



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Applications must be complete and submitted in person. Faxed, emailed or incomplete applications will not be accepted.

Review time depends on the complexity of the project and can take up to 90 days.

Type of application:  Design Review       Interim Zoning Districts Appeal       Moratorium Appeal

Property Location 222 Loyola Avenue

### APPLICANT INFORMATION

Applicant Identity:  Property Owner       Agent

Applicant Name Timothy Terrell

Applicant Address 1050 S. Jefferson Davis Parkway, Suite 241

City New Orleans State Louisiana Zip 70125

Applicant Contact Number (504) 566-1320 Email timothydavidterrell@gmail.com

### PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name Plaza Realty LLC c/o Tchoupitoulas Partners

Property Owner Address 208 Bienville Street, Unit #1

City New Orleans State Louisiana Zip 70130

Property Owner Contact Number (504) 525-9017 Email wducote@tpinterests.com

### PROJECT DESCRIPTION

This project is a renovation of the upper 2.5 floors of an existing historic building with current parking garage use, and includes the addition of a 9th floor structure. Proposal consists of converting the 7th and 8th floor vacant office spaces and half of the 6th floor parking to a new boutique hotel. A 9th floor addition is inset from the existing roof level footprint and is comprised of hotel room units and a new pool deck.

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

#### Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- Parking Lots with over 10 spaces or loading zones
- Wireless Antenna/Tower
- Educational Facility

- Mural Reviews
- Campus Development Plan
- CBD FAR Bonus
- Changes to Approved Plans
- DAC Review of Public Projects
- Others as required

### ADDITIONAL INFORMATION

Current Use Vacant office space and parking Proposed Use Hotel

Square Number 299 Lot Number Y & Z Permeable Open Space (sf) 0

Zoning District CBD-1 Core Central Business District Local Historic District/Landmark Lower Central Business District

New Development?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Addition?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Tenant Width	<u>71'-78'</u>
Existing Structure(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Renovations?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Building Width	<u>71'-78'</u>
Change in Use?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Existing Signs?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Lot Width (sf)	<u>+/- 79' (varies)</u>
New Sign(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Lot Area (sf)	<u>21,098</u>	Building Area (sf)	<u>62,756</u>



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One paper copy and one digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

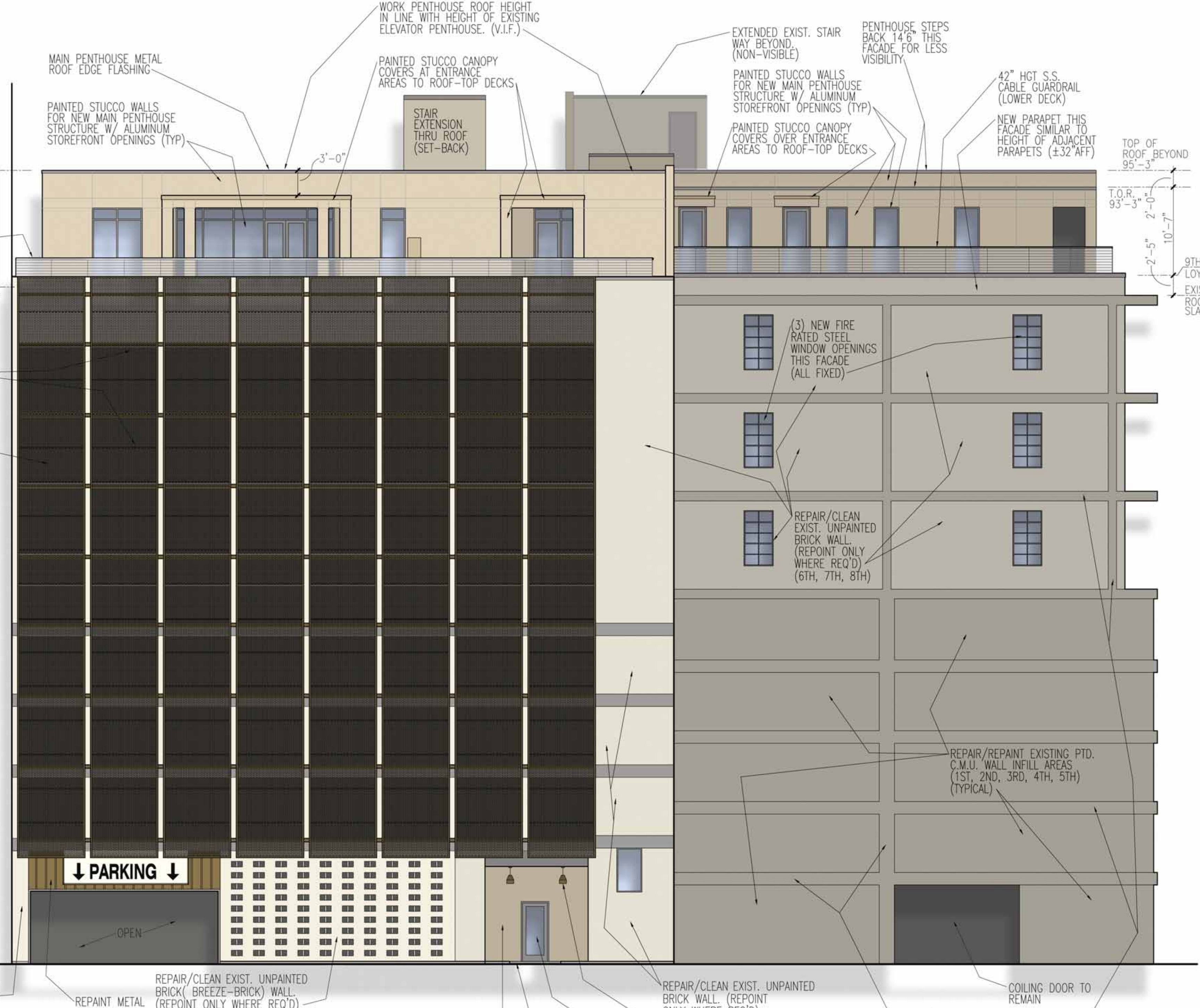
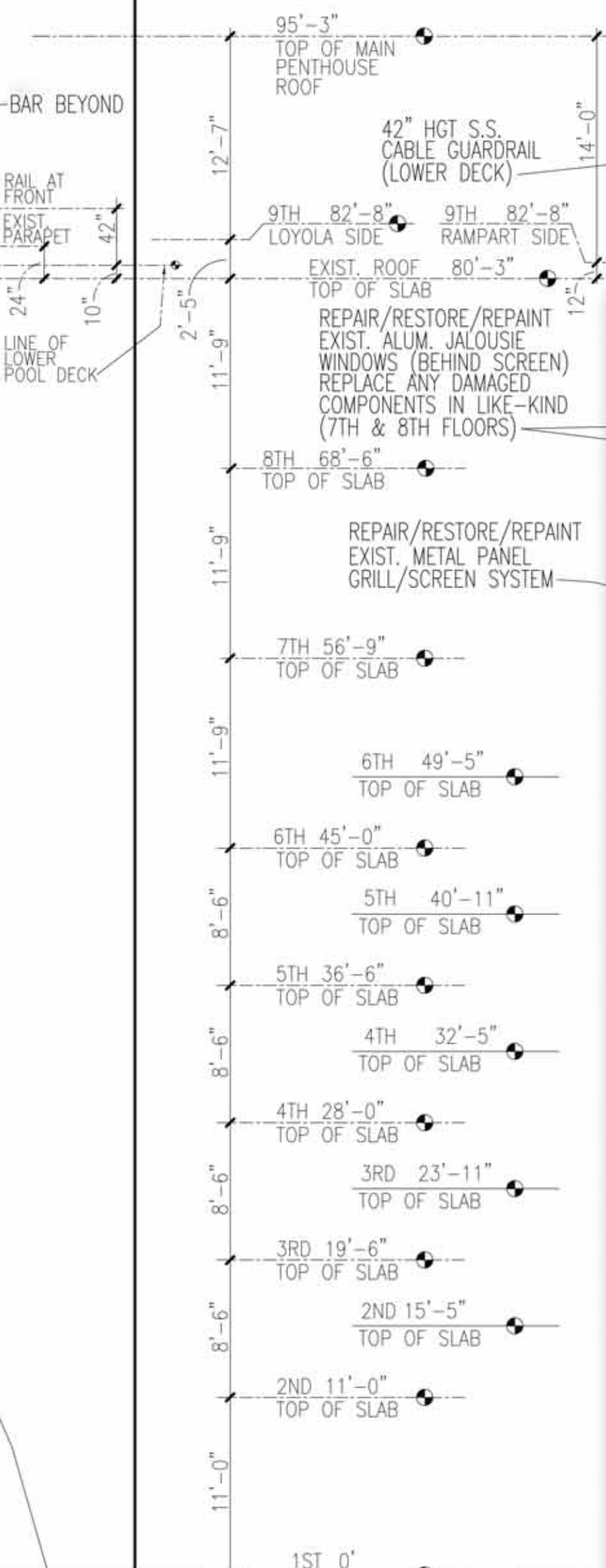
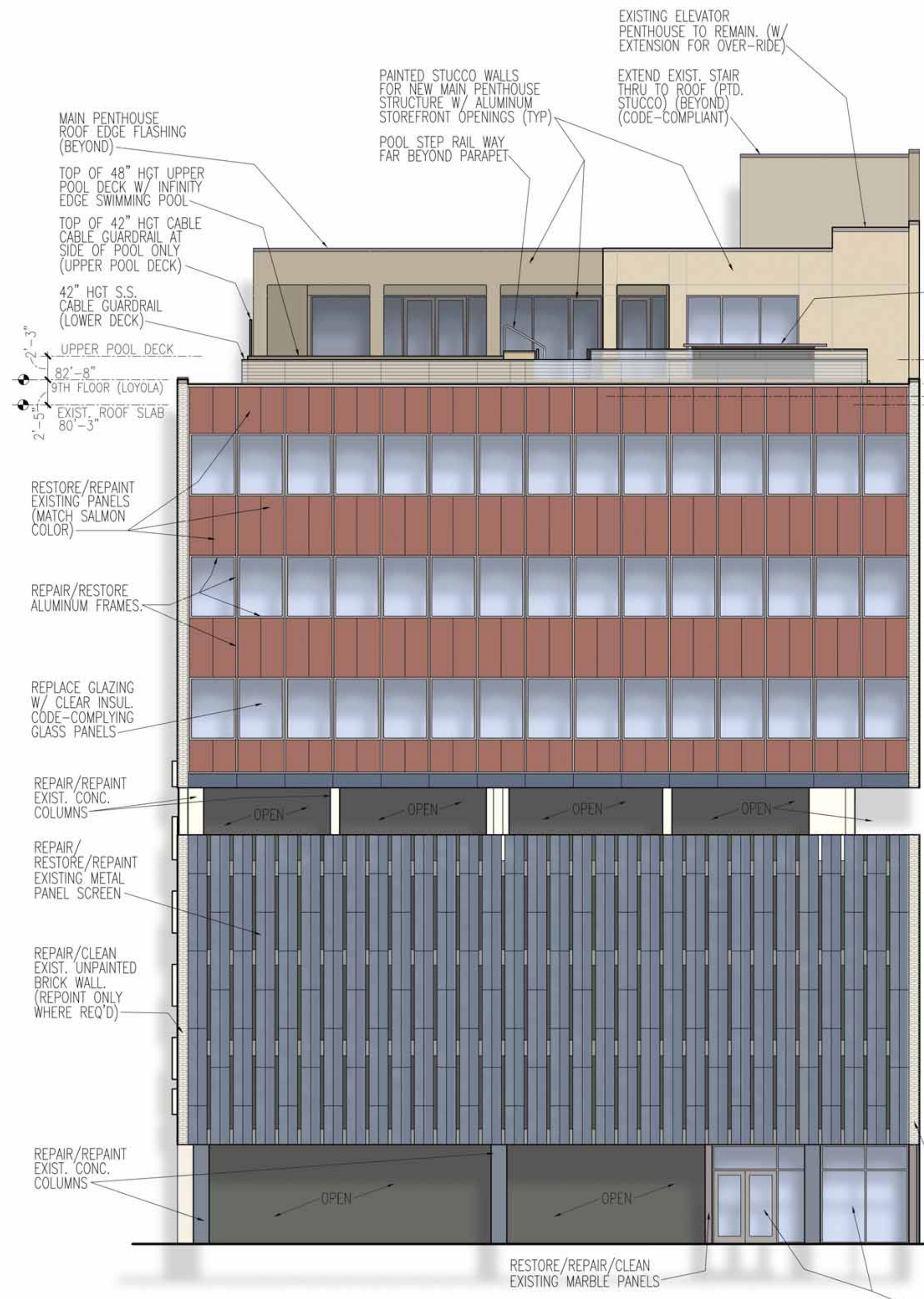
#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Design Review	\$225
Moratorium Appeals	\$1,000





**LOYOLA AVE ELEVATION**  
SCALE: 1/8" = 1'-0"

**RAMPART ST ELEVATION**  
SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL FABACHER ARCHITECTS, L.L.C.**  
1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL

**A3.1**  
SHEET OF

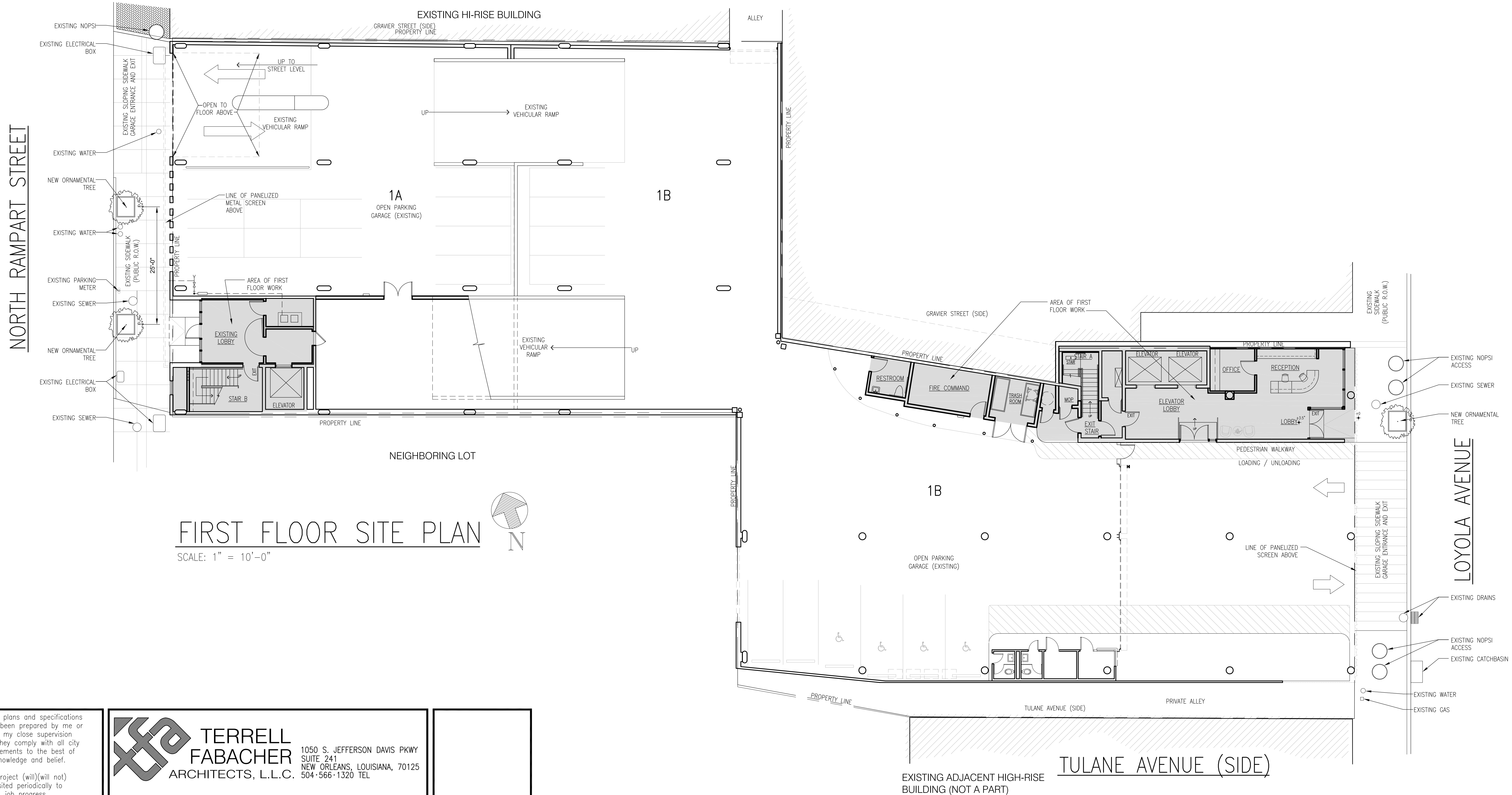
CHECKED BY:  
DRAWN BY:  
DATE: 11-21-18  
JOB NO.:

**BUILDING RESTORATION  
222 LOYOLA ST.  
NEW ORLEANS, LOUISIANA**

NOT FOR CONSTRUCTION

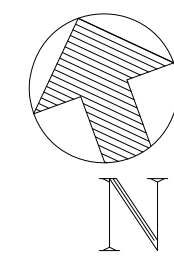


GRAVIER STREET (SIDE)



FIRST FLOOR SITE PLAN

SCALE: 1" = 10'-0"



These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

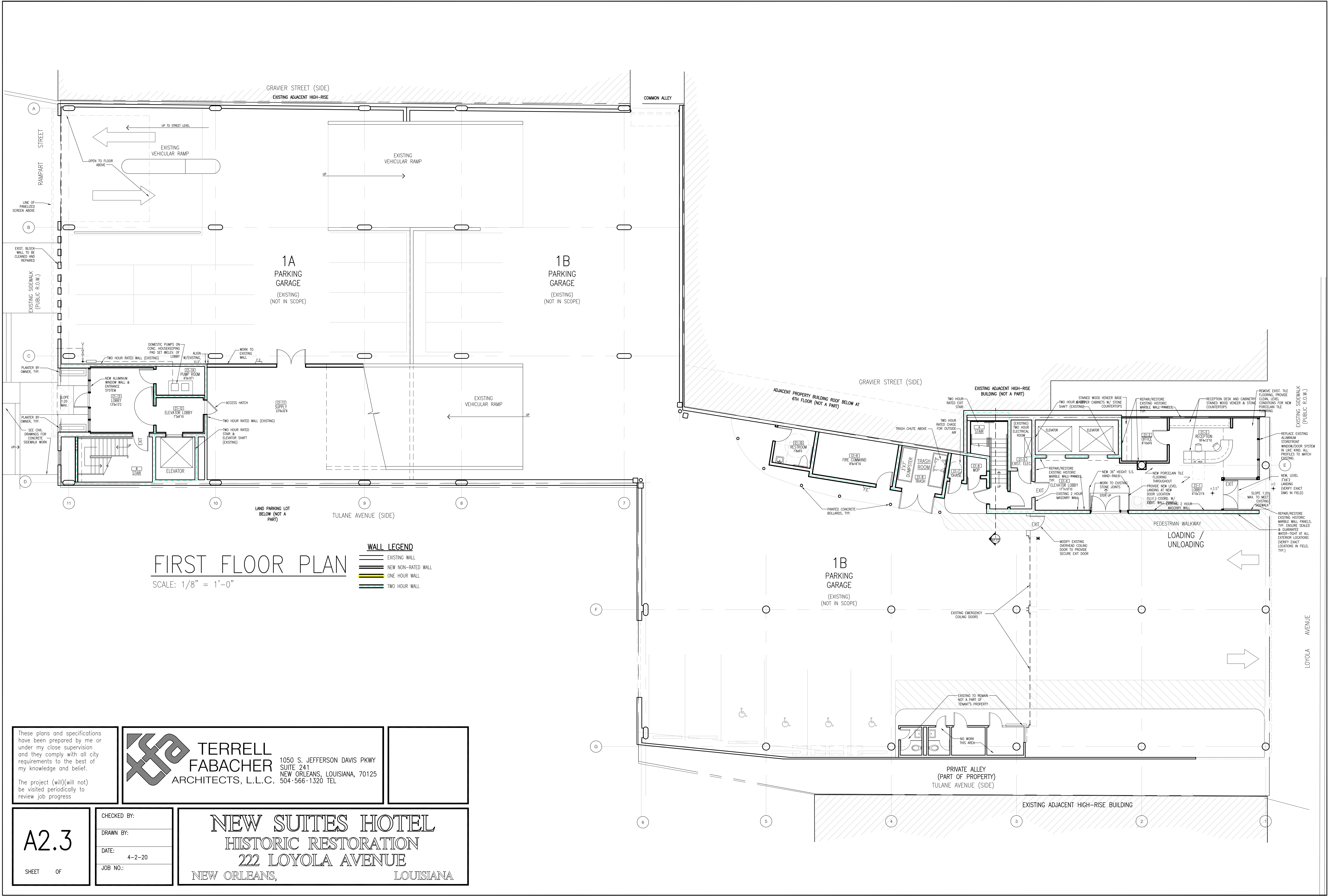
**TERRELL FABACHER**  
ARCHITECTS, L.L.C.  
1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.0**  
SHEET OF

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

NOT FOR CONSTRUCTION



# FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

**WALL LEGEND**

	EXISTING WALL
	NEW NON-RATED WALL
	ONE HOUR WALL
	TWO HOUR WALL

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL

**A2.3**

CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

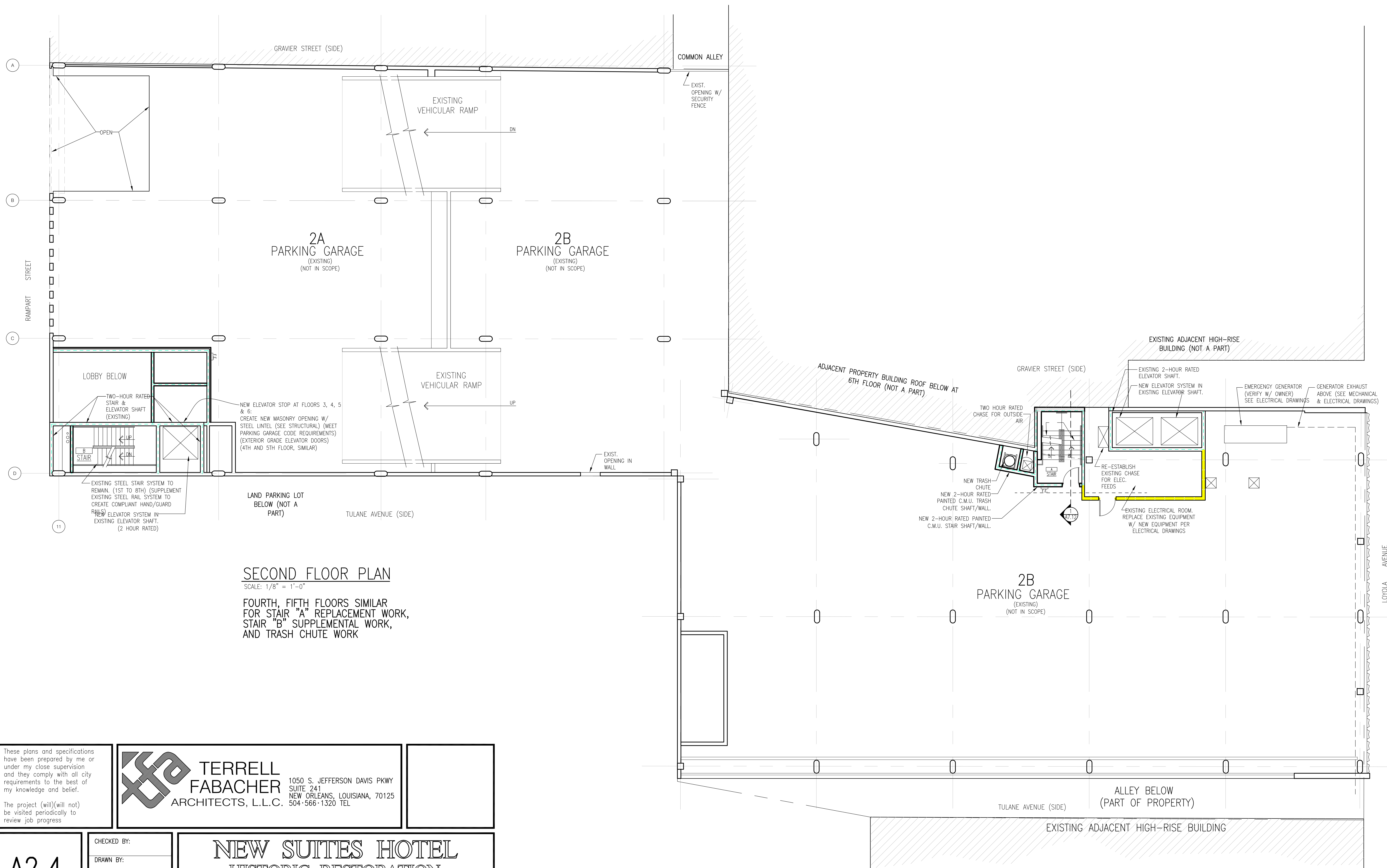
SHEET OF

**NEW SUITES HOTEL**

HISTORIC RESTORATION

222 LOYOLA AVENUE

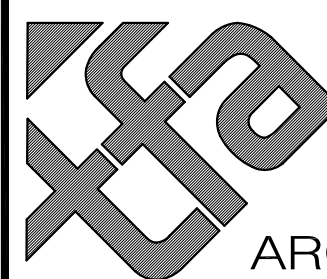
NEW ORLEANS, LOUISIANA



**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 FOURTH, FIFTH FLOORS SIMILAR  
 FOR STAIR "A" REPLACEMENT WORK,  
 STAIR "B" SUPPLEMENTAL WORK,  
 AND TRASH CHUTE WORK

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

	<b>TERRELL FABACHER</b> ARCHITECTS, L.L.C.	1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL
	NEW SUITES HOTEL HISTORIC RESTORATION 222 LOYOLA AVENUE NEW ORLEANS, LOUISIANA	

**A2.4**

CHECKED BY:

DRAWN BY:

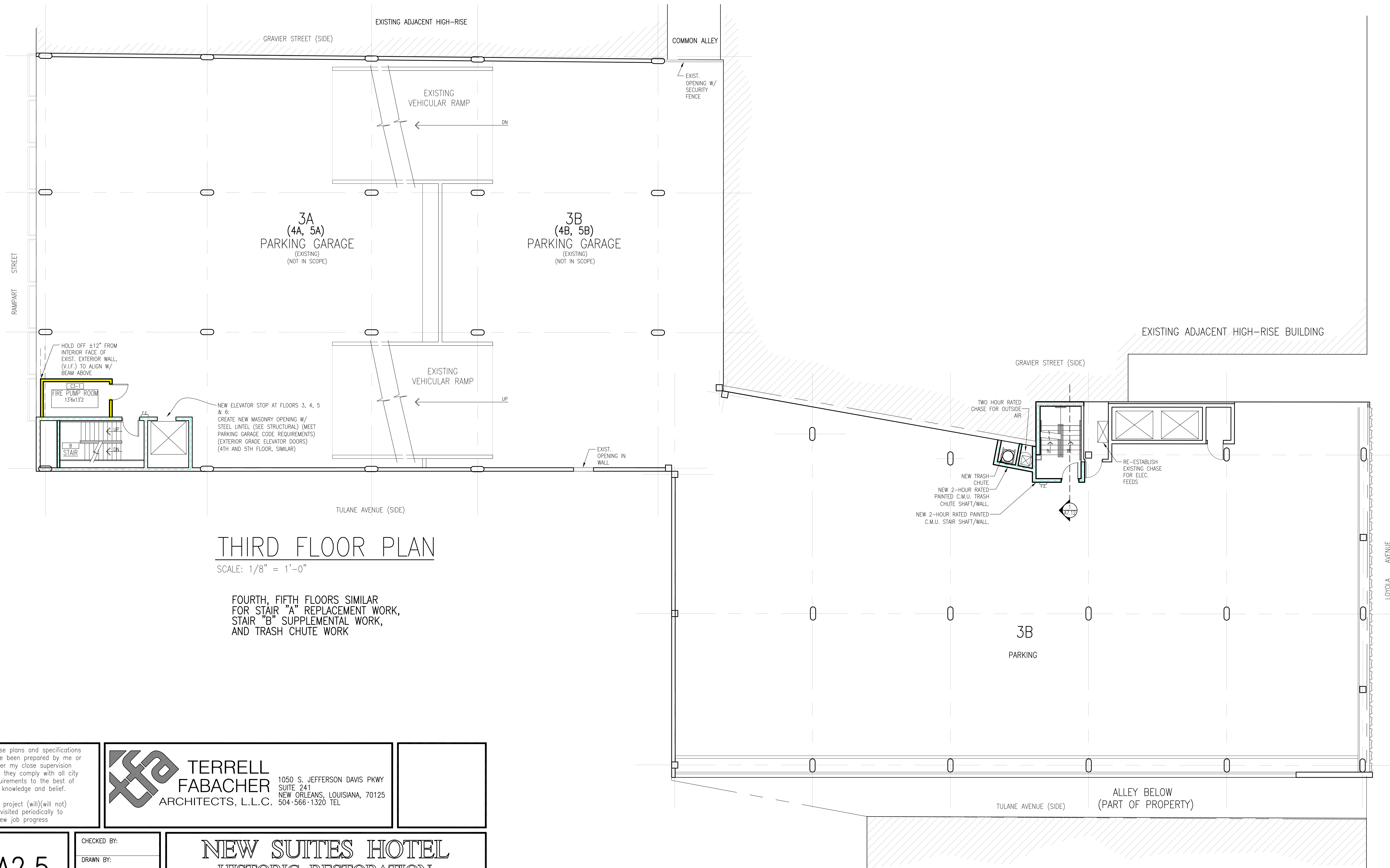
DATE: 4-2-20

JOB NO.:

SHEET OF

**NEW SUITES HOTEL**  
 HISTORIC RESTORATION  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA





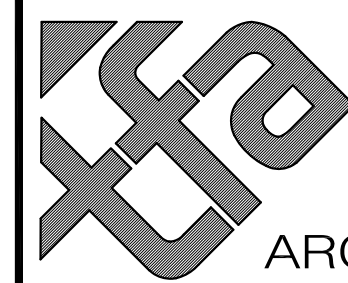
### THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

FOURTH, FIFTH FLOORS SIMILAR FOR STAIR "A" REPLACEMENT WORK, STAIR "B" SUPPLEMENTAL WORK, AND TRASH CHUTE WORK

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.  
1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.5**

SHEET OF

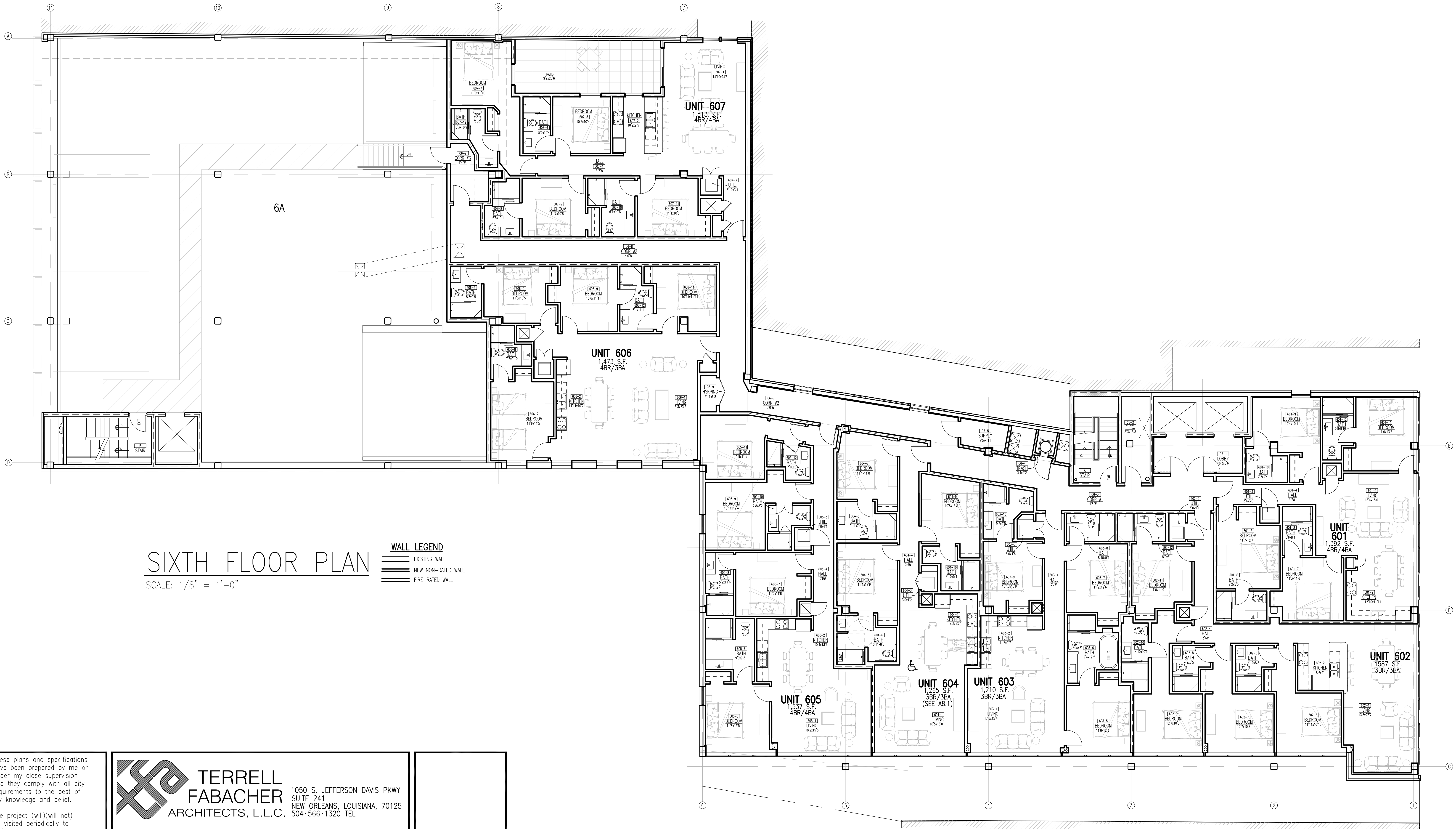
CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
**HISTORIC RESTORATION**  
**222 LOYOLA AVENUE**  
NEW ORLEANS, LOUISIANA



SIXTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

- WALL LEGEND**
- EXISTING WALL
  - NEW NON-RATED WALL
  - FIRE-RATED WALL

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.6**

CHECKED BY:

DRAWN BY:

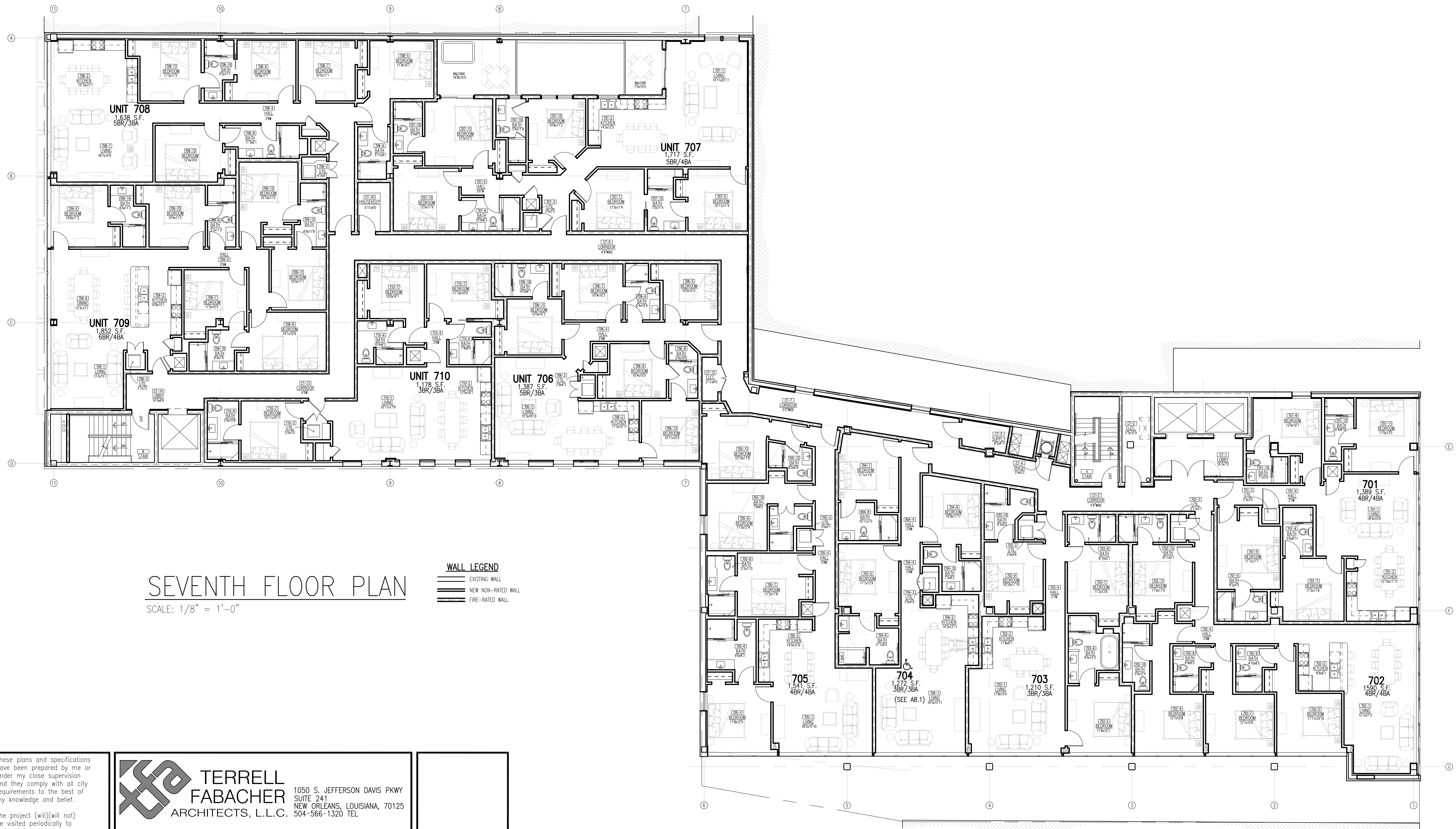
DATE: 4-2-20

JOB NO.:

SHEET OF

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA





These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

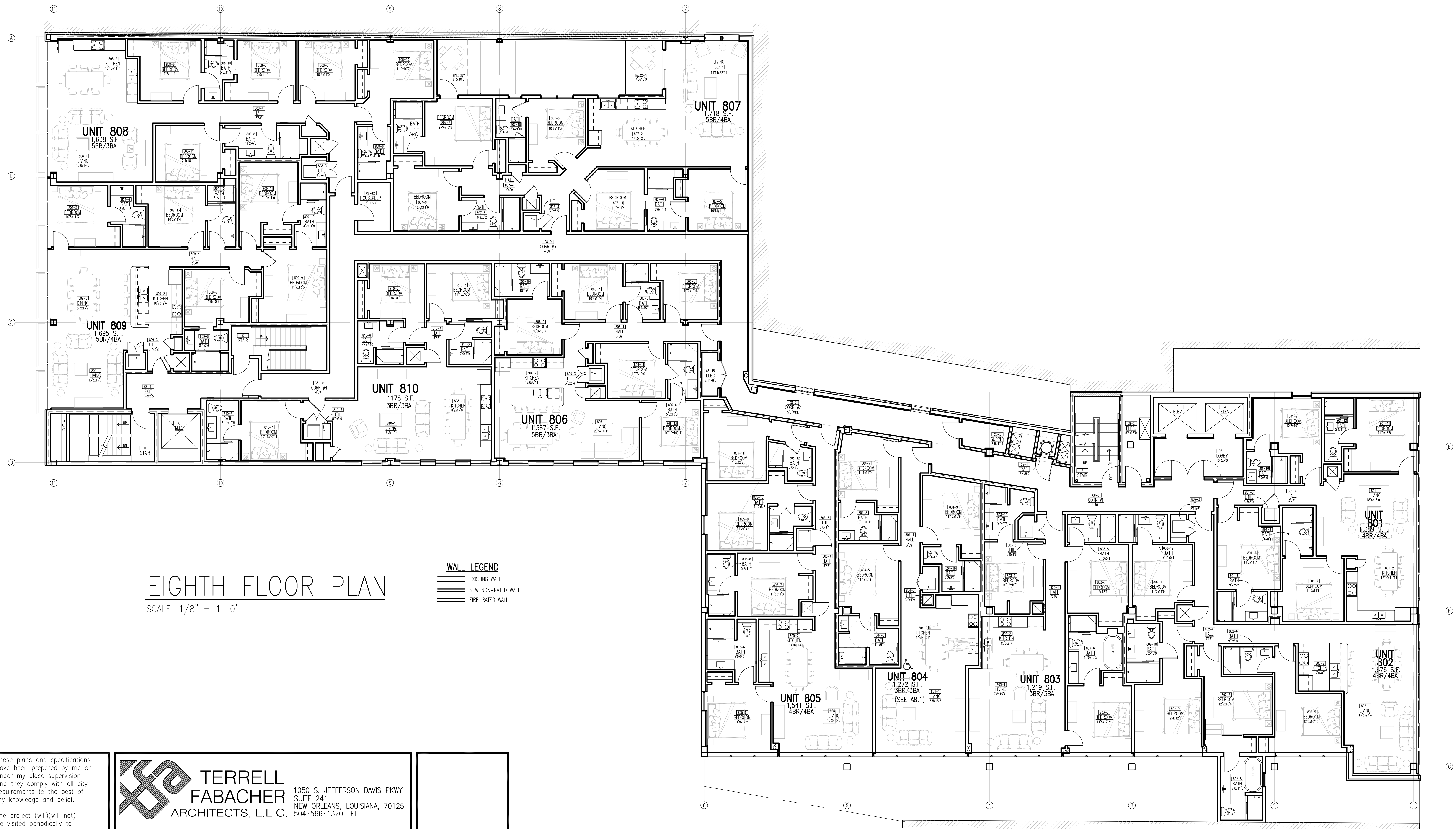
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

**A2.7**

CHECKED BY:  
 DRAWN BY:  
 DATE: 4-2-20  
 JOB NO.:

SHEET OF

**NEW SUITES HOTEL**  
 HISTORIC RESTORATION  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA



# EIGHTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

- WALL LEGEND**
- EXISTING WALL
  - NEW NON-RATED WALL
  - FIRE-RATED WALL

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.8**

SHEET OF

CHECKED BY:

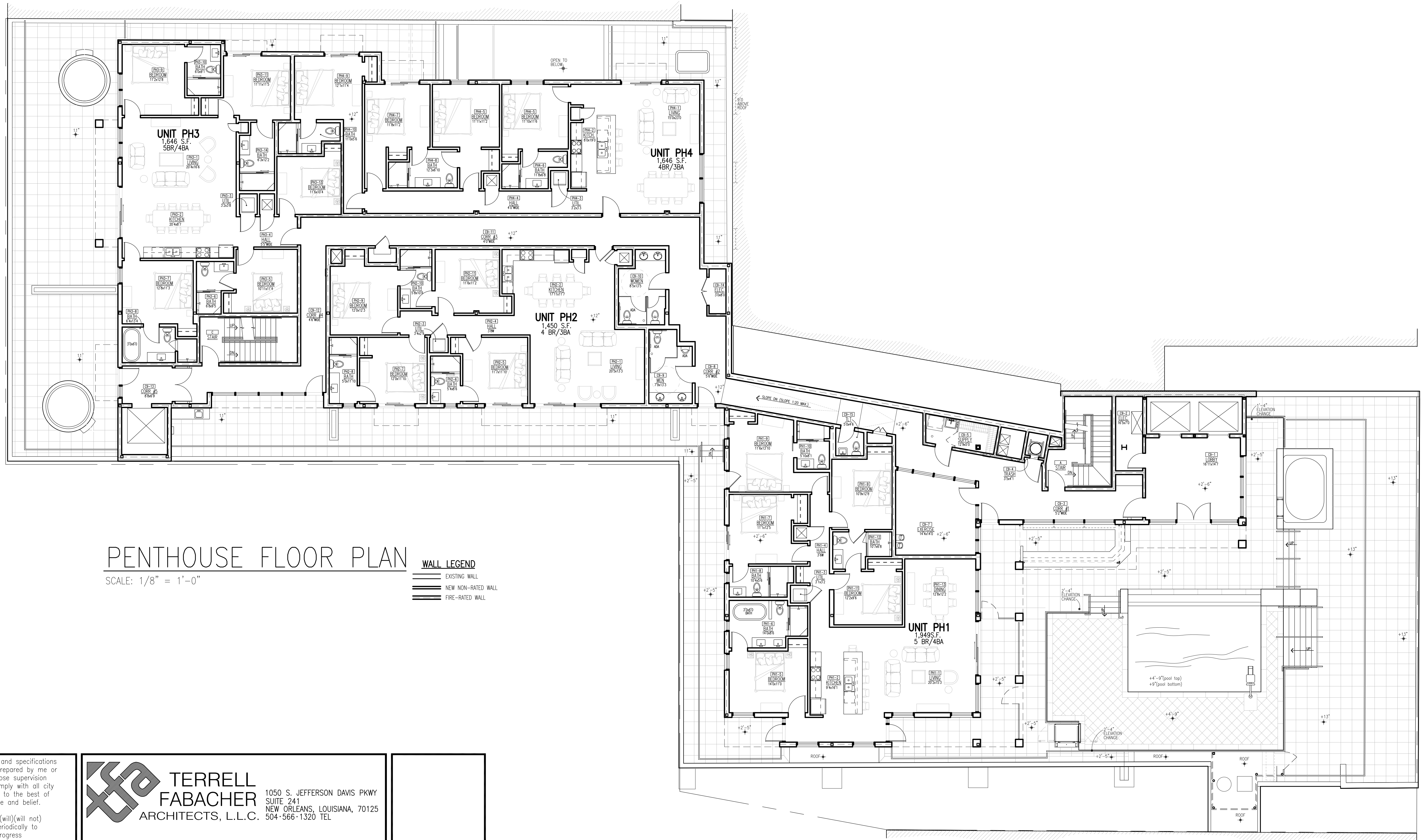
DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA





# PENTHOUSE FLOOR PLAN

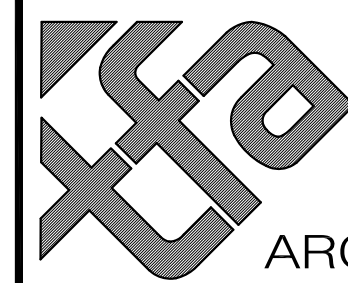
SCALE: 1/8" = 1'-0"

## WALL LEGEND

- EXISTING WALL
- NEW NON-RATED WALL
- FIRE-RATED WALL

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.9**

SHEET OF

CHECKED BY:

DRAWN BY:

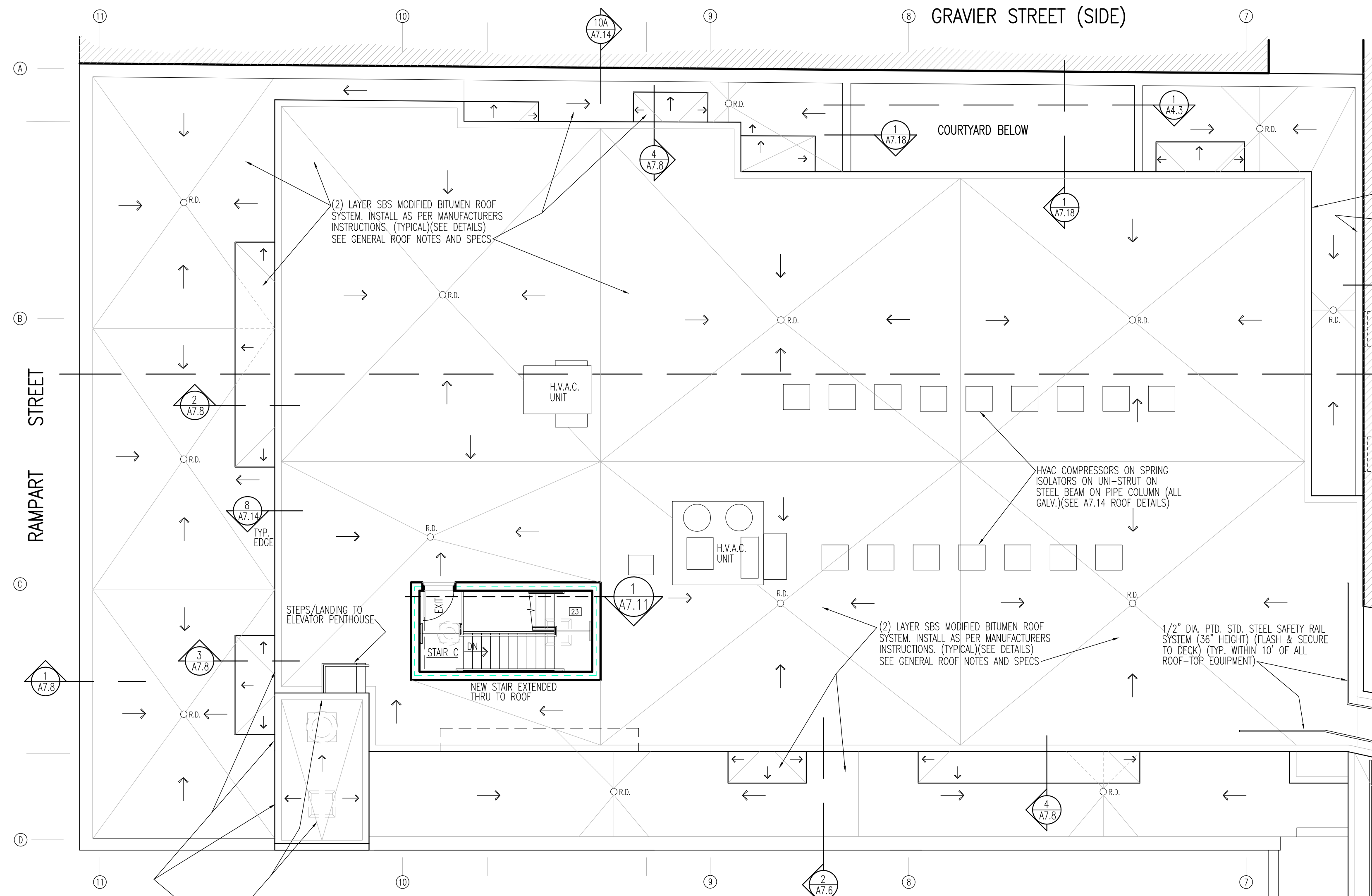
DATE: 4-2-20

JOB NO.:

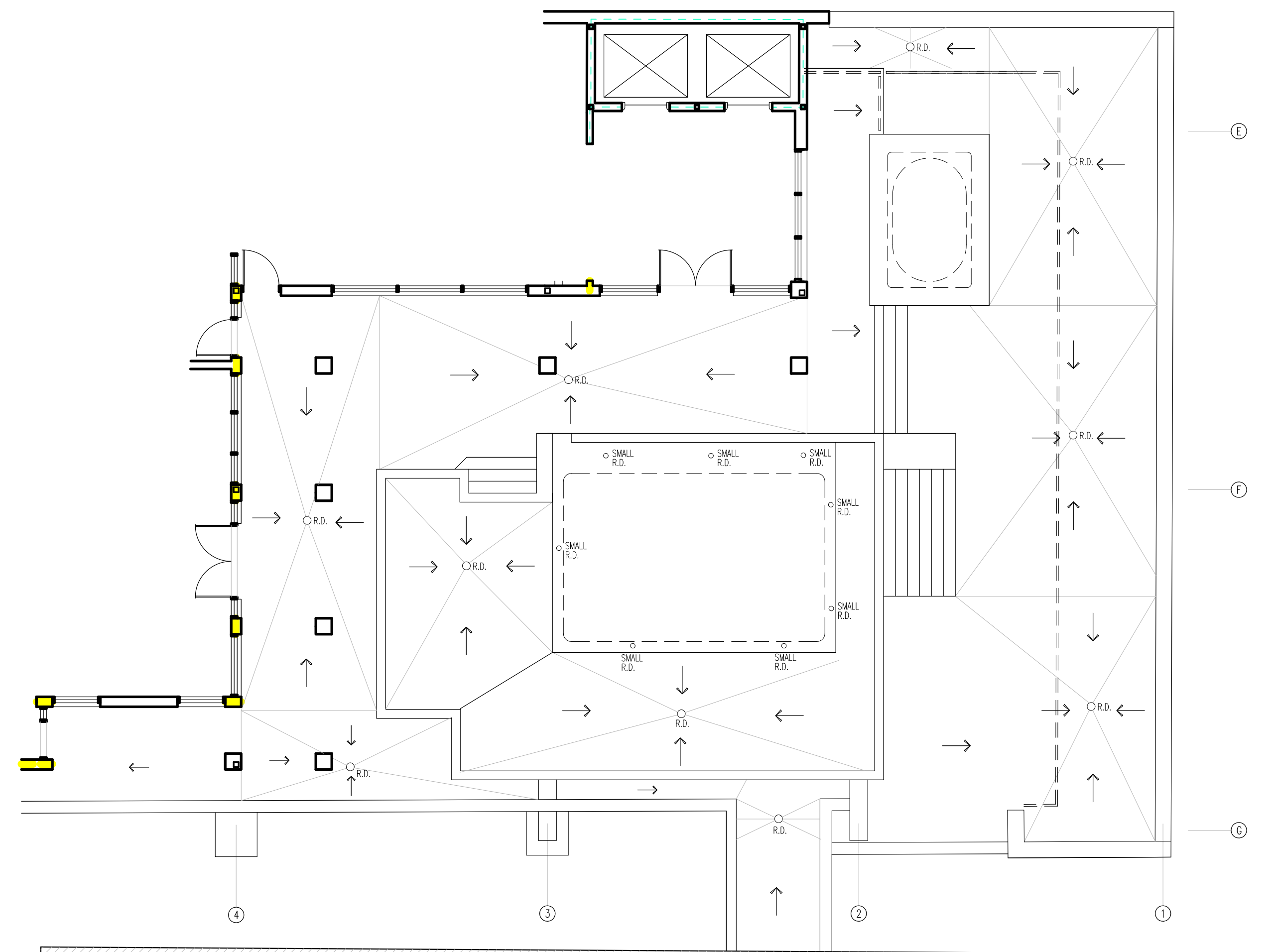
**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

**GENERAL ROOFING NOTES**

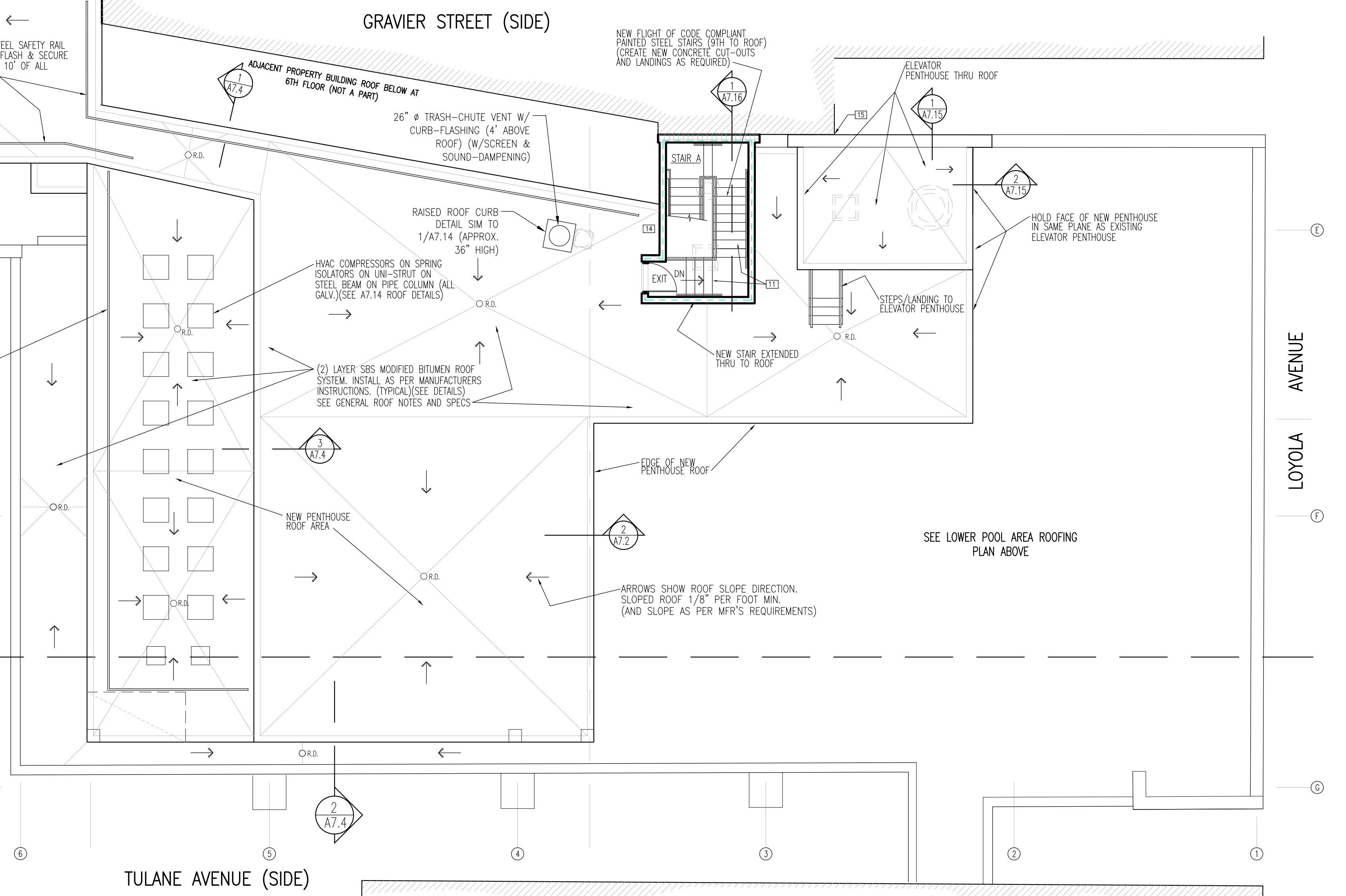
- THE FLAT ROOF SYSTEM & DETAILS WITHIN THIS PACKAGE ARE BASED UPON THE USE OF A "SIFLAST" 2 LAYER SBS MODIFIED BITUMEN ROOF SYSTEM ON A 5/8" LAYER OF DENS-DECK ROOF BD. ON A TAPERED LAYERS OF ROOF INSULATION BD.  
 "SIFLAST" - "PARADIENE 30 CR FR - FINISH PLY ON "PARADIENE 20 - BASE PLY WITH "VERAL-ALUMINUM FLASHING SYSTEM"  
 "GEORGIA-PACIFIC" - 5/8" DENSDECK PRIME ROOF BOARD  
 "SIFLAST" - "PARTHERM" POLYISOCYANURATE RIGID INSULATION BOARD  
 ALL ROOFING COMPONENTS/MATERIALS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS. PROVIDE SHOP DRAWINGS AND SUBMITAL WHICH DESCRIBES/DEMONSTRATES ALL ROOFING CONDITIONS. THE ROOFING CONTRACTOR MAY SUBMIT AN ALTERNATE SYSTEM FOR APPROVAL BY THE OWNER/ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DETAILING ON THE APPROVED ALTERNATE ROOF SYSTEM WHICH SHALL MEET ALL ACCEPTABLE ROOFING PRACTICES AND DETAILING BY N.R.C.A. AND S.M.A.C.N.A.
- ROOFING MANUFACTURER'S GUARANTEE: THE APPROVED ROOF SYSTEM SHALL CARRY A 25 YEAR GUARANTEE WHICH SHALL BE FURNISHED BY THE MANUFACTURER OF THE MATERIALS OF THE ROOF SYSTEM. IT SHALL ALSO STATE ACCEPTANCE OF THE INSTALLER OF THE ROOF SYSTEM. IT SHALL INCLUDE A LIST OF ALL PARTS INCLUDED IN THE GUARANTEE. IT SHALL GUARANTEE COST AND EXPENSE FOR ALL REPAIRS TO KEEP THE ROOFING SYSTEM IN A WATER TIGHT CONDITION FOR THE 25 YEAR TIME PERIOD.
- ROOFING CONTRACTOR'S GUARANTEE: THE ROOFING CONTRACTOR SHALL PROVIDE A 25 YEAR GUARANTEE ON INSTALLATION AND WORKMANSHIP OF THE ROOFING SYSTEM. IT SHALL GUARANTEE THE COST AND EXPENSE FOR ALL REPAIRS TO KEEP THE ROOFING SYSTEM IN A WATER TIGHT CONDITION FOR THE 25 YEAR GUARANTEE TIME PERIOD.
- THE ROOFING WORK FOR THIS PROJECT SHALL BE AN ALL-INCLUSIVE PACKAGE. IT SHALL INCLUDE ALL MATERIALS (I.E. - MEMBRANES, FLASHING, INSULATION BOARD, COUNTERFLASHING, PENETRATION FLASHINGS, ROOFING CURBS, PRIMERS, EXTENSION OF MECHANICAL PENETRATIONS, FASTENERS, ROOF PADS, PITCH POCKETS, ETC) AND ALL INSTALLATION PROCEDURES AS REQUIRED TO PROVIDE A COMPLETE WATER TIGHT ROOF CONDITION TO THE SATISFACTION OF THE OWNER/ARCHITECT.
- THE ROOF CONTRACTOR SHALL PROVIDE THE FOLLOWING TO THE OWNER ON A BI-WEEKLY SCHEDULE DURING THE INSTALLATION OF THE ROOF SYSTEM: A WRITTEN REPORT FROM THE ROOFING MANUFACTURER WHICH STATES THAT THE ROOFING SYSTEM IS BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND IT WILL MEET THE MANUFACTURERS GUARANTEE.
- ALL FASTENERS & DETAILING SHALL BE DESIGNED TO WITHSTAND 130 MPH WINDLOADS. STRUCTURAL MOVEMENT AT PARAPETS, OTHER MOVEMENT, EXPOSURE TO WEATHER AND SHALL BE WATER TIGHT. NO PONDING OF WATER WILL BE ACCEPTED UPON THE COMPLETED ROOF WILL BE ACCEPTED.



**ROOFING PLAN**  
SCALE: 1/8" = 1'-0"



**LOWER POOL AREA ROOFING PLAN**  
SCALE: 1/8" = 1'-0"



**TULANE AVENUE (SIDE)**

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**A2.10**

CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

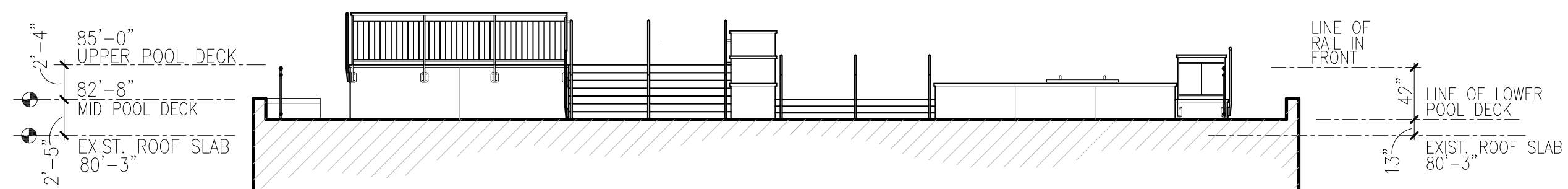
SHEET OF

**NEW SUITES HOTEL HISTORIC RESTORATION**

222 LOYOLA AVENUE

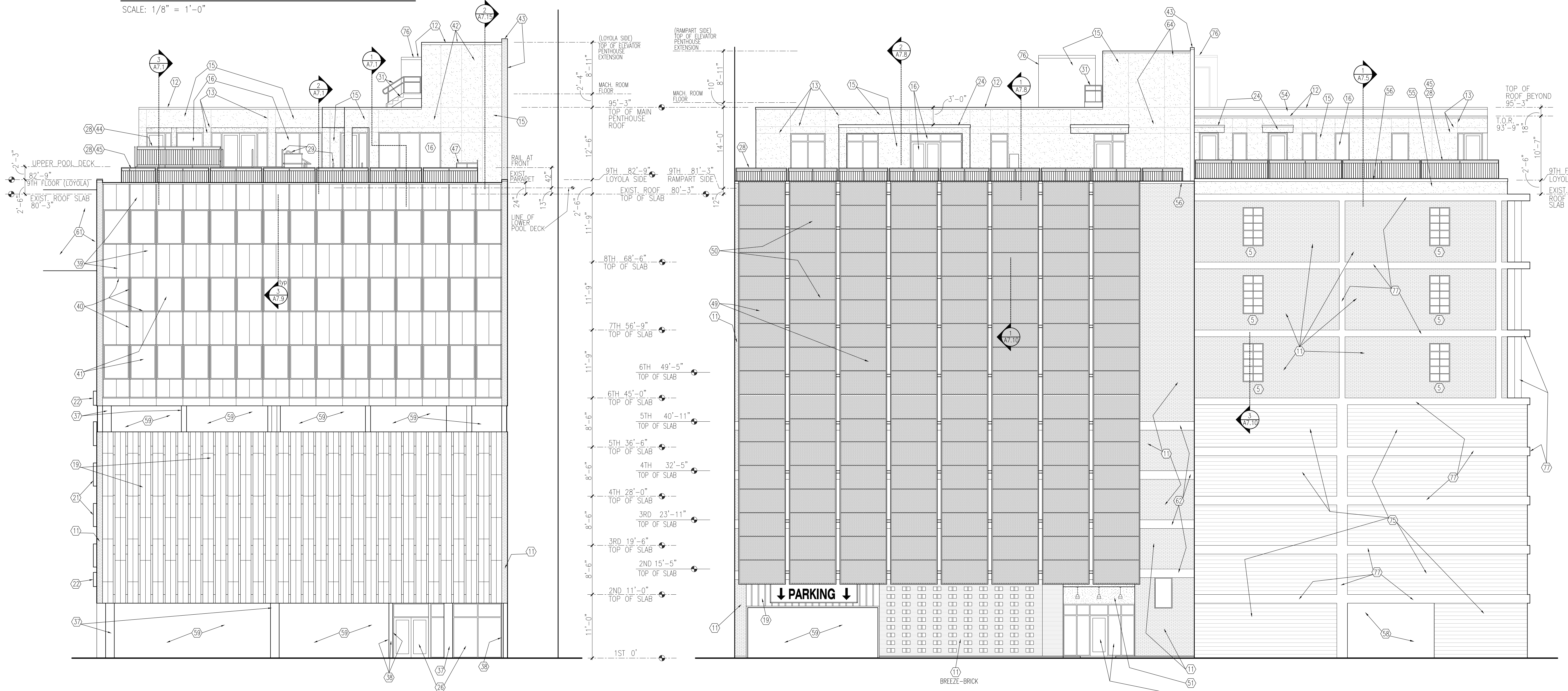
NEW ORLEANS, LOUISIANA





# 1. LOYOLA DECK ELEVATION

SCALE: 1/8" = 1'-0"



## LOYOLA AVE ELEVATION

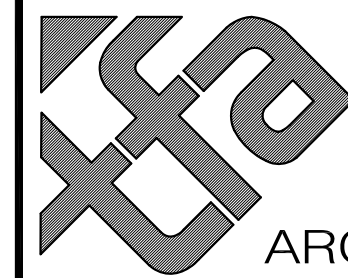
SCALE: 1/8" = 1'-0"

## RAMPART ST ELEVATION

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.  
1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

A3.1

SHEET OF

CHECKED BY:

DRAWN BY:

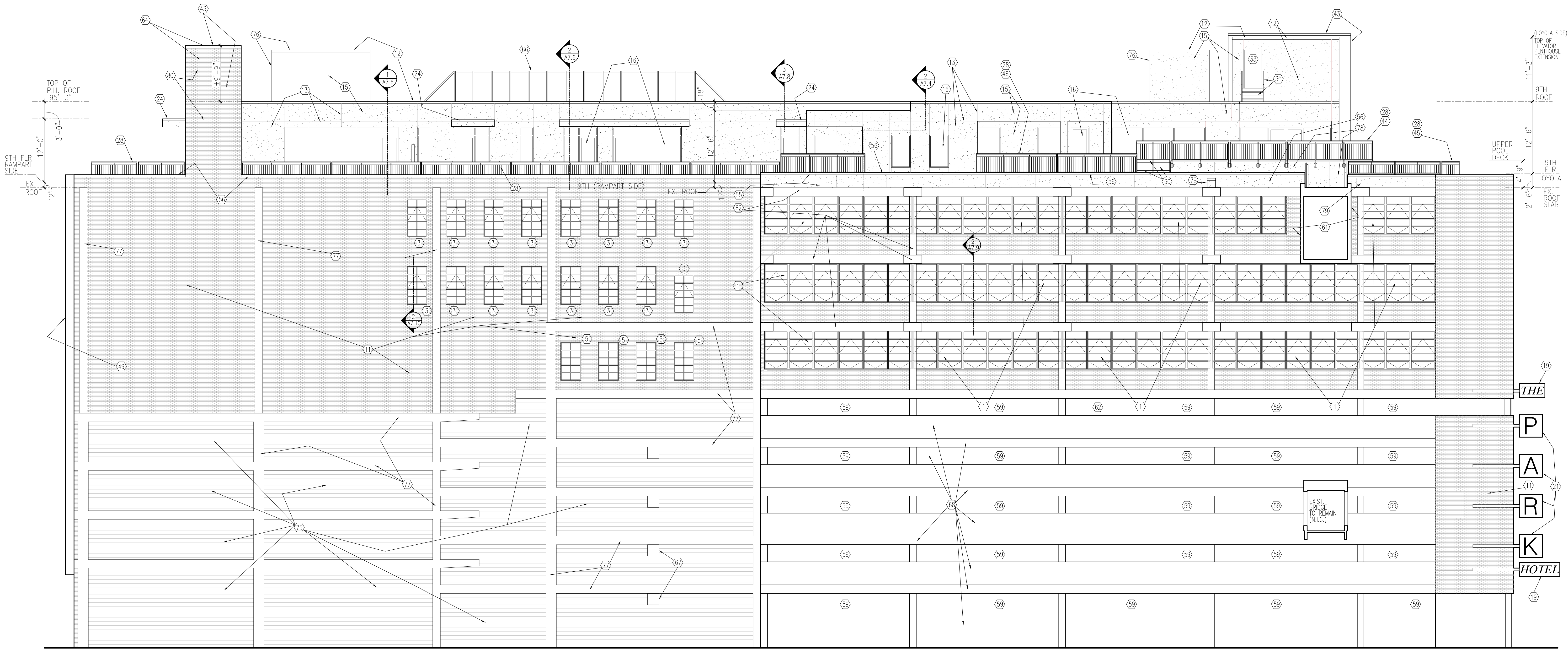
DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

NOT FOR CONSTRUCTION





# TULANE AVENUE ELEVATION

SCALE: 1/8" = 1'-0"

- ### GENERAL MASONRY NOTES
- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE CONTRACTOR AND THE SUBCONTRACTORS AN OUTLINE OF THE EXISTING MASONRY CONDITIONS AND TO INDICATE THE GENERAL SCOPE OF THE MASONRY RE-BUILDING, REPAIRS, AND CLEANING WORK TO BE PERFORMED. THE CONTRACTOR SHALL PROVIDE A DETAILED SCOPE OF WORK WITH THE SHOP DRAWING SUBMITTAL AND PRICING ESTIMATE FOR REVIEW/ APPROVAL BY THE OWNER, STRUCTURAL ENGINEER, ARCHITECT AND S.H.P.O. IT SHALL BE ALL-INCLUSIVE TO ACCOMPLISH ALL REQUIRED TO WORK NECESSARY FOR A STRUCTURALLY SOUND BUILDING CONSTRUCTED TO CLEAN FINISH CONDITIONS.
  - THE CONTRACTOR AND THE MASONRY SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL BUILDING CONDITIONS ALONG WITH THE PLANS AND BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER/ARCHITECT. THE MASONRY CONTRACTOR SHALL BE RESPONSIBLE FOR INCLUDING ALL REQUIRED WORK IN HIS COSTS AND SCOPE FOR PERFORMING ALL REMOVAL, RE-BUILDING, REPAIR, INFILL, CLEANING, ETC. AS NECESSARY TO ACCOMPLISH THE PROPOSED AND REQUIRED WORK WHETHER SPECIFICALLY SHOWN/NOTED ON THE ARCHITECTURAL DRAWINGS. IT SHALL BE A CLEAN, WATERTIGHT, STRUCTURALLY SOUND JOB COMPLETED TO FINISH CONDITIONS WITH FINAL APPROVAL BY THE OWNER/ARCHITECT/N.P.S./S.H.P.O.
  - THE CONTRACTOR AND MASONRY CONTRACTOR SHALL FIELD VERIFY ALL SUSPECT/COMPROMISED STRUCTURAL BRICK MASONRY CONDITIONS WITH THE STRUCTURAL ENGINEER IN THE FIELD PRIOR TO MOVING FORWARD WITH THE WORK. DRAWINGS SHALL BE DEVELOPED WHICH DEMONSTRATE THE WORK SCOPE. THE SCOPE SHALL BE APPROVED BY THE ENGINEER, OWNER, ARCHITECT, S.H.P.O., AND N.P.S. PRIOR TO COMMENCING WITH THE BRICK REMOVAL AND BE-BUILDING WORK
  - THE CONTRACTOR SHALL REFER TO THE STRUCTURAL DRAWINGS PRIOR TO ANY DEMOLITION/RE-BUILDING OF ANY MASONRY ELEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY QUESTIONABLE CONDITION PRIOR TO THE START OF ANY DEMOLITION/RE-BUILDING OR NEW WORK.
  - SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING MASONRY FEATURES TO REMAIN INTACT.
  - DEMOLITION SUBCONTRACTOR AND SHORING CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER AND ARCHITECT REGARDING ANY QUESTIONABLE AND UNSAFE CONDITIONS PRIOR TO PERFORMING THE WORK.
  - ALL POSSIBLE PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKMEN, AND PROPERTY FROM CONSTRUCTION HAZARDS DURING THE REBUILDING/REPAIRS OF THE MASONRY WALL AREAS.
  - REMOVE BRICK AND/OR C.M.U. AT ALL RECENTLY COVERED HISTORIC OPENINGS WHICH ARE SCHEDULED TO BE RE-OPENED ON THE PROPOSED PLANS.
  - ALL INFILL BRICK AT AREAS VISIBLE FROM THE INTERIOR/EXTERIOR AND MORTAR SHALL MATCH THE EXISTING IN VISUAL CHARACTERISTICS AND HARDNESS. ALL REPOINTING SHALL CONFORM TO THE NPS GUIDELINES. ALL CONSTRUCTION METHODS SHALL BE EMPLOYED PER THE NPS GUIDELINES. THE MORTAR MIX SHALL BE DEVELOPED PER THE GUIDELINES.
  - ALL EXTERIOR PAINT SHALL BE REMOVED USING A LOW PRESSURE POWER WASH AND GENTLE CHEMICALS FORMULATED FOR CLEANING PAINT OFF OF OLD HISTORIC BRICK MASONRY. PROCEED AS PER THE MFR'S INSTRUCTIONS.
  - ALL NEW MORTAR JOINTS SHALL MATCH THE EXISTING HISTORIC MORTAR JOINTS IN STRENGTH, COLOR, TEXTURE, SIZE, SHAPE, PROFILES, TOOLING DETAIL, AND OTHER VISUAL QUALITIES.
  - ALL MASONRY REPAIR AND CLEANING WORK SHALL BE PERFORMED IN ACCORDANCE WITH NATIONAL PARK SERVICE STANDARDS TO ENSURE COMPLIANCE FOR APPLICABLE TAX CREDITS. A.) PRESERVATION BRIEF NO. 1 - ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS; B.) PRESERVATION BRIEF NO. 2 - REPOINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS; AND C.) STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS: MASONRY.
  - IT IS ESSENTIAL THAT THE STRENGTH OF THE NEW MORTAR IS COMPATIBLE WITH THE HISTORIC MASONRY MORTAR. PROVIDE THE NECESSARY LABORATORY TESTING AND SUBMIT RESULTS TO THE ARCHITECT/OWNER FOR THEIR APPROVAL PRIOR TO PROCEEDING. REPOINTING MORTAR OF HIGH PORTLAND CEMENT CONTENT (UNLESS IT IS THE CONTENT OF THE HISTORIC MORTAR) IS NOT ALLOWED. THIS CAN CREATE A BOND THAT IS STRONGER THAN THE HISTORIC MATERIAL AND CAUSE DAMAGE AS A RESULT OF THE DIFFERING COEFFICIENT OF EXPANSION AND THE DIFFERENT POROSITY OF THE MATERIALS.
  - REMOVE ALL ABANDONED AND DETERIORATED ITEMS/COMPONENTS FROM BOTH THE INTERIOR AND EXTERIOR OF ALL MASONRY SURFACES THAT ARE NO LONGER USEFUL TO THE BUILDING. CLEAN AND REPAIR ALL INTERIOR AND EXTERIOR MASONRY SURFACES AND PREPARE THEM FOR NEW CLEAN FINISH SURFACES.
  - MOCK-UP/SAMPLE: PROVIDE A 32"x32" BRICK/MORTAR SAMPLE OF A REPAIRED AREA INTEGRATED INTO AN EXISTING HISTORIC BRICK WALL AREA TO DETERMINE COMPATIBILITY AND FINISH STANDARDS IN COORDINATION WITH THE OWNER AND ARCHITECT. CONDUCT A FIELD MEETING WITH THE ARCHITECT/OWNER AND GAIN THEIR APPROVAL PRIOR TO PROCEEDING WITH THE WORK.
  - SANDBLASTING, HIGH PRESSURE WATER BLASTING AND THE USE OF DAMAGE CAUSING CHEMICALS IS STRICTLY PROHIBITED ON THE HISTORIC BRICK MASONRY. (NO ABRASIVE METHODS ALLOWED)
  - THE USE OF POWER TOOLS TO REMOVE DETERIORATED MORTAR IS NOT EXPLICITLY PROHIBITED, BUT IT IS STRONGLY DISCOURAGED. IF THE MORTAR IS SO SOUND THAT POWER TOOLS ARE NECESSARY, THE MORTAR IS PROBABLY SOUND ENOUGH TO LEFT ALONE. BRAKING OUT DETERIORATED MORTAR BY HAND IS PREFERRED. METHODS TO ENSURE APPROVAL FOR STATE AND FEDERAL TAX CREDITS SHALL BE APPLIED FOR ALL MORTAR REPAIRS.
  - REMOVAL OF NON-DETERIORATED MORTAR FROM SOUND MORTAR JOINTS, THEN REPOINTING THAT JOINT IS PROHIBITED. SOUND MORTAR JOINTS SHALL REMAIN IN PLACE.
  - ARCHITECT ASSUMES NO RESPONSIBILITY/LIABILITY FOR MOISTURE, MOLD, AND/OR HUMIDITY ISSUES WITHIN OR SEEPING OUT OF EXISTING HISTORIC MASONRY WALLS.

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will) (will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

**A3.2**

CHECKED BY:

DRAWN BY:

DATE: 4-2-20

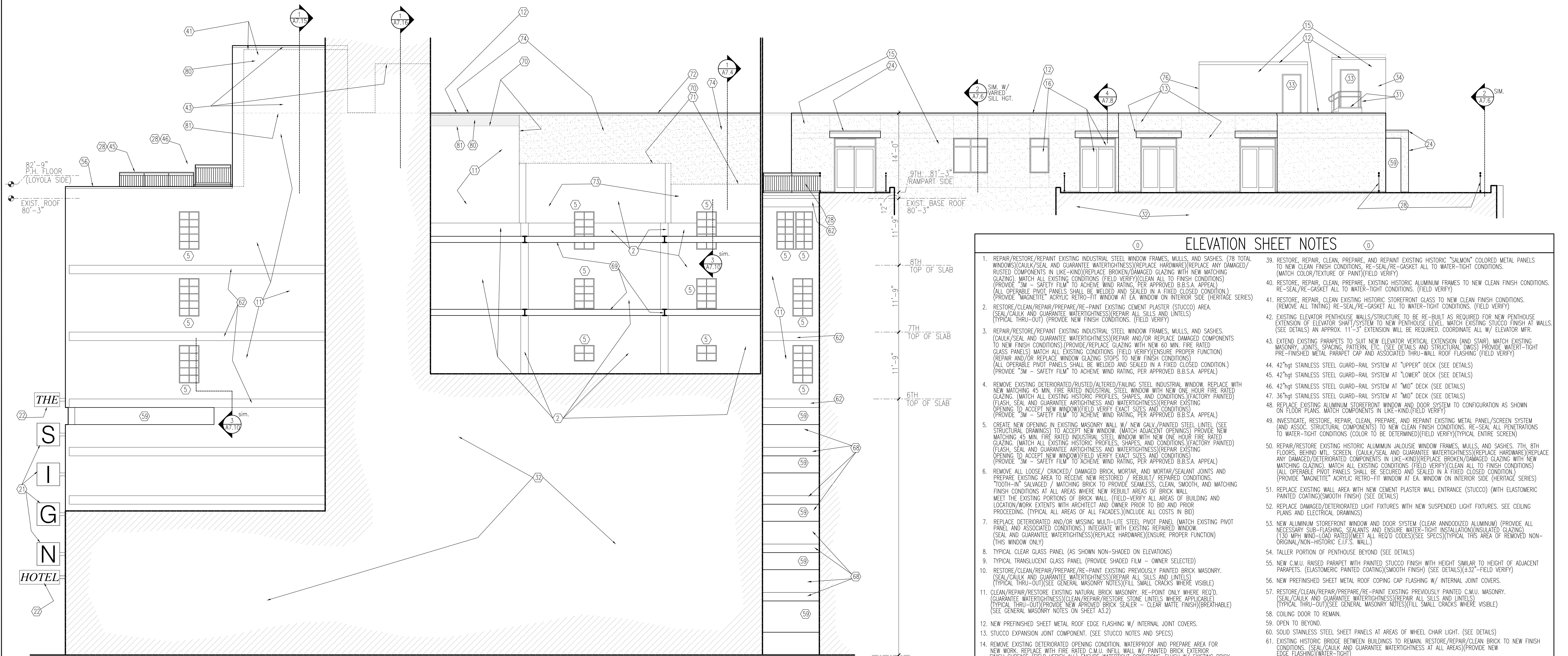
JOB NO.:

SHEET OF

**NEW SUITES HOTEL**  
**HISTORIC RESTORATION**  
**222 LOYOLA AVENUE**  
 NEW ORLEANS, LOUISIANA

NOT FOR CONSTRUCTION





- ### ELEVATION SHEET NOTES
- REPAIR/RESTORE/REPAINT EXISTING INDUSTRIAL STEEL WINDOW FRAMES, MULLS, AND SASHES. (78 TOTAL WINDOWS)(CAULK/SEAL AND GUARANTEE WATER/TIGHTNESS)(REPLACE ANY DAMAGED/RUSTED COMPONENTS IN LIKE-KIND)(REPLACE BROKEN/DAMAGED GLAZING WITH NEW MATCHING GLAZING). MATCH ALL EXISTING CONDITIONS (FIELD VERIFY)(CLEAN ALL TO FINISH CONDITIONS) (PROVIDE "SM - SAFETY FILM" TO ACHIEVE WIND RATING, PER APPROVED B.B.S.A. APPEAL). (ALL OPERABLE PIVOT PANELS SHALL BE WELDED AND SEALED IN A FIXED CLOSED CONDITION) (PROVIDE "MAGNETITE" ACRYLIC RETRO-FIT WINDOW AT EA. WINDOW ON INTERIOR SIDE (HERITAGE SERIES))
  - RESTORE/CLEAN/REPAIR/PREPARE/RE-PAIN EXISTING CEMENT PLASTER (STUCCO) AREA. (TYPICAL THRU-OUT) (PROVIDE NEW FINISH CONDITIONS. (FIELD VERIFY))
  - REPAIR/RESTORE/REPAINT EXISTING INDUSTRIAL STEEL WINDOW FRAMES, MULLS, AND SASHES. (CAULK/SEAL AND GUARANTEE WATER/TIGHTNESS)(REPAIR AND/OR REPLACE DAMAGED COMPONENTS TO NEW FINISH CONDITIONS)(PROVIDE/REPLACE GLAZING WITH NEW 60 MIN. FIRE RATED GLASS PANELS) MATCH ALL EXISTING CONDITIONS (FIELD VERIFY)(ENSURE PROPER FUNCTION) (REPAIR AND/OR REPLACE WINDOW GLAZING STOPS TO NEW FINISH CONDITIONS) (ALL OPERABLE PIVOT PANELS SHALL BE WELDED AND SEALED IN A FIXED CLOSED CONDITION) (PROVIDE "SM - SAFETY FILM" TO ACHIEVE WIND RATING, PER APPROVED B.B.S.A. APPEAL)
  - REMOVE EXISTING DETERIORATED/RUSTED/ALTERED/FAILING STEEL INDUSTRIAL WINDOW. REPLACE WITH NEW MATCHING 45 MIN. FIRE RATED INDUSTRIAL STEEL WINDOW WITH NEW ONE-HOUR FIRE RATED GLAZING. (MATCH ALL EXISTING HISTORIC PROFILES, SHAPES, AND CONDITIONS)(FACTORY PAINTED) (FLASH, SEAL AND GUARANTEE AIR/TIGHTNESS AND WATER/TIGHTNESS)(REPAIR EXISTING OPENING TO ACCEPT NEW WINDOW)(FIELD VERIFY EXACT SIZES AND CONDITIONS) (PROVIDE "SM - SAFETY FILM" TO ACHIEVE WIND RATING, PER APPROVED B.B.S.A. APPEAL)
  - CREATE NEW OPENING IN EXISTING MASONRY WALL W/ NEW GALV./PAINTED STEEL LINTEL (SEE STRUCTURAL DRAWINGS) TO ACCEPT NEW WINDOW. (MATCH ADJACENT OPENINGS) PROVIDE NEW MATCHING 45 MIN. FIRE RATED INDUSTRIAL STEEL WINDOW WITH NEW ONE-HOUR FIRE RATED GLAZING. (MATCH ALL EXISTING HISTORIC PROFILES, SHAPES, AND CONDITIONS)(FACTORY PAINTED) (FLASH, SEAL AND GUARANTEE AIR/TIGHTNESS AND WATER/TIGHTNESS)(REPAIR EXISTING OPENING TO ACCEPT NEW WINDOW)(FIELD VERIFY EXACT SIZES AND CONDITIONS) (PROVIDE "SM - SAFETY FILM" TO ACHIEVE WIND RATING, PER APPROVED B.B.S.A. APPEAL)
  - REMOVE ALL LOOSE / CRACKED / DAMAGED BRICK, MORTAR, AND MORTAR/SEALANT JOINTS AND PREPARE EXISTING AREA TO RECEIVE NEW RESTORED / REBUILT / REPAIRED CONDITIONS. "TOOTH-IN" SALVAGED / MATCHING BRICK TO PROVIDE SEAMLESS, CLEAN, SMOOTH, AND MATCHING FINISH CONDITIONS AT ALL AREAS WHERE NEW REBUILT AREAS OF BRICK WALL MEET THE EXISTING PORTIONS OF BRICK WALL. (FIELD-VERIFY ALL AREAS OF BUILDING AND LOCATION/WORK EXTENTS WITH ARCHITECT AND OWNER PRIOR TO BID AND PRIOR PROCEEDING. (TYPICAL ALL AREAS OF ALL FACADES)(INCLUDE ALL COSTS IN BID)
  - REPLACE DETERIORATED AND/OR MISSING MULTI-LITE STEEL PIVOT PANEL (MATCH EXISTING PIVOT PANEL AND ASSOCIATED CONDITIONS). INTEGRATE WITH EXISTING REPAIRED WINDOW. (SEAL AND GUARANTEE WATER/TIGHTNESS)(REPLACE HARDWARE)(ENSURE PROPER FUNCTION) (THIS WINDOW ONLY)
  - TYPICAL CLEAR GLASS PANEL (AS SHOWN NON-SHADED ON ELEVATIONS)
  - TYPICAL TRANSLUCENT GLASS PANEL (PROVIDE SHADED FILM - OWNER SELECTED)
  - RESTORE/CLEAN/REPAIR/PREPARE/RE-PAIN EXISTING PREVIOUSLY PAINTED BRICK MASONRY. (SEAL/CAULK AND GUARANTEE WATER/TIGHTNESS)(REPAIR ALL SILLS AND LINTELS) (TYPICAL THRU-OUT)(SEE GENERAL MASONRY NOTES)(FILL SMALL CRACKS WHERE VISIBLE)
  - CLEAN/REPAIR/RESTORE EXISTING NATURAL BRICK MASONRY. RE-POINT ONLY WHERE RED'D. (GUARANTEE WATER/TIGHTNESS)(CLEAN/REPAIR/RESTORE STONE LINTELS WHERE APPLICABLE) (TYPICAL THRU-OUT)(PROVIDE NEW APPROVED BRICK SEALER - CLEAR MATTE FINISH)(BREATHABLE) (SEE GENERAL MASONRY NOTES ON SHEET A3.2)
  - NEW PREFINISHED SHEET METAL ROOF EDGE FLASHING W/ INTERNAL JOINT COVERS.
  - STUCCO EXPANSION JOINT COMPONENT. (SEE STUCCO NOTES AND SPECS)
  - REMOVE EXISTING DETERIORATED OPENING CONDITION. WATERPROOF AND PREPARE AREA FOR NEW WORK. REPLACE WITH FIRE RATED C.M.U. IN-FILL WALL W/ PAINTED BRICK EXTERIOR FINISH SURFACE (FIELD VERIFY ALL) ENSURE WATER/TIGHT CONDITIONS. FLUSH W/ EXISTING BRICK. SEE STUCCO NOTES AND SPECS
  - NEW CEMENT PLASTER WALLS (STUCCO) WITH ELASTOMERIC PAINTED COATING. (SMOOTH FINISH) (130 MPH WIND-LOAD RATED)(MEET ALL RED'D CODES)(SEE SPECS)
  - NEW ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM (CLEAR ANODIZED ALUMINUM) (PROVIDE ALL NECESSARY SUB-FLASHING, SEALANTS AND ENSURE WATER-TIGHT INSTALLATION)(INSULATED GLAZING) (130 MPH WIND-LOAD RATED)(MEET ALL RED'D CODES)(SEE SPECS)
  - REMOVE EXISTING DETERIORATED METAL FLASHING AND REPLACE W/ NEW PREFINISHED METAL FLASHING (PROVIDE NECESSARY SUB-FLASHING, SEALANTS AND ENSURE WATER-TIGHT INSTALLATION)
  - NEW CONCRETE PAVER STEPS, LANDING, AND METAL RAILING SYSTEM. SEE DETAILS
  - RE-CONDITION/REPAIR/RE-ESTABLISH/RE-PAIN EXISTING METAL PANEL SCREEN TO NEW FINISH CONDITIONS. (FIELD VERIFY)(ENSURE SOUND CONNECTIONS AND STRUCTURAL CONDITIONS)
  - NEW EXTERIOR GRADE SCONCE LIGHTING (SEE ELECTRICAL DWGS)
  - RESTORE AND RE-ESTABLISH EXISTING SIGN AND ENSURE FUNCTION/MOUNT IS IN WORKING ORDER (F.V.)
  - NEW COMPLIMENTING SIGNAGE MATCH STYLE/TYP/ MATERIALS AS EXISTING SIGNAGE (SEE ELECTRICAL DWGS) "THE" AND "HOTEL" ARE THE NEW SIGNS.
  - CLEAN, REPAIR, RESTORE, RE-FURBISH EXISTING SIGNS (LETTERS). RE-ESTABLISH LIGHTING. CONFIRM STRUCTURAL MOUNTING CONDITIONS. REPLACE ANY DETERIORATED COMPONENTS. ENSURE WORKING CONDITIONS. FIELD VERIFY PRIOR TO FINAL PRICING
  - NEW PAINTED CEMENT PLASTER (STUCCO) CANOPY W/ PREFINISHED METAL FASCIA FLASHING. SEE DETAILS
  - WATER/TIGHT COPPER STEP FLASHING AND COUNTER-FLASHING WHERE BUILDINGS JOIN. (FIELD VERIFY) GUARANTEE WATER-TIGHT CONDITIONS. MEET ALL S.M.A.C.N.A. STANDARDS.
  - NEW INSULATED STOREFRONT WINDOW WALL AND ENTRANCE SYSTEM. (MATCH REMOVED SYSTEM IN "LIKE-KIND". (FIELD VERIFY AND ENSURE WATER/TIGHT INSTALLATION)
  - ROOF TOP SCREEN FENCE. SEE XX/X.XX
  - NEW STAINLESS STEEL 42"HT GUARD RAIL SYSTEM (SEE DETAILS AND PLANS) (MEET LATERAL LOAD CODE REQUIREMENTS)
  - NEW STAINLESS STEEL 36"HT HAND-RAIL SYSTEM (SEE DETAILS AND PLANS)
  - NEW ONE-PIECE COPPER STEP FLASHING SET IN BRICK JOINT ALONG ENTIRE REAR WALL. SEAL FOR AS REQUIRED FOR WATER-TIGHT CONDITIONS. MEET ALL S.M.A.C.N.A. STANDARDS. (RUN FOR A SMALL PORTION OF WASHINGTON AVE SIDE WALL)
  - NEW GALV. STEEL INDUSTRIAL STAIR/LANDING/RAIL SYSTEM SECURE TO ROOF (SEE DETAILS)
  - EXISTING ADJACENT HIGH-RISE BUILDING (COOR. ANY CONNECTING WORK W/ ADJACENT OWNER)
  - NEW EXTERIOR GRADE HOLLOW METAL DOOR AND FRAME SYSTEM (PAINTED)
  - NEW ELEVATOR SHAFT EXTENSION THRU ROOF. EXTERIOR FINISHES TO BE PAINTED STUCCO.
  - NEW EXTENSION OF EXISTING EXIT STAIR TOWER. EXTERIOR FINISHES TO BE PAINTED STUCCO WITH PREFINISHED METAL FLASHING FASCIA. (SEE DETAILS)(SET BACK ON ROOF)
  - BACKER ROD AND SEALANT AT ALL AREAS WHERE BUILDING JOIN. ENSURE WATER/TIGHT CONDITIONS AT ALL EDGES AND CONNECTIONS (FIELD VERIFY)
  - PREPARE/RE-PAIN EXISTING PREVIOUSLY PAINTED COLUMNS.
  - RESTORE, REPAIR, CLEAN ALL EXISTING MARBLE PANELS TO NEW CLEAN FINISH CONDITIONS (TYPICAL ENTIRE MARBLE PANEL WALL AREAS) (FIELD VERIFY)
  - RESTORE, REPAIR, CLEAN, PREPARE, AND REPAINT EXISTING HISTORIC "SALMON" COLORED METAL PANELS TO NEW CLEAN FINISH CONDITIONS. RE-SEAL/RE-GASKET ALL TO WATER-TIGHT CONDITIONS. (MATCH COLOR/TEXTURE OF PAINT)(FIELD VERIFY)
  - RESTORE, REPAIR, CLEAN, PREPARE, EXISTING HISTORIC ALUMINUM FRAMES TO NEW CLEAN FINISH CONDITIONS. RE-SEAL/RE-GASKET ALL TO WATER-TIGHT CONDITIONS. (FIELD VERIFY)
  - RESTORE, REPAIR, CLEAN EXISTING HISTORIC STOREFRONT GLASS TO NEW CLEAN FINISH CONDITIONS. (REMOVE ALL TINTING) RE-SEAL/RE-GASKET ALL TO WATER-TIGHT CONDITIONS. (FIELD VERIFY)
  - EXISTING ELEVATOR PENTHOUSE WALLS/STRUCTURE TO BE RE-BUILT AS REQUIRED FOR NEW PENTHOUSE EXTENSION OF ELEVATOR SHAFT SYSTEM TO NEW PENTHOUSE LEVEL. MATCH EXISTING STUCCO FINISH AT WALLS. (SEE DETAILS) AN APPROX. 11'-3" EXTENSION WILL BE REQUIRED. COORDINATE ALL W/ ELEVATOR MFR.
  - EXTEND EXISTING PARAPETS TO SUIT NEW ELEVATOR VERTICAL EXTENSION (AND STAIR). MATCH EXISTING MASONRY, JOINTS, SPACING, PATTERN, ETC. (SEE DETAILS AND STRUCTURAL DWGS) PROVIDE WATER-TIGHT PRE-FINISHED METAL PARAPET CAP AND ASSOCIATED THRU-WALL ROOF FLASHING (FIELD VERIFY)
  - 42"HT STAINLESS STEEL GUARD-RAIL SYSTEM AT "UPPER" DECK (SEE DETAILS)
  - 42"HT STAINLESS STEEL GUARD-RAIL SYSTEM AT "LOWER" DECK (SEE DETAILS)
  - 42"HT STAINLESS STEEL GUARD-RAIL SYSTEM AT "MID" DECK (SEE DETAILS)
  - 36"HT STAINLESS STEEL GUARD-RAIL SYSTEM AT "MID" DECK (SEE DETAILS)
  - REPLACE EXISTING ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM TO CONFIGURATION AS SHOWN ON FLOOR PLANS. MATCH COMPONENTS IN LIKE-KIND.(FIELD VERIFY)
  - INVESTIGATE, RESTORE, REPAIR, CLEAN, PREPARE, AND REPAINT EXISTING METAL PANEL/SCREEN SYSTEM (AND ASSOC. STRUCTURAL COMPONENTS) TO NEW CLEAN FINISH CONDITIONS. RE-SEAL ALL PENETRATIONS TO WATER-TIGHT CONDITIONS (COLOR TO BE DETERMINED)(FIELD VERIFY)(TYPICAL ENTIRE SCREEN)
  - REPAIR/RESTORE EXISTING HISTORIC ALUMINUM JALOUSIE WINDOW FRAMES, MULLS, AND SASHES. 7TH, 8TH FLOORS, BEHIND INT. SCREEN. (CAULK/SEAL AND GUARANTEE WATER/TIGHTNESS)(REPLACE HARDWARE)(REPLACE ANY DAMAGED/DETERIORATED COMPONENTS IN LIKE-KIND)(REPLACE BROKEN/DAMAGED GLAZING WITH NEW MATCHING GLAZING). MATCH ALL EXISTING CONDITIONS (FIELD VERIFY)(CLEAN ALL TO FINISH CONDITIONS) (ALL OPERABLE PIVOT PANELS SHALL BE SECURED AND SEALED IN A FIXED CLOSED CONDITION) (PROVIDE "MAGNETITE" ACRYLIC RETRO-FIT WINDOW AT EA. WINDOW ON INTERIOR SIDE (HERITAGE SERIES))
  - REPLACE EXISTING WALL AREA WITH NEW CEMENT PLASTER WALL ENTRANCE (STUCCO) (WITH ELASTOMERIC PAINTED COATING)(SMOOTH FINISH) (SEE DETAILS)
  - REPLACE DAMAGED/DETERIORATED LIGHT FIXTURES WITH NEW SUSPENDED LIGHT FIXTURES. SEE CEILING PLANS AND ELECTRICAL DRAWINGS)
  - NEW ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM (CLEAR ANODIZED ALUMINUM) (PROVIDE ALL NECESSARY SUB-FLASHING, SEALANTS AND ENSURE WATER-TIGHT INSTALLATION)(INSULATED GLAZING) (130 MPH WIND-LOAD RATED)(MEET ALL RED'D CODES)(SEE SPECS)(TYPICAL THIS AREA OF REMOVED NON-ORIGINAL/NON-HISTORIC E.I.F.S. WALL.)
  - TALLER PORTION OF PENTHOUSE BEYOND (SEE DETAILS)
  - NEW C.M.U. RAISED PARAPET WITH PAINTED STUCCO FINISH WITH HEIGHT SIMILAR TO HEIGHT OF ADJACENT PARAPETS. (ELASTOMERIC PAINTED COATING)(SMOOTH FINISH) (SEE DETAILS)(L32-FIELD VERIFY)
  - NEW PREFINISHED SHEET METAL ROOF COPING CAP FLASHING W/ INTERNAL JOINT COVERS.
  - RESTORE/CLEAN/REPAIR/PREPARE/RE-PAIN EXISTING PREVIOUSLY PAINTED C.M.U. MASONRY. (SEAL/CAULK AND GUARANTEE WATER/TIGHTNESS)(REPAIR ALL SILLS AND LINTELS) (TYPICAL THRU-OUT)(SEE GENERAL MASONRY NOTES)(FILL SMALL CRACKS WHERE VISIBLE)
  - COILING DOOR TO REMAIN.
  - OPEN TO BEYOND.
  - SOLID STAINLESS STEEL SHEET PANELS AT AREAS OF WHEEL CHAIR LIGHT. (SEE DETAILS)
  - EXISTING HISTORIC BRIDGE BETWEEN BUILDINGS TO REMAIN. RESTORE/REPAIR/CLEAN BRICK TO NEW FINISH CONDITIONS. (SEAL/CAULK AND GUARANTEE WATER/TIGHTNESS AT ALL AREAS)(PROVIDE NEW EDGE FLASHING)(WATER-TIGHT)
  - CLEAN/REPAIR/RESTORE EXISTING CONCRETE COLUMNS AND/OR CONCRETE FLOOR BEAMS AREAS (6TH, 7TH, 8TH, 9TH FLOORS & AS INDICATED)(GUARANTEE WATER/TIGHTNESS)(CLEAN/REPAIR/RESTORE STONE LINTELS WHERE APPLICABLE)(TYPICAL THRU-OUT)(PROVIDE NEW APPROVED CONCRETE SEALER - CLEAR MATTE FINISH)
  - EDGE OF MAIN PENTHOUSE ROOF WAY BEYOND. IN-LINE WITH EXISTING ELEVATOR ROOF.
  - EXISTING ELEVATOR PENTHOUSE WALLS/STRUCTURE TO BE RE-BUILT AS REQUIRED FOR NEW PENTHOUSE EXTENSION OF ELEVATOR SHAFT SYSTEM TO NEW PENTHOUSE LEVEL. MATCH EXISTING STUCCO AND/OR MASONRY FINISH AT WALLS. (SEE DETAILS) AN APPROX. 9'-9" EXTENSION WILL BE REQUIRED. COORDINATE ALL W/ ELEVATOR MANUFACTURER.
  - EXTEND EXISTING PARAPETS TO SUIT NEW ELEVATOR VERTICAL EXTENSION. MATCH EXISTING MASONRY, JOINTS, SPACING, PATTERN, ETC. SEE DETAILS AND STRUCTURAL DWGS) PROVIDE WATER-TIGHT PRE-FINISHED METAL PARAPET CAP AND ASSOCIATED THRU-WALL ROOF FLASHING (FIELD VERIFY)
  - VENT OPENINGS TO REMAIN
  - NO WORK THIS FACADE AREA AT PARKING FLOORS 1 THRU 5. OPEN AREA WITH CHAIN-LINK FENCE. THIS IS PROPERTY ON ANOTHER OWNER.
  - EXISTING STEEL BEAMS ON PROPERTY OF ADJACENT OWNER. TO REMAIN.
  - LINE OF EXISTING PARAPET.
  - ALIGN NEW STUCCO WITH LINE OF EXISTING STUCCO WALL. PROVIDE STUCCO EXPANSION JOINT COMPONENT.
  - PREFINISHED ROOF EDGE FLASHING AT LEVEL OF MAIN PENTHOUSE ROOF. (TOP OF ROOF)
  - NEW CEMENT PLASTER WALL (STUCCO) ON SELF-FURRING METAL LATH WITH ELASTOMERIC PAINTED COATING. ON TOP OF PREPARED/WATER-PROOFED EXISTING MASONRY WALL. SEE STUCCO NOTES AND SPECS (SMOOTH FINISH)
  - NEW CEMENT PLASTER WALL (STUCCO) ON SELF-FURRING METAL LATH WITH ELASTOMERIC PAINTED COATING. ON NEW 12" C.M.U. (W/ CONC./RE-BAR FILLED CELLS) SEE STUCCO NOTES AND SPECS (SMOOTH FINISH) (SEE STRUCTURAL DRAWINGS)
  - RESTORE/CLEAN/REPAIR/PREPARE/RE-PAIN EXISTING PREVIOUSLY PAINTED C.M.U. MASONRY. (SEAL/CAULK AND GUARANTEE WATER/TIGHTNESS)(REPAIR ALL SILLS AND LINTELS) (TYPICAL THRU-OUT)(SEE GENERAL MASONRY NOTES)(FILL SMALL CRACKS WHERE VISIBLE) (FLOORS 1, 2, 3, 4, 5)
  - LINE OF "ROOF-TOP STAIR" EXTENSION BEYOND. (CODE COMPLIANT STAIR)
  - RESTORE/CLEAN/REPAIR/PREPARE/RE-PAIN EXISTING PREVIOUSLY PAINTED CONCRETE RIBBON BEAMS AND COLUMNS (SEAL/CAULK AND GUARANTEE WATER/TIGHTNESS)(TYPICAL THRU-OUT THESE FACADES) (FILL SMALL CRACKS WHERE VISIBLE)
  - NEW C.M.U. RAISED PARAPET WITH PAINTED STUCCO FINISH AT SIDES OF UPPER POOL DECK (ELASTOMERIC PAINTED COATING)(SMOOTH FINISH) (SEE DETAILS)(L32-FIELD VERIFY)
  - PREFINISHED SHEET METAL ROOF EDGE FLASHING/COUNTER-FLASHING AND GAP OVER C.M.U. SUB-COVER-BASE BASE WITH PAINTED CEMENT PLASTER WALLS. (GUARANTEE WATER-TIGHT)(MEET S.M.A.C.N.A. STANDARDS)
  - NEW BRICK MASONRY WALL EXTENSION ON C.M.U. SUB-WALL (MATCH EXISTING MASONRY/MORTAR,ETC) (SEE STRUCTURAL DRAWINGS FOR RE-INF. AND CONNECTIONS)
  - ALIGN NEW MASONRY WITH LINE OF EXISTING MASONRY WALL. PROVIDE EXPANSION JOINT.

## GRAVIER ST ELEVATION

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will) not be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

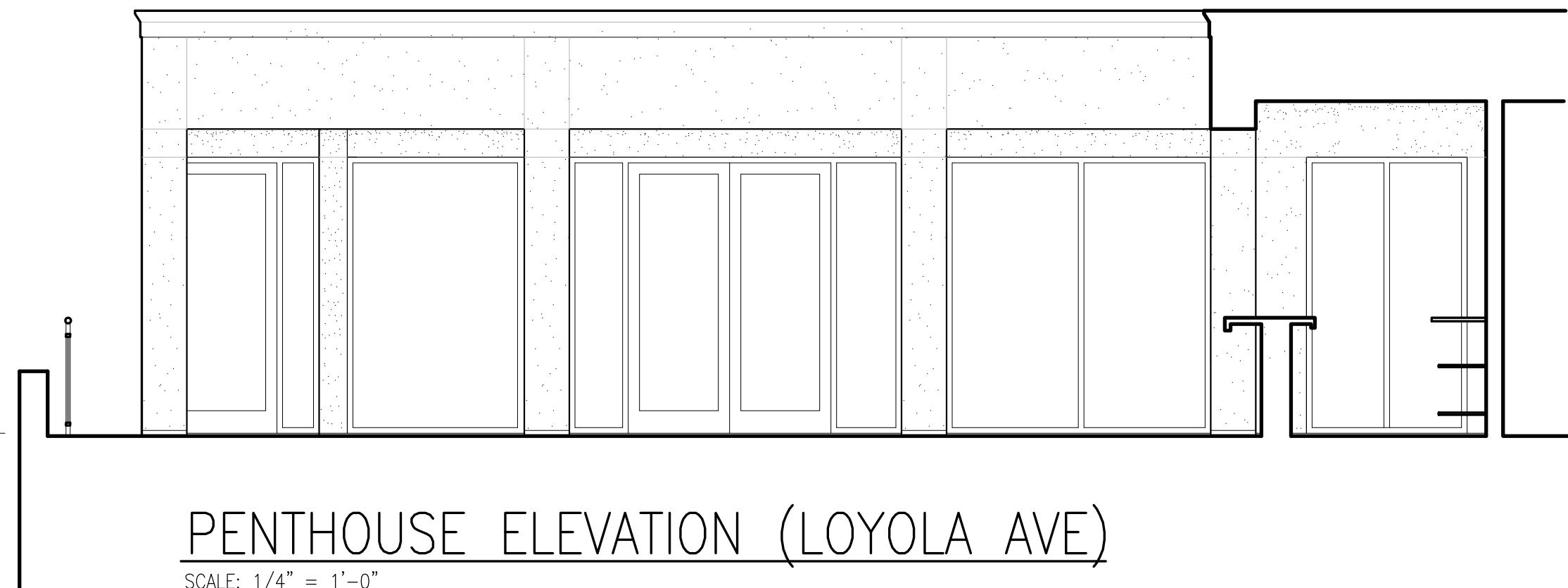
**A3.3**  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

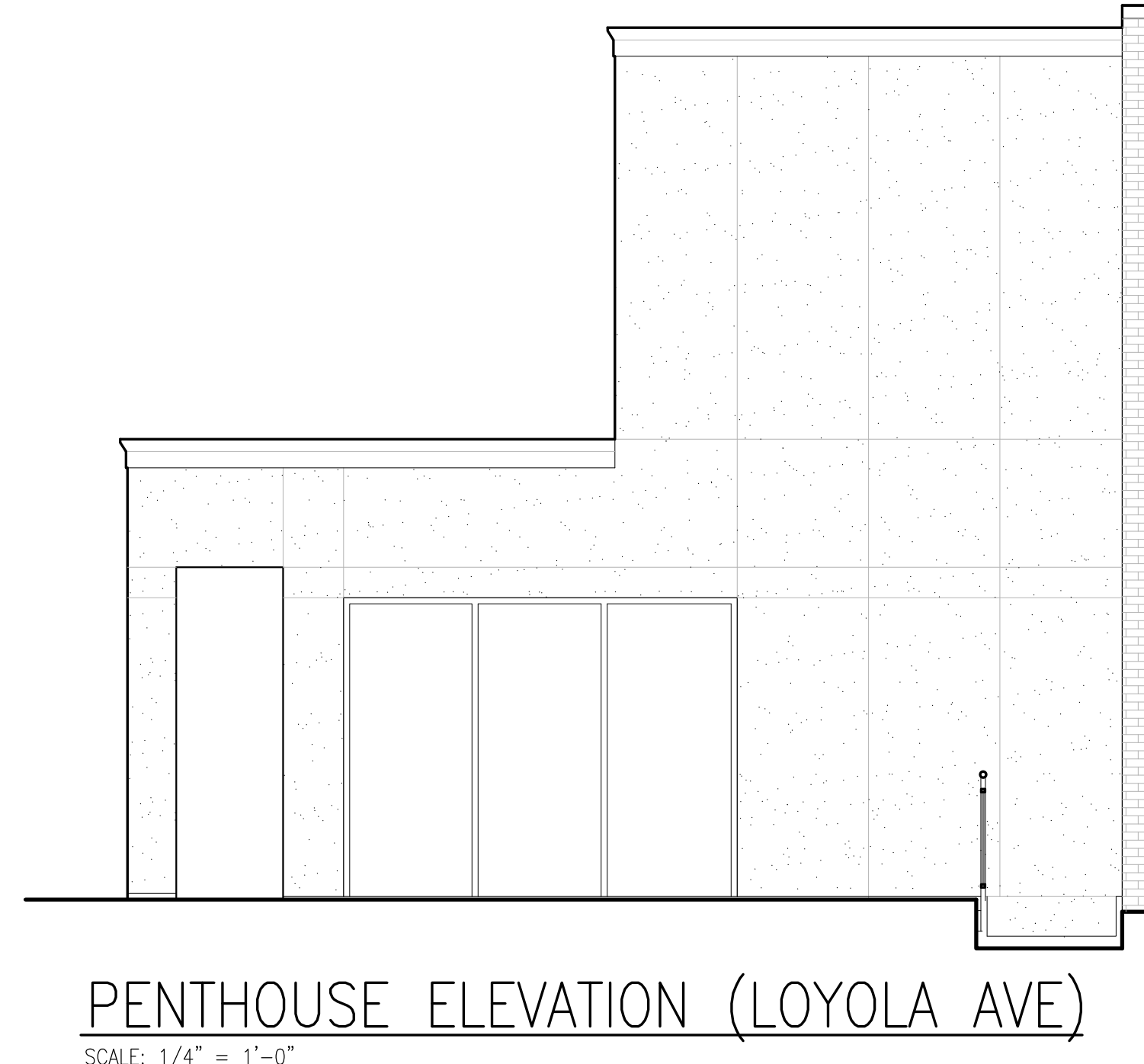
**NEW SUITES HOTEL**  
**HISTORIC RESTORATION**  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA

NOT FOR CONSTRUCTION

82'-9"  
9TH FLOOR (LOYOLA)



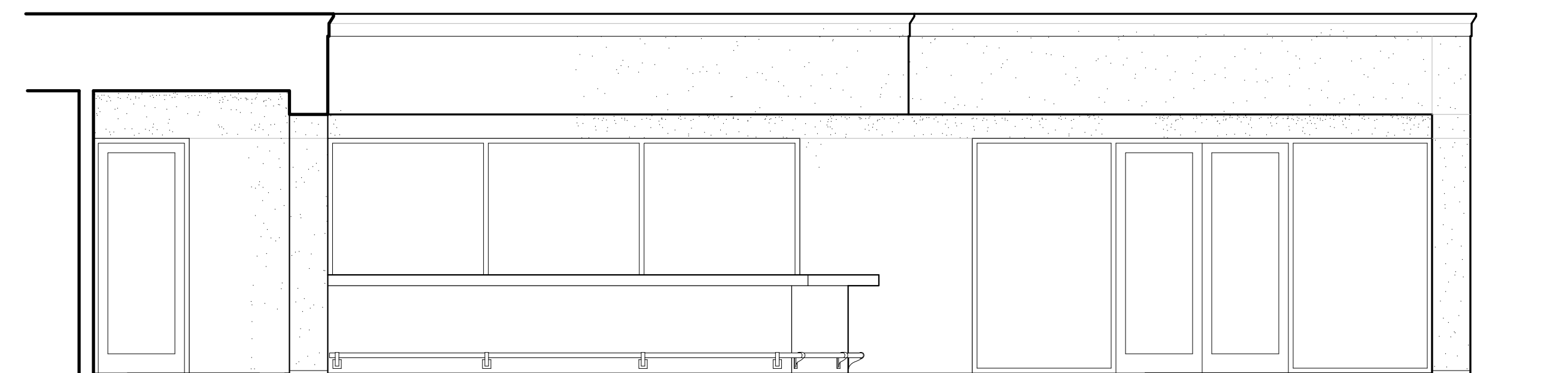
PENTHOUSE ELEVATION (LOYOLA AVE)  
SCALE: 1/4" = 1'-0"



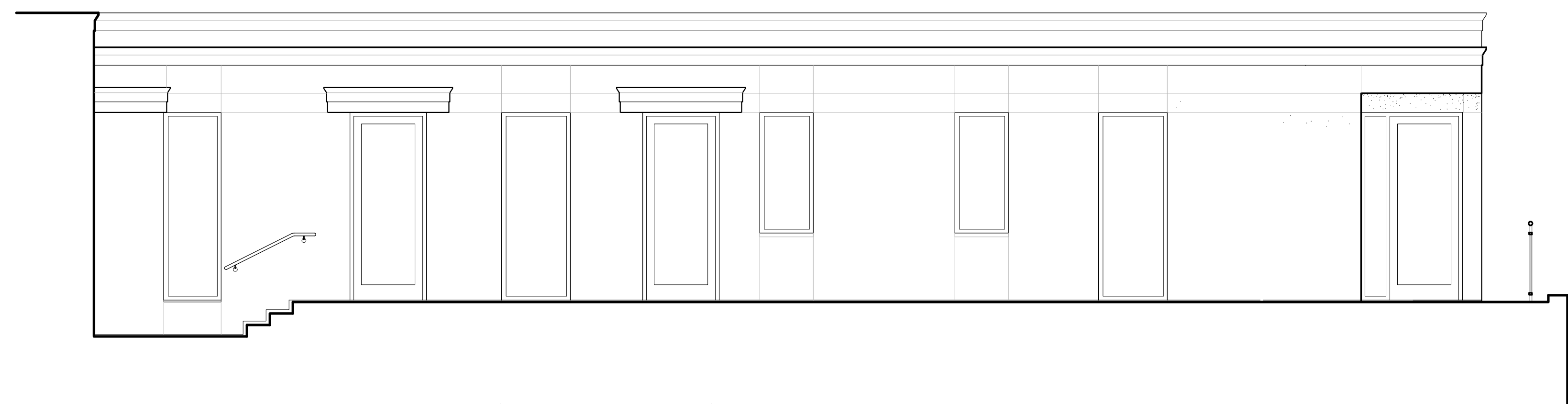
PENTHOUSE ELEVATION (LOYOLA AVE)  
SCALE: 1/4" = 1'-0"



PENTHOUSE ELEVATION (TULANE AVE)  
SCALE: 1/4" = 1'-0"



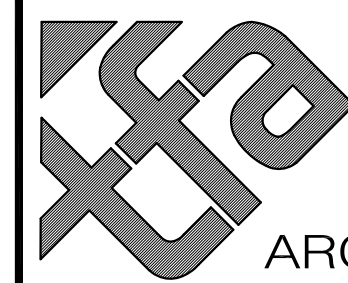
PENTHOUSE ELEVATION (TULANE AVE)  
SCALE: 1/4" = 1'-0"



PENTHOUSE ELEVATION (RAMPART ST)  
SCALE: 1/4" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.  
1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

A3.4

SHEET OF

CHECKED BY:

DRAWN BY:

DATE:  
4-2-20

JOB NO.:

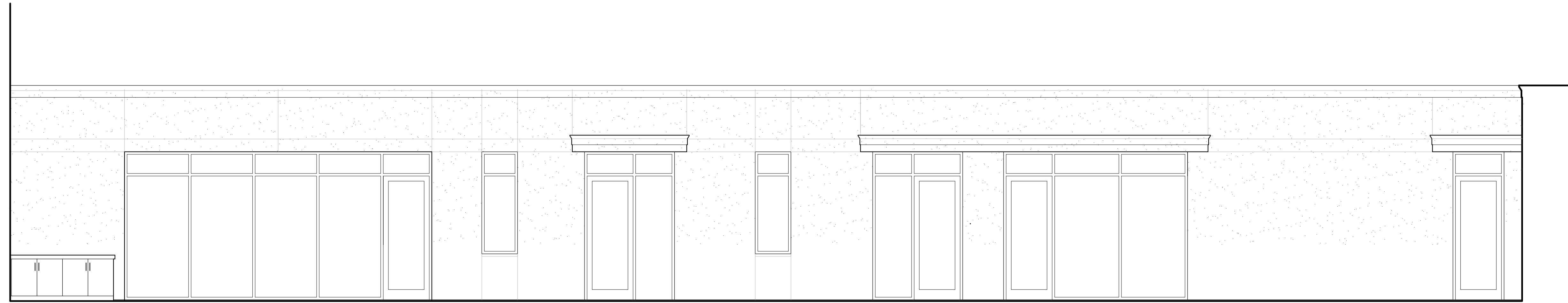
**NEW SUITES HOTEL  
HISTORIC RESTORATION  
222 LOYOLA AVENUE**

NEW ORLEANS,

LOUISIANA

NOT FOR CONSTRUCTION





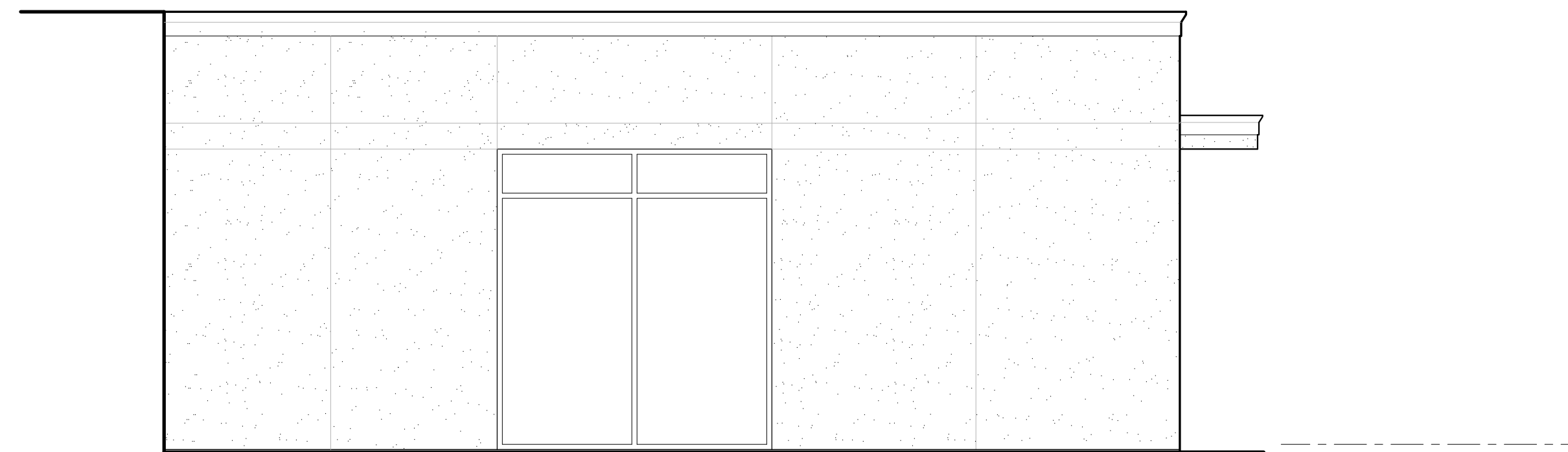
PENTHOUSE ELEVATION (TULANE AVE)

SCALE: 1/4" = 1'-0"



PENTHOUSE ELEVATION (RAMPART ST)

SCALE: 1/4" = 1'-0"



PENTHOUSE ELEVATION (LOYOLA AVE)

SCALE: 1/4" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

A3.5

SHEET OF

CHECKED BY:

DRAWN BY:

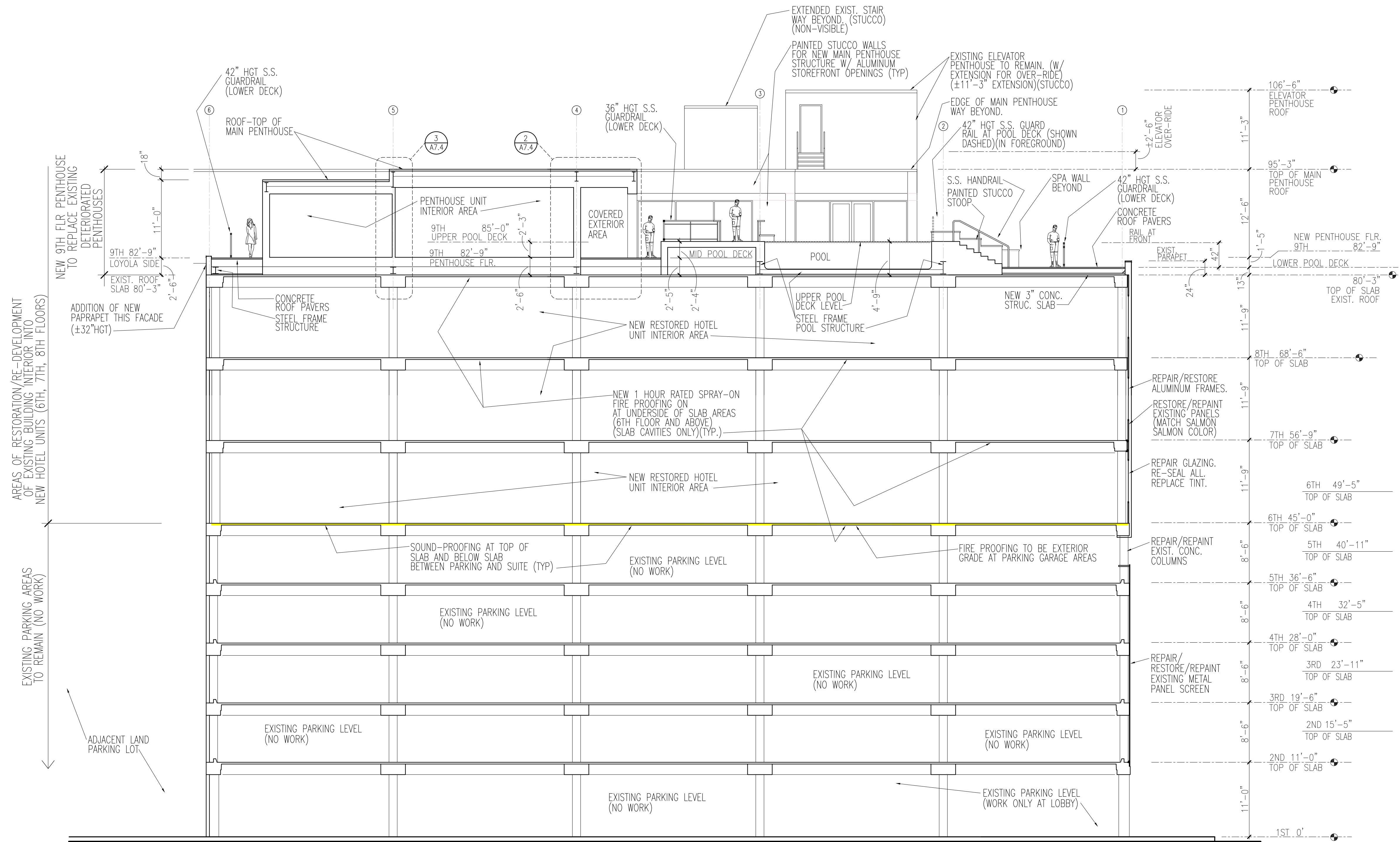
DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE

NEW ORLEANS,

LOUISIANA



1. SECTION AT LOYOLA STREET BUILDING PORTION  
 SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER**  
 ARCHITECTS, L.L.C.  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

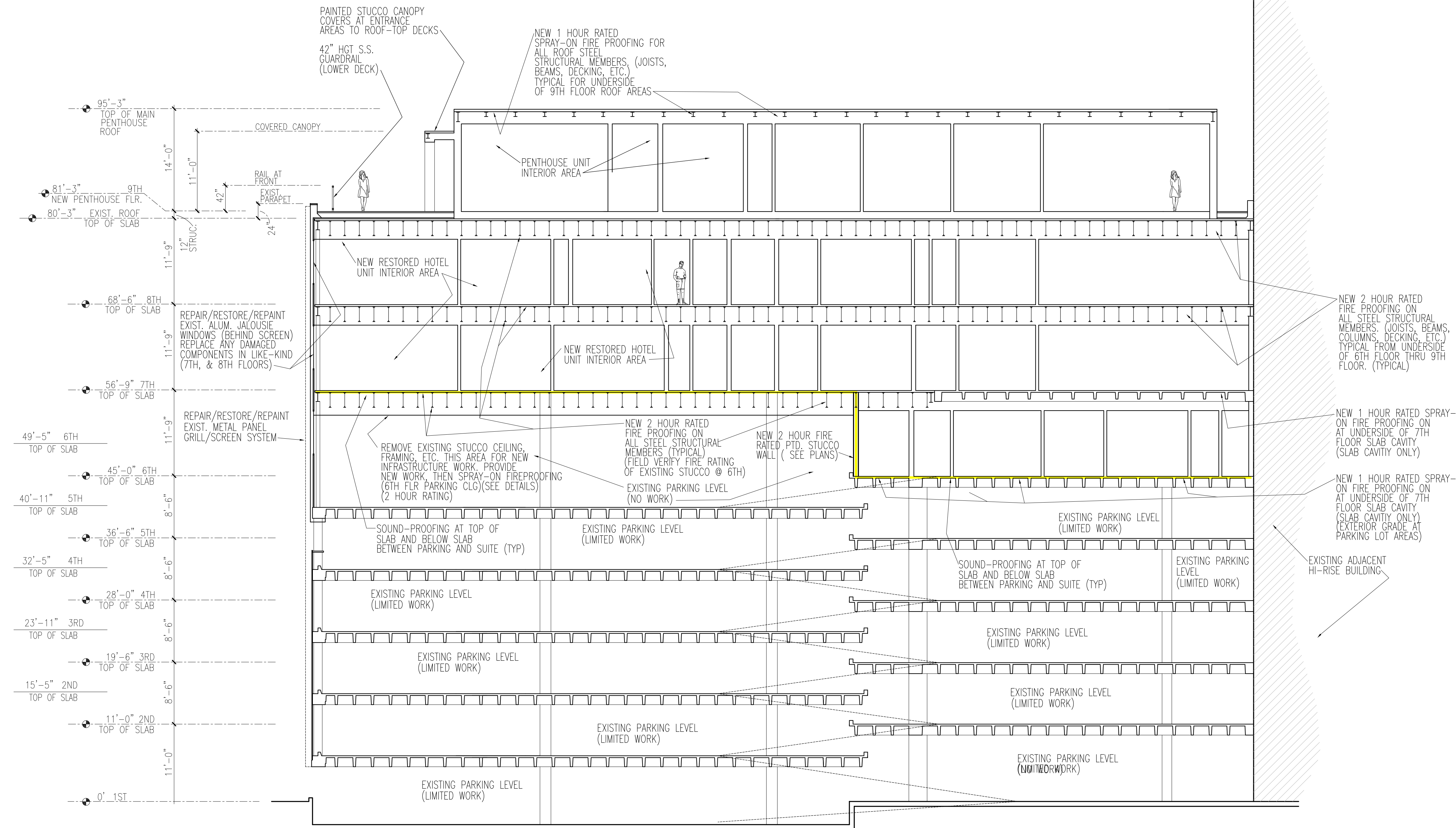
**A4.1**  
 SHEET OF

CHECKED BY:  
 DRAWN BY:  
 DATE: 4-2-20  
 JOB NO.:

**NEW SUITES HOTEL**  
 HISTORIC RESTORATION  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA

PRELIMINARY  
 NOT FOR CONSTRUCTION





1. SECTION THRU RAMPART STREET BUILDING PORTION

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.  
1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

A4.2

SHEET OF

CHECKED BY:

DRAWN BY:

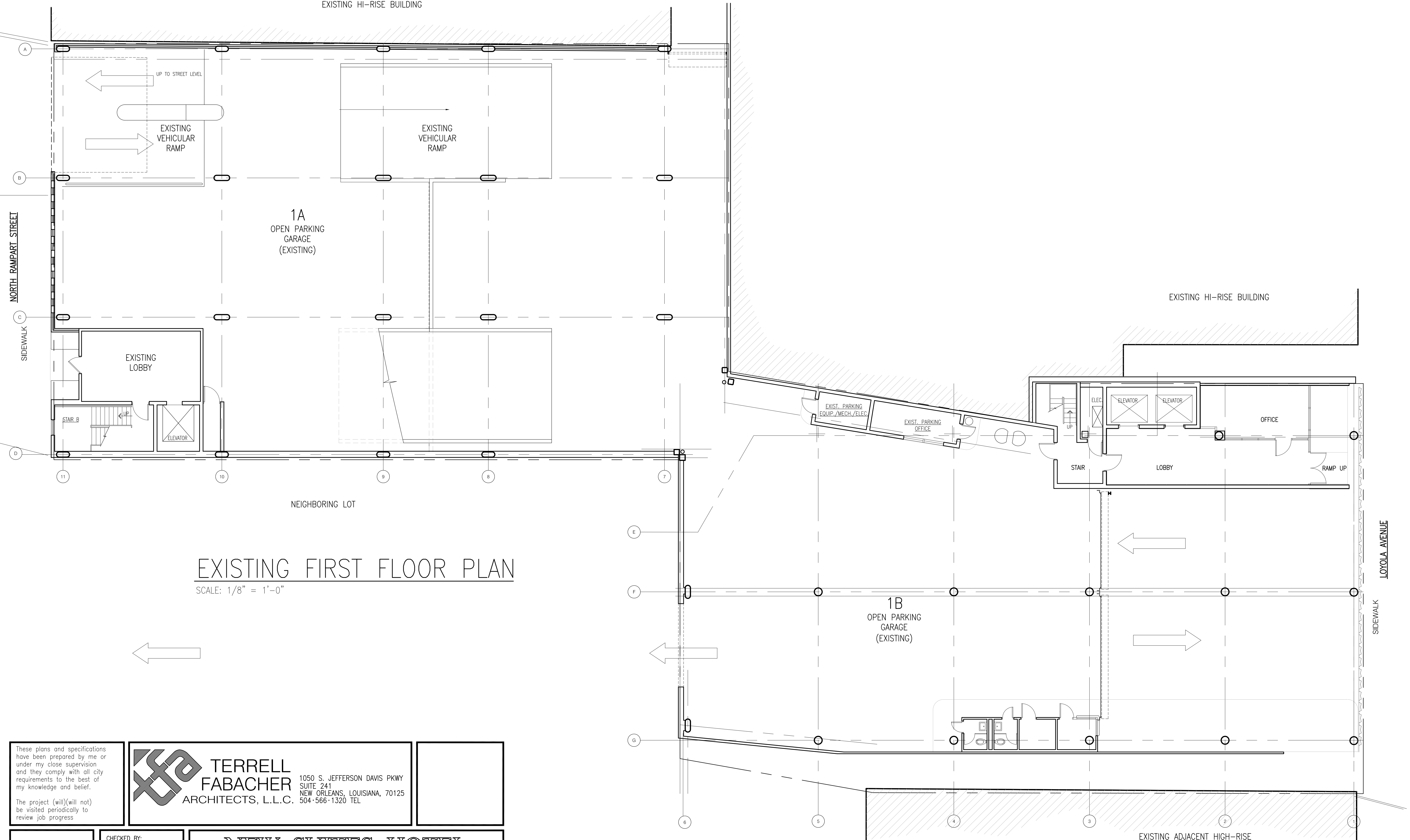
DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

PRELIMINARY  
NOT FOR CONSTRUCTION

GRAVIER STREET (SIDE)  
EXISTING HI-RISE BUILDING



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

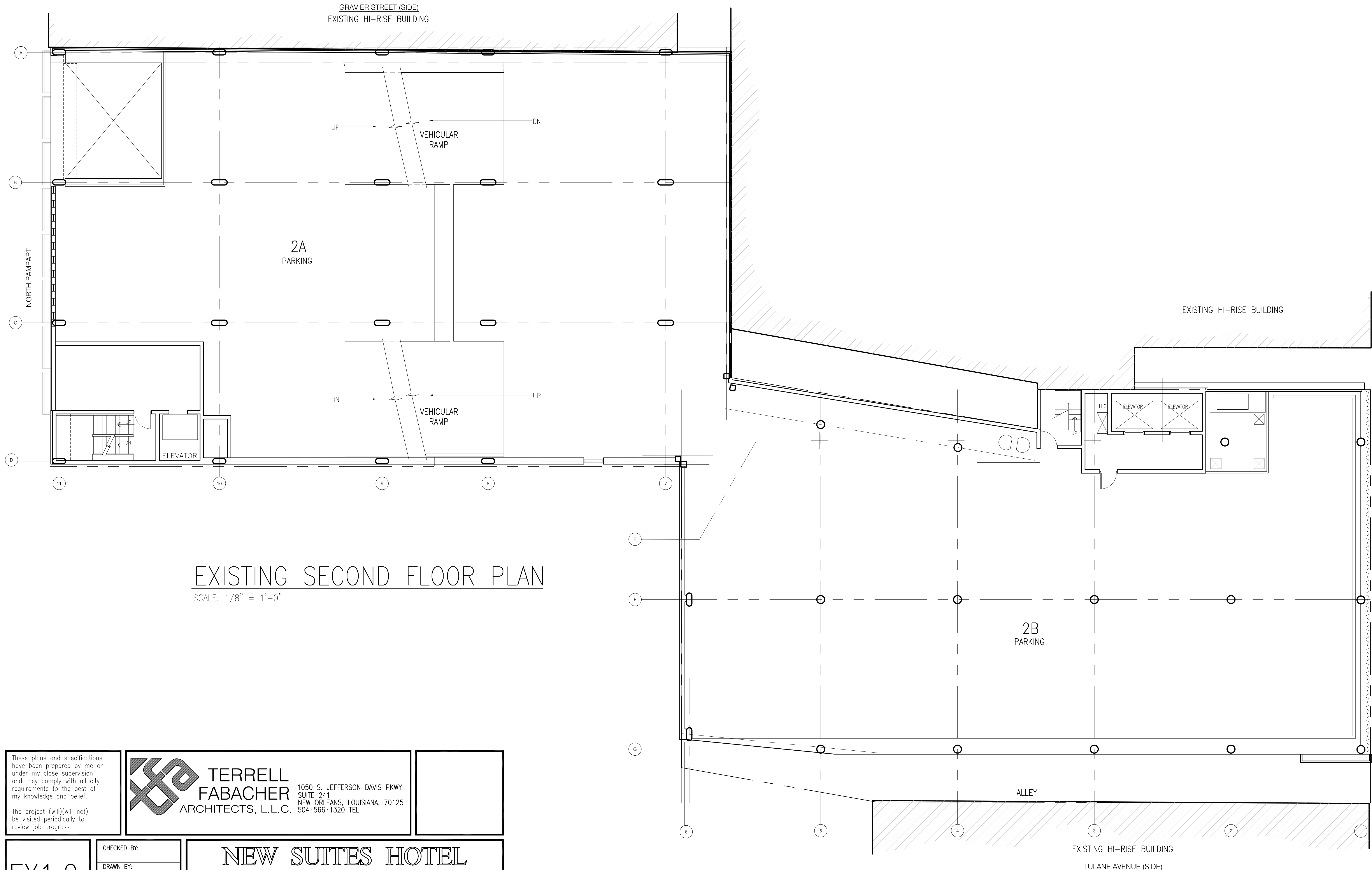
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL

EX1.1  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL HISTORIC RESTORATION**  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA





EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

EX1.2

SHEET OF

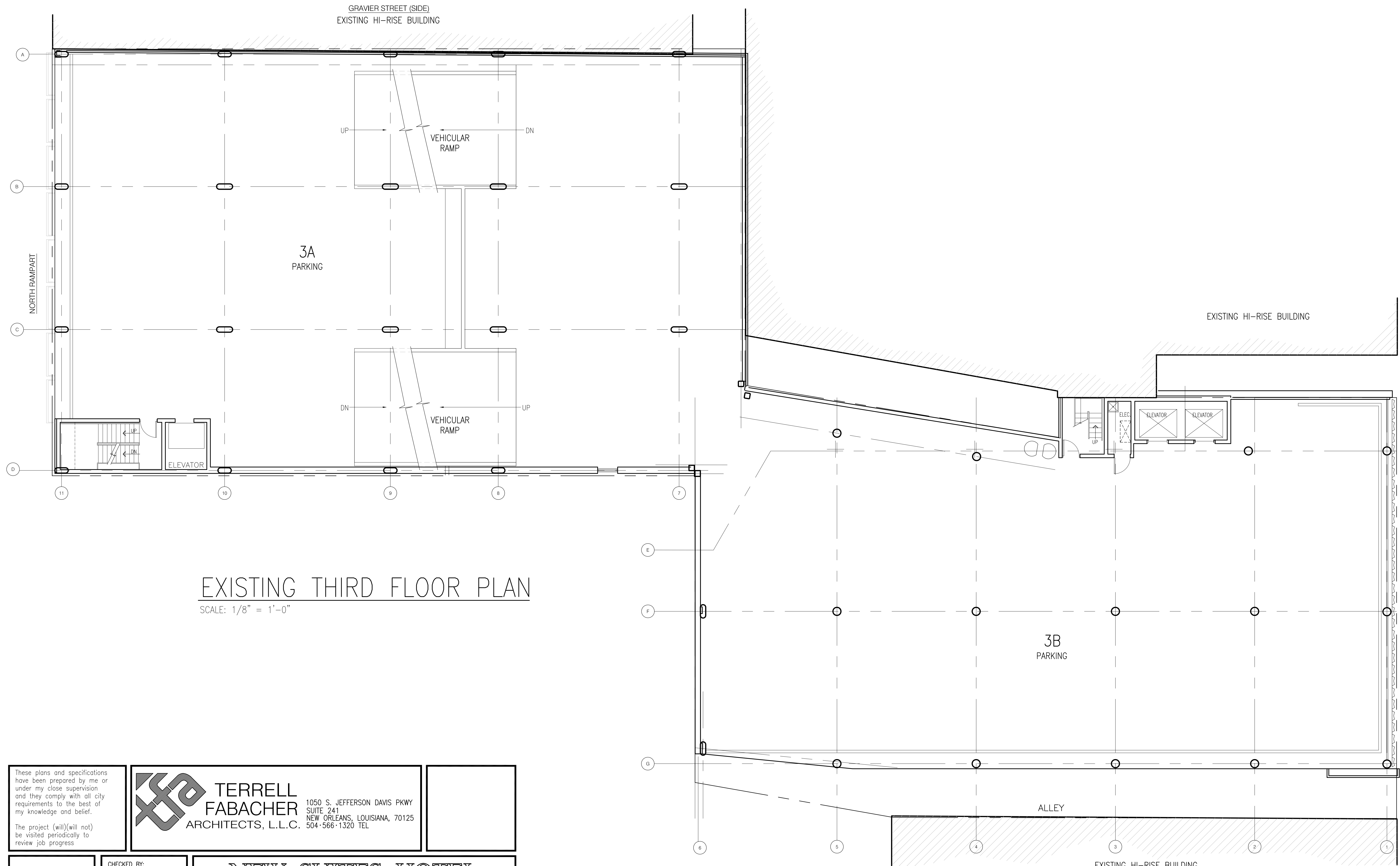
CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA



EXISTING THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

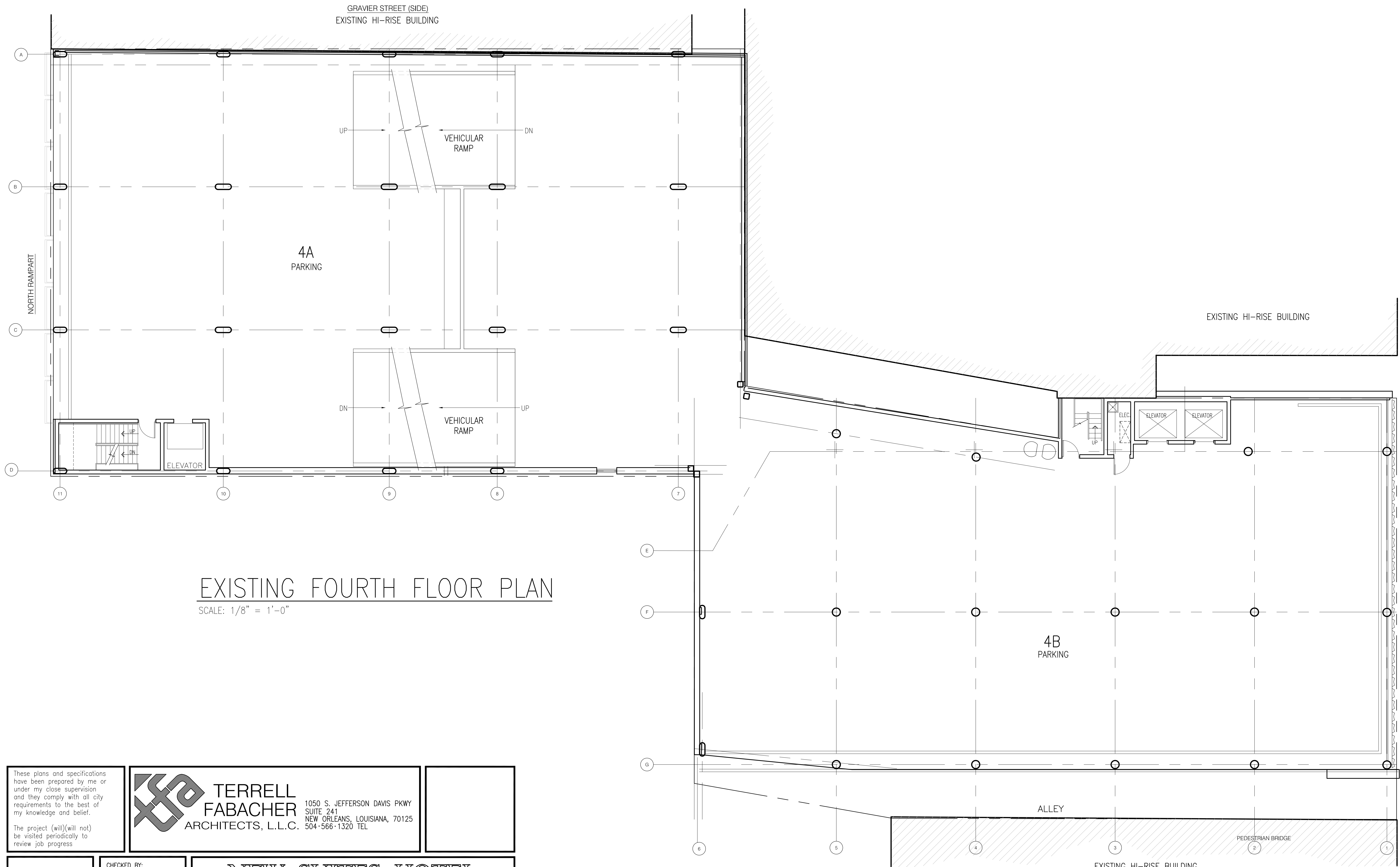
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

EX1.3  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL**  
 HISTORIC RESTORATION  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA





EXISTING FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**EX1.4**

SHEET OF

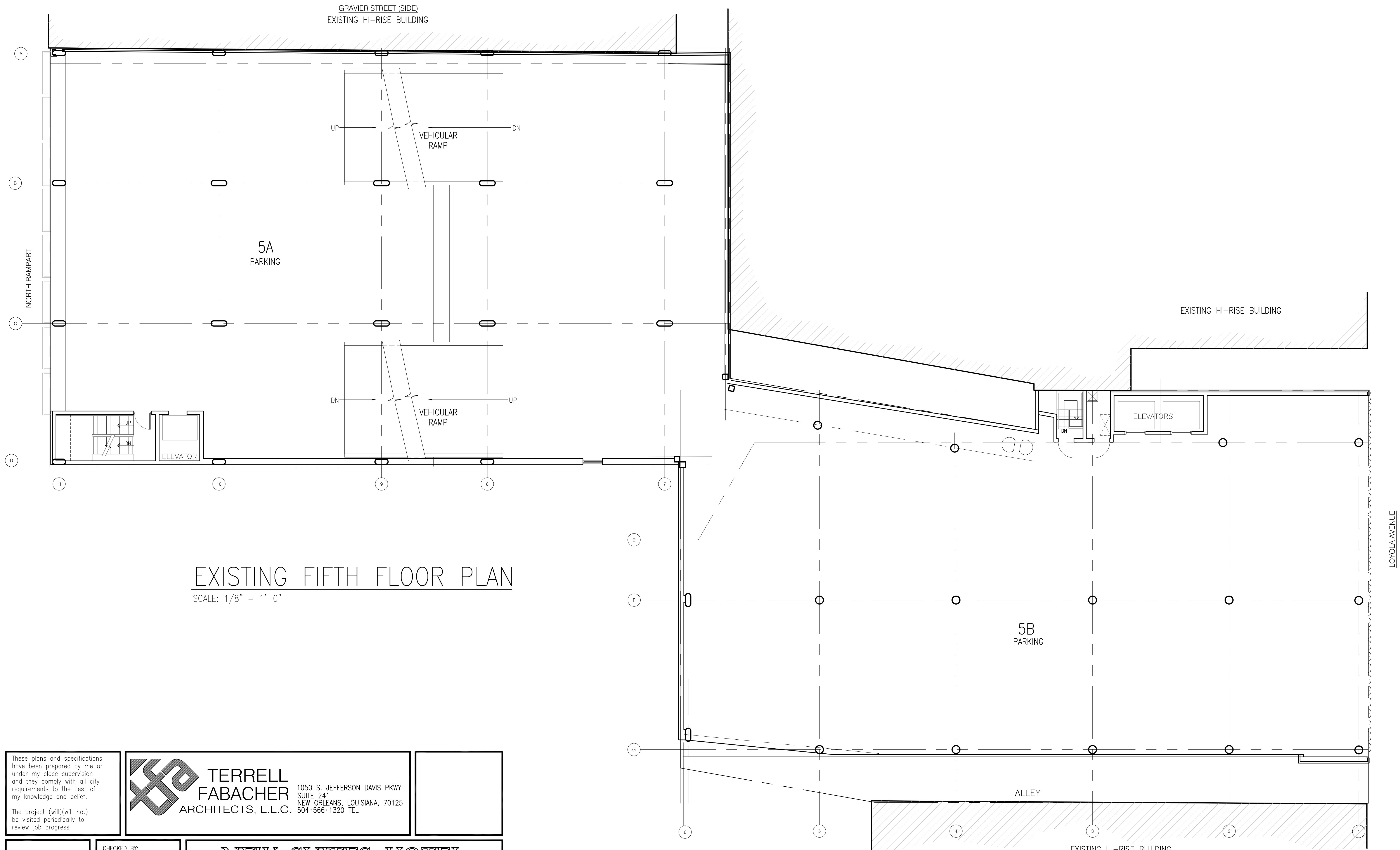
CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA



EXISTING FIFTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

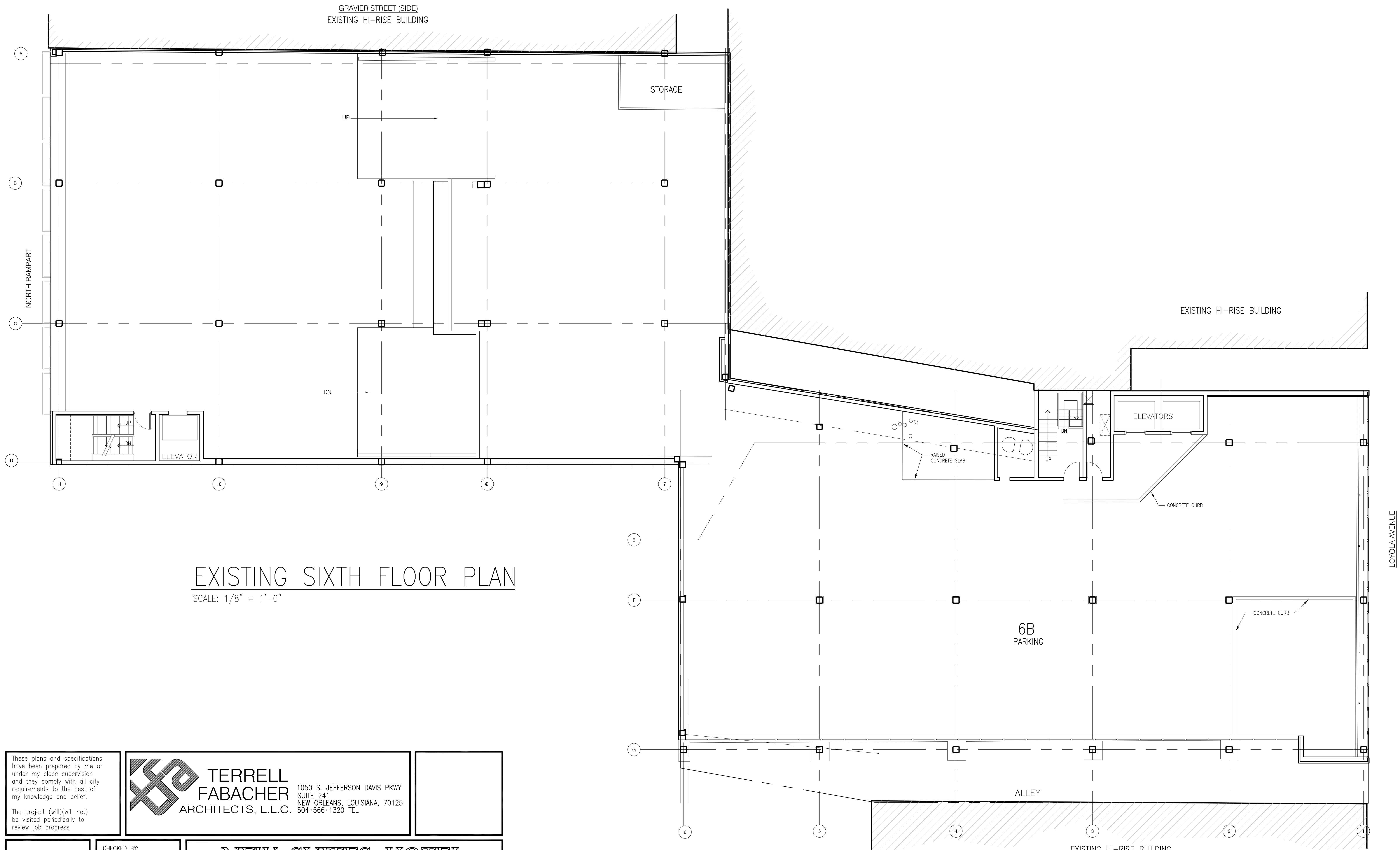
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

EX1.5  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL  
 HISTORIC RESTORATION  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA**





## EXISTING SIXTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**EX1.6**

SHEET OF

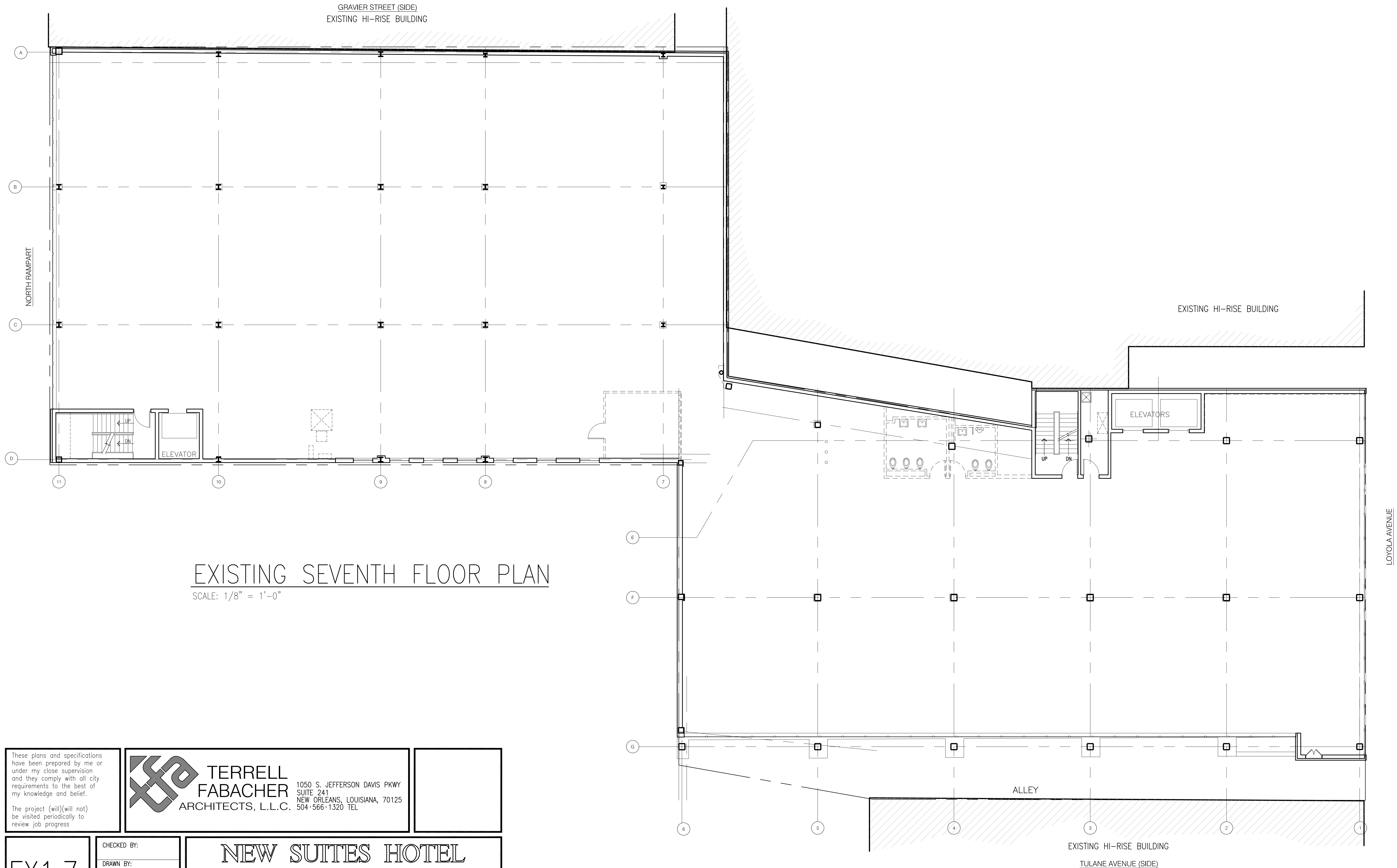
CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA



EXISTING SEVENTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

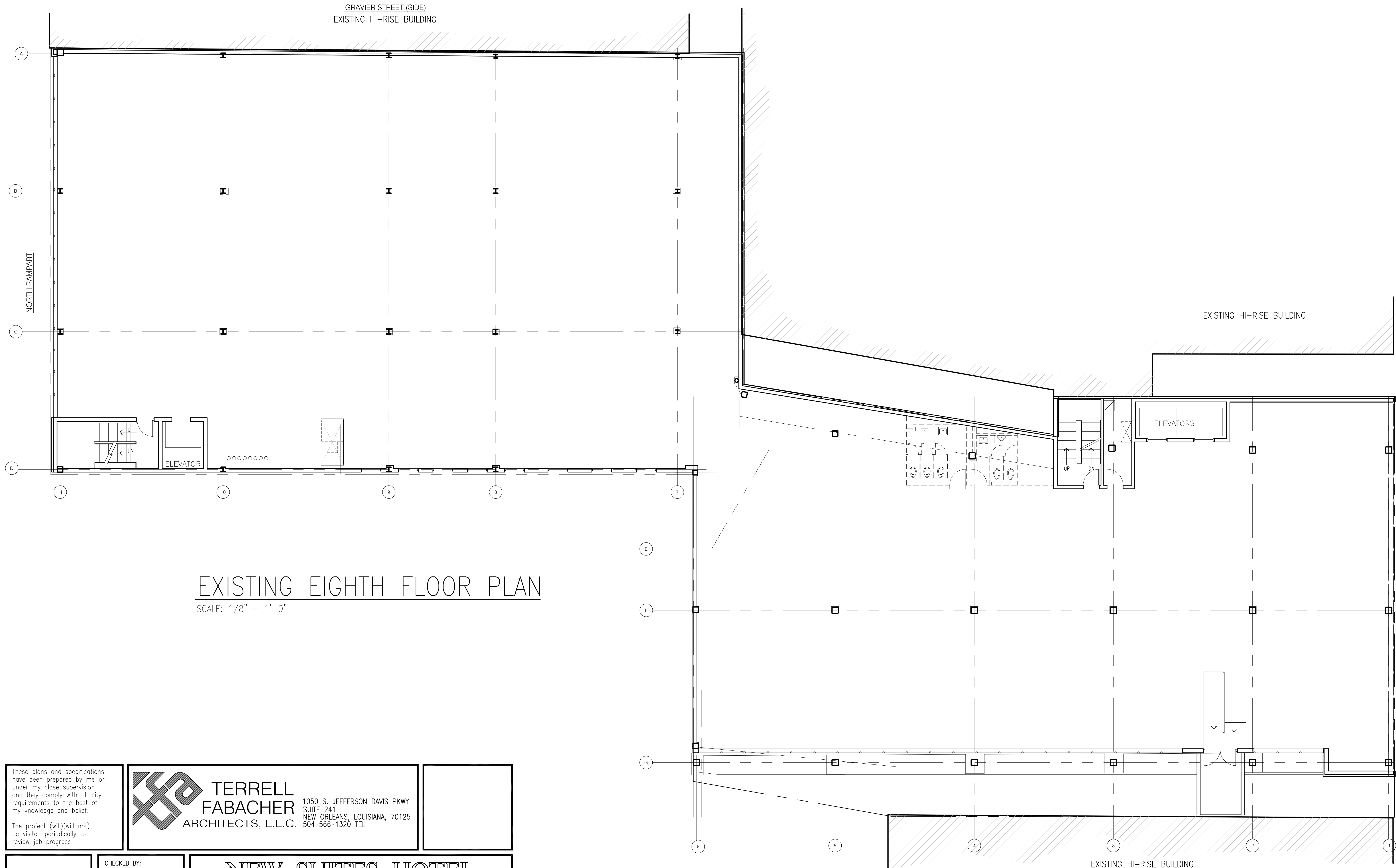
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

EX1.7  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL HISTORIC RESTORATION**  
 222 LOYOLA AVENUE  
 NEW ORLEANS, LOUISIANA





EXISTING EIGHTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.  
The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**  
1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL

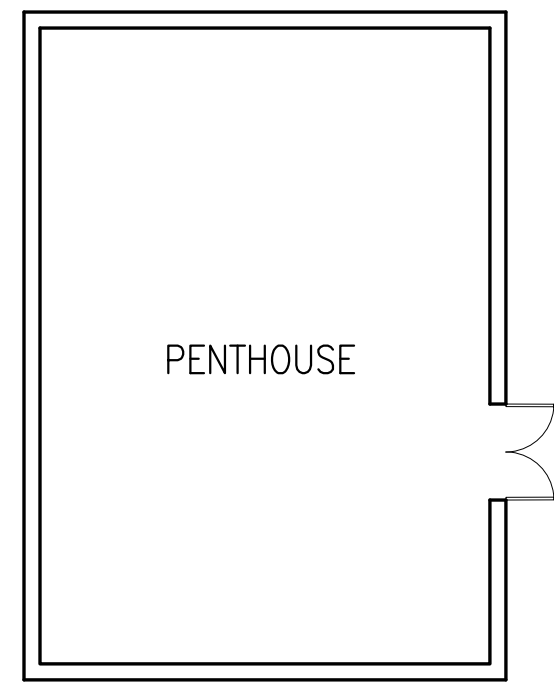
EX1.8  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

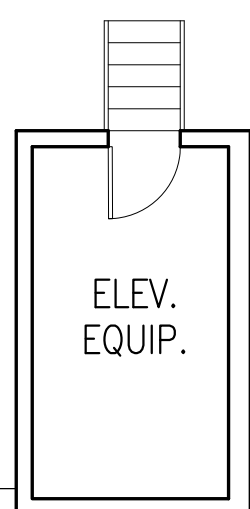
**NEW SUITES HOTEL HISTORIC RESTORATION**  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

GRAVIER STREET (SIDE)

NORTH RAMPART



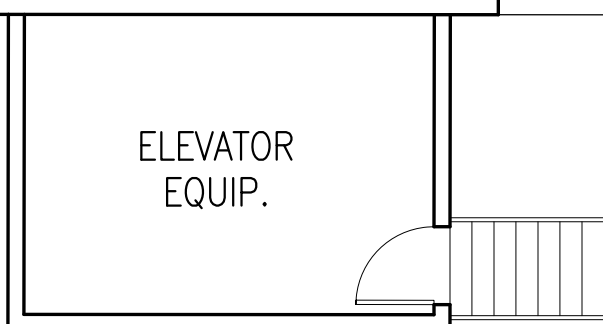
PENTHOUSE



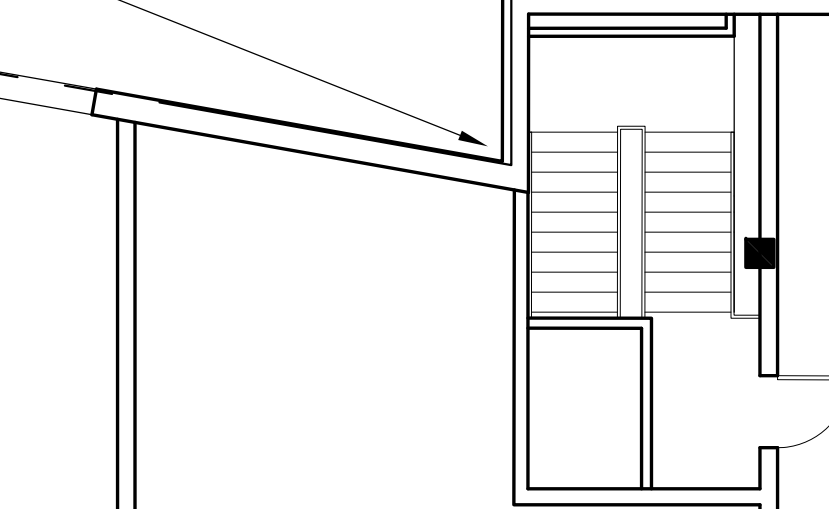
ELEV. EQUIP.

PARAPET

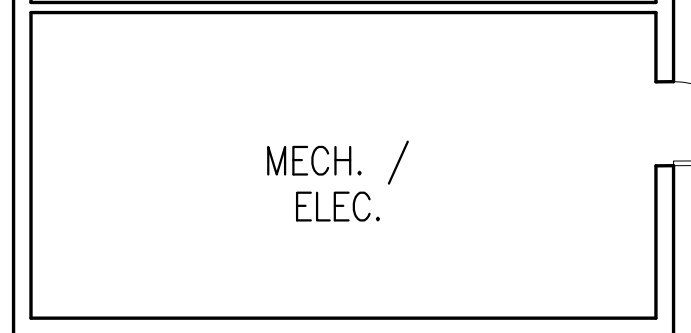
OPEN TO ALLEY BELOW



ELEVATOR EQUIP.



PENTHOUSE



MECH. / ELEC.

LOYOLA AVENUE

# EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"

ALLEY

TULANE AVENUE (SIDE)

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief. The project (will)(will not) be visited periodically to review job progress

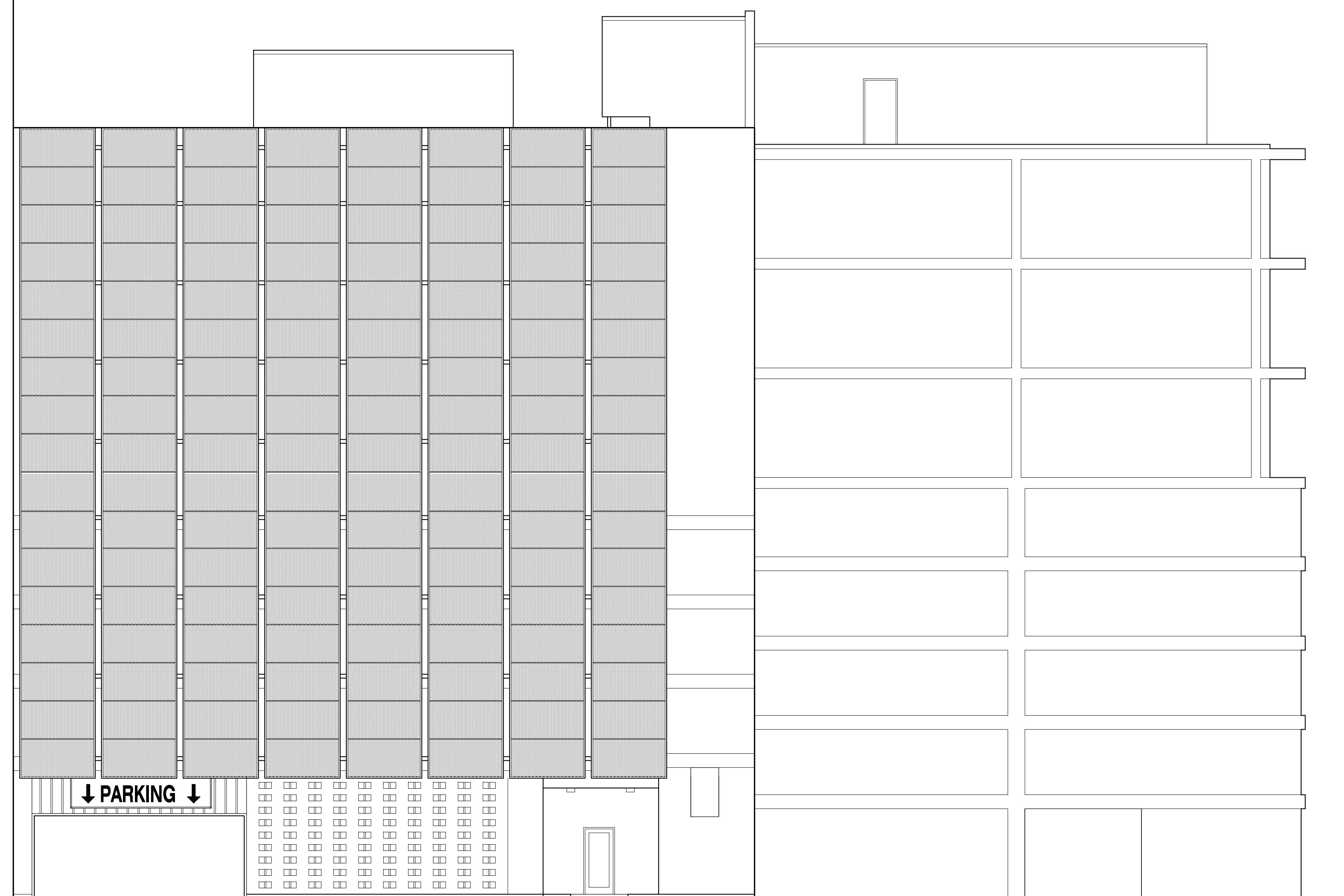
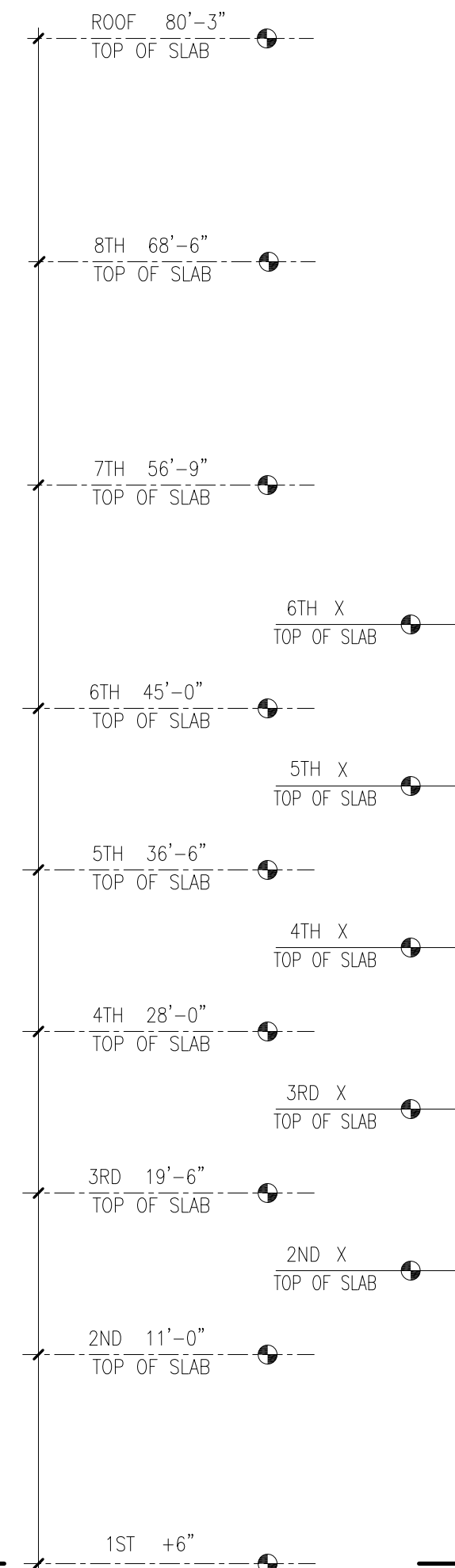
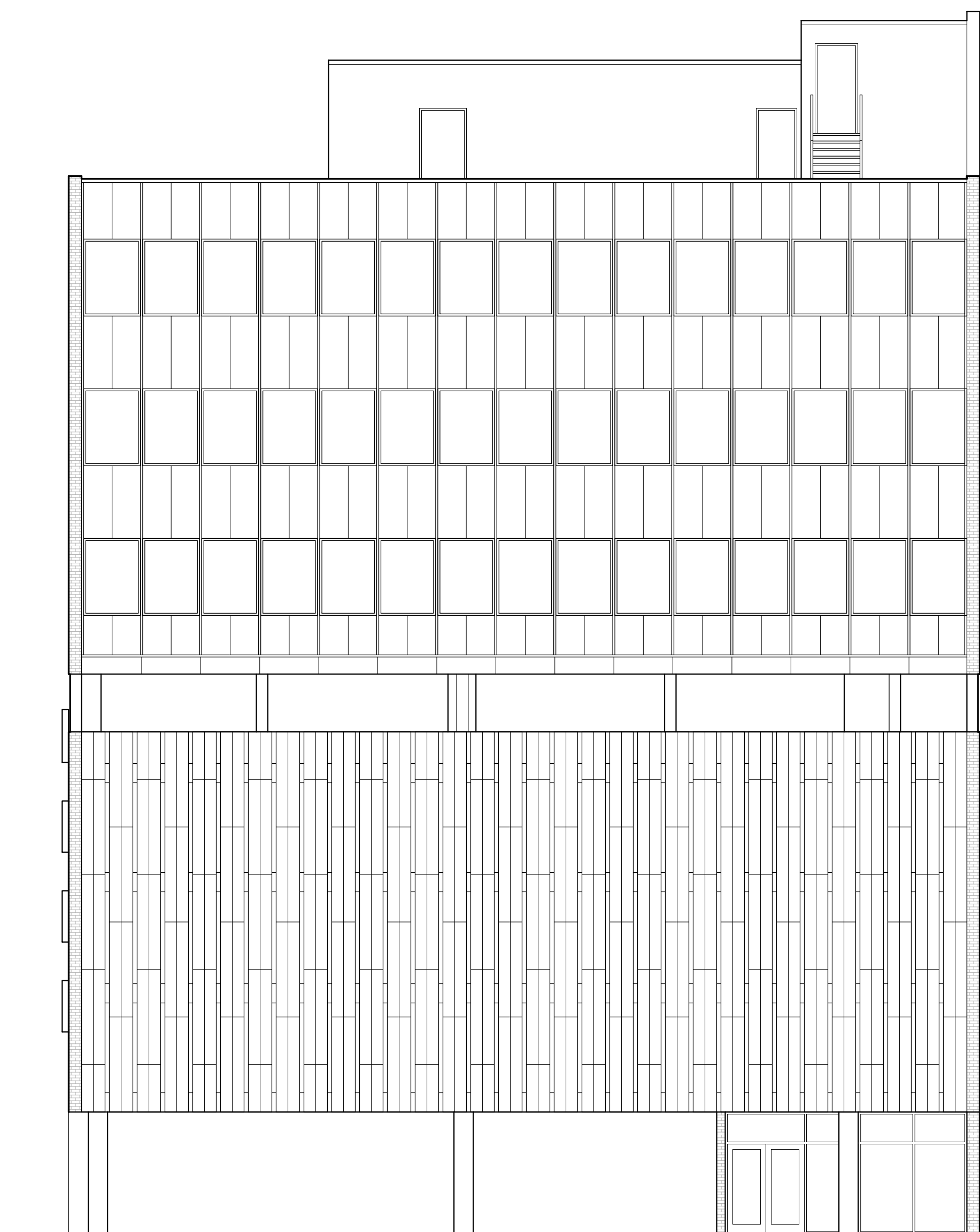
**TERRELL FABACHER ARCHITECTS, L.L.C.**  
 1050 S. JEFFERSON DAVIS PKWY SUITE 241  
 NEW ORLEANS, LOUISIANA, 70125  
 504-566-1320 TEL

EX1.9  
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL**  
**HISTORIC RESTORATION**  
**222 LOYOLA AVENUE**  
 NEW ORLEANS, LOUISIANA





EXISTING RAMPART ST ELEVATION  
SCALE: 1/8" = 1'-0"

EXISTING LOYOLA AVE ELEVATION  
SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

**TERRELL FABACHER ARCHITECTS, L.L.C.**

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

**EX2.1**

CHECKED BY:

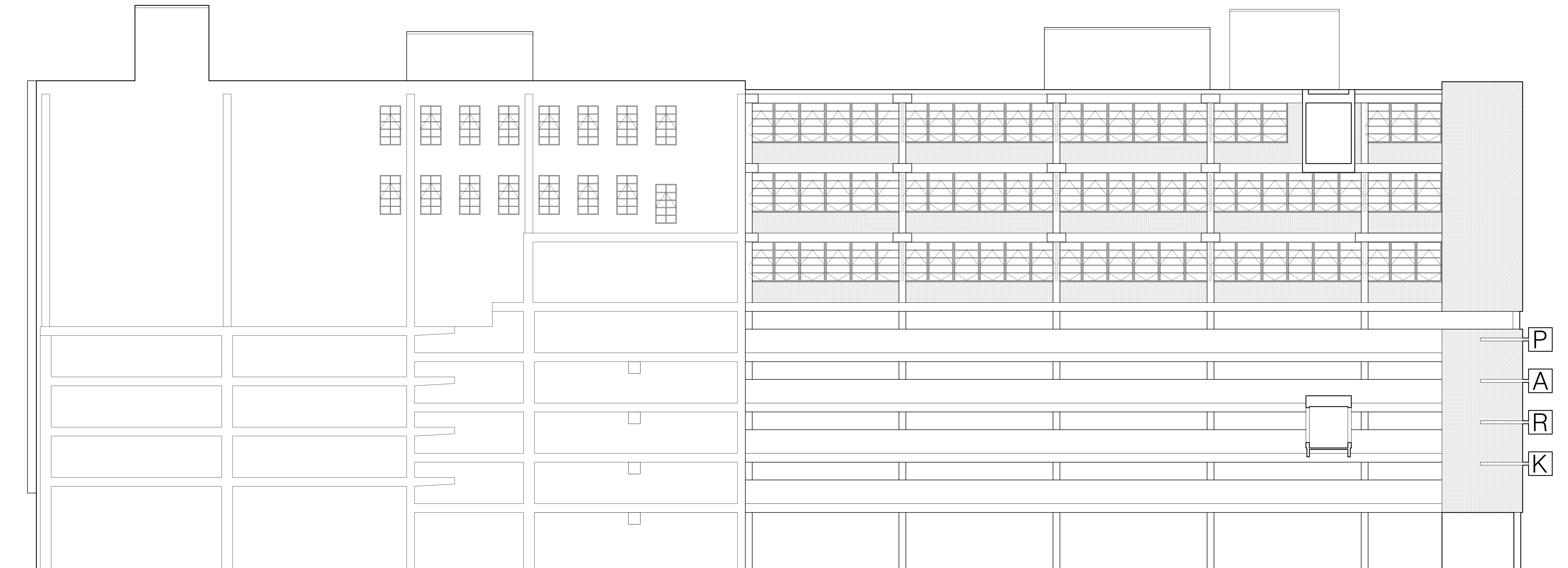
DRAWN BY:

DATE: 4-2-20

JOB NO.:

SHEET OF

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA



EXISTING TULANE AVENUE ELEVATION

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress



**TERRELL  
FABACHER**  
ARCHITECTS, L.L.C.

1050 S. JEFFERSON DAVIS PKWY  
SUITE 241  
NEW ORLEANS, LOUISIANA, 70125  
504-566-1320 TEL

EX2.2

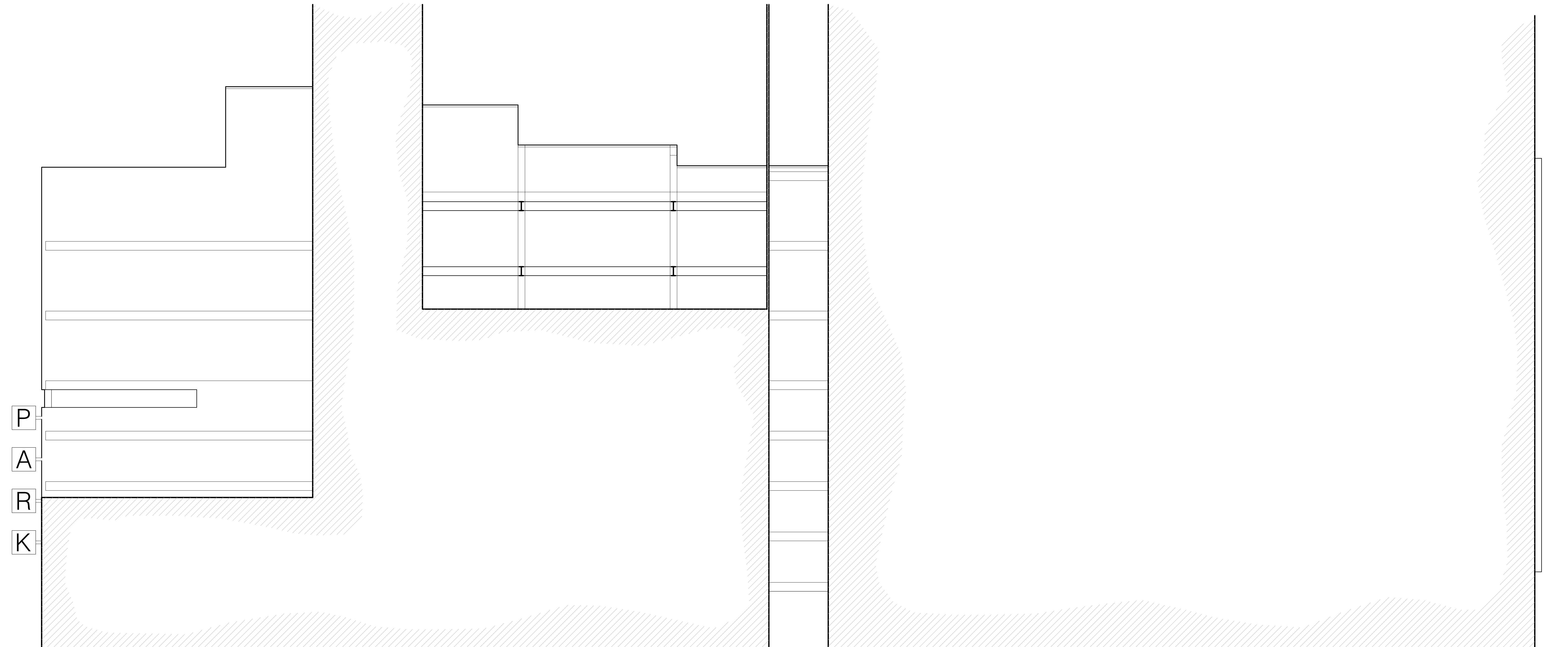
SHEET OF

CHECKED BY:  
DRAWN BY:  
DATE: 4-2-20  
JOB NO.:

**NEW SUITES HOTEL**  
HISTORIC RESTORATION  
222 LOYOLA AVENUE  
NEW ORLEANS, LOUISIANA

NOT FOR CONSTRUCTION






EXISTING GRAVIER ST ELEVATION

SCALE: 1/8" = 1'-0"

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief.

The project (will)(will not) be visited periodically to review job progress

	<b>TERRELL FABACHER</b> ARCHITECTS, L.L.C.	1050 S. JEFFERSON DAVIS PKWY SUITE 241 NEW ORLEANS, LOUISIANA, 70125 504-566-1320 TEL
	[Empty space for signature or stamp]	

**EX2.3**

SHEET OF

CHECKED BY:

DRAWN BY:

DATE: 4-2-20

JOB NO.:

**NEW SUITES HOTEL**  
**HISTORIC RESTORATION**  
**222 LOYOLA AVENUE**  
 NEW ORLEANS, LOUISIANA