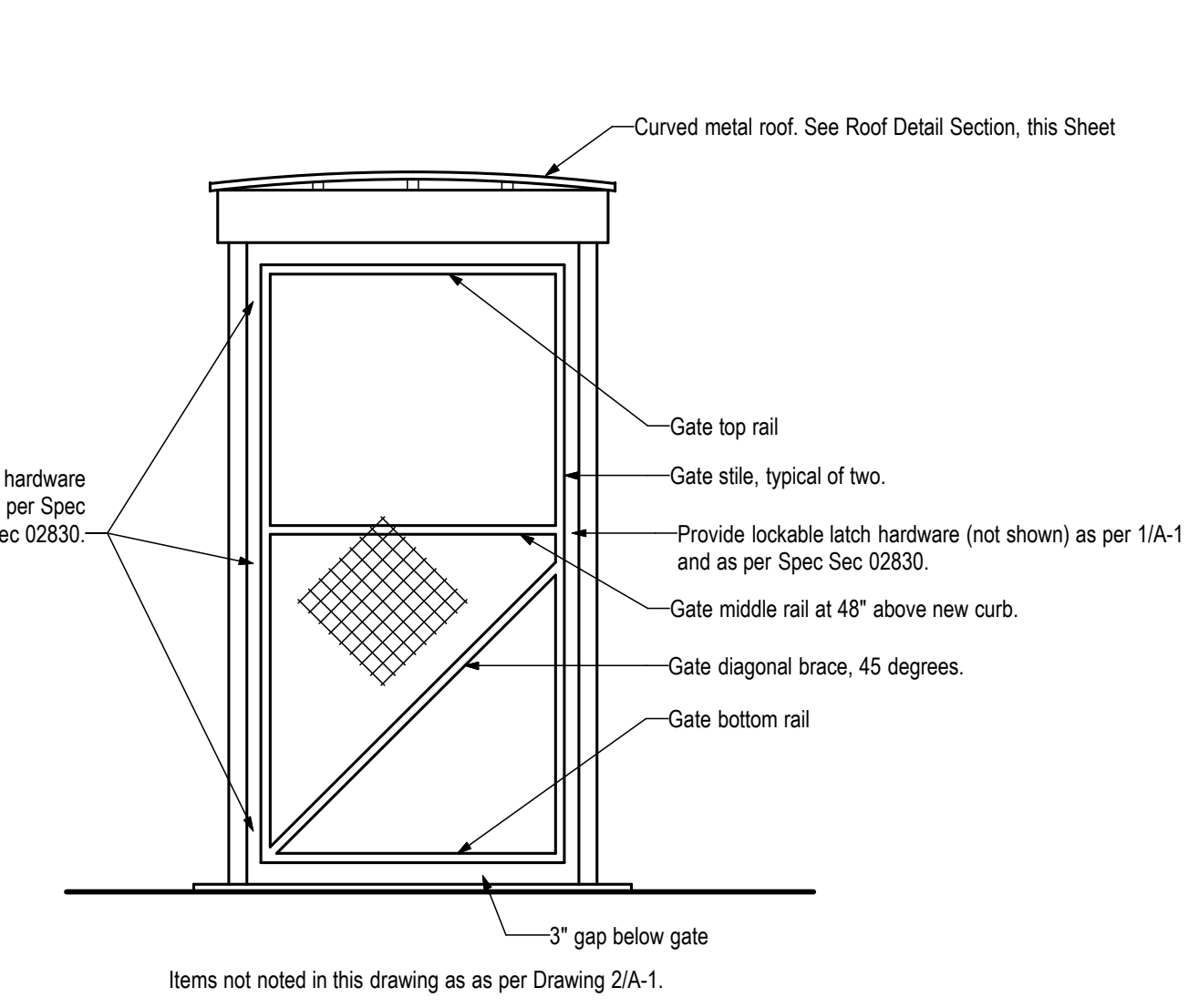
**1** Plan at New Electrical Service  
Scale: 1/2" = 1'-0"



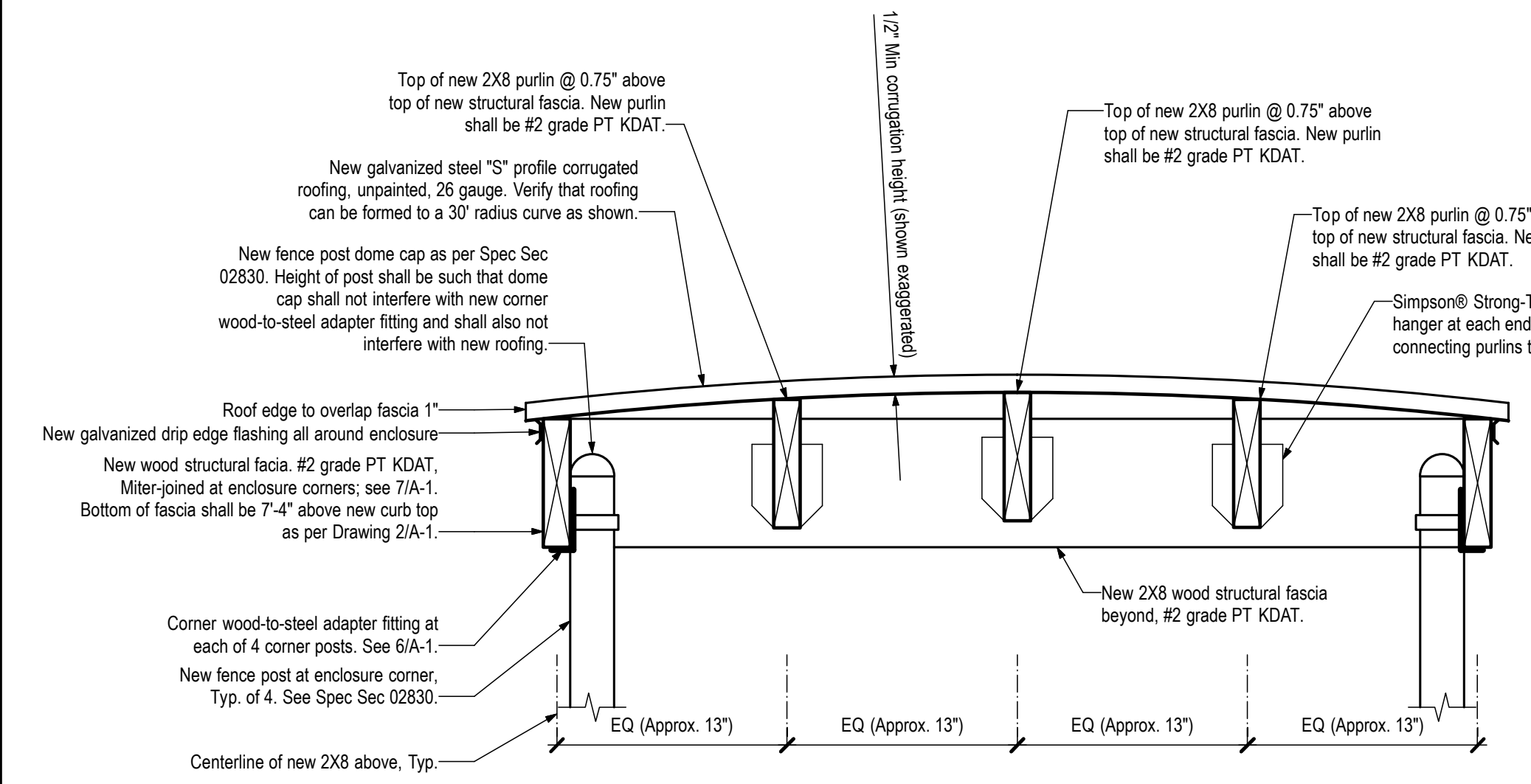
**2** Exterior Elevation at New Electrical Service Enclosure  
Scale: 1/2" = 1'-0"



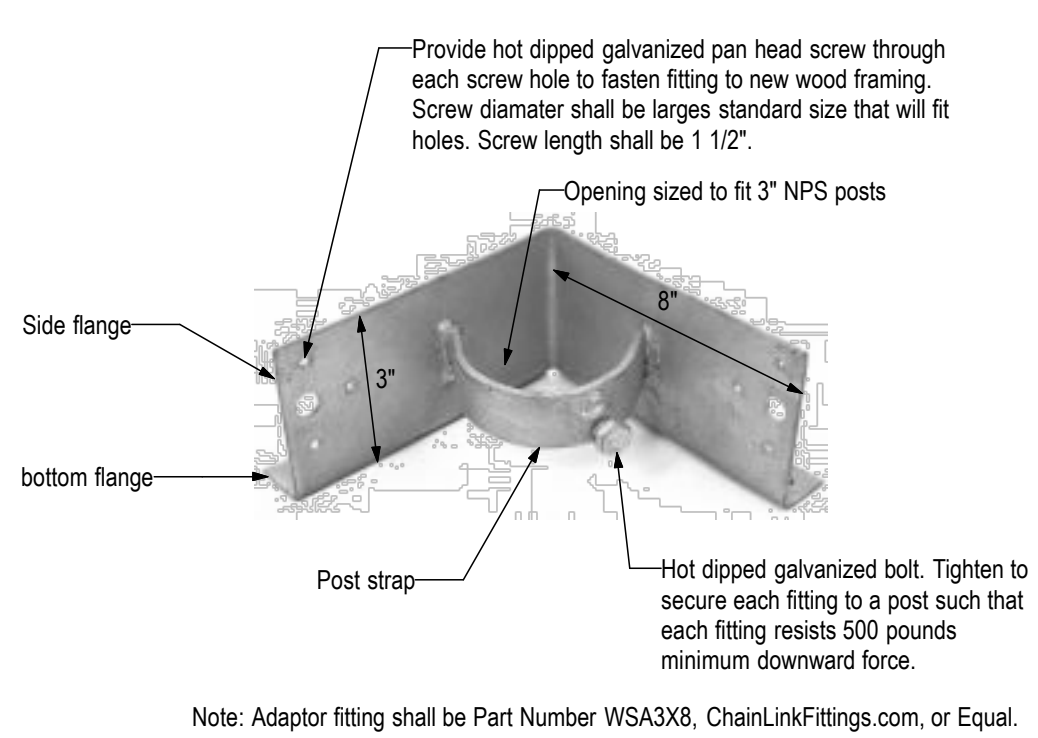
**3** Exterior Elevation at New Electrical Service Enclosure  
Scale: 1/2" = 1'-0"



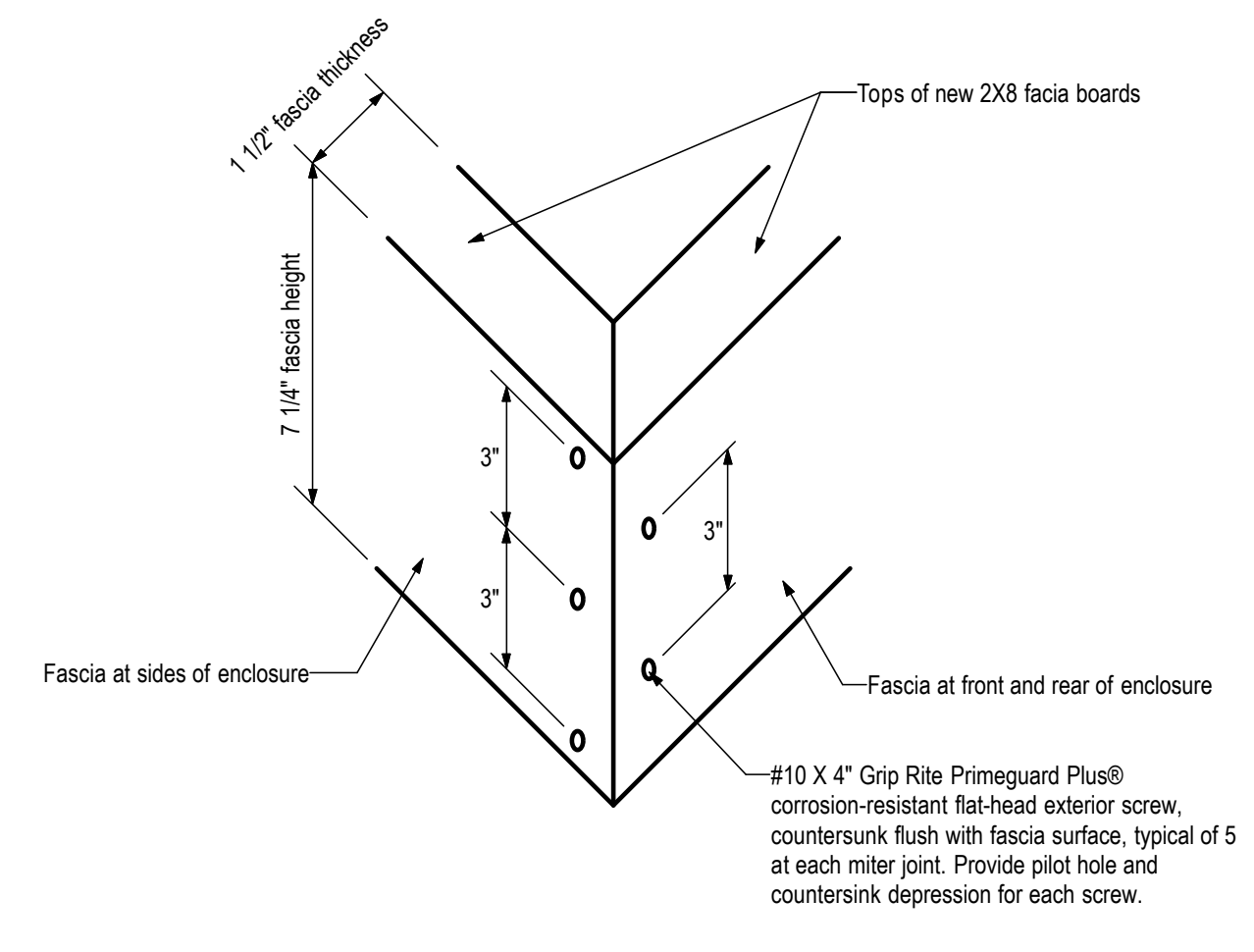
**4** Exterior Elevation at New Electrical Service Enclosure  
Scale: 1/2" = 1'-0"



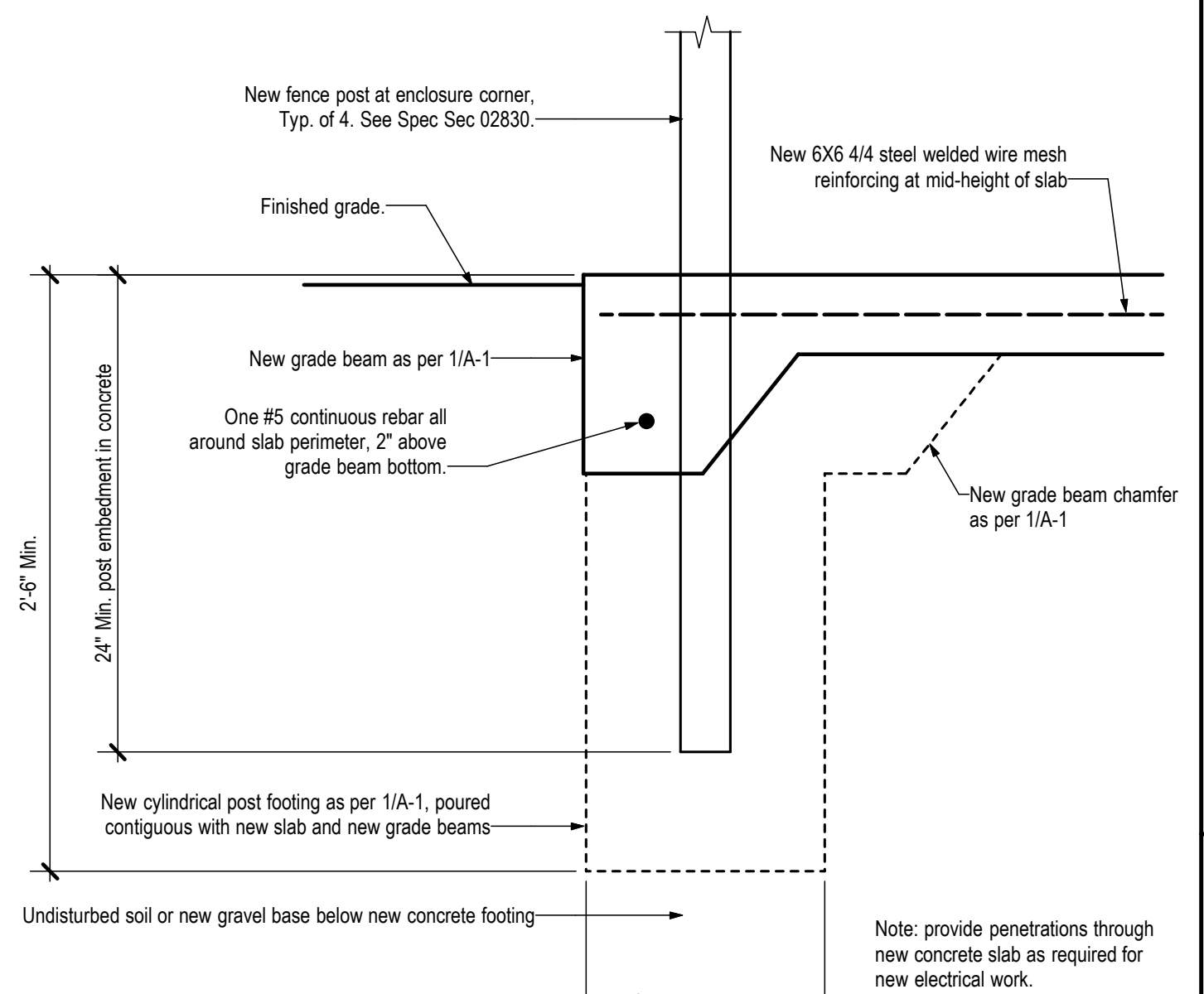
**5** Roof Detail Section at Elec. Svc. Enclosure  
Scale: 1 1/2" = 1'-0"



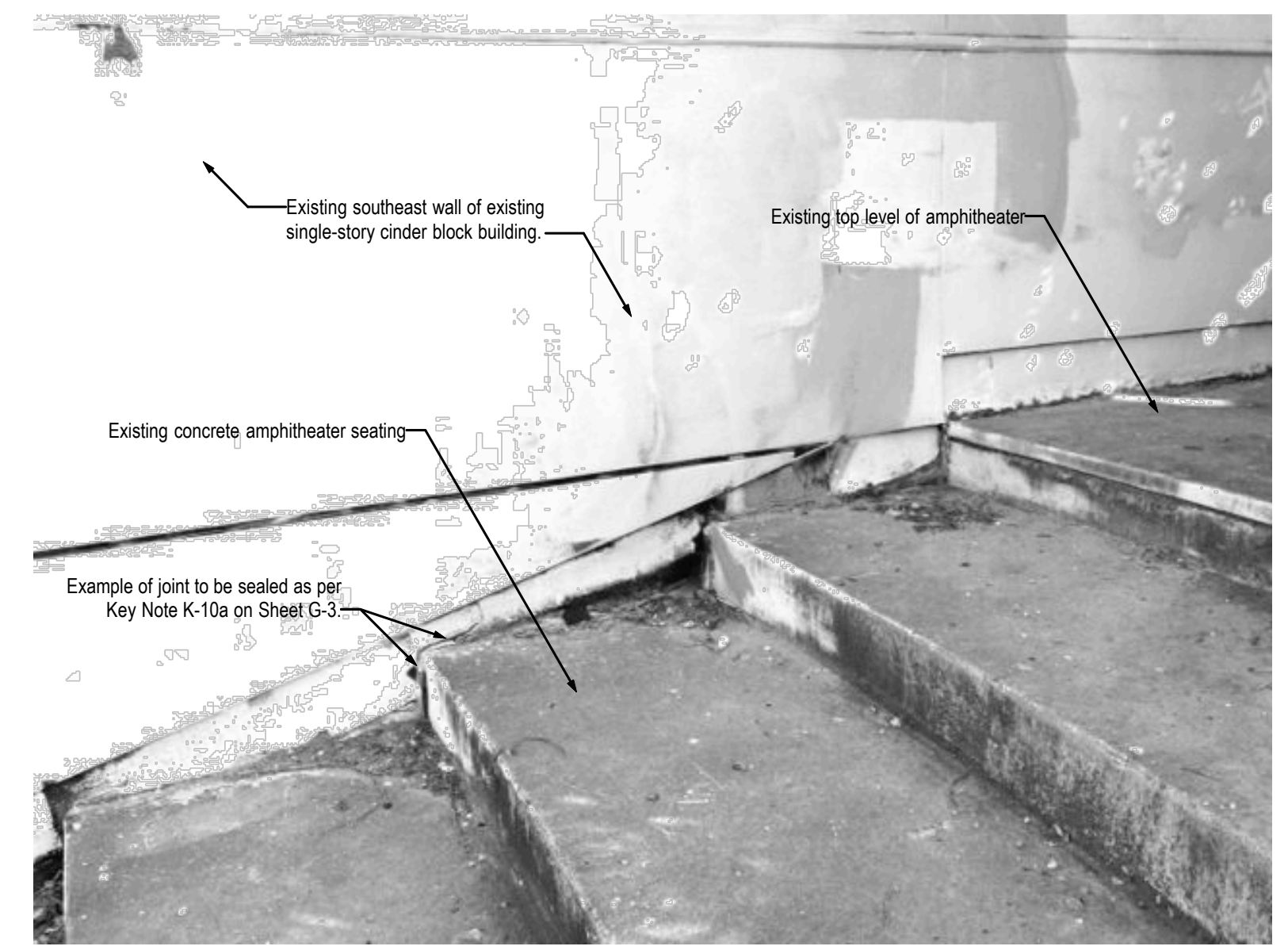
**6** Corner Wood-to-Steel Adaptor Fitting  
not to scale



**7** Miter-Joined Fascia Corner Detail (Axonometric View)  
not to scale



**8** Post Footing Section Detail at Elec. Svc. Enclosure  
Scale: 1 1/2" = 1'-0"



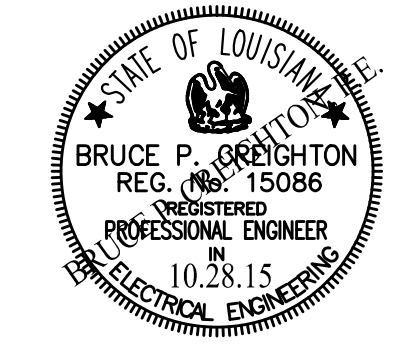
**9** Existing Amphitheater Seating at Existing Building  
not to scale



**10** Top of Existing Amphitheater  
not to scale



THESE DRAWINGS WERE DEVELOPED BY ME OR UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE APPEAR TO COMPLY WITH ALL REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION. I AM NOT GENERALLY ADMINISTERING THE WORK.



SIGNED ELECTRONICALLY

Volu mZee r, o  
 architectural design studio  
 1034 Joliet Street  
 New Orleans, La 70118  
 504-864-9909  
 phone 504-864-9983 fax  
 a limited liability company  
 Michael Cajski & Van Tran, Architects

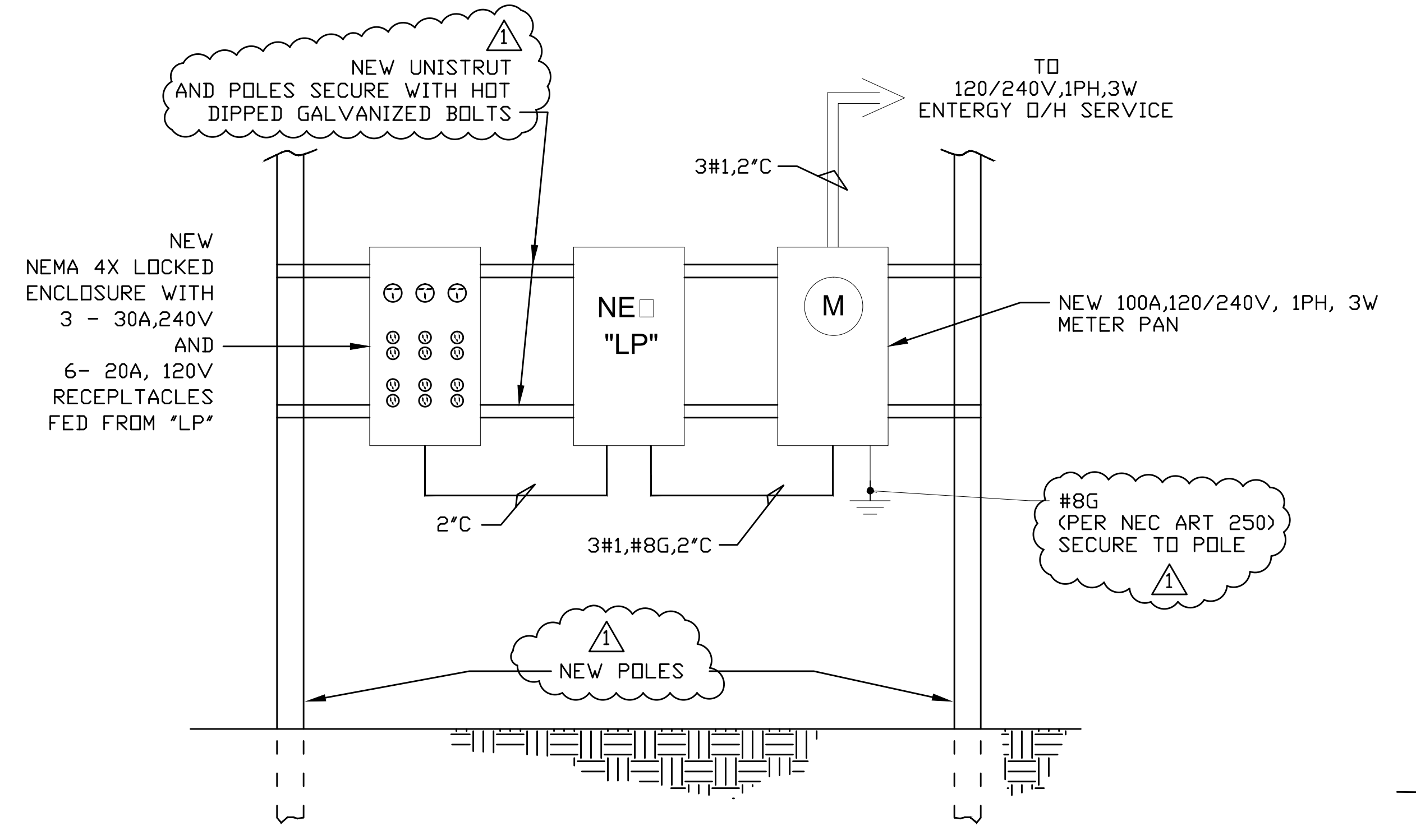
**PANEL SCHEDULE**

PANEL NAME: "LP" (HUNTERS FIELD)  
 SERVICE: 120/240 Volt, 1 Phase, 3 Wire  
 MAINS: 100 Amp, M.C.B. (Main Circuit Breaker), 24,000 A.I.C.  
 BRANCHES: Series Rated  
 NOTES: Siemens Model P1 or equal, Surface Mounted, NEMA 3R With locking cover. All receptacle breakers shall be GFCI type.

CIRCUIT	POLE	TRIP	WIRE	COND	REMARKS	KW
1	2GFI	30	2#10, #10G	1-2"	RECEPTACLES (30A, 240V, 6-30R)	2.0
2	2GFI	30	2#10, #10G	1-2"	RECEPTACLES (30A, 240V, 14-30R)	2.0
3	2GFI	30	2#10, #10G	1-2"	RECEPTACLES (30A, 240V, TT-30R)	2.0
4-9	1GFI	20	2#12, #12G	"	RECEPTACLES (20A, 120V, DUPLEX)	6.0
10-17	1	20			SPARES	
TOTAL CONNECTED LOAD						12.0

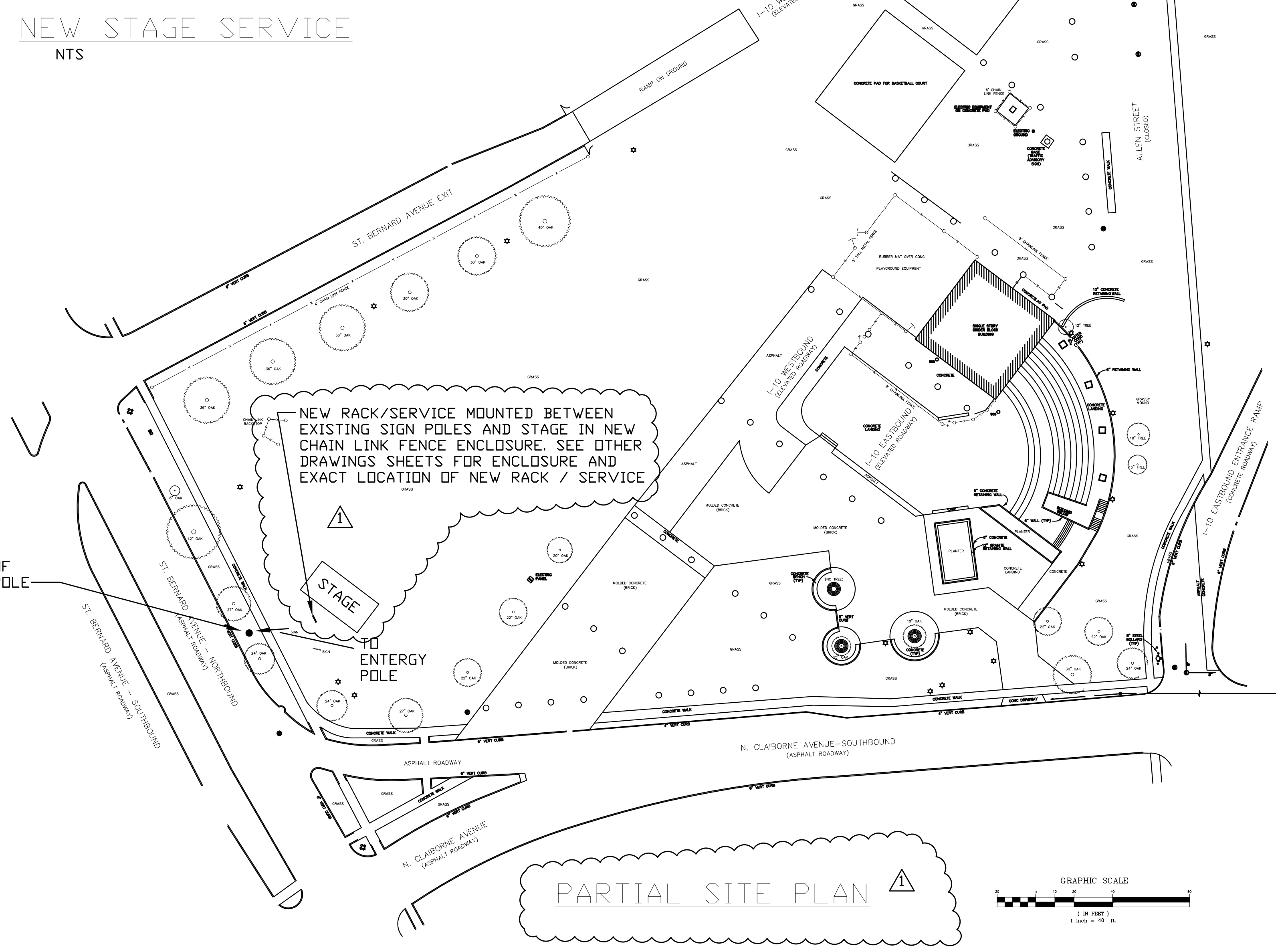
**ELECTRICAL NOTES**

- 1) Installation shall be in strict accordance with the latest National Electrical Code (the N.E.C.), the International Building Code (the I.B.C.), and conform to all State and City requirements.
- 2) All wiring shall be run in EMT metal raceway.
- 3) Home run routing is schematical. Contractor to determine the best possible routing with the necessary support according to N.E.C.
- 4) All wiring shall be THWN copper. Minimum size shall be #12 AWG.
- 5) Neutral wire to be grounded at main service switch and two ground rods. All conduit and equipment shall be grounded per N.E.C. Article 250.
- 6) All electrical material shall be "UL" listed and labeled for its intended application.
- 7) Electrical Contractor shall be responsible for providing a typed panel directory.
- 8) Panelboard shall be Eaton, Siemens, Cutler Hammer, or equal. Circuit breakers shall be bolt on.
- 9) Coordinate installation of electrical service with Mr. Preston Favorite, Customer Representative, PFAVOR@entergy.com, 504-250-5184, and Mr. David Galman, Associate Engineer, dolman@entergy.com, 504-593-3408, of Entergy. Provide conduits, junction box, grounding, and meter pan as required.
- 10) Receptacles shall be six 20A, 125V, 5-20R, weatherproof, commercial grade, ivory, duplex, and one 30A, 240V, 6-30R, one 14-30R, and one TT-30R, weatherproof, commercial grade receptacles. All receptacles shall be mounted in a NEMA 4X weatherproof stainless steel enclosure with hinged, pad lockable cover.
- 11) Each 30A receptacle and each 20A duplex receptacle shall be on a separate circuit breaker and have separate neutrals.



**NEW STAGE SERVICE**  
 NTS

APPROXIMATE LOCATION OF NEW ENTERGY SERVICE POLE SEE NOTE 9



**PARTIAL SITE PLAN**

**Hunter's Field, Phase II Improvements**  
 at 1659 North Claiborne Avenue, New Orleans, Louisiana 70113  
 a New Orleans Recreation Development Commission (NORDC) facility  
 for the City of New Orleans

Issue and print dates:  
 JUNE, 1 2015 - Improvements  
 OCTOBER, 28 2015 - REVISION

Michael Cajski  
 Registered Architect #5201  
 Architect's project no. 14-018  
 drawn by TWL  
 sheet no.





**1 SITE PLAN**  
Scale: 1" = 20'  
NOTE: SEE ARCH. DWGS. FOR DIMENSIONS

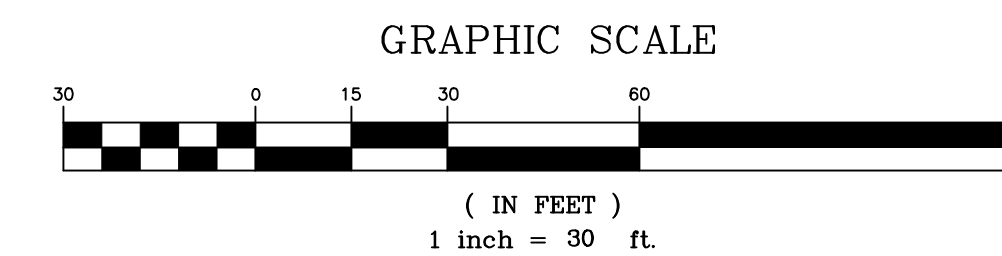
**SITE NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS, PINS, AND BENCHMARKS
2. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
3. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITE WORK SPECIFICATIONS.
4. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE/DEMOLITION CONSTRUCTION.

**SCOPE OF CIVIL WORK**

1. INSTALL CONCRETE SIDEWALK - 155 LF X 5' WIDE - 3000 PSI (4" THICK) SEE DETAIL. SLOPE TOWARDS FIELDS.
2. INSTALL CRUSHED LIMESTONE. SEE LANDSCAPE ARCH. DRAWINGS FOR DETAILS.
3. CLEAN & VIDEO DRAIN LINES FROM EACH CATCH BASIN TO THE TERMINUS. ANY DAMAGED DRAIN LINES SHALL BE REPAIRED AS PER CITY OF NEW ORLEANS SPECIFICATION.
4. REMOVE & REPLACE EXISTING HIGHWAY GUTTER APPROX 100 LF. MATCH EXISTING GUTTER AS TO MATERIAL, INSTALLATION DETAILS, SLOPE, ATTACHMENT. COORDINATE WITH LADOT. SUBMIT FULL SHOP DRAWINGS FOR APPROVALS INCLUDING LADOT.
5. REGRADE 25' X 35' AREA FOR GRANDSTAND AREA TO THE 21' ELEVATION C.D. - SIDE SLOPES SHALL BE GRADED AT AN 12:1 SIDE SLOPE FROM THE FLAT GRADE TO EXISTING GROUND. DISTURBED AREA SHALL BE REPLACED WITH SOD.
6. SMALL SINKHOLE AREAS IN GRASSY AREA SHALL BE BACKFILLED WITH PUMP SAND TO MATCH EXISTING NATURAL GRADE AND SEEDED.
7. REGRADE AREA TO SLOPE TO EXISTING DRAINS, APPROX. 772 SY. SEE LANDSCAPE DRAWINGS FOR NEW SURFACE WORK AT THIS AREA.
8. INSTALL NEW 6" CURB. SEE LANDSCAPE ARCH. DRAWINGS FOR DETAILS.

LEGEND	
	— DRAIN MANHOLE
	— WATER MANHOLE
	— SEWER MANHOLE
	— GAS MANHOLE
	— UNDERGROUND ELECTRIC & MANHOLE
	— OVERHEAD ELECTRIC & POLE
	— UNDERGROUND TELEPHONE & MANHOLE
	— CATV
	— CATV BOX
	— WESTERN UNION MH
	□ CATCH BASIN
	□ OPEN GRATE DRAINS
	● HYDRANT
	⊕ PARKING METER
	⊕ TRAFFIC LIGHT
	○ DRAIN CLEANOUT
	○ SEWER CLEANOUT
	○ WATER VALVE
	○ LIGHT STANDARD
	○ WATER METER
	○ GAS VALVE
	○ SIGN
	○ POWER POLE AND GUY ANCHOR



THESE PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY JURISDICTIONAL ENTITIES  
CALL LA ONE CALL FOR UTILITY LOCATION PRIOR TO BEGINNING CONSTRUCTION

Volume Zero

architectural design studio

1034 Joliet Street  
New Orleans, La  
70118  
504-864-9909  
phone  
504-864-9983 fax

a limited liability company

Michael Cajski & Van Tran, Architects



*Signature*  
SEAN M. BURKES  
LA REG. NO. 27642

**Hunter's Field Phase II Improvements**  
at 1659 North Claiborne Avenue, New Orleans, Louisiana 70113  
a New Orleans Recreation Development Commission (NORDC) facility  
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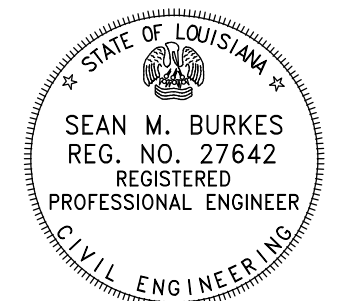
Issue and print dates:  
June 1, 2015 - Civil Design  
October 28, 2015 - Revision 1

**J.V. Burkes & Associates, Inc.**  
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1803 Shortcut Highway  
Slidell, Louisiana 70456  
E-mail: jvb@jvbassoc.com  
Phone: 985-649-0075 Fax: 985-649-0154  
Mississippi Phone: 228-435-5800

sheet no.

**C-1**





*Seal*  
SEAN M. BURKES  
LA REG. NO. 27642

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Mississippi Phone: 228-435-5800

sheet no.

**C-2**

### DRAINAGE CONSTRUCTION NOTES

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE AS SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. PROPOSED SPOT GRADES ARE SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
7. EXISTING GRADE CONTOUR INTERVALS ARE SHOWN AT 1'.
8. ALL UN-SURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS SPECIFICATION UNTIL A HEAVY STAND OF GRASS IS OBTAINED.
9. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
10. AFTER PERMITS HAVE BEEN OBTAINED AND EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD TO 0 TO 1/2" OF SUBGRADE.
11. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
12. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF ADJACENT PROPERTIES TO SITE. IF EXISTING GRADES DO NOT MATCH THOSE SHOWN ON THIS PLAN, CONTRACTOR SHALL NOTIFY OWNERS PROJECT MANAGER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRAFFIC CONTROL NECESSARY FOR DRIVE DEMOLITION/CONSTRUCTION.
14. ALL HANDICAP ACCESSIBLE RAMPS, SIDEWALKS, ROUTES, ETC. MUST BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL, STATE, CITY STANDARDS. IN THE EVENT THESE REQUIREMENTS CANNOT BE MET J.V. BURKES & ASSOCIATES SHALL BE NOTIFIED PRIOR TO CONSTRUCTION FOR AN ALTERNATE SOLUTION.
15. DUE TO THE LARGE TREES THAT NEED TO BE PRESERVED ONSITE - LIMITED ACCESS WILL BE MADE AROUND THE LARGE ROOT SYSTEMS OF THE TREES. MATS SHOULD BE USED TO ACCESS THE SITE AROUND THE ENTRANCE FROM N. CLAIBORNE AVE. TO LIMIT COMPACTION TO THE ROOTS DURING CONSTRUCTION.
16. PROPERTY IS LOCATED WITHIN FLOOD ZONE AE, BFE = 12.0' ACCORDING TO F.I.R.M. COMMUNITY MAP NO. 220204 00100C DATED 04/21/1999.
17. DO NOT DISTURB SOIL IN CRITICAL ROOT ZONE (CRZ) OF OAK TREES. DO NOT ADD MORE THAN 1' OF FILL IN CRZ.

### DRAINAGE LEGEND

- 20.00 PROPOSED ELEVATIONS
- 20.0 EXISTING ELEVATION
- INLET INV=10.36  
TOP OF CASTING ELEVATION  
INVERT ELEVATION
- 24" X 24" GRATE
- FGE FINISH GRADE ELEVATION
- DRAINAGE FLOW

THESE PLANS ARE SUBJECT TO  
REVIEW AND APPROVAL BY  
JURISDICTIONAL ENTITIES

CALL LA ONE CALL FOR UTILITY  
LOCATION PRIOR TO BEGINNING  
CONSTRUCTION

## 1 GRADING & DRAINAGE PLAN

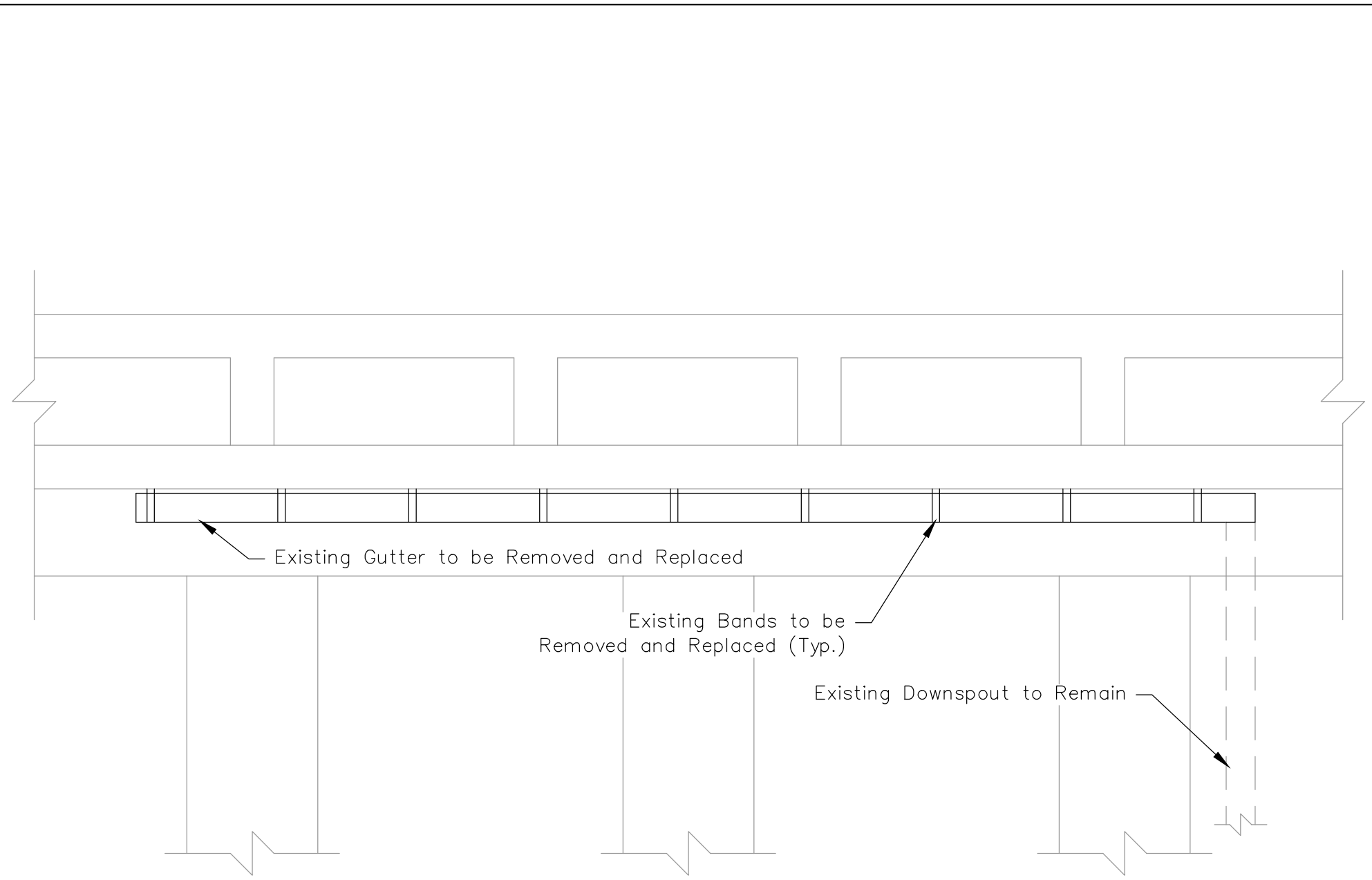
Scale: 1" = 20'



**LEGEND**

- DRAIN MANHOLE
- WATER MANHOLE
- SEWER MANHOLE
- GAS MANHOLE
- UNDERGROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC & POLE
- OVERHEAD TELEPHONE & POLE
- UNDERGROUND TELEPHONE & MANHOLE
- CATV BOX
- WESTERN UNION MH
- F.F. INT. FINISHED FLOOR INTERIOR
- CATCH BASIN
- OPEN GRATE DRAINS
- HYDRANT
- PARKING METER
- TRAFFIC LIGHT
- DRAIN CLEANOUT
- SEWER CLEANOUT
- W.V. WATER VALVE
- LIGHT STANDARD
- CHIMNEY WATER METER
- W. GAS VALVE
- SIGN
- POWER POLE AND GUY ANCHOR

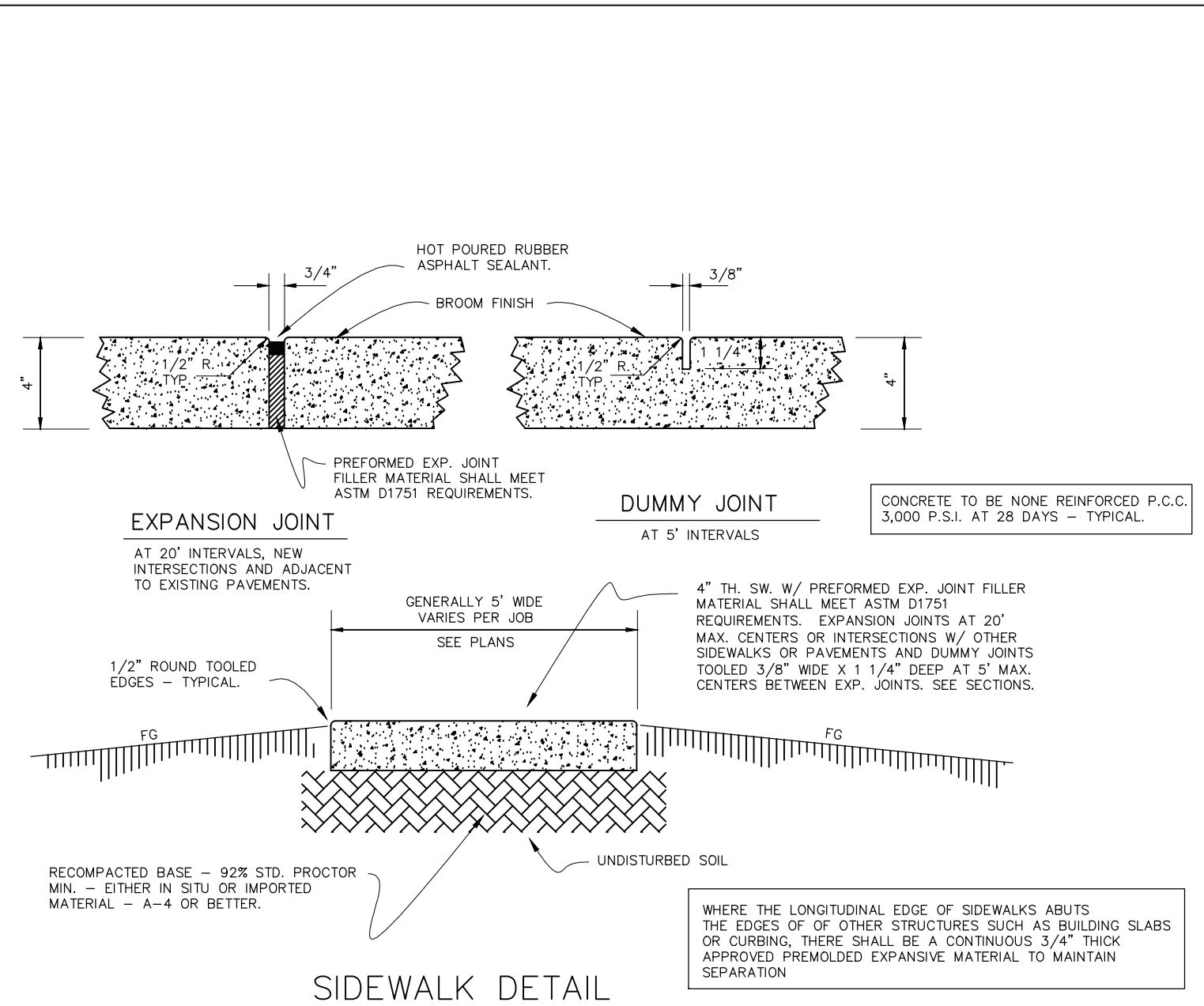




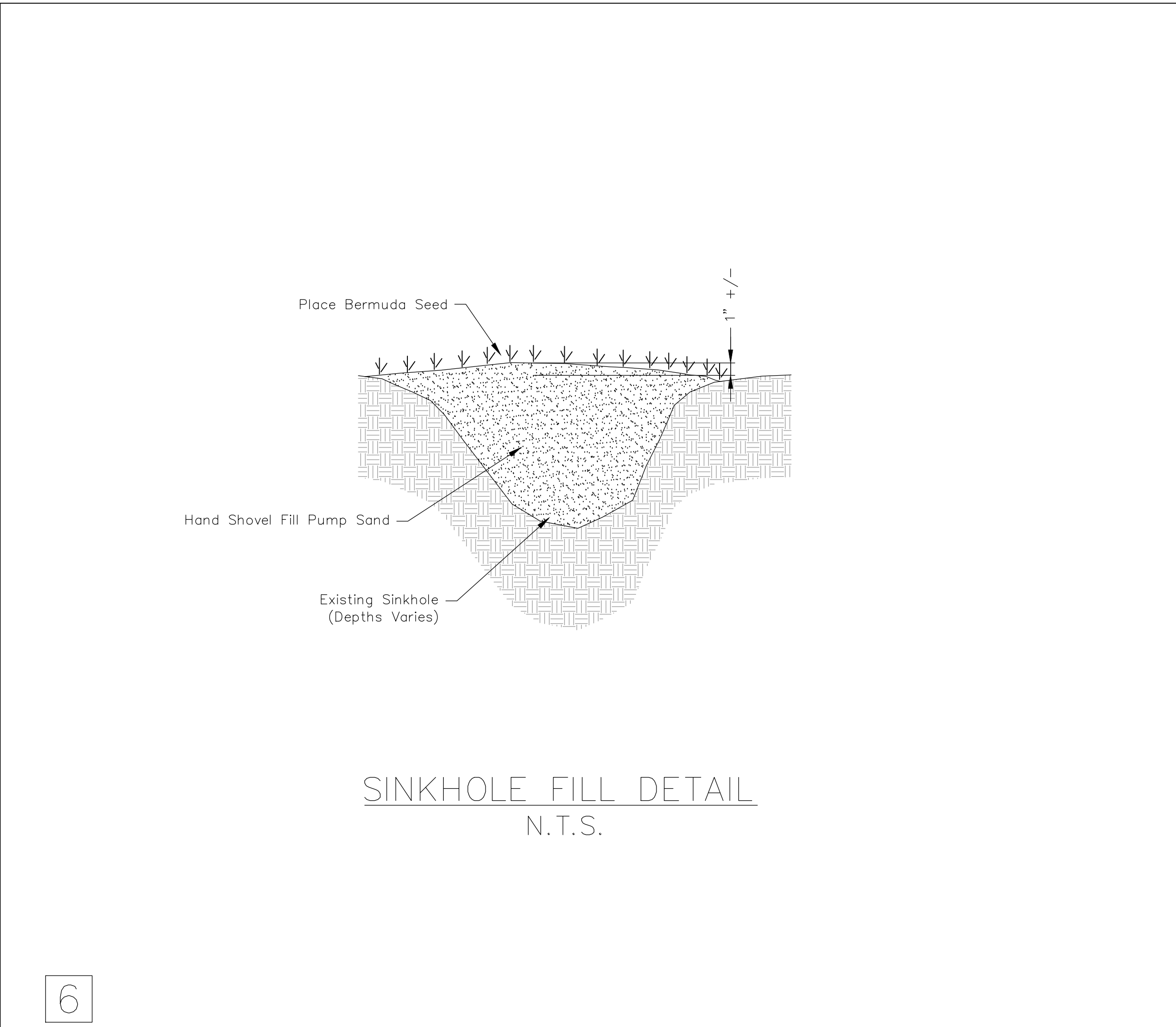
1. Remove & Replace Existing Highway Gutter. Approx. 100 LF.
2. New Gutter to be a Custom Brake Metal Fabrication, Galvanized Steel, 24 Gauge Thickness, with Gutter Height, Width, and Slope to Match Existing.
3. Reconnect to Existing Downspouts.
4. Coordinate with LADOTD District 02. Project Engineer Kevin Adams Contact Number (504) 253-6140.
5. Submit Full Shop Drawings for Approvals Including LADOTD.

GUTTER DETAIL  
N.T.S.

1 2



4



6

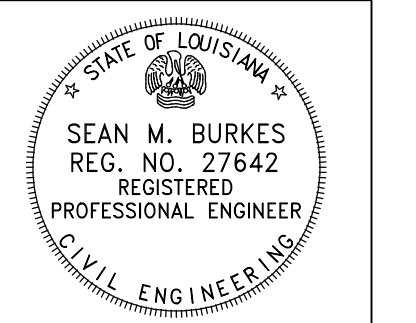
Do Not Excavate Within the Dripline or Critical Root Zone (CRZ) of the Adjacent Oak Trees Without a Licensed Arborist and Approval of Department of Parks and Parkways.



SECTION A-A  
GRANDSTAND GRADING DETAIL  
N.T.S.

5

Volume Zero  
architectural design studio  
1034 Joliet Street  
New Orleans, La 70118  
504-864-9909  
phone 504-864-9983 fax  
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Michael Cajski & Van Tran, Architects



*Sean M. Burkes*  
SEAN M. BURKES  
LA REG. NO. 27642

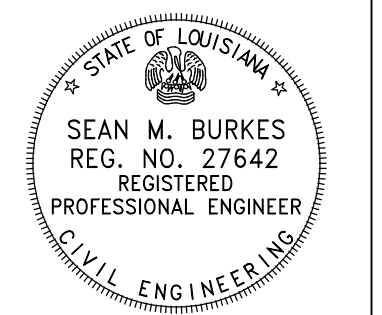
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Mississippi Phone: 228-435-5800

sheet no.  
**C-3**





*Seal Signature*

SEAN M. BURKES  
LA REG. NO. 27642

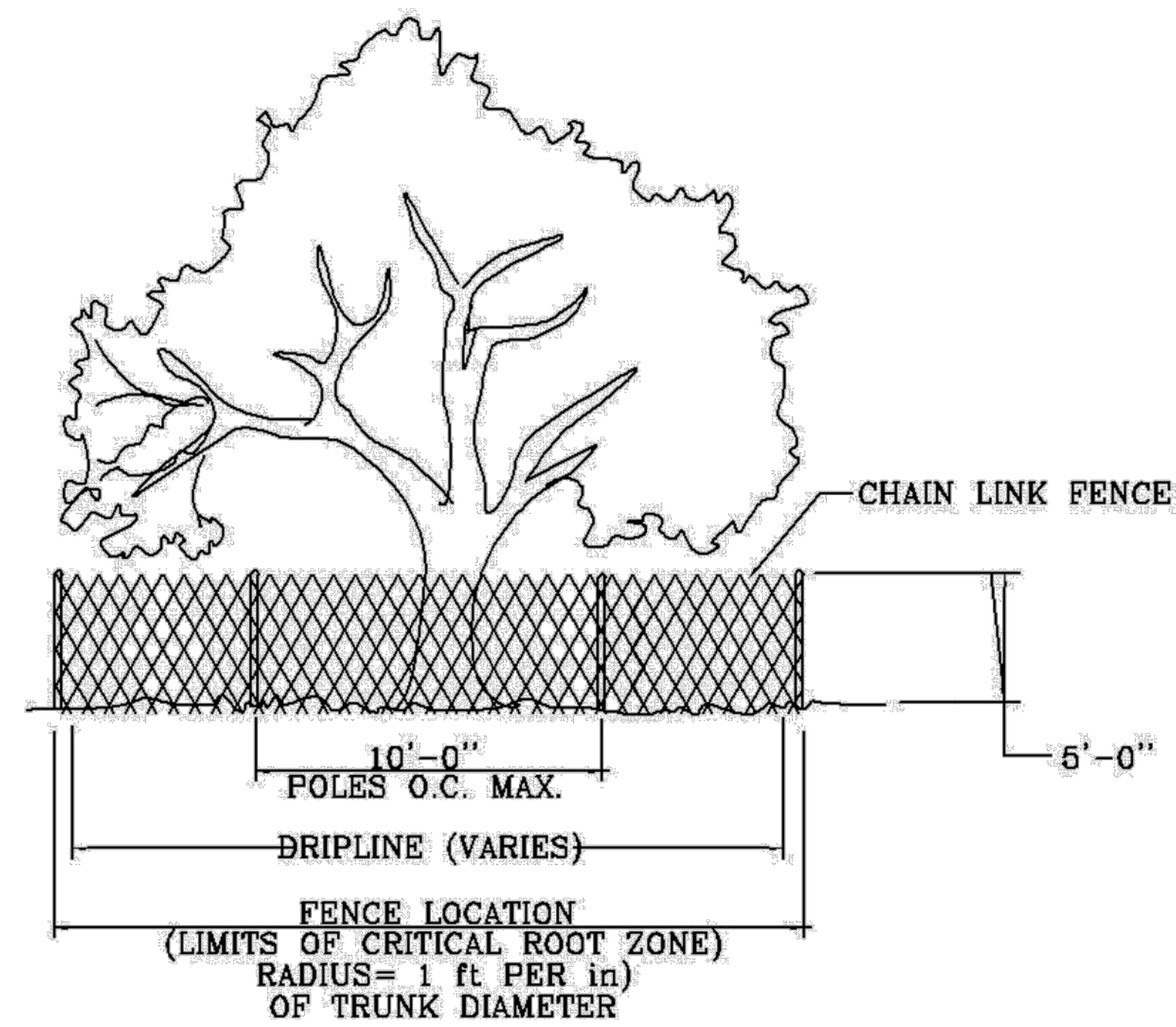
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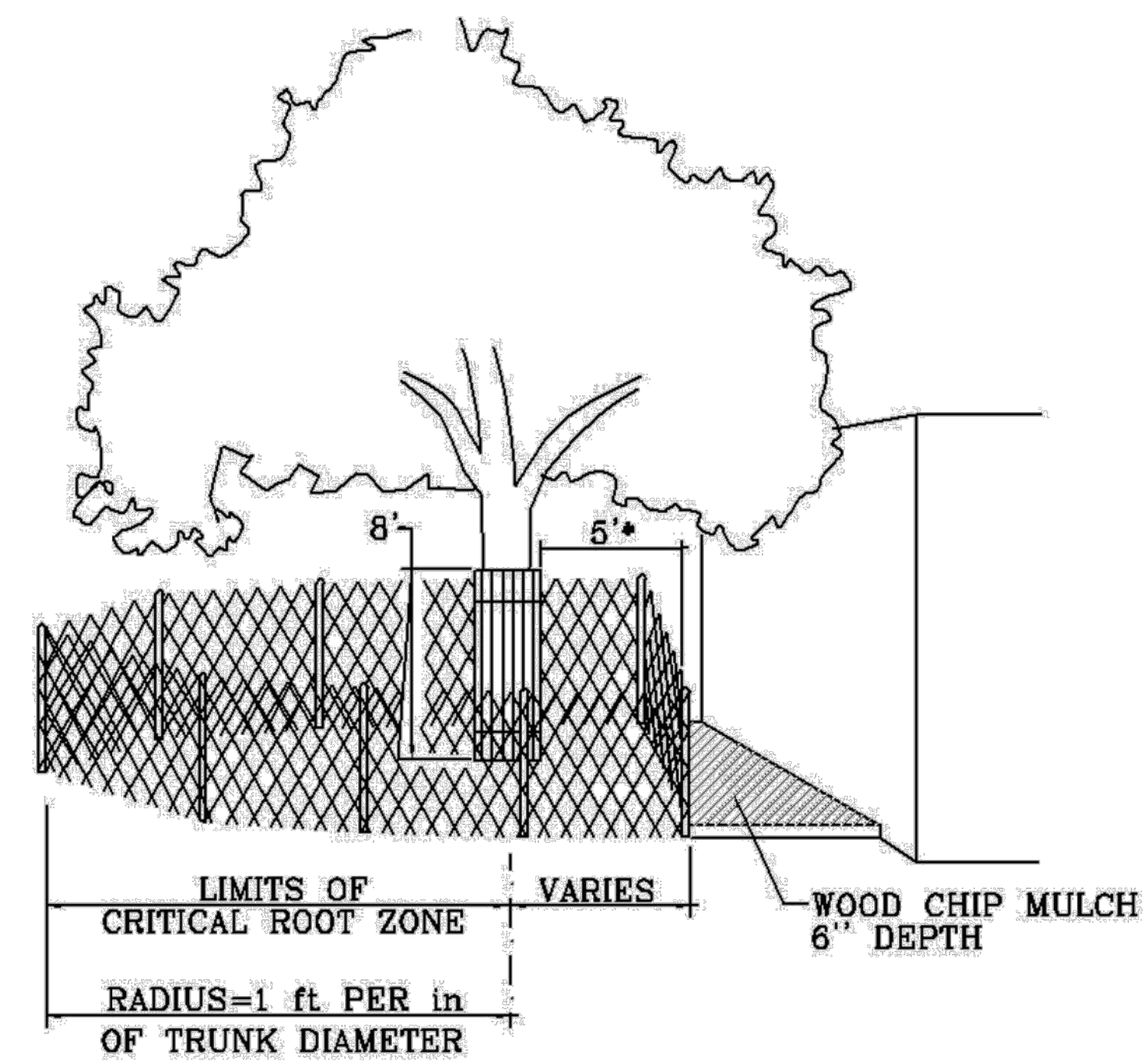
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sheet no.

**C-4**

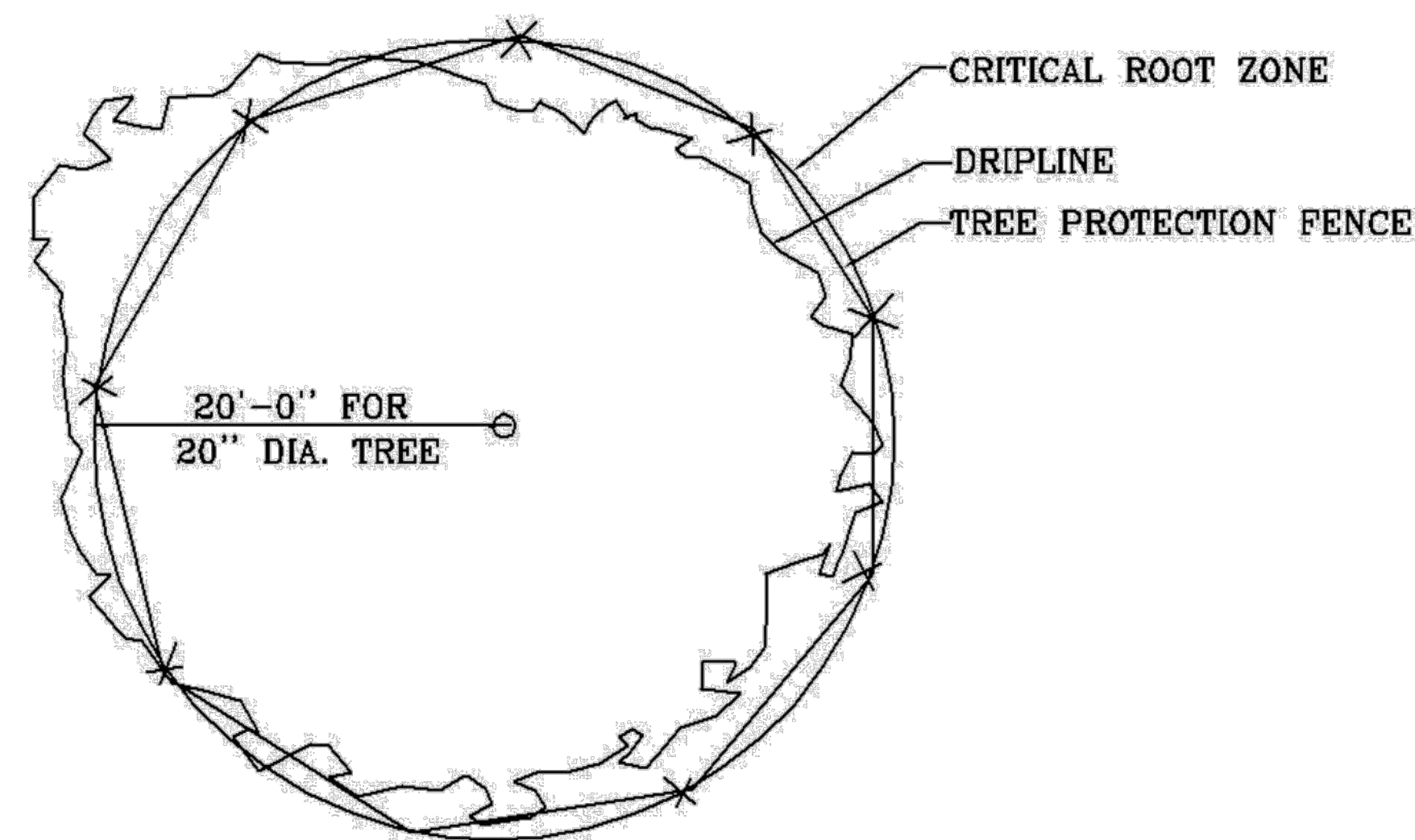


**TREE PROTECTION FENCING**  
CHAIN LINK FENCE  
N. T. S.

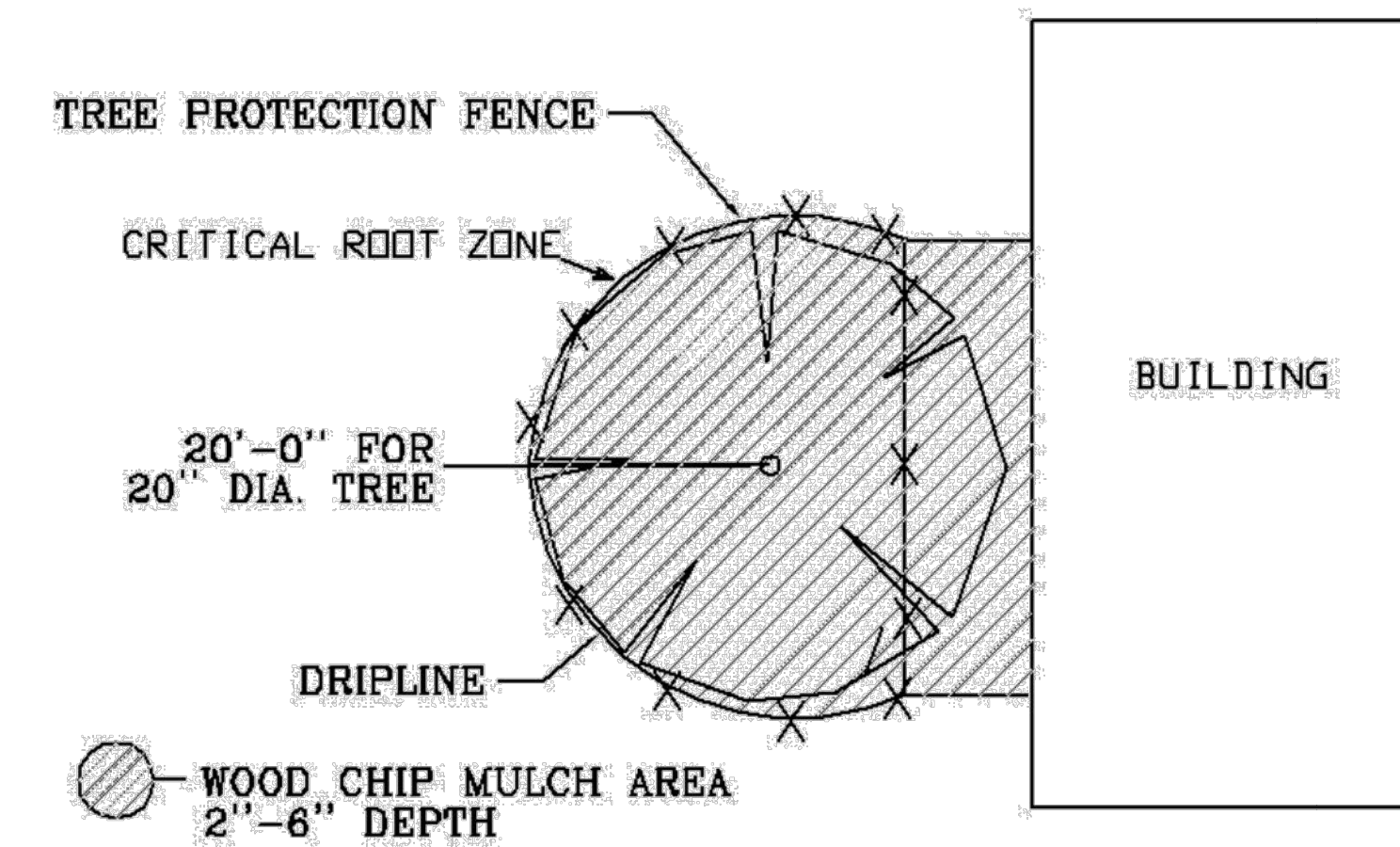


\*AS NEEDED TO PROVIDE MINIMUM NECESSARY WORK SPACE. IF LESS THAN 5', THEN ADD BOARDS STRAPPED TO TRUNK.

**MODIFIED TREE PROTECTION FENCING**  
CHAIN LINK FENCE  
N. T. S.



**TREE PROTECTION FENCING**  
CHAIN LINK FENCE  
N. T. S.



**MODIFIED TREE PROTECTION FENCING**  
CHAIN LINK FENCE  
N. T. S.

**NOTES:**

1. NOTICE IS TO BE POSTED ON FENCING - 15" O.C. - AND SHALL READ: <<<<WARNING>>> PROTECTIVE TREE FENCING. DO NOT ENTER, MOVE OR REMOVE"

	<b>STANDARD PLAN</b>		<b>STD10</b>										
	CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION												
	<b>TREE PROTECTION FOR STREET CONSTRUCTION</b>												
<table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>REVISED</th> <th>DETAILED</th> <th>CHK'D. / APPR'D.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>REVISIONS</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	DESCRIPTION	REVISED	DETAILED	CHK'D. / APPR'D.	DATE	REVISIONS					DRAWN BY: <b>R. FERGUSON</b>	REV. BY: <b>M.T. B.W. / R.S. R.H.</b>	REC. FOR APPROVAL:  _____ CHIEF ENGINEER
DESCRIPTION	REVISED	DETAILED	CHK'D. / APPR'D.	DATE									
REVISIONS													
	SCALE: <b>AS NOTED</b>	DIRECTOR											



**ADDENDUM NUMBER 1  
TO THE CONTRACT DOCUMENTS**

**FOR**

**City of New Orleans  
HUNTER'S FIELD  
PHASE II IMPROVEMENTS**

**PREPARED FOR**

**CITY OF NEW ORLEANS  
FACILITIES, INFRASTRUCTURE, AND COMMUNITY DEVELOPMENT  
CITY HALL  
1300 PERDIDO STREET, SUITE 6E15  
NEW ORLEANS, LOUISIANA 70112**

**NOVEMBER 12, 2015**

**VOLUME ZERO LLC PROJECT NO. 14-018**

**VOLUME ZERO  
A LIMITED LIABILITY COMPANY  
1034 JOLIET STREET  
NEW ORLEANS, LOUISIANA 70118**







## I. GENERAL

- A. This Addendum to the Contract Documents shall be considered a part of the Contract Documents as if originally written and included in same. Where changes in materials or workmanship are indicated herein, these changes shall take precedence over the original Contract Documents. The Contractor is hereby cautioned to see that attention of all subcontractors is called to the changes in this Addendum which may affect their work.

## II. QUESTION AND ANSWER

- A. Below are Bidder questions (designated by a "Q") and the corresponding-by-number answers (designated by an "A"). Some of the Bidder questions may be re-phrased or abbreviated here. The Contractor must comply with all terms and provisions of the answers.

**Q1:** I'm wondering if any rubber playground surfacing is needed for this project. Can you please let me know? I checked the specs first, and didn't see any info. Regarding playground equipment or surfacing. However, if you look at the attached Civil drawing, there is an Area "2" that shows playground equipment and mentions "Rubber Mat Over Concrete". So I'm wondering if rubber playground surfacing will be needed as part of this bid.

**A1:** New rubber playground surfacing is not a part of this project. New playground equipment is not a part of this project. Where these items are indicated in the drawings, they are existing items to remain.

**Q2:** On the A/E plans sheet C2 note #7 indicate installation of 772 square feet of synthetic turf. We are unable to find specifications covering the turf?

**A2:** Synthetic turf is no longer included in the Work. See the revised drawings that are a part of this Addendum.

**Q3:** Can you please clarify the permitting and/or approval requirements for the gutters that will be attached to I-10?

**A3:** See revised Civil drawings that are a part of this Addendum. There will be only one gutter assembly attached to I-10, and it replaces an existing damaged gutter assembly at the same location. The new gutter assembly



shall be an in-kind replacement with regard to size and location. As indicated in Project General Note #8 on drawing sheet G-1, the Contractor shall acquire all required permits; neither the Designer nor the City of New Orleans shall be responsible for providing a definitive list of required permissions or for providing details about how to apply for required permits/approvals. The Designer and the City of New Orleans will make a reasonable effort to provide specific documents and information when such specific information is requested by the Contractor for purposes of permit/approval applications. See Project General Note #20 on the Sheet G-1 that is a part of this Addendum for further information.

**Q4:** What are the permitting requirements for the primary Hunter's Field work (e.g., the site work).

**A4:** See Project General Note #20 on the revised drawing sheet G-1 that is included in this Addendum. As indicated in Project General Note #8 on drawing sheet G-1, the Contractor shall acquire all required permits; neither the Designer nor the City of New Orleans shall be responsible for providing a definitive list of required permissions or for providing details about how to apply for required permits/approvals. The Designer and the City of New Orleans will make a reasonable effort to provide specific documents and information when such specific information is requested by the Contractor for purposes of permit/approval applications. Bidders are hereby informed that the property is owned by the State of Louisiana and that the State of Louisiana DOTD has jurisdiction over the property. However, the City maintains substantial control of the non-roadway portions of the property and has maintained such control for decades. The Designer has already communicated with the Office of the State (of Louisiana) Fire Marshal about this project; attached is a document indicating that the project is approved by the Office of the State Fire Marshal. Any and all notation in the Contract Documents specifying a permit/approval requirement shall not be interpreted to limit the requirements indicated in Project General Note #8 on drawing sheet G-1.

**Q5:** Regarding the "LOUISIANA UNIFORM PUBLIC BID WORK BID FORM", the document states that the



bidding documents were prepared by WDG Architects Engineers. Is that true?

**A5:** The Bidding Documents were prepared by Volume Zero, LLC. See the revised Bid Form that is a part of this Addendum.

**Q6:** This Bid Form also has an alternate shown. Is this Alternate a part of this contract?

**A6:** See the revised Bid Form that is a part of this Addendum. Also see Specification Section 01230, which is a part of this Addendum.

**Q7:** I haven't found a technical specification for the Synthetic Turf. Is this specification on the drawings or in the specifications?

**A7:** Synthetic turf is no longer included in the Work. See the revised drawings that are a part of this Addendum.

**Q8:** Since there appears not to be a pre-bid conference, will the probable construction cost remain the same as announced in the previous pre-bid conference held on 10/16/2015?

**A8:** See Item III of this Addendum regarding the probable construction cost for this project. The 10/16/2015 pre-bid conference was for New Orleans Bid Proposal Number 2285-01918, and that Bid has been cancelled.

**Q9:** Will the cost for the new electrical drop be born by Entergy, the City, or the Contractor?

**A8:** The cost will be born by the Contractor as per the Allowances as revised by this Addendum. See the revised Bid Form and Specification Section 01021, both of which are parts of this Addendum.

### **III. PROBABLE CONSTRUCTION COST**

The probable construction cost is \$198,000. This cost figure supersedes any probable construction cost figure previously indicated for City of New Orleans Bid Proposal Number 2285-01934.

Addendum #1 Narrative, page AD1-3



#### IV. CHANGES TO THE PROJECT MANUAL

A. The items below modify and/or clarify project requirements.

1. Attached is a General Wage Decision document numbered LA150045 and dated 11/06/2015. Insert it in the Project Manual immediately following Article 4 of Specification Section 00620 – Payroll Reporting Capital Projects Program Compliance Section. Delete the General Wage Decision dated 05/15/2015.
2. Insert the Specification Section that is a part of this Addendum: Section 01021 – Cash Allowances. Insert this Specification Section into the Project Manual in numerical order, and insert the number and name of this Specification Section into the Project Manual Table of Contents in numerical order.
3. Insert the Specification Section that is a part of this Addendum: Section 01230 – Alternates. Insert this Specification Section into the Project Manual in numerical order, and insert the number and name of this Specification Section into the Table of Contents in numerical order.
4. Insert the Specification Section that is a part of this Addendum: Section 01 56 39 – Temporary Tree & Plant Protection. Insert this Specification Section into the Project Manual immediately following Specification Section 01500, and insert the number and name of this Specification Section into the Table of Contents in corresponding order.
5. Delete the originally-issued Louisiana Uniform Public Work Bid Form and insert the revised Louisiana Uniform Public Work Bid Form that is a part of this Addendum.
6. In Specification Section 01310, 1.6, B, delete “The Designer shall schedule a preconstruction conference before starting construction, at a time convenient to Owner, Contractor, and other necessary parties but no later than 14 days after execution of the Agreement. The conference shall be at the site. The Designer shall conduct the meeting to review responsibilities and personnel assignments.” and



insert instead "The Owner shall schedule at preconstruction meeting to be held at New Orleans City Hall or at another location in New Orleans." The preconstruction meeting date does is NOT necessarily the beginning date of the Contract Time; the beginning date of the Contract Time is determined as per Article 8 of Specification Section 00720."

**V. CHANGES TO THE DRAWINGS**

- A. Delete the entire eight-sheet drawing set dated June 1, 2015. Insert instead the attached nine-sheet drawing set bearing a a date of October 28, 2015.
- B. On Sheet C-1, dated October 28, 2015, delete Scope of Civil Work Key Note #2 text, "INSTALL CRUSHED LIMESTONE. SEE LANDSCAPE ARCH. DRAWINGS FOR DETAILS.", and insert instead , "NOT USED. DISREGARD THIS KEY WHEREVER IT APPEARS IN THE CIVIL SITE PLAN AND DISREGARD ANY DRAWN WORK INDICATED BY THIS KEY ."
- C. On Sheet C-1, dated October 28, 2015, insert at the end of Scope of Civil Work Key Note #3, "SEE ALLOWANCES REGARDING REPAIRS TO DRAIN LINES."
- D. On Sheet C-1, dated October 28, 2015, delete Scope of Civil Work Key Note #6 text, "SMALL SINKHOLE AREAS IN GRASSY AREA SHALL BE BACKFILLED WITH PUMP SAND TO MATCH EXISTING NATURAL GRADE AND SEEDED.", and insert instead , "NOT USED. DISREGARD THIS KEY WHEREVER IT APPEARS IN THE CIVIL SITE PLAN AND DISREGARD ANY DRAWN WORK INDICATED BY THIS KEY ."
- E. On Sheet C-1, dated October 28, 2015, delete Scope of Civil Work Key Note #7 text "REGRADE AREA TO SLOPE TO EXISTING DRAINS. APPROX. 772 SY. SEE LANDSCAPE DRAWINGS FOR NEW SURFACE WORK AT THIS AREA." and insert instead "NOT USED. DISREGARD THIS KEY WHEREVER IT APPEARS IN THE CIVIL SITE PLAN AND DISREGARD ANY DRAWN WORK INDICATED BY THIS KEY ."

- F. On Sheet C-1, dated October 28, 2015, delete Scope of Civil Work Key Note #8 text, "INSTALL NEW 6" CURB. SEE LANDSCAPE ARCH. DRAWINGS FOR DETAILS.", and insert instead , "NOT USED. DISREGARD THIS KEY WHEREVER IT APPEARS IN THE CIVIL SITE PLAN AND DISREGARD ANY DRAWN WORK INDICATED BY THIS KEY ."
- G. On Drawing 4 of Sheet C-3, dated October 28, 2015, add the note, "NOTE: PROVIDE NEW 6X6 4/4 STEEL WELDED WIRE MESH REINFORCING AT THE MID-HEIGHT OF ALL NEW CONCRETE."
- H. In the title blocks of the Civil, Electrical, and Landscape Drawing sheets, delete the project site address zip code "70113" and insert instead "70116".

#### **VI. LIST OF BID DOCUMENT HOLDERS**

- A. A List of Bid Document Holders (which may also be called "Bid Holder List", "Solicitation Holder List", or some similar name) is available online via the "Business" portion of the official website of the City of New Orleans: <http://www.nola.gov/business/>.

#### **VII. MISCELLANEOUS**

- A. The following documents are attached as part of this Addendum for informational purposes only. These documents relate to the Work but do not in themselves impose any requirements on the Contractor that are not already required by other parts of the Contract Documents.
  - 1. Fire Marshal "Exemption From Full Plan Review" document, signed and dated by a representative of the Office of the State Fire Marshal on 6/9/15.
  - 2. City of New Orleans Parks and Parkways "Applications, Guidelines & Permits" document. This is an excerpt from the City of New Orleans website.
  - 3. City of New Orleans Parks and Parkways "Tree Work Permit" document. This is an excerpt from the City of New Orleans website.



**VIII. PRIOR APPROVALS (SUBSTITUTIONS)**

- A. The Designer has not received any requests for prior approvals or substitutions.

**END OF ADDENDUM #1 NARRATIVE. SEE THE FOLLOWING ATTACHMENTS AS INDICATED IN THE NARRATIVE ABOVE.**

**This Addendum does not change the time that bids are due.**

**All addenda must be acknowledged.**





General Decision Number: LA150045 11/06/2015 LA45

Superseded General Decision Number: LA20140045

State: Louisiana

Construction Type: Building

County: Orleans County in Louisiana.

BUILDING CONSTRUCTION PROJECTS (does not include single family homes or apartments up to and including 4 stories).

Note: Executive Order (EO) 13658 establishes an hourly minimum wage of \$10.10 for 2015 that applies to all contracts subject to the Davis-Bacon Act for which the solicitation is issued on or after January 1, 2015. If this contract is covered by the EO, the contractor must pay all workers in any classification listed on this wage determination at least \$10.10 (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract. The EO minimum wage rate will be adjusted annually. Additional information on contractor requirements and worker protections under the EO is available at [www.dol.gov/whd/govcontracts](http://www.dol.gov/whd/govcontracts).

Modification Number	Publication Date
0	01/02/2015
1	01/09/2015
2	01/23/2015
3	05/01/2015
4	05/15/2015
5	07/03/2015
6	08/14/2015
7	09/04/2015
8	11/06/2015

ASBE0053-001 08/31/2015

	Rates	Fringes
ASBESTOS WORKER/HEAT & FROST INSULATOR.....	\$ 27.34	7.74

ELEC0130-010 06/01/2015

	Rates	Fringes
ELECTRICIAN (Including Communication Technician and Low Voltage Wiring).....	\$ 29.85	10.53

ELEV0016-001 01/01/2015

	Rates	Fringes
ELEVATOR MECHANIC.....	\$ 36.74	28.385+a+b

a. PAID HOLIDAYS: New Year's Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, the Friday after Thanksgiving Day and Christmas Day.

b. VACATION: Employer contributes 8% of basic hourly rate for

5 years or more of service; 6% of basic hourly rate for under 5 years of service as vacation pay credit.

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ENGI0406-002 07/01/2014

	Rates	Fringes
POWER EQUIPMENT OPERATOR (Crane).....	\$ 23.46	8.35

CRANE PREMIUMS:

50-150 Tons	\$1.75
Over 150 Tons	\$2.25

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IRON0058-007 06/01/2015

	Rates	Fringes
IRONWORKER (REINFORCING AND STRUCTURAL).....	\$ 20.95	8.11

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\* PAIN1244-006 09/01/2015

	Rates	Fringes
GLAZIER.....	\$ 20.41	8.13

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PAIN1244-013 05/01/2015

	Rates	Fringes
PAINTER: Spray Only (Excludes Drywall Finishing/Taping).....	\$ 18.83	6.53

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PLAS0567-001 07/01/2014

	Rates	Fringes
CEMENT MASON/CONCRETE FINISHER...	\$ 23.76	6.19

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PLUM0060-009 06/02/2014

	Rates	Fringes
PIPEFITTER (Including HVAC Pipe and Unit Installation; Excluding Installation of HVAC Temperature Controls).....	\$ 28.13	11.16
PLUMBER (Installation of HVAC Temperature Controls; Excluding HVAC Pipe and Unit Installation).....	\$ 28.13	11.16

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SHEE0214-010 09/01/2013

	Rates	Fringes
SHEET METAL WORKER (Including HVAC Duct Installation).....	\$ 26.71	11.93

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SULA2012-026 09/22/2014



	Rates	Fringes
BRICKLAYER.....	\$ 18.66	0.00
CARPENTER (Form Work Only).....	\$ 15.00	0.00
CARPENTER, Excludes Drywall Hanging and Metal Stud Installation, and Form Work.....	\$ 19.37	2.46
DRYWALL FINISHER/TAPER.....	\$ 16.55	0.00
DRYWALL HANGER AND METAL STUD INSTALLER.....	\$ 18.21	4.90
LABORER: Common or General.....	\$ 13.09	0.00
LABORER: Mason Tender - Brick...	\$ 12.38	0.00
OPERATOR: Backhoe/Excavator/Trackhoe.....	\$ 22.92	0.00
PAINTER (BRUSH AND ROLLER), Excludes Drywall Finishing/Taping.....	\$ 17.25	0.00
ROOFER.....	\$ 16.77	5.66
SPRINKLER FITTER (Fire Sprinklers).....	\$ 21.08	5.79
TILE SETTER.....	\$ 20.00	0.00
TRUCK DRIVER: Dump Truck.....	\$ 15.00	0.00

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WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.

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Unlisted classifications needed for work not included within the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (ii)).

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The body of each wage determination lists the classification and wage rates that have been found to be prevailing for the cited type(s) of construction in the area covered by the wage determination. The classifications are listed in alphabetical order of "identifiers" that indicate whether the particular rate is a union rate (current union negotiated rate for local), a survey rate (weighted average rate) or a union average rate (weighted union average rate).

#### Union Rate Identifiers

A four letter classification abbreviation identifier enclosed in dotted lines beginning with characters other than "SU" or

"UAVG" denotes that the union classification and rate were prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2014. PLUM is an abbreviation identifier of the union which prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. 07/01/2014 is the effective date of the most current negotiated rate, which in this example is July 1, 2014.

Union prevailing wage rates are updated to reflect all rate changes in the collective bargaining agreement (CBA) governing this classification and rate.

#### Survey Rate Identifiers

Classifications listed under the "SU" identifier indicate that no one rate prevailed for this classification in the survey and the published rate is derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As this weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SULA2012-007 5/13/2014. SU indicates the rates are survey rates based on a weighted average calculation of rates and are not majority rates. LA indicates the State of Louisiana. 2012 is the year of survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. 5/13/2014 indicates the survey completion date for the classifications and rates under that identifier.

Survey wage rates are not updated and remain in effect until a new survey is conducted.

#### Union Average Rate Identifiers

Classification(s) listed under the UAVG identifier indicate that no single majority rate prevailed for those classifications; however, 100% of the data reported for the classifications was union data. EXAMPLE: UAVG-OH-0010 08/29/2014. UAVG indicates that the rate is a weighted union average rate. OH indicates the state. The next number, 0010 in the example, is an internal number used in producing the wage determination. 08/29/2014 indicates the survey completion date for the classifications and rates under that identifier.

A UAVG rate will be updated once a year, usually in January of each year, to reflect a weighted average of the current negotiated/CBA rate of the union locals from which the rate is based.

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#### WAGE DETERMINATION APPEALS PROCESS

1.) Has there been an initial decision in the matter? This can be:

- \* an existing published wage determination
- \* a survey underlying a wage determination



- \* a Wage and Hour Division letter setting forth a position on a wage determination matter
- \* a conformance (additional classification and rate) ruling

On survey related matters, initial contact, including requests for summaries of surveys, should be with the Wage and Hour Regional Office for the area in which the survey was conducted because those Regional Offices have responsibility for the Davis-Bacon survey program. If the response from this initial contact is not satisfactory, then the process described in 2.) and 3.) should be followed.

With regard to any other matter not yet ripe for the formal process described here, initial contact should be with the Branch of Construction Wage Determinations. Write to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2.) If the answer to the question in 1.) is yes, then an interested party (those affected by the action) can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Write to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and by any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3.) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

4.) All decisions by the Administrative Review Board are final.

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END OF GENERAL DECISION





## SECTION 01021 - CASH ALLOWANCES

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings, General Conditions of the Contract for Construction, Supplementary Conditions of the Contract for Construction including Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This section includes the following:
  - 1. Monetary amounts as a cash allowances in the Total Base Bid Contract Sum to provide contingencies for various work conditions.

#### 1.3 SCHEDULE OF ALLOWANCES

- A. See schedule at end of section.

#### 1.4 COSTS **EXCLUDED** IN ALLOWANCES

- A. Contractor general requirements, overhead, profit and performance bond on contingency cost to Contractor; **EXCLUDED**.

#### 1.5 CONTRACTOR RESPONSIBILITIES

- A. Include amounts in the Schedule Of Values as allowance line items under provisions of Section 01310.

### PART 2 - PRODUCTS

#### 2.1 PRODUCTS

NOT USED

**PART 3 - EXECUTION**

**3.1 SCHEDULE OF ALLOWANCES**

- A. Allow the sum of ten thousand dollars (\$10,000.00) for Entergy fees
- B. Allow the sum of two thousand five hundred dollars (\$2500) for minor electrical repairs to existing exterior lighting – including lamp replacements, ballast replacements, and lens replacements.
- C. Allow the sum of twenty thousand dollars (\$20,000) for repairs to drain lines as indicated in Scope of Civil Work note #3 on Drawing Sheet C-1.

**3.2 REASONABLE COSTS FOR ALLOWANCE WORK**

- A. The Contractor is obligated to provide reasonable costs for Allowance work, similar to industry standard costs being charged in the New Orleans area for similar work.

**END OF SECTION 01021**



## **SECTION 01230 - ALTERNATES**

### **PART 1 - GENERAL**

#### 1.1 RELATED DOCUMENTS

- A. Drawings, General Conditions of the Contract for Construction, Supplementary Conditions of the Contract for Construction, including Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes the administrative and procedural requirements for Alternates.
- B. The Schedule of Alternates included at the end of this Section is also included as part of the Louisiana Uniform Public Work Bid Form, Section 00300 of the Project Manual, and shall be completed by the Contractor on that Bid Form.

#### 1.3 DEFINITIONS

- A. **Alternate:** An amount proposed by bidders and stated on the Form of Proposal for certain work defined in the Bidding Requirements that are added to the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
- B. The cost for each Alternate is the net addition to the Contract Sum to incorporate each Alternate into the Work. No other adjustments are made to the Contract Sum.

#### 1.4 PROCEDURES

- A. **Coordination:** Modify or adjust affected adjacent work as necessary to completely integrate work of each Alternate into the Project.
  - 1. Include as part of each Alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of Alternate.
- B. **Notification:** Immediately following award of the Contract, notify each party involved, in writing, of the status of each Alternate. Indicate if Alternates have been accepted, rejected, or deferred for latest consideration. Include a complete description of negotiated modifications to Alternates.
- C. Execute accepted Alternates under the same conditions as other work of the Contract.

- D. Schedule: A Schedule of Alternates is included at the end of this Section.

## **PART 2 - PRODUCTS**

Not Used.

## **PART 3 - EXECUTION**

### **3.1 SCHEDULE OF ALTERNATES**

- A. The following is a brief summary of work under each Alternate. Refer to drawings, schedules and individual sections of these specifications; they may contain more detailed information.
- B. The following scheduled Alternates shall not be interpreted to mean that the Contractor is entirely relieved from obligation to perform work at any part of the building if an Alternate is not awarded; the Contractor shall provide all necessary work incidental to the explicitly-indicated Base Bid work at any location where such incidental work is necessary

### **3.2 ALTERNATE No. 1**

- A. In lieu of the overhead service from the Entergy service pole to the electrical equipment rack as shown on the Drawing Sheet E1, provide an underground service from the Entergy service pole to the new electrical equipment rack. Provide an Entergy network junction box (minimum 12"x 24"x 24") and two (minimum 2") Schedule 80 PVC conduits buried 24" below grade from rack to Entergy service pole, stubbed up pole. Coordinate exact size of Entergy network junction box and underground conduits with Entergy requirements.

**END OF SECTION 01230**



**SECTION 01 56 39 – TEMPORARY TREE & PLANT PROTECTION**

**PART 1 - GENERAL**

1.01 APPLICABILITY

- A. This Section applies to all construction projects on property located adjacent to or within City of New Orleans owned property such as rights-of-way, parks, and public facilities and to those projects under the purview of the City of New Orleans Department of Parks and Parkways (PARKWAYS).

1.02 SCOPE OF THE WORK

- A. The scope or extent of work required under the sections of this division consists of all work and furnishing all related items necessary to complete the work described in these specifications and/or indicated on the project drawings. This includes, but is not limited to the following items depending on the scope of the specific project:
  - 1. Tree protection
  - 2. Tree damage remediation
  - 3. Maintenance of City property
  - 4. Installation of utility lines

1.03 DEFINITIONS

- A. Critical Root Zone: The Critical Root Zone (CRZ) of a tree is established on the basis of the trunk diameter. The CRZ is a circular area which has a radius of twelve inches (12") to every one inch (1") diameter of trunk taken at four and one-half feet (4.5') above grade or to the outer edge of the dripline, whichever distance is furthest.

1.04 QUALITY ASSURANCE

- A. Contractor: For any work involving pruning, removal, treatment or protection of City trees:
  - 1. Any construction work which occurs within the CRZ of a City tree requires the presence of a Louisiana licensed Arborist to ensure that correct arboreal practices are followed. The Contractor shall be responsible for retaining a Subcontractor who is a licensed and insured Arborist to trim any trees or tree roots and perform any other tree related work within the limits of construction.
  - 2. The Arborist must submit any proposed product specifications and rates of application to the PARKWAYS Urban Forester for approval a minimum of two (2) weeks prior to application.

3. In instances where construction damage occurs to existing trees, the Contractor shall retain a Louisiana licensed Arborist Subcontractor to perform all tree related work. Under no circumstances may anyone other than a Louisiana Licensed Arborist perform work on any City trees.
  4. Before PARKWAYS assumes final acceptance of the work, all damage done to trees or plant material caused by construction must be repaired.
  5. The Arborist must apply for a permit through PARKWAYS prior to working on any City trees. The work will be supervised by the PARKWAYS Forestry Department.
- B. All damaged portions of City property, including work resulting from other contracts which have been disturbed by causes due to, or incidental to, work performed under this contract shall be repaired and restored to the satisfaction of PARKWAYS.
1. For any remedial work involving transplanting or installation of landscaping, Section 32 90 00 PLANTING, applies.
  2. For any remedial work involving seeding or sodding and/or fine grading, Section 32 92 19 SEEDING or Section 32 92 23 SODDING, applies.
- C. All City-owned property shall be kept clean of soil, straw, mulch and other materials incidental to work of this contract.
1. No unauthorized materials or equipment are permitted for storage on City property.
  2. The Contractor shall be responsible for providing all necessary equipment, materials, and labor to complete the project.
- D. Personnel: The Contractor shall provide an Arborist, licensed by the Louisiana Horticultural Commission, to perform all tree work. The Arborist shall have knowledge of the natural habits of the trees so that their natural crown shapes will be preserved when removing any of the wood (branches, leaders, etc.). The Arborist shall have a minimum of five years (5) of experience as a licensed Arborist.
- E. Standards: The Contractor must meet all requirements and recommendations of the applicable portions of the latest edition of the Standards listed below:
1. United States Department of Agriculture (USDA)
  2. American National Standards for Tree Care Operations, ANSI A300. American National Standards Institute.
  3. International Society of Arboriculture (ISA)

**PART 2 – PRODUCTS**



**2.01 MYCORRHIZAL FUNGAL INOCULATE**

Mycor Tree Saver, or approved equivalent, shall be used as per the manufacturer's directions.

**2.02 TERMITE TREATMENT**

The termiticide Premise, manufactured by Bayer Corporation, or approved equivalent, shall be used as per the manufacturer's directions.

**2.03 MULCH**

Shall be pine bark or pine needle. Material shall be organic, mulching grade, uniform in size, and free of foreign matter. Cypress mulch is prohibited.

**2.04 GROWTH REGULATOR**

Shall contain the same active ingredient as the active ingredient in Cambistat.

**PART 3 - EXECUTION**

**3.01 TREE PROTECTION**

- A. Requirements and responsibilities of Contractor for work adjacent to or within City owned property:
1. The Contractor shall be responsible for damage to all trees and plant materials on City owned property and liable to the PARKWAYS and the City of New Orleans, for compensation or replacements as determined by PARKWAYS Urban Forester.
  2. If a construction plan specifies that removal of City owned trees or plant material and PARKWAYS agrees to the removal, the owner, contractor or agency authorizing the work shall compensate PARKWAYS prior to beginning construction.
  3. If a construction plan does not specify the removal of the City owned trees or plant material but it is found that trees or plant materials must be removed to complete a project and PARKWAYS agrees to the removal, the trees or plant materials shall be transplanted to an adjacent location if possible. If it is not possible to transplant these plant materials, but it is necessary to remove these materials, PARKWAYS shall be compensated for these removed plant materials. The minimum rate of replacement shall be two (2) for every one (1) plant removed. The maximum number of replacements will be determined by the value of each removed plant material. It is the Contractor's responsibility to notify PARKWAYS of any discrepancy in the plans, before any site work begins.

4. The Contractor must identify those City owned trees which will require trimming to clear for construction and have the trees trimmed prior to beginning construction.
5. Injury to City owned trees, including the misuse or removal of any device placed to protect any tree, is prohibited.
6. Cutting, disturbing or interfering in any way with the roots of any City tree is prohibited.
7. Dumping, pouring or spilling of oil, concrete mix, salt or salt water or other substances upon any City tree, including root system, is prohibited.
8. No track vehicle or heavy equipment will be allowed to work within the critical root zones of City trees or plant materials.
9. No materials, debris or equipment shall be stored within the critical root zones of City trees or plant materials.
10. No equipment may be cleaned or repaired within the critical root zones of City trees or plant material.
11. Grade changes, either excavating or filling shall not exceed two inches (2") within the critical root zones of City trees and may only occur with the written consent of PARKWAYS.
12. Contractors may not attach signs, barricades, equipment or materials to City trees or plant materials.
13. PARKWAYS shall require the Contractor to erect a wooden or chain link barricade of at least five feet (5') in height along the critical root zone of City trees to avoid damaging trees and plant materials. Vehicles and materials are not allowed within the barricades. The barricade shall be constructed at the critical root zone of the trees unless otherwise approved by PARKWAYS Urban Forester or Landscape Architect. The Contractor is responsible for maintaining this temporary barricade to the satisfaction of PARKWAYS Urban Forester/ Landscape Architect throughout the entire contract period. The barricade must in place and approved by PARKWAYS prior to any clearing or site work.
14. All trees shall be irrigated at least two times per week for the period of April through October over the duration of the project. Irrigation must wet the soil within the tree protection zone to a depth of twenty-four inches (24").
15. Trenching within the critical root zone of City trees is not permitted. Only boring is permitted within the critical root zone; only under the center of the tree beginning one foot (1') out of the critical root zone and at a minimum depth of 30 inches (30"). No roots two inches (2") or over shall be cut. Roots less than two inches (2") can be cut with a chainsaw or shears.

16. In the event that a point of ingress/egress is required through a grove of City trees and all alternative routes have been investigated, the Department of Parks and Parkways Landscape Architect may allow a temporary pathway through the grove. Such a route will be as narrow as practical, temporarily covered with twelve inches (12") of gravel or wood chips to protect tree roots from heavy machinery, and enclosed by protective fencing on both sides. A licensed Arborist must be hired in order to properly prune tree branches damaged by construction equipment.
  17. Failure to comply with these specifications may result in PARKWAYS and the City of New Orleans stopping work at the jobsite.
  18. The PARKWAYS Urban Forester or Landscape Architect must be notified three (3) working days in advance of the beginning of any work on the jobsite, and for meeting to resolve problems unforeseen on the jobsite.
  19. Removal of any tree or shrub growing on City property without approval from PARKWAYS is prohibited.
  20. Topping of City trees is prohibited.
  21. Cutting, trimming, removing, spraying, treating or planting any tree, shrub or groundcover on City property without prior approval by PARKWAYS Urban Forester is prohibited.
  22. The contractor shall promptly notify PARKWAYS of any damage to City trees and other plant materials and shall, within such reasonable time as specified by PARKWAYS, repair or replace the damaged plant materials to the satisfaction of PARKWAYS.
- B. Tree Preservation Plan for projects adjacent to or including City trees:
1. For projects adjacent to or including City trees, a Tree Preservation Plan must be approved by PARKWAYS prior to the commencement of any site work.
  2. The Tree Preservation Plan shall include the location, size and condition of each tree to be preserved, along with an indication of proposed development features, which may impact such trees, any other pertinent information as required by PARKWAYS to evaluate existing and proposed conditions.
  3. The Tree Preservation Plan shall include a detailed description of all methods to be used to ensure the survival of all trees scheduled for preservation credit, including information that may be required by PARKWAYS to interpret the intent and methodology proposed.
  4. All tree preservation methodology shall conform to the standards of the Louisiana Department of Agriculture and Forestry, the Louisiana Horticulture Commission and the International Society of Arboriculture, or their successor agencies or organization.



5. Tree protection zones shall explicitly follow the terms and conditions of the approved Tree Preservation Plan for that project or site. Any variation must receive the prior approval of PARKWAYS.
6. Additional tree protection measures may be ordered by PARKWAYS if site conditions warrant them.

### 3.02 TREE DAMAGE REMEDIATION

A. In the event that City trees are damaged as the result of a construction project, the Contractor will be required to hire a licensed Arborist to perform the following work at the discretion of PARKWAYS Urban Forester:

1. Root Pruning:

- a. All roots of City owned trees damaged during removal of curbs, sidewalks and driveways shall be root pruned. All trees roots damaged during any excavation operation; including yard drains, collector lines, etc., shall be root pruned. The trees or roots shall be pruned in accordance with generally accepted arboricultural practices.
- b. The Contractor shall notify PARKWAYS Urban Forester's office whenever trees or roots need to be pruned prior to beginning construction. All pruning is to be done under the supervision of PARKWAYS Urban Forester.
- c. Excavation of roots that need to be pruned must be done by hand within the critical root zone of the tree

2. Termite Treatment:

- a. All trees root pruned due to construction shall be treated for termites.

3. Mulching:

- a. A two inch (2") layer of mulch shall be applied over all construction damaged tree root zones. The mulch shall extend out as far as determined practical by the PARKWAYS Urban Forester overseeing the project.
- b. No mulch shall directly contact the tree trunk.

4. Irrigation and Drainage:

- a. An adequate, but not excessive, supply of water shall be supplied to the root zone of all construction damaged trees for a minimum period of two (2) years from the time of the damage.
- b. Irrigation shall consist of a long, slow soak over the entire root zone as often as is necessary in order to keep the top twelve inches (12") of the soil moist.
- c. Overwatering and frequent shallow watering are prohibited.

5. Vertical Mulching:

- a. In instances where soil compaction or grade increases of over two inches (2") have occurred, the root zone of the affected tree shall be aerated through the drilling of two to four inch (2"-4") diameter holes utilizing a coring drill or auger. The holes shall be made three feet (3') on center throughout the root zone of the tree to a depth of at least twelve inches (12"). The holes shall be filled with peat moss or organic mulch such as wood chips, shredded bark or pine needles.

6. Radial Aeration:

- a. Radial aeration may be performed as an alternative to vertical mulching in instances where soil has been compacted or grade increases of over two (2) inches have occurred. Utilizing a compressed air gun, trenches approximately four inches (4") wide shall be cut in a radial pattern throughout the root zone. The trenches shall begin no closer than four (4) to eight feet (8') from the trunk of the tree to avoid cutting any major support roots. The trenches must extend at least as far as the critical root zone of the tree. The trenches shall be eight to twelve inches (8"-12") in depth and backfilled with organic compost.

7. Mycorrhizal Fungal Inoculate:

- a. Mycorrhizal Fungal Inoculate treatment shall be applied to all construction damaged tree root zones per manufacturer's directions.

8. Growth Regulator:

- a. Cambistat or approved equal shall be applied by a licensed arborist as per the manufacturer's instructions.

**3.03 MAINTENANCE OF RIGHTS-OF-WAY, PARKS, PUBLIC FACILITIES AND OTHER CITY GREENSPACES DURING CONSTRUCTION**

**A. Requirements and responsibilities of the Contractor for construction projects located adjacent to or within City rights-of-way, parks, public facilities or other City property:**

1. The Contractor shall assume all responsibility of the maintenance of the affected City property; from the commencement of construction through the construction period, and substantial completion, until acceptance by the PARKWAYS after the final inspection.
2. The Contractor shall mow the grass when necessary. The Contractor shall not allow the grass to grow above the maximum acceptable height of eight inches (8").
3. The City Code cities several violations for parking, driving and/or storage of materials and equipment on public rights-of-way which are subject to fines. Storage of equipment and materials shall take place in the adjacent roadway if necessary.

The Contractor shall occupy only one lane of the roadway and shall leave a minimum of fifty percent (50%) of the roadway open to traffic, on each side of the neutral ground. The Contractor shall work with the Department of Streets Traffic Engineering Division and Parking Control.

4. During construction, it may sometimes become necessary to waive violations with permission from PARKWAYS. This can be accomplished by directing a letter requesting to the Director of PARKWAYS. The Contractor must state the reasons why s/he must use the neutral ground or right-of-way and each location must be shown in plan.
5. The Contractor is cautioned to minimize during construction, the occupied spaces, and the damage to the neutral ground or public right-of-way.
6. Care must be taken to protect all trees and landscape materials while performing routine maintenance operations (i.e. grass cutting, trenching, etc.).

### 3.04 INSTALLATION OR REPLACEMENT OF UTILITY LINES

- A. If the installation of new utility lines or the replacement of old utility lines is to take place within the critical root zone of any existing trees or shrubs, no trenching is to be allowed. Only hydraulic jacking (boring), air spading or hand digging is allowed within the plant material's critical root zones.
- B. The Contractor must notify the PARKWAYS Urban Forester or Landscape Architect at least three (3) working days in advance of the prior to any utility line construction within the barricade(s), and within the tree(s) critical root zone(s) at 658-3200.
- C. If possible, confine the location of underground utilities to areas away from tree roots. There may be exceptions. When it is necessary to pass close to a tree, corridors must be tunneled under major roots rather than using trenches. Corridors or tunnels must be bored or air spaded under the center of the tree. Boring or air spading may not begin closer than ten feet (10') from the trunk of the tree. Boring or air spading this close to a tree, within a tree's critical root zone, shall only be permitted under extremely confined urban situations for distances and depths of boring as may be permitted. All final decisions on distances and depths shall be made by the PARKWAYS Urban Forester. In all locations where it is obvious and possible, air spading or boring shall begin one foot (1') outside of the tree's critical root zone and end on the opposite side of the tree one foot (1') outside of the tree's critical root zone or canopy. The depth of all air spading or boring shall be a minimum of thirty inches (30").
- D. PARKWAYS Tree Division must be contracted at least three (3) working days prior to boring or air spading under any City tree, to avoid wrong utility placement.
- E. If it becomes necessary to contract the PARKWAYS Tree Division after normal working hours, on weekends or holidays the "Tree Emergency" number is 658-2299 or 311.

## **PART 4 - PENALTIES**



4.01 REQUIREMENTS AND RESPONSIBILITIES OF THE CONTRACTOR

- A. The PARKWAYS Urban Forester shall evaluate whether any tree is damaged or removed due to construction work.
- B. If damaged plant material has not been removed and cannot be salvaged, the Contractor shall be responsible for removal of the damaged plant material, with PARKWAYS approval.
- C. If plant material has been removed or damaged beyond the point of being salvaged, the Contractor shall be responsible for the cost of compensation to PARKWAYS through the Plant-A-Tree Fund, based upon the established value of the tree.
- D. The compensation for the removed plant material shall be reimbursed to PARKWAYS prior to the final inspection.
- E. The value of trees and shrubs shall be determined by the PARKWAYS Urban Forester, by the appropriate formula contained in the "Guide for Establishing Values of Trees and Other Plants" prepared by the Council of Tree and Landscape Appraisers, and published by International Society of Arboriculture.

END OF SECTION 01 56 39



**LOUISIANA UNIFORM PUBLIC WORK BID FORM**

**TO:** CITY OF NEW ORLEANS  
1300 PERDIDO STREET  
ROOM 4W07  
NEW ORLEANS, LA 70112

*(Owner to provide name and address of owner)*

**BID FOR:** Hunter's Field Phase II Improvements  
At 1659 N. Claiborne Avenue,  
New Orleans, Louisiana 70116

*(Owner to provide name of project and other identifying information)*

The undersigned bidder hereby declares and represents that she/he; a) has carefully examined and understands the Bidding Documents, b) has not received, relied on, or based his bid on any verbal instructions contrary to the Bidding Documents or any addenda, c) has personally inspected and is familiar with the project site, and hereby proposes to provide all labor, materials, tools, appliances and facilities as required to perform, in a workmanlike manner, all work and services for the construction and completion of the referenced project, all in strict accordance with the Bidding Documents prepared by:

**Volume Zero, LLC** and dated: **June 1, 2015 (and later dates for items issued by addenda).**

Bidders must acknowledge all addenda. The Bidder acknowledges receipt of the following **ADDENDA:** (Enter the number the Designer has assigned to each of the addenda that the Bidder is acknowledging.)

**CASH ALLOWANCES (as per Specification Section 01021):**

- Allowance #1: Ten thousand dollars (\$10,000) for all Entergy fees required.
- Allowance #2: Two thousand five hundred dollars (\$2,500) for minor electrical repairs to existing exterior lighting – including lamp replacements, ballast replacements, and lens replacements.
- Allowance #3: Twenty thousand dollars (\$20,000) for repairs to drain lines as indicated in Scope of Civil Work note #3 on Drawing Sheet C-1.

**TOTAL BASE BID:** For all work required by the Bidding Documents (including any and all unit prices designated “Base Bid” \* but not alternates) the sum of:

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

**ALTERNATES: (as per Specification Section 01230):**

Alternate #1: In lieu of the overhead service from the Entergy service pole to the electrical equipment rack as shown on the Drawing Sheet E1, provide an underground service from the Entergy service pole to the new electrical equipment rack. Provide an Entergy network junction box (minimum 12"x 24"x 24") and two (minimum 2") Schedule 80 PVC conduits buried 24" below grade from rack to Entergy service pole, stubbed up pole. Coordinate exact size of Entergy network junction box and underground conduits with Entergy requirements. All of this Alternate #1 work shall be provided for the lump sum of:

\_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

**NAME OF BIDDER:** \_\_\_\_\_

**ADDRESS OF BIDDER:** \_\_\_\_\_

**LOUISIANA CONTRACTOR'S LICENSE NUMBER:** \_\_\_\_\_

**NAME OF AUTHORIZED SIGNATORY OF BIDDER:** \_\_\_\_\_

**TITLE OF AUTHORIZED SIGNATORY OF BIDDER:** \_\_\_\_\_

**SIGNATURE OF AUTHORIZED SIGNATORY OF BIDDER \*\*: \_\_\_\_\_**

**DATE:** \_\_\_\_\_

\*\* If someone other than a corporate officer signs for the Bidder/Contractor, a copy of a corporate resolution or other signature authorization shall be required for submission of bid. Failure to include a copy of the appropriate signature authorization, if required, may result in the rejection of the bid unless bidder has complied with La. R.S. 38:2212(A)(1)(c) or RS 38:2212(O) .

**BID SECURITY** in the form of a bid bond, certified check or cashier's check as prescribed by LA RS 38:2218.A is attached to and made a part of this bid.





JUN 09 2015

STATE FIRE MARSHAL  
 ARCHITECTURAL SECTION

**EXEMPTION FROM FULL PLAN REVIEW**

FIRE MARSHAL USE ONLY: DATE RECEIVED  
 REVIEWER / BADGE NO:

PLEASE SEE INSTRUCTIONS AND REQUIREMENTS ON REVERSE SIDE OR ATTACHED PAGE

PROVIDE INFORMATION ON  
 THE NAME OF THIS  
 SPECIFIC PROJECT

**1. Project Information**

PART 1 REQUIRED FOR ALL SUBMITTALS. PLEASE PRINT BLACK OR BLUE INK ONLY

-469582-

Project Name: Hunter's Field Phase 2 Improvements

Building Name: Community Center

Street Address: 1659 N. Claiborne Ave. Suite/space No: N/A

City/State/Zip: New Orleans LA 70113

Parish: Orleans Within city limits?  Yes  No

PROVIDE INFORMATION ON  
 THE OWNER OF THE OVERALL  
 STRUCTURE FOR THIS PROJECT.

**2. Owner Information**

PART 2 REQUIRED FOR ALL SUBMITTALS.

Owner: Harris Jerry Email: jeharris@nola.gov

Name of Firm: City of New Orleans, Capital Projects Administration

Mailing Address: 1300 Perdido St Suite 6E15

City/State/Zip: New Orleans LA 70112

Work Phone: 504-658-8681 Cell: 504-600-3492 Fax:

PROVIDE INFORMATION ON  
 THE TENANT IF DIFFERENT FROM  
 OWNER.

**3. Tenant Information (or Professional of Record if required)**

Tenant/POR: Cajski Michael Email: michael@volumezero.com

Name of Firm: Volume Zero, LLC POR License No: 5201

Mailing Address: 1034 Joliet St

City/State/Zip: New Orleans LA 70118-1164

Work Phone: 504-864-9909 Cell: 504-813-9909 Fax: 504-864-9983

STATE FIRE MARSHAL  
 USE ONLY

**4. Determination Reply**

Accepted  Denied

Date: 6/9/15

STATE FIRE MARSHAL  
 USE ONLY

- Compliance with ADA/ABA required.
- This processes form shall accompany required exemption form for associated scope(s) of work.
- Fire Alarm System  Sprinkler System  Kitchen Hood/Suppression  Other Suppression

Note: This exemption acceptance shall not relieve the applicant from compliance with the LSUCC and from permitting or inspection at the discretion of the local building official.

THIS REVIEW  
 ACKNOWLEDGES THE  
 FOLLOWING  
 ATTACHMENT(S) FROM  
 THE APPLICANT:

EXTERIOR RENOVATIONS ONLY, FENCING, GUTTERS,  
 EXTERIOR LIGHTS, DEBRIS REMOVAL ETC  
 CORRECTION OF DRAINAGE ISSUES.

SCOPE OF WORK/  
 REMARKS

SFM REGIONAL  
 INSPECTION  
 OFFICE

- Baton Rouge 225-925-3650 800-256-5452  Lafayette 337-886-1273 800-554-0006
- New Orleans 504-568-8506 855-335-8044  Shreveport 318-676-7145 888-634-7682



# THE CITY OF NEW ORLEANS

MAYOR MITCHELL J. LANDRIEU

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Home » Parks and Parkways » Applications, Guidelines & Permits

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## Applications, Guidelines & Permits

The Department of Parks and Parkways administers a number of Applications and Permits and issues Guidelines ranging from work on individual trees to events in entire parks. Design and construction industry workers should click [here](#) [/parks-and-parkways/design-and-construction-industry-guidelines/] for guidelines and additional information.




### Permits

Parks and Parkway oversees a number of kinds of permits, and consults on many administered by other departments, which take place on public property in New Orleans.



### Maintenance or Alteration to Public Property

- [Neighborhood Sign Permit \[http://new.nola.gov/permits/residential/neighborhood-sign-permit/\]](http://new.nola.gov/permits/residential/neighborhood-sign-permit/)  - The permit required to place a permanent neighborhood sign on a neutral ground
- [Public Greenspace Planting Permit \[http://new.nola.gov/permits/residential/public-greenspace-planting-permit/\]](http://new.nola.gov/permits/residential/public-greenspace-planting-permit/)  - The permit required for planting shrubs or garden beds on City property.
- [Tree Maintenance Work Permit \[http://new.nola.gov/permits/residential/tree-work-permit/\]](http://new.nola.gov/permits/residential/tree-work-permit/)  - The permit required to do any work on any City tree.
- [Tree Planting Permit \[http://new.nola.gov/permits/residential/tree-planting-permit/\]](http://new.nola.gov/permits/residential/tree-planting-permit/)  - The permit needed to plant a tree(s) on City property.

### Event Permits

- [Public Park Permit \[http://new.nola.gov/permits/events/park-rentals/public-park-permit/\]](http://new.nola.gov/permits/events/park-rentals/public-park-permit/)  - The permit required to use public parks for events in the City of New Orleans.
- [Temporary Use of Neutral Ground Permit \[http://new.nola.gov/permits/events/street-closures/temporary-use-of-neutral-ground-permit/\]](http://new.nola.gov/permits/events/street-closures/temporary-use-of-neutral-ground-permit/)  - The permit required to use the City of New Orleans neutral ground for any purpose for any period of time.
- [Shelter Rental Permit \[http://new.nola.gov/permits/events/park-rentals/shelter-rental-permit/\]](http://new.nola.gov/permits/events/park-rentals/shelter-rental-permit/)  - The permit required to rent the shelters in Joe Brown Park and Brechtel Park for events in the City of New Orleans.

### Potential Additional Permits of Interest

- [Driveway / Curb Cut Permit \[http://new.nola.gov/permits/building/street/driveway-sidewalk-cut-permit/\]](http://new.nola.gov/permits/building/street/driveway-sidewalk-cut-permit/)  - The permit required to repair or replace your driveway.
- [Film Location Permit \[http://new.nola.gov/permits/events/film/film-location-permit/\]](http://new.nola.gov/permits/events/film/film-location-permit/)  - The permit required for any commercial filming in New Orleans. Film New Orleans acts as a liaison for all film and video projects working in the city. The City of New Orleans generates a blanket, free of charge film permit.





# THE CITY OF NEW ORLEANS

MAYOR MITCHELL J. LANDRIEU

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Home » One Stop Shop Home » Residential Permits » Tree Work Permit

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## Residential Permits

# Tree Work Permit

A Tree Maintenance permit is required to do any work on any City tree. The Louisiana licensed arborist must submit a description of the requested work, a copy of their license and an insurance certificate with the City of New Orleans as certificate holder. The permit is free of charge and lasts for 60 days.

### Fees

- Free

### Required documents/steps

Arborist must submit via fax (504) 658-3227 or email [parksandparkways@nola.gov](mailto:parksandparkways@nola.gov) [mailto:parksandparkways@nola.gov] the following documents:

- Description of work including property address
- Copy of current Louisiana arborist license
- Insurance certificate showing the City of New Orleans as certificate holder

### Issuing agency

Parks and Parkways

### You may also need

- Tree Planting Permit

### User guides

- [Neutral Ground and Public Greenspace Planting Guide](#) 

#### Type:

Permit

#### Classification:

Business

#### Category:

Location, Business/Individual

#### Apply online?

No

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Last updated: 11/3/2013 5:47:11 PM