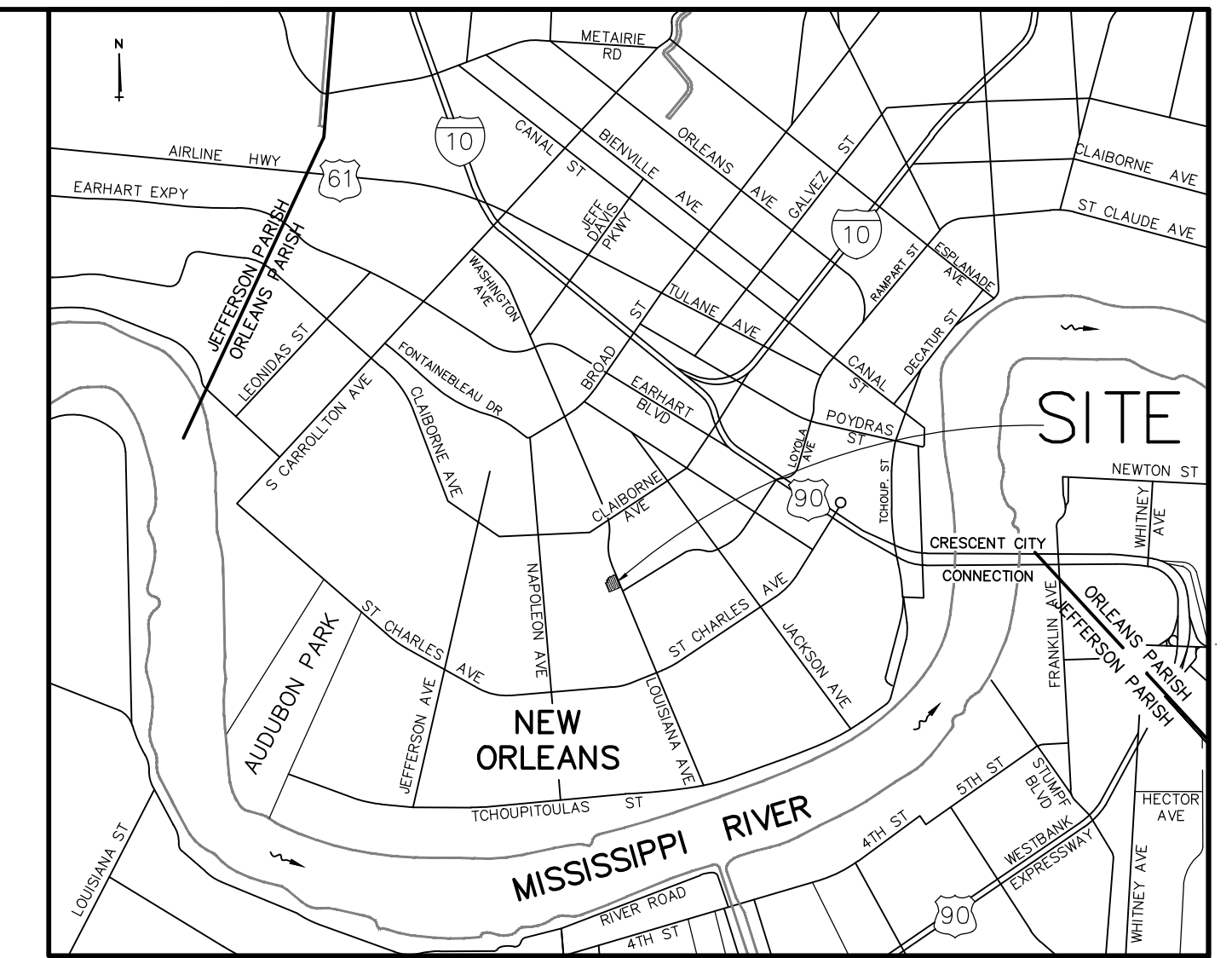


SQUARE 595  
SIXTH DISTRICT, NEW ORLEANS  
ORLEANS PARISH, LA

DELACHAISE STREET (SIDE)



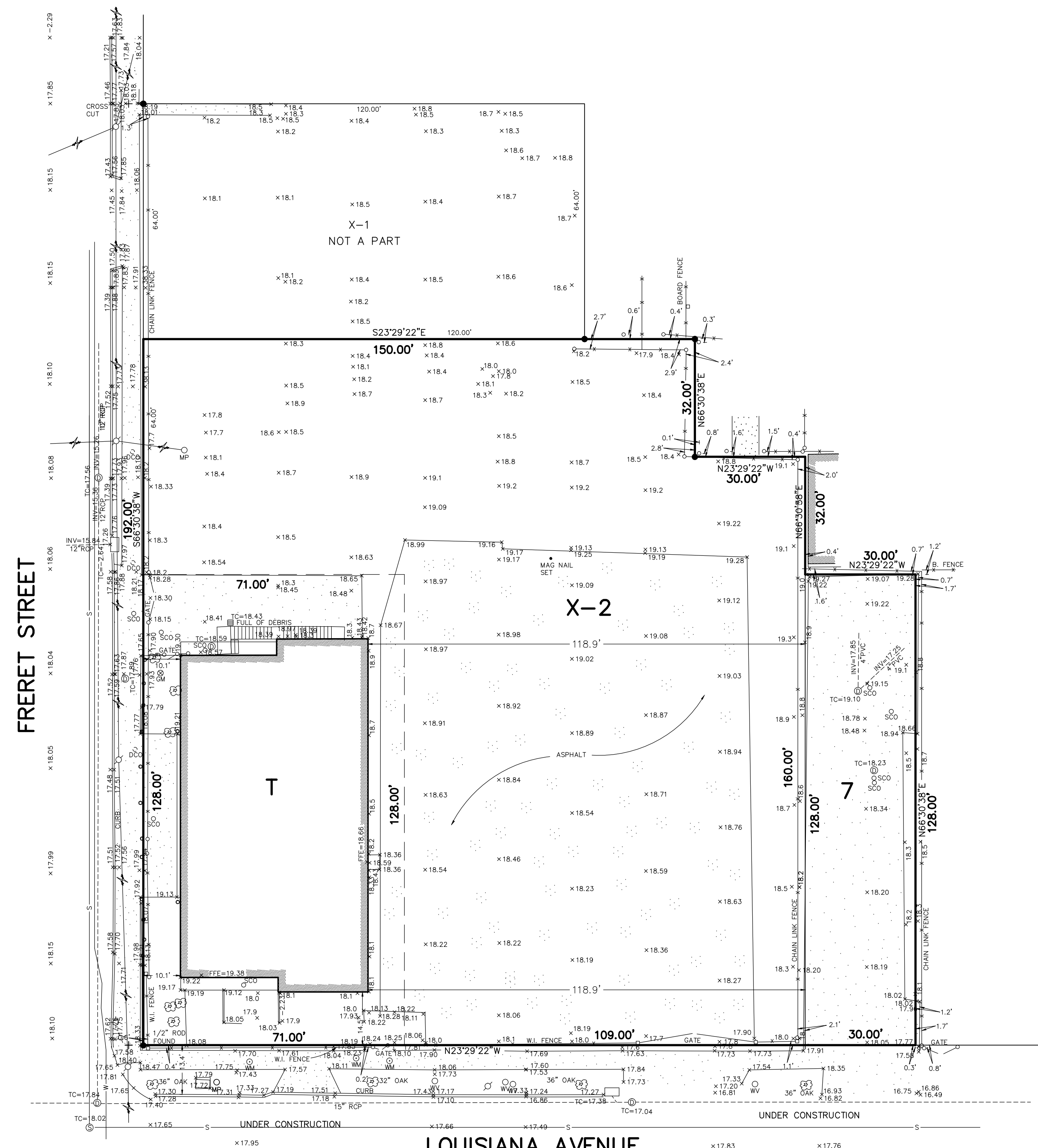
ALL ELEVATIONS ARE IN FEET CAIRO DATUM  
20.43 CD = 0.00 NAVD88(2009.55)

THIS PROPERTY IS IN FEMA ZONE A1,  
BASE FLOOD ELEVATION = 1.5 NGVD  
COMMUNITY NO. 225203, PANEL NO. 0160 E  
FIRM DATE: MARCH 1, 1984

PRELIMINARY DFIRM (NOT YET ADOPTED)  
FEMA ZONE X AND  
ZONE AE, BFE = -1.0

TBM#1: 60d NAIL SET IN POWER POLE ON THE  
NORTH SIDE OF FRERET STREET ACROSS FROM  
#3424 FRERET ST.  
ELEVATION: 21.93 CD: 1.50 NAVD88

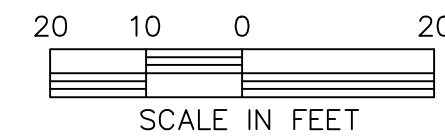
REFERENCE BENCH MARK BASED ON GPS  
OBSERVATIONS (GEOD12B)



SOUTH ROBERTSON STREET (SIDE)

LEGEND

- OVERHEAD UTILITY LINES
- SEWER LINE
- GAS LINE
- WATER LINE
- COMMUNICATION LINE
- ⊙ POWER POLE
- ⊙ ANCHOR/GUY WIRE
- ⊙ LIGHT POLE
- ⊙ ELECTRIC METER POLE
- ⊙ DRAIN CLEANOUT
- ⊙ DRAIN MANHOLE
- ⊙ SQUARE DRAIN INLET
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ GAS METER
- ⊙ ROUND FENCE POST
- ⊙ SQUARE FENCE POST
- ⊙ BOLLARD
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ WATER MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ SIGN

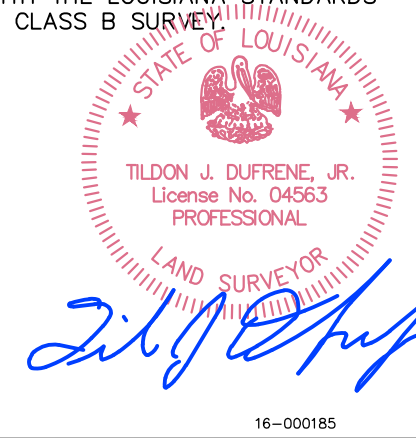


THE SERVICES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVICES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

BEARINGS ARE BASED ON THE LOUISIANA COORDINATE SYSTEM OF 1983 SOUTH ZONE. BASED ON GPS OBSERVATIONS.

ALTA/NSPS LAND TITLE SURVEY  
DATE: APRIL 6, 2016

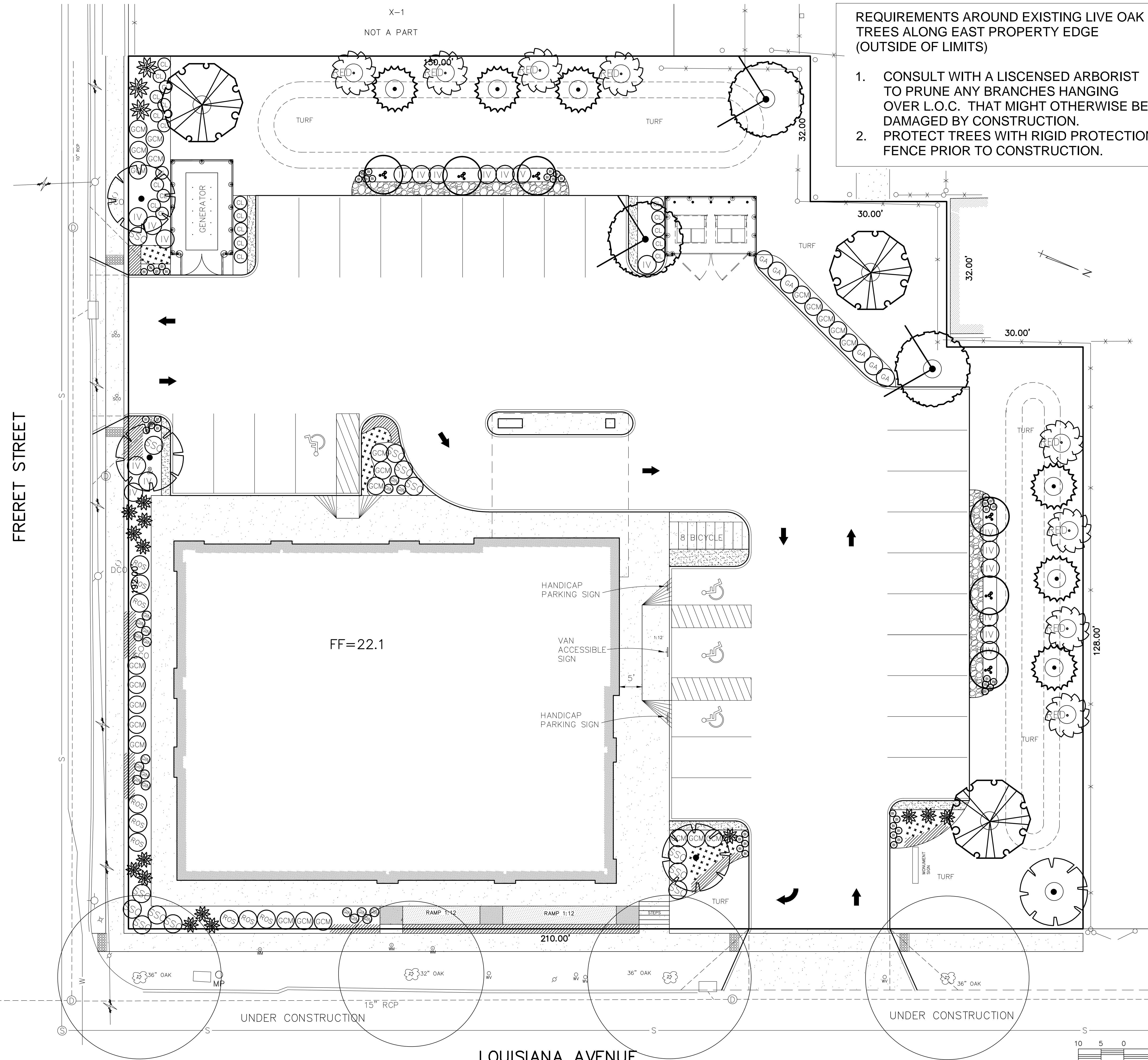
TO: 2500 LOUISIANA AVENUE MEDICAL LLC  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, AND 4 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON APRIL 6, 2016.  
THIS SURVEY WAS MADE IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR CLASS B SURVEY.



DUFRENE SURVEYING & ENGINEERING INC.  
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058  
504-368-8390 PH  
504-368-6394 FAX  
dufrene@dufrenesurveying.com

T-5264-L  
16-000185  
ks 6/16/16/ks/16-000185-RTX.dwg





**REQUIREMENTS AROUND EXISTING LIVE OAK TREES ALONG EAST PROPERTY EDGE (OUTSIDE OF LIMITS)**

- CONSULT WITH A LICENSED ARBORIST TO PRUNE ANY BRANCHES HANGING OVER L.O.C. THAT MIGHT OTHERWISE BE DAMAGED BY CONSTRUCTION.
- PROTECT TREES WITH RIGID PROTECTION FENCE PRIOR TO CONSTRUCTION.

**LANDSCAPE REQUIREMENTS:**

- Building Foundation Landscape along Louisiana and Freret Streets.
- 188' Remaining Frontage = 2 Landscape Units Required, UNIT B X 2  
2 Shade, 2 Ornamental, 2 Evergreen Trees Required
- 370' If Perimeter Side Yard (1 Shade Tree per 40' If Required)  
10 Shade Trees Required OR 15 Ornamental
- 28 Parking Spaces (1 Tree per 10 Spaces) = 3 Trees Required
- 15 Shade, 2 Ornamental & 2 Evergreen  
19 Total Trees Required 20 Provided (using 1.5 ornamental/shade)

**LANDSCAPE NOTES:**

- THIS LANDSCAPE PLAN IS INTENDED TO BE IN COMPLIANCE WITH CITY OF NEW ORLEANS, CZO ARTICLE 23, IF ANY LANGUAGE IN THESE NOTES ARE IN CONFLICT TO ARTICLE 23 - THE LANGUAGE IN THE ACTUAL ARTICLE SHALL PREVAIL.
- This landscape plan was developed in coordination with the engineer's Storm Water Management Plan. Refer to said plan for location of storm water management measures.
- The landscape IS part of the Stormwater Management Plan and shall be maintained as such to maintain compliance.
- The owner, tenant or their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping.
- All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- Plant materials which die shall be replaced with similar healthy plant materials within six (6) months of notification.
- Landscape areas within site triangles shall be maintained in an appropriate manner to insure that no plant material obstructs cross-visibility above three (3) feet or below six (6) feet from the street or access way grade.
- All landscaping shall be maintained in a neat and orderly manner at all times; this shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping.
- Landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of the landscaping.
- An irrigation system shall be installed and shall be maintained in good operating condition to promote the health of the plant material and the conservation of water.
- The irrigation system shall valve drip, spray and tree areas separately. Use MP rotators where possible on turf areas. Drip irrigation shall be installed in bed areas. Rain sensors shall also be used on the system.
- If pruning of existing trees or landscaping is required for safety or construction access. Consult with City of New Orleans - Parks and Parkways Department.
- Trees not in beds shall have a mulch circle 3' (rad min.) from trunk of tree. Mulch shall be 2" depth.
- All beds adjacent to turf areas shall have steel edging.
- All areas disturbed by construction and not otherwise shown as landscaped shall be revegetated with St. Augustine Sod or other groundcover.

**PLANT LIST**

QTY.	PLANT SYMBOL	DESCRIPTION
3	[Magnolia Symbol]	MAGNOLIA VIRGINIANA - SWEET BAY MAGNOLIA 12' HT. X 6' SPD. (MIN.) - 1-1/2" CAL. @ 12". (MIN.)
4	[Liriodendron Symbol]	LIRIODENDRON TUPLIFERA - TULIP TREE 12' HT. X 6' SPD. (MIN.) - 1-1/2" CAL @ 12". (MIN.)
3	[Oak Symbol]	QUERCUS FALCATA - RED OAK 12'-14' HT. X 6'-8' SPD. (MIN.) - 2" CAL. (MIN.)
6	[Holly Symbol]	ILEX DECIDUA - POSSUMHAW HOLLY 35 GAL.

QTY.	PLANT SYMBOL	DESCRIPTION
8	[Redbud Symbol]	CERCIS CANADENSIS - EASTERN REDBUD 1-1/2" CALIPER, 8' HT. (MIN.)
6	[Natchez Symbol]	LAGERSTROEMIA INDICA - "NATCHEZ" 8'-10' HT. X 4'-6" SPD. (MIN.) - 2" DBH. (MIN.) MULTI TRUNK
18	[Palmetto Symbol]	SABAL MINOR - DWARF PALMETTO 30 GAL.
18	[Sweet Spire Symbol]	ITEA VIRGINICA - SWEET SPIRE 'HENRY'S GARNET' - 5 GAL
9	[Knockout Rose Symbol]	ROSA 'KNOCKOUT' - KNOCKOUT ROSE 7 GAL. - PLANT 4' O.C. (MUST BE MIN. 4' HT. WHEN PLANTED)

QTY.	PLANT SYMBOL	DESCRIPTION
42	[African Iris Symbol]	DIETES BICOLOR - AFRICAN IRIS 3 GAL. - PLANT 3' O.C
14	[Cleyara Symbol]	TERNSTROEMIA GYMNANTHERA - CLEYARA 3 GAL. - PLANT 3' O.C.
24	[Muhlenbergia Symbol]	MUHLBERGIA CAPILLARIS GULF COAST MUHLY 5 GAL. - PLANT 3' O.C.
12	[Shi Shi Camelia Symbol]	CAMELIA HIEMALIS "SHI SHI GASHIRA" SHI SHI CAMELIA 7 GAL. - PLANT 4' O.C. (MUST BE MIN. 3-4' HT. WHEN PLANTED)

QTY.	PLANT SYMBOL	DESCRIPTION
6	[Glossy Abelia Symbol]	ABELIA X GRANDIFLORA - GLOSSY ABELIA 7 GAL. - PLANT 4' O.C. (MUST BE MIN. 4' HT. WHEN PLANTED)
18	[Varigated Shell Ginger Symbol]	ALPINA ZERUMBET "VARIGATED" - VARIGATED SHELL GINGER 5 GAL. - PLANT 4' O.C. (MUST BE MIN. 3-4' HT. WHEN PLANTED)
125	[Blue Fortune Symbol]	AGASTACHE - BLUE FORTUNE 1 GAL. POTS, PLANT 18" O.C.
275	[Evergreen Giant Symbol]	LIRIOPE MUSCARI 'EVERGREEN GIANT' GIANT LIRIOPE 1 GAL. POTS, PLANT 24" O.C.
	[Turf Symbol]	STENOTAPHRUM SECUNDATUM ST. AUGUSTINE GRASS SOD
	[Rock Symbol]	COMPACTED ROCK FINES FOR WALKING SURFACE (DECOMPOSED GRANITE OR SIMILAR MATERIAL COMPACTED TO 95%)
	[Rock Symbol]	IMPORTED DECORATIVE RIVER ROCK



OGA Developers:  
**FMC Uptown (Shell)**  
2500 Louisiana Avenue  
New Orleans, Louisiana 70115

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Checked By: PD  
Date Drafted: MAY 6, 2016  
Project #: 16021-01

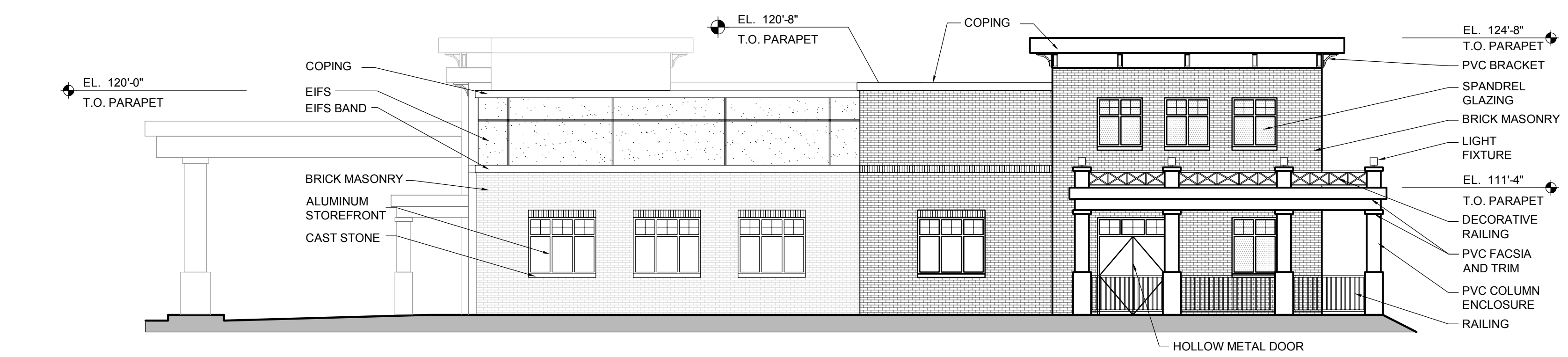
**LANDSCAPE PLAN**

L1  
E-0865  
eng/fmc/ps/16-01/fmc-ss335-clf.dwg

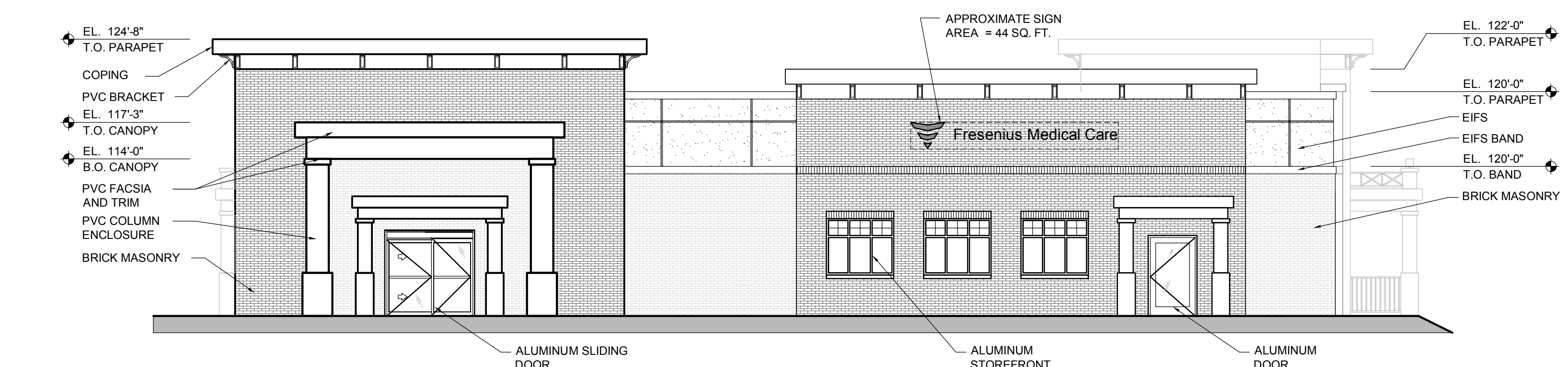
DUFRENE SURVEYING & ENGINEERING INC.  
1624 MANHATTAN BOULEVARD, HARVEY, LA 70056  
504-288-3300 TTY: 504-288-6294 FAX: dufrene@dufrenesurveying.com

MAY 4, 2016

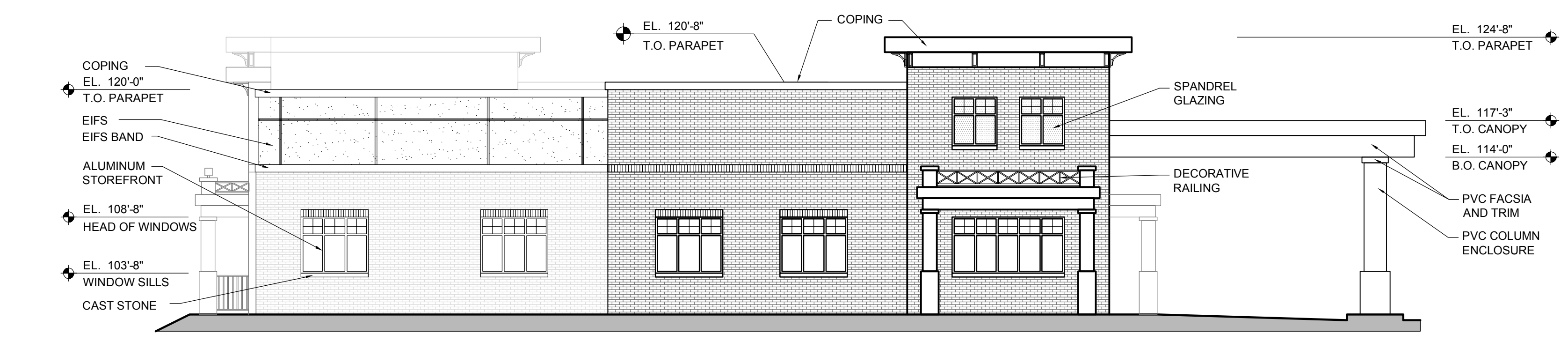




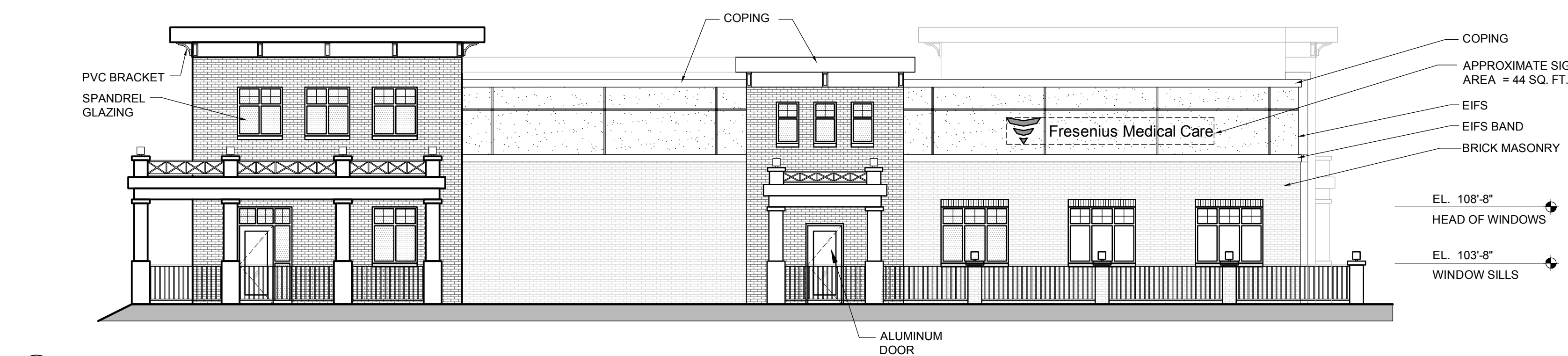
**A SOUTH EXTERIOR BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**B WEST EXTERIOR BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**C NORTH EXTERIOR BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"



**D EAST EXTERIOR BUILDING ELEVATION**  
SCALE: 1/8"=1'-0"

**CODE ANALYSIS NOTES**

APPLICABLE CODES: ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED.

A. Type of Work: New Structure  Addition  Alteration  BUSINESS

B. Occupancy Description: CLINIC - OUTPATIENT Use Group: BUSINESS

C. Mixed Use:  If yes, Non-Separated Use:  Separated Use:  Separate Building:

D. Type of Construction:  Fire Test Design Numbers

E. Fire Resistant Construction: Exterior Walls > 3" 0 hr, Interior Walls 0 hr, Floor/Ceiling 0 hr, Columns/Bearing Walls 0 hr, Exit Enclosures 0 hr, Corridors 0 hr, Tenant Separation 0 hr

F. Allowable Maximum Floor Area: 36,000 S.F. Actual: 7,372 S.F. Does the above include increase for access storage? Yes  No  for complete sprinkler system Yes  No

G. Number of stories above grade: 1 Total stories: 1 Height: 24'-8"

H. Basement:  Horizontal Exits: Yes  No  Fire alarm system & fire extinguishers locations shall be established under separate tenant improvement package

J. Manual Fire Alarm: Yes  No  Monitored Return Air Ducts: Yes  No  Fire Extinguishers: Yes  No  If no, state exemption

K. Handicap Accessible: Yes  No  If no, state exemption

L. Occupant Load: Office: 7,372 at 100 g.p.f. per person = 74, Mechanical/Storage: n/a at 300 g.p.f. per person = 0, Total Occupants: 74

M. Egress: Egress Capacity/Floor: 500, Required Exits: 2, Provided Exits: 3 PUBLIC, 1 SERVICE

N. Restroom Future Counts: Women's Water Closets: Required: N/A, Provided: N/A, Men's Water Closets: Required: N/A, Provided: N/A, Water Closets: Required: N/A, Provided: N/A, Urinals: Required: N/A, Provided: N/A

O. Project County and State: Orleans Parish, Louisiana

P. Climate zone for energy code: Climate Zone 2A A = Most, B = Dry, C = Marine

Q. Is this area within the "Warm-Humid" region? Yes  No

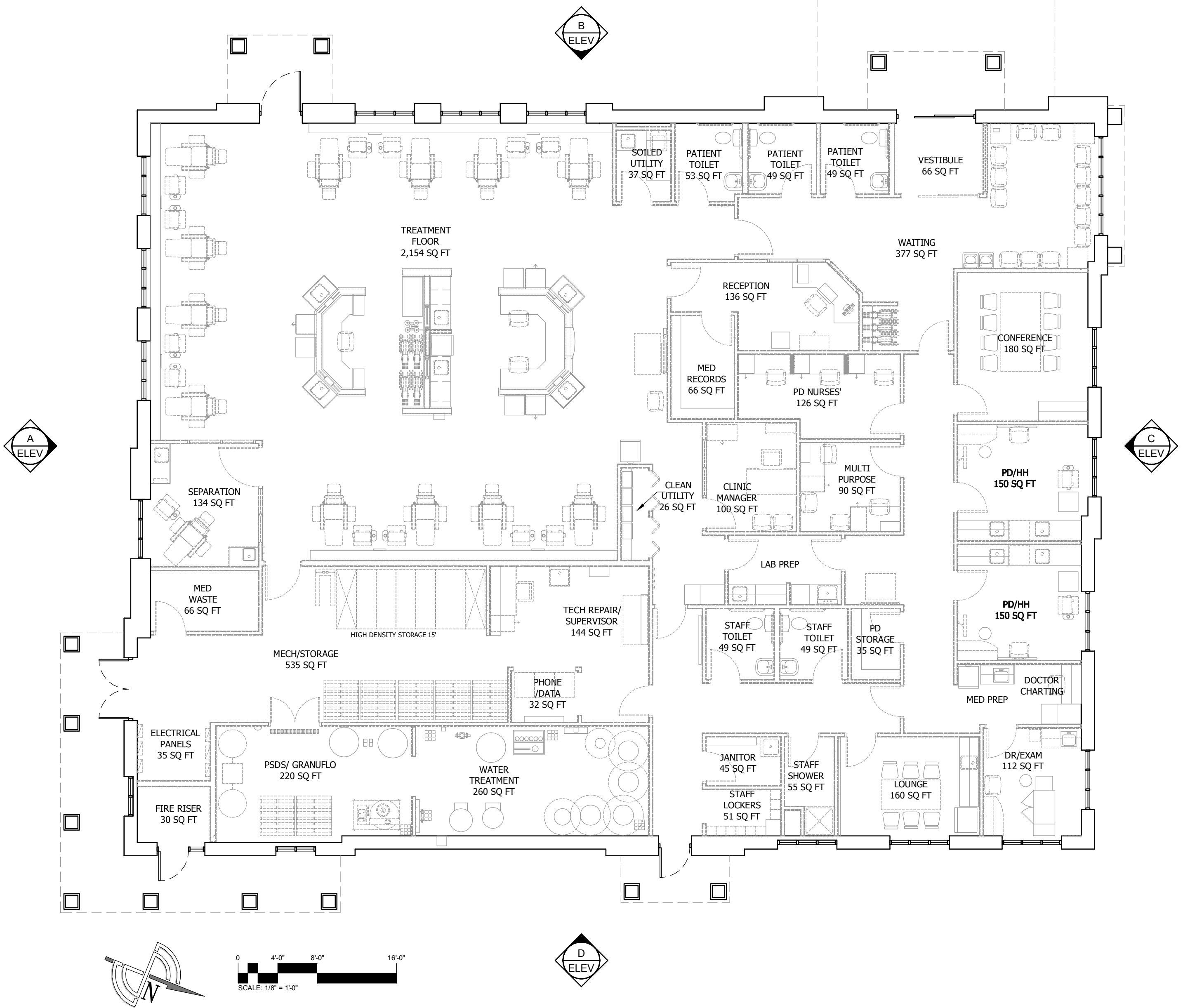
R. Roof: Insulation entirely above deck: Yes  No  Required: R-20d, Provided: R-40d, Metal building w/ R-5 thermal breaks: Yes  No  Required: R-19 + R-11 LS, Provided: --, Attic and other: Yes  No  Required: R-38, Provided: --

S. Walls - Above Grade: Mass: Yes  No  Required: R-5 to, Provided: --, Metal building: Yes  No  Required: R-13+R-5d, Provided: R-25 + R-5d, Metal framed and other: Yes  No  Required: R-13+R-3.8d or R-20, Provided: --

T. Walls - Below Grade: Below grade wall: Yes  No  Required: NR, Provided: --

U. Floors: Mass: Yes  No  Required: R-6.3d, Provided: --, Joist / Framing (steel / wood): Yes  No  Required: R-30, Provided: --

V. Slab on Grade: Unheated slabs: Yes  No  Required: NR, Provided: NONE, Heated slabs: Yes  No  Required: ASCE 318-10, Provided: --



FMC - UPTOWN (SHELL)

NEW ORLEANS, LOUISIANA

FLOOR PLAN AND ELEVATIONS

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N48W16550 LISBON ROAD MENOMONEE FALLS, WISCONSIN 53051-8630  
P 262.901.0505 / F 262.901.0510 www.cka-ae.com

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# FMC - UPTOWN (SHELL)

PROPOSED RENDERING

## NEW ORLEANS, LOUISIANA

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P 262.901.0505 / F 262.901.0510 [www.cka-ae.com](http://www.cka-ae.com)

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