

TREME SHOPPING CENTER - MIXED-USE (COMMERCIAL & RESIDENTIAL) 1912 N CLAIBORNE AVE, NEW ORLEANS, LA 70116



QUDS ENGINEERING & DESIGN, LLC
504-338-8783

MUJAHED SHALABI, PE
MAILING ADDRESS:
P.O. BOX 191
HARVEY, LA 70059
504-462-8156
QUDSENGINEERING@GMAIL.COM

SEAL:

CLIENT
SALEM DEVELOPMENT
1912 N CLAIBORNE AVE
NEW ORLEANS, LA 70116
504-975-1888
TAFLLC@BELLSOUTH.NET

ASSOCIATE
N/A

PROJECT
TREME RETAIL CENTER

DRAWN BY
MS | MS

ISSUE DATE
6/19/2020

RE-ISSUE DATE
7/5/2020

DESCRIPTION
TITLE SHEET & 3D

A.101



PROPOSED FRONT ELEVATION



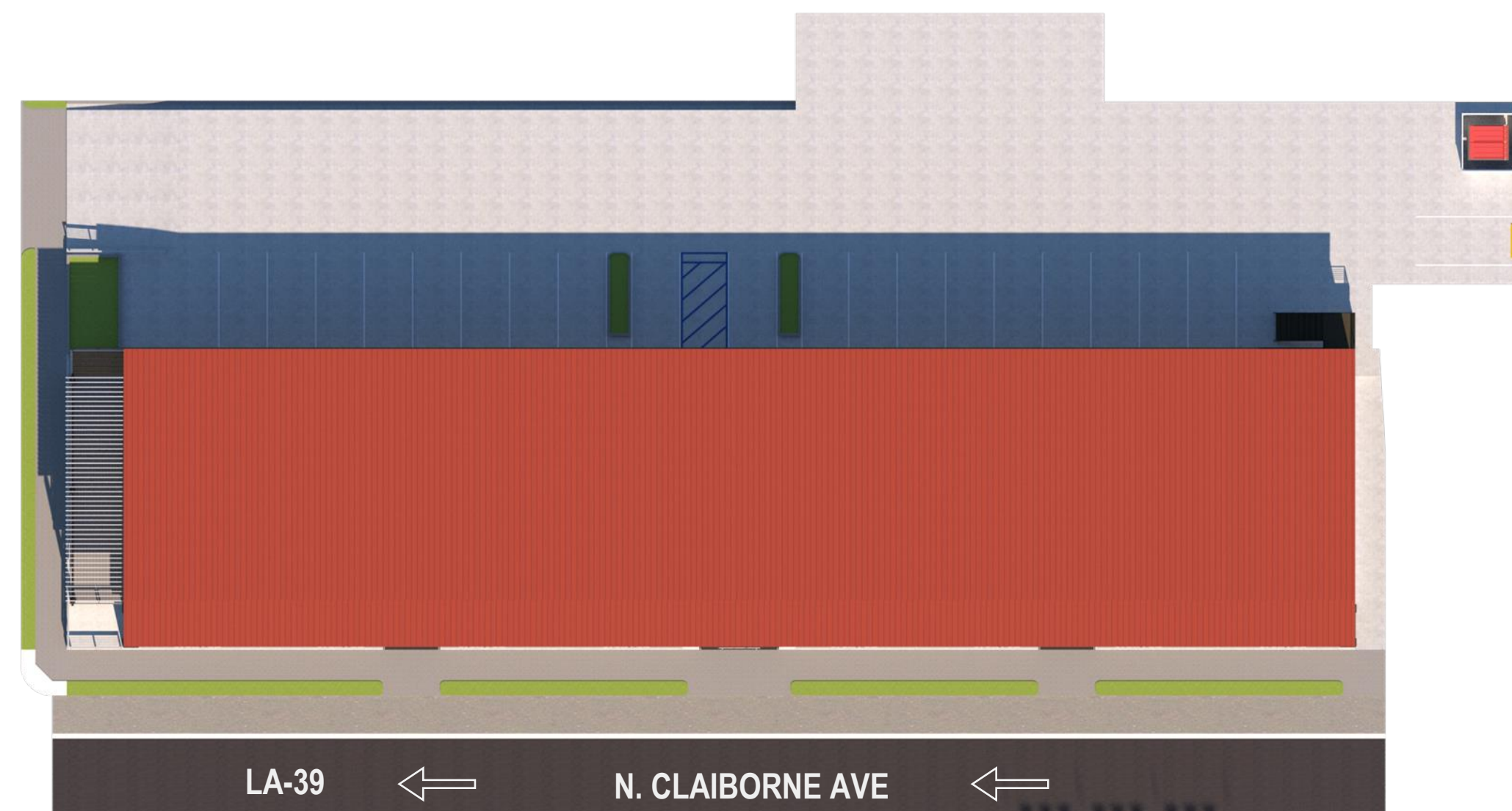
PROPOSED LEFT FRONT VIEW



PROPOSED FRONT WALKWAY VIEW



PROPOSED RIGHT FRONT VIEW



PROPOSED PLAN VIEW



PROPOSED REAR VIEW

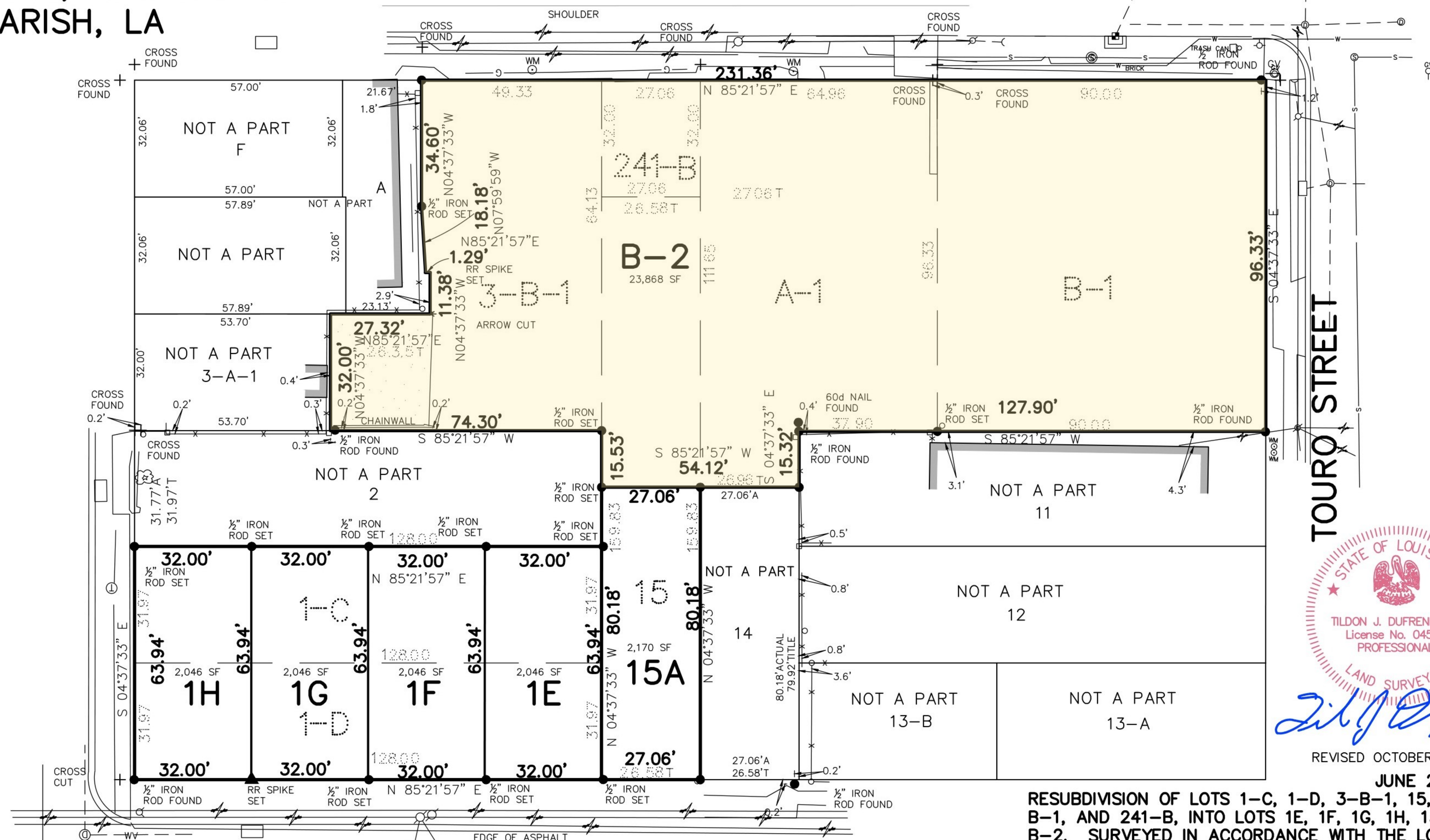
SQUARE 637
THIRD DISTRICT, NEW ORLEANS
ORLEANS PARISH, LA

NORTH CLAIBORNE AVENUE

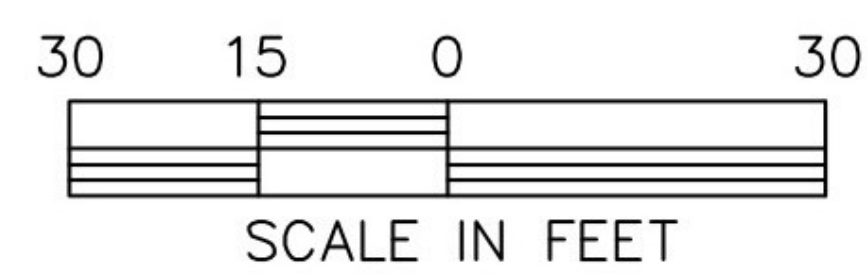
PAUGER STREET

TOURO STREET

NORTH ROBERTSON STREET



RESUBDIVISION OF LOTS 1-C, 1-D, 3-B-1, 15, A-1, B-1, AND 241-B, INTO LOTS 1E, 1F, 1G, 1H, 15A AND B-2. SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS C SURVEY, MADE AT THE REQUEST OF SALEM DEVELOPMENT LLC



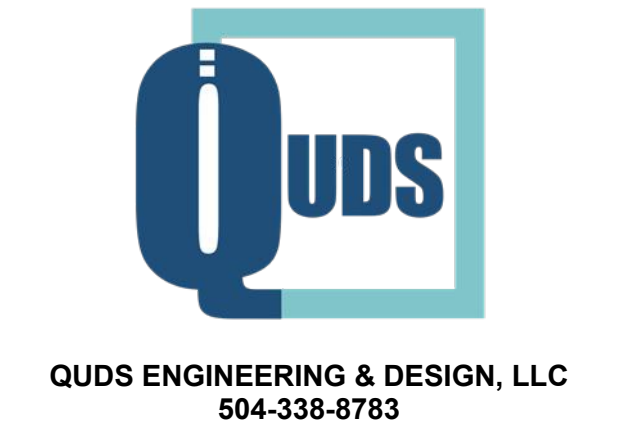
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED TO US, AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

PROPERTY INFO	
LOT =	(B-2)
GROSS LOT AREA =	23,868 SQFT
ZONING =	HMC-2
FUTURE LAND USE =	MU-HC

DUFRENE SURVEYING & ENGINEERING INC.
1624 MANHATTAN BOULEVARD, HARVEY, LA 70058
504-368-6390 PH.
504-368-6394 FAX
dufrene@dufrenesurveying.com

T-5819-S2
19-000 third/sq637.dwg

A EXISTING SURVEY
102 N.T.S



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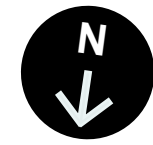
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DESCRIPTION
EXISTING SURVEY

A.102



N ROBERTSON ST. (SIDE)

PROPERTY LINE 54.12'

15.32'

15.53'

74.30'

PROPERTY LINE

PROPERTY LINE 127.90'

24'-0" DRIVEWAY

STORM WATER INLET

STORM WATER INLET

STORM WATER INLET

7 FT FENCE W/ GATE
SHARED DUMPSTER

20

PROPERTY LINE

PAUGER ST. (SIDE)

TURO. (SIDE)
ONE WAY STREET

PROPERTY LINE 63.94'

18'-0" MIN.

8'-6" (TYP.)

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

14'-0" WALKWAY
FLOOR LEVEL

METAL ROOFING

SLOPE DOWN

BIKE RACK
UNDER STAIRS
(4 BIKES)

METAL ROOFING

SLOPE DOWN

1908 N CLAIBORNE
EXISTING RESIDENTIAL HOUSE

PROPERTY LINE 231.36'

PUBLIC SIDE WALK (5FT TYP.)

PED. STAIRS

POWER POLE

PED. STAIRS

POWER POLE

PED. STAIRS

PUBLIC SIDE WALK (5FT TYP.)

FIRE HYD.

BUS STOP SIGN

BUS STOP

CATCH BASIN

50'-0" MIN PAVED

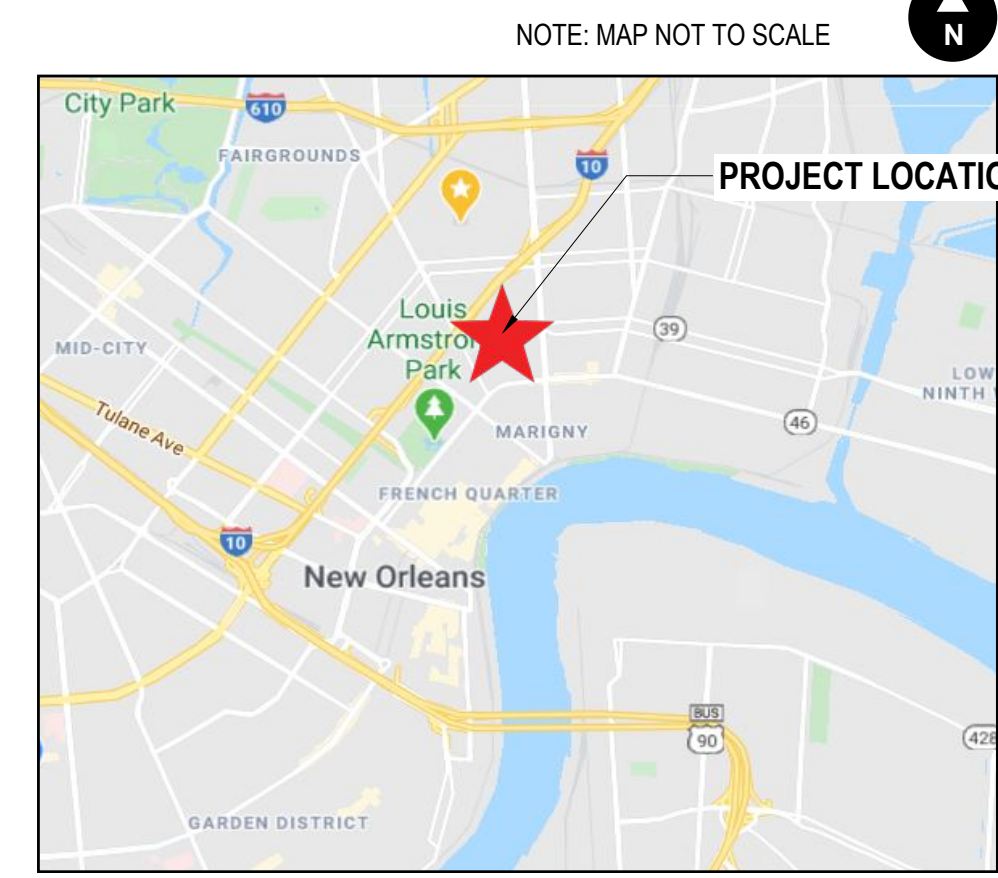
N. CLAIBORNE AVE.
LA-39

SITE PLAN LIGHTING	
GROUND LEVEL WALL LIGHT	24
UPPER LEVEL WALL LIGHT	20

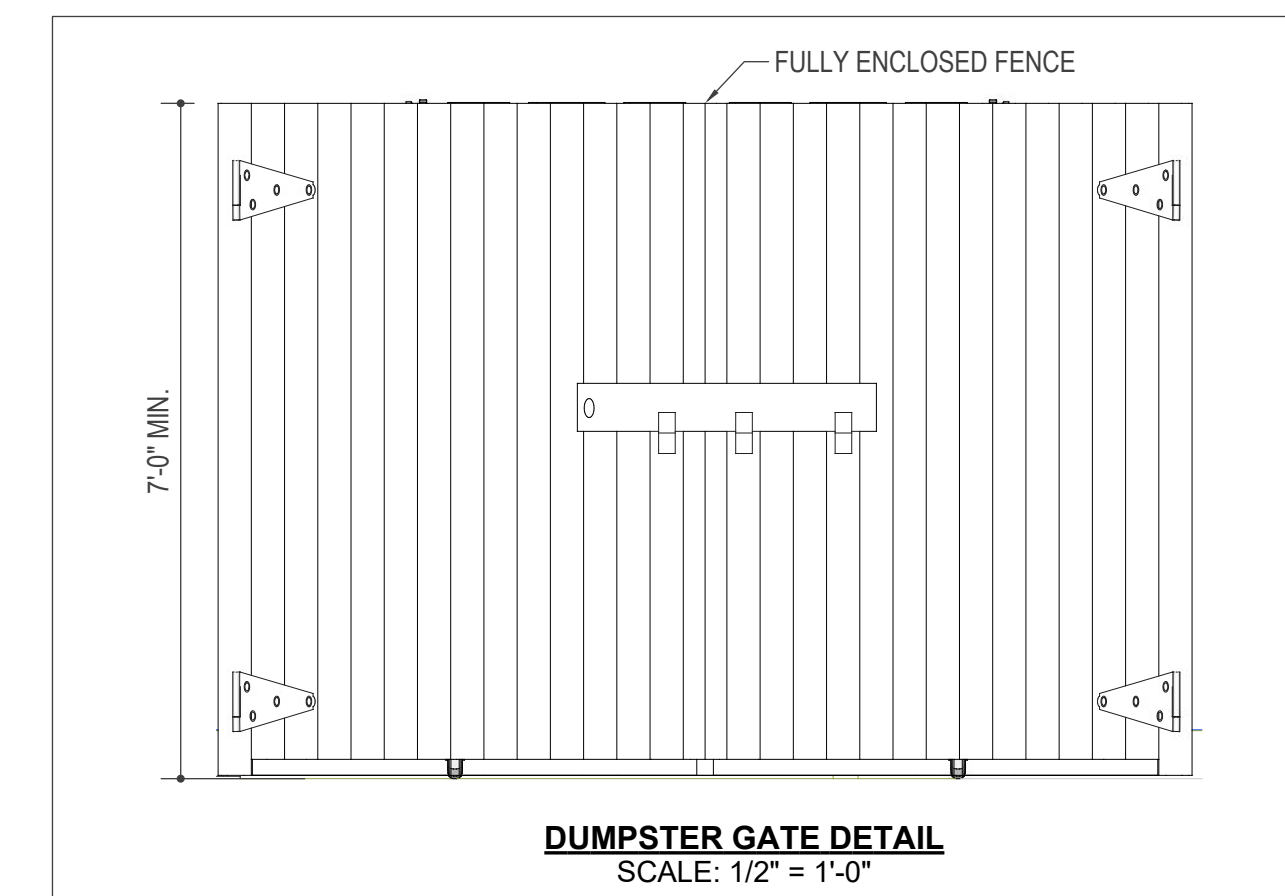
PROPERTY INFO	
LOT =	(B-2)
GROSS LOT AREA =	23,868 SQFT
ZONING =	HMC-2
FUTURE LAND USE =	MU-HC



METAL FACADE WITH CHARCOAL CANOPY FINISH



SITE LOCATION



DUMPSTER GATE DETAIL
SCALE: 1/2" = 1'-0"

A PROPOSED SITE PLAN
103 3/32" = 1'-0"



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DESCRIPTION
PROPOSED SITE PLAN

A.103



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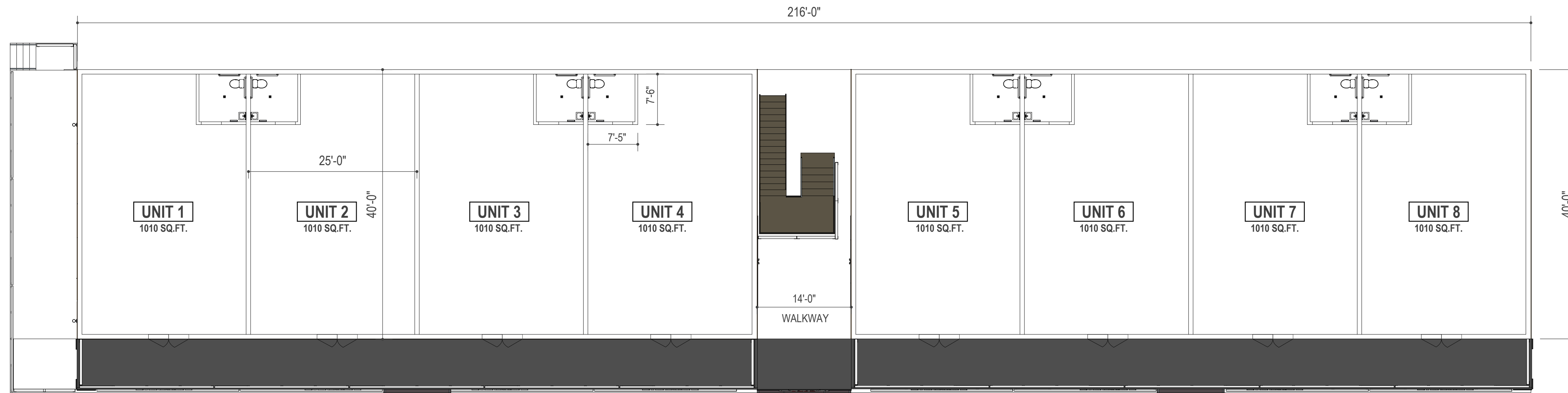
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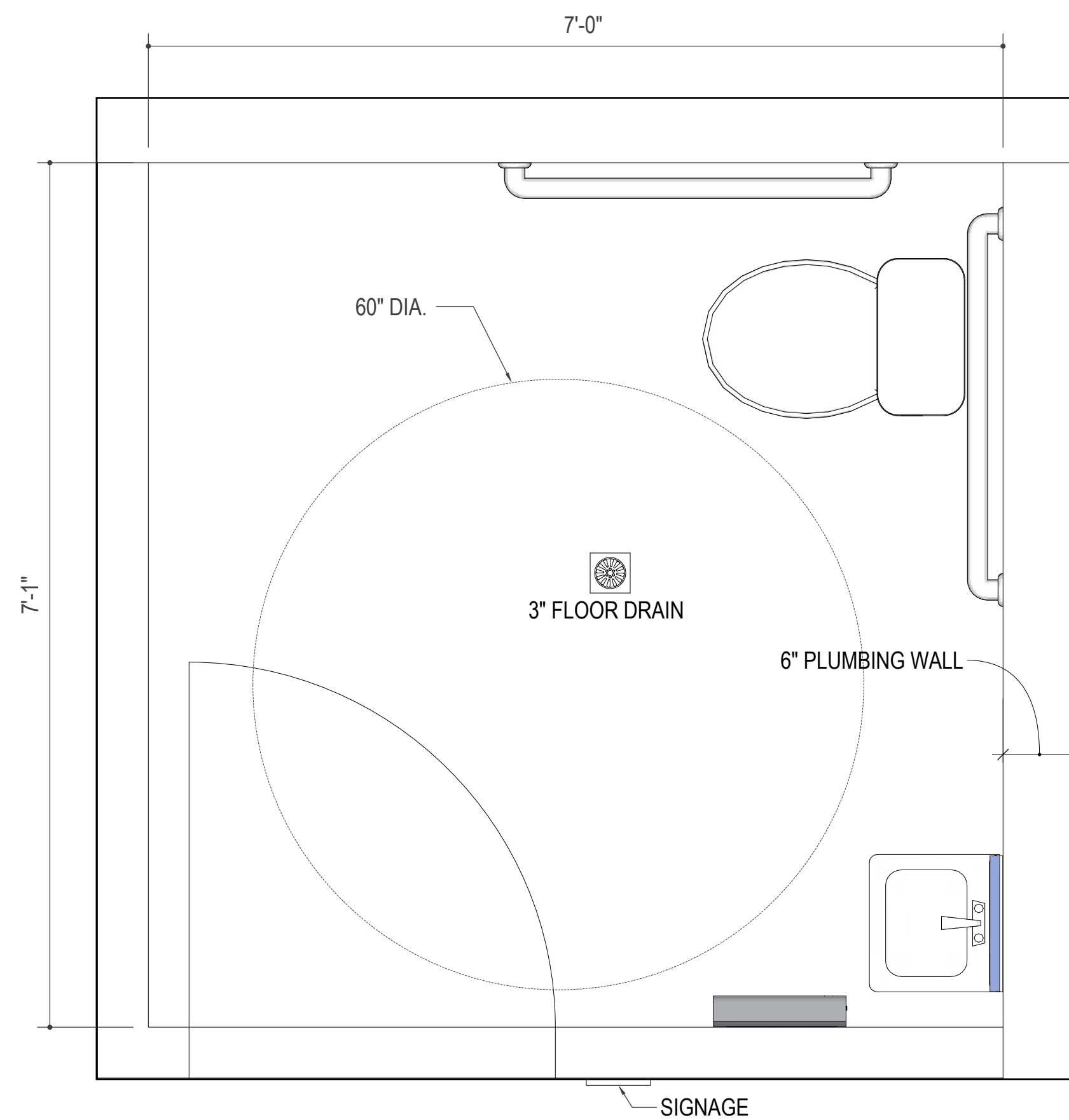
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DESCRIPTION
FIRST LEVEL FLOOR PLAN

A.105



FIRST LEVEL FLOOR PLAN (WHITE BOX)
SCALE: 1" = 10'-0"



ADA RESTROOMS DETAILS
SCALE: 1" = 1'-0"

HANDICAPPED NOTES	STANDARD ADA REQUIREMENTS DIMENSIONS
<ul style="list-style-type: none"> • PROVIDE 1/2" GRAB BARS 48" A.F.F. ON WALL SIDE OF TOILET PARALLEL TO THE FLOOR AND FASTEN SECURELY TO THE WALL. • TOILET TO BE 17"-19" HIGH STANDARD SIZE MAY BE USED IF GRAB BARS ARE PROVIDED ON (2) WALLS • LAVATORIES SHALL BE MOUNTED WITH MIN 29" CLEARANCE TO THE BOTTOM OF THE APRON. • BOTTOM OF THE MIRROR OVER LAVATORY SHALL NOT EXCEED 40" ABOVE FINISHED FLOOR • GRAB BAR TO BE SECURELY FASTEN IN ORDER TO BEAR A DEAD WEIGHT OF 300 POUNDS • WITHOUT PERMANENT DEFLECTION • SURFACE MOUNTED SOAP DISPENSER: ALL PURPOSE, ONE OVER EACH LAVATORY ON WALL AS DIRECTED. • PAPER TOWEL DISPENSER: SURFACE MOUNTED STAINLESS STEEL, ONE EACH TOILET ROOM. • WASTE RECEPTACLE: SURFACE MOUNTED STAINLESS STEEL, 7 GALLON, ONE EACH TOILET ROOM • SURFACE MOUNTED MULTI-ROLL TOILET TISSUE SIPSESER: ONE EACH WATER CLOSET. • S/S ANGLE FRAME MIRROR WITH SHELF: ONE EACH LAVATORY. 	

FIRST FLOOR (COMMERCIAL)	
NO. OF UNITS =	8
TOTAL AREA OF ALL UNITS =	8,080 SQFT



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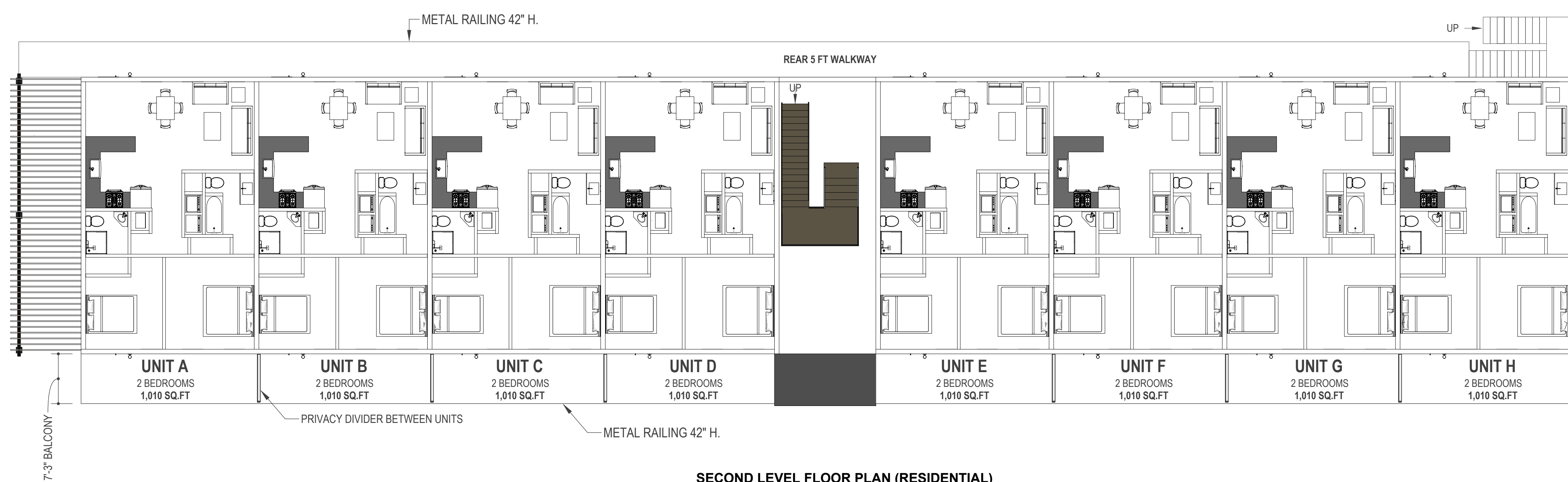
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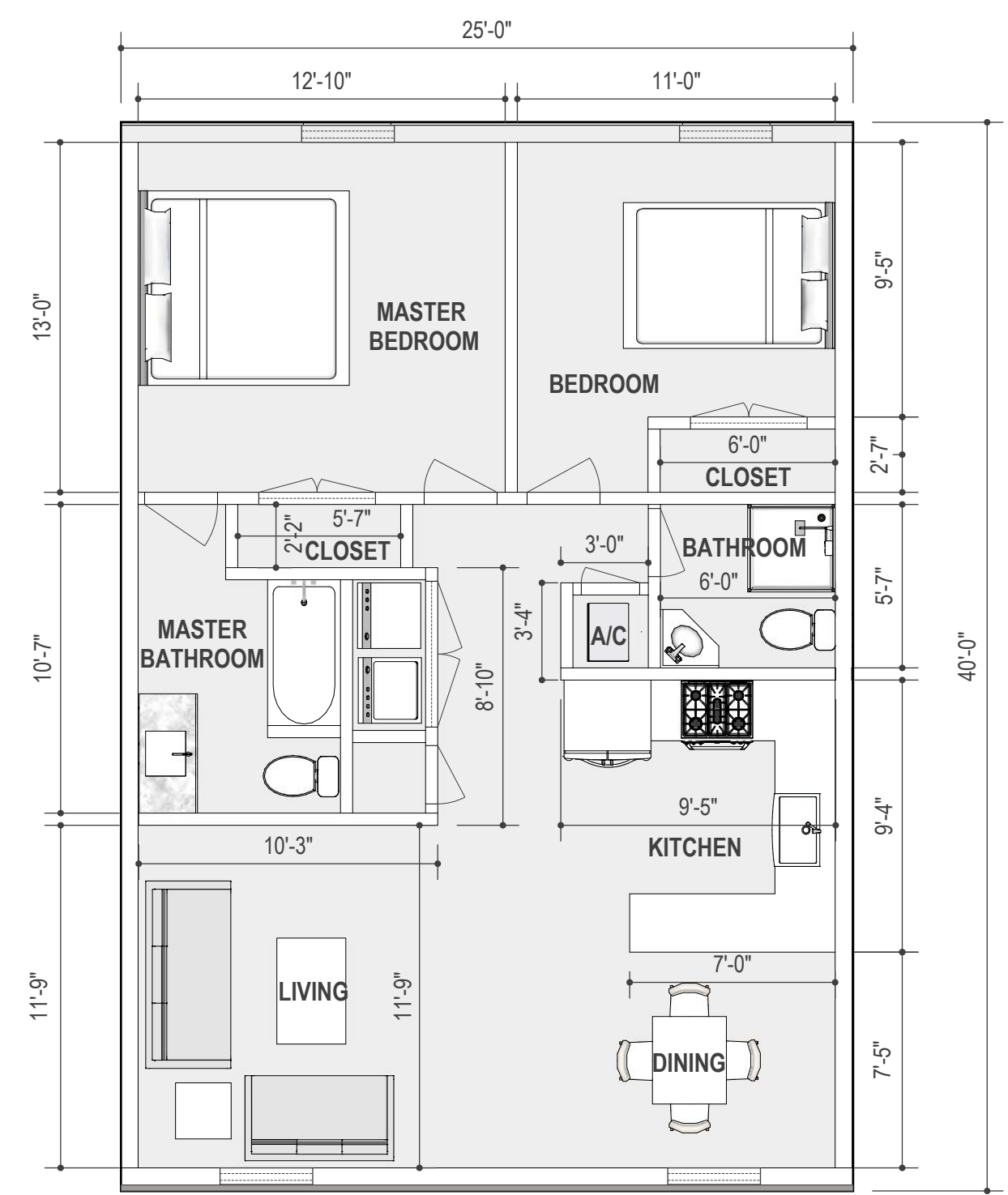
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DESCRIPTION
SECOND LEVEL FLOOR
PLAN

A.106



SECOND LEVEL FLOOR PLAN (RESIDENTIAL)
SCALE: 1" = 10'-0"



ALL UNITS
2 BEDROOMS
1,010 SQ.FT

SECOND FLOOR (RESIDENTIAL)
NO. OF UNITS = 8
TOTAL AREA OF ALL UNITS = 8,080 SQFT



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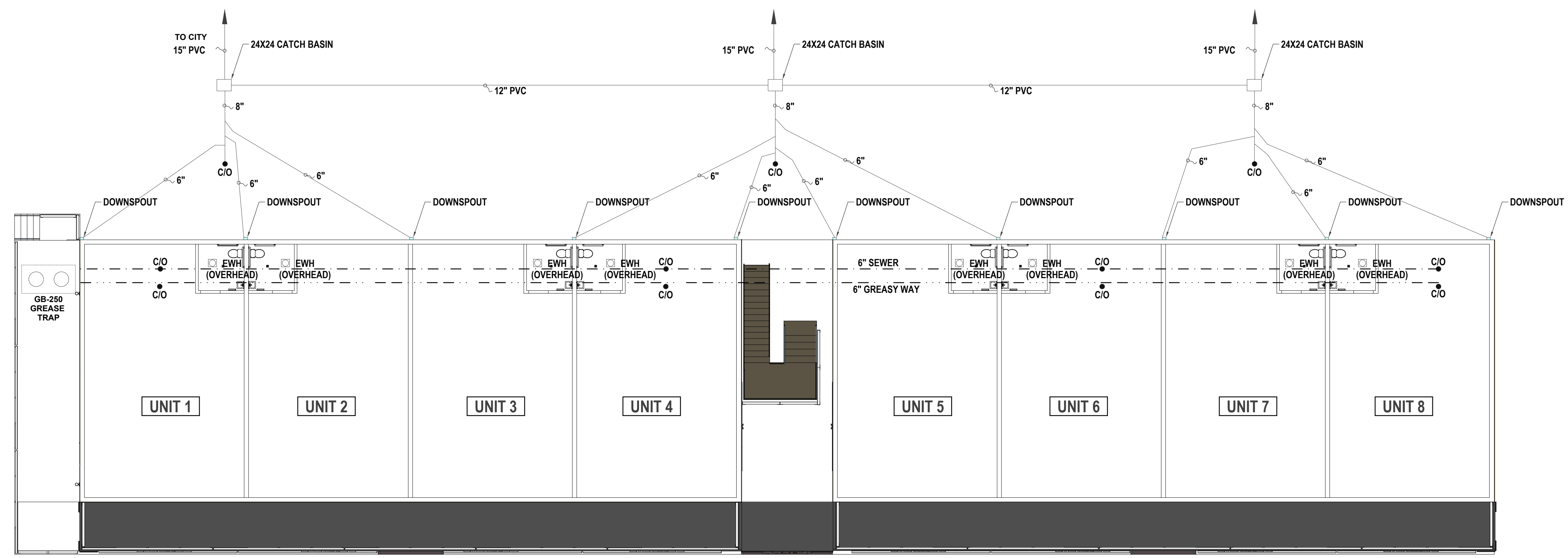
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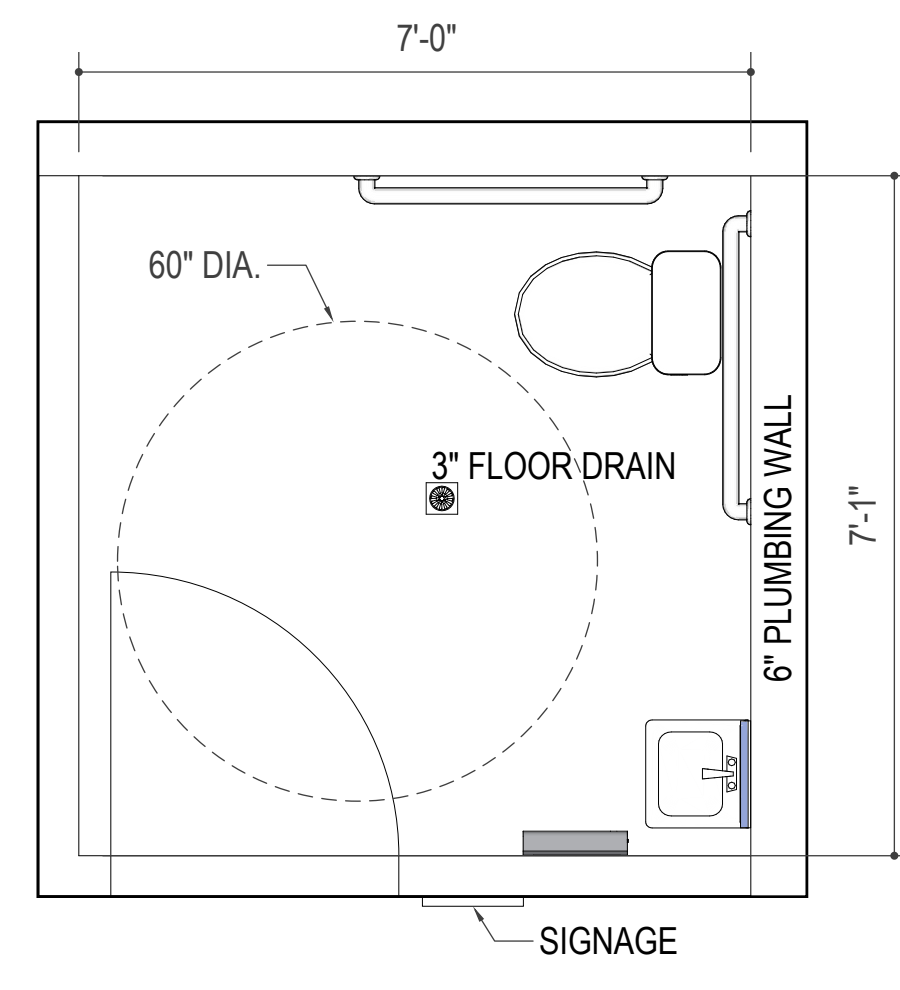
PLUMBING GENERAL
WORK SHALL BE COMPLETE, TESTED, ADJUSTED AND READY FOR OPERATION. EXCEPT WHERE DIMENSIONS ARE SPECIFICALLY INDICATED, PLUMBING DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. HOWEVER, SIZE AND LOCATION OF EQUIPMENT IS SHOWN TO SCALE WHERE POSSIBLE. DRAWINGS INDICATE REQUIRED SIZE AND ROUTES OF SYSTEM ELEMENTS. IT IS NOT THE INTENTION TO INDICATE ALL OFF, RISERS AND DROPS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL SYSTEM ELEMENTS IN A MANNER TO CONFORM TO STRUCTURE AND AVOID OBSTRUCTIONS.

PIPING
SANITARY, WASTE AND VENT PIPE: SERVICE WEIGHT CAST IRON PIPE AND FITTING WITH HUB LESS JOINTS, HEAVY DUTY CLAMP, PVC MAY BE SUBSTITUTED IF APPROVED BY OWNER, BUT SHALL NOT BE USED IN AIR PLENUMS. PROVIDE INSULATION ON ALL PIPING SUBJECT TO FREEZING INCLUDING PIPING ROUTED IN CRAWL SPACE.

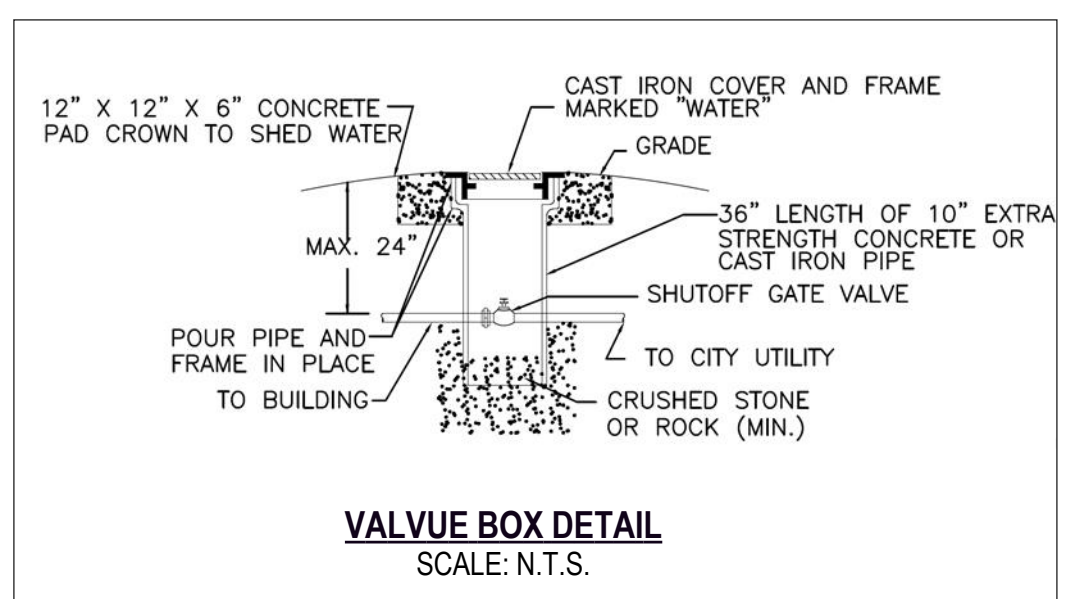
TEST WATER SUPPLY PIPING BEFORE FIXTURES AND FAUCETS ARE CONNECTED BY APPLYING A HYDROSTATIC PRESSURE OF 125 PSI TEST PRESSURE FOR 1 HOUR. TESTING SHALL BE OBSERVED BY THE AUTHORITY HAVING JURISDICTION AHJ OR THE ARCHITECT.

ALL EQUIPMENT, FIXTURES, PIPE, VALVES AND FITTINGS SHALL BE CLEANED OF GREASE, OIL, PAINT SPOTS, METAL CUTTINGS, SLUDGE AND CONSTRUCTION DEBRIS BEFORE FINAL INSPECTION

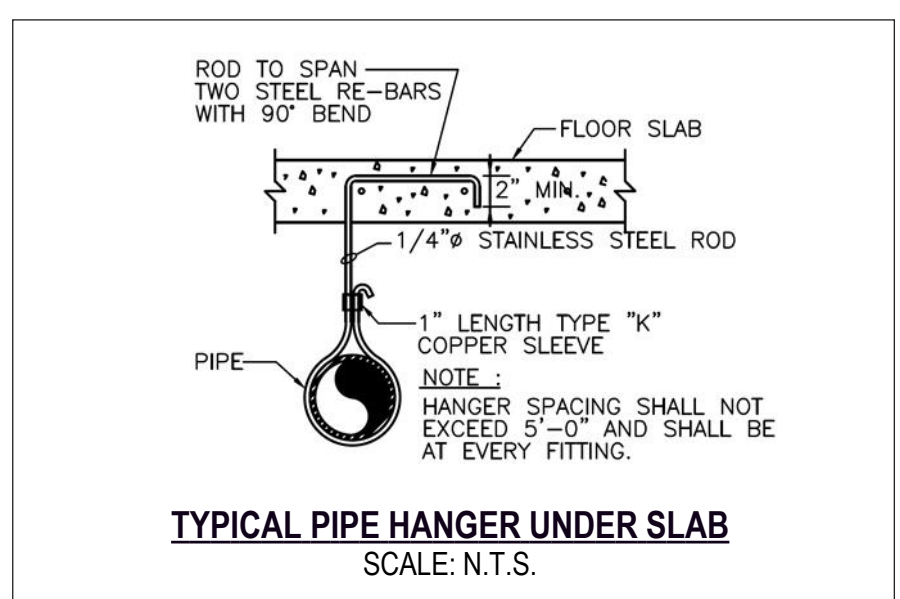
VALVES
VALVES SHALL BE JENKINS, KENNEDY, CRANE, NIBCO, HAMMOND, MILWAUKEE OR STOCKHAM.



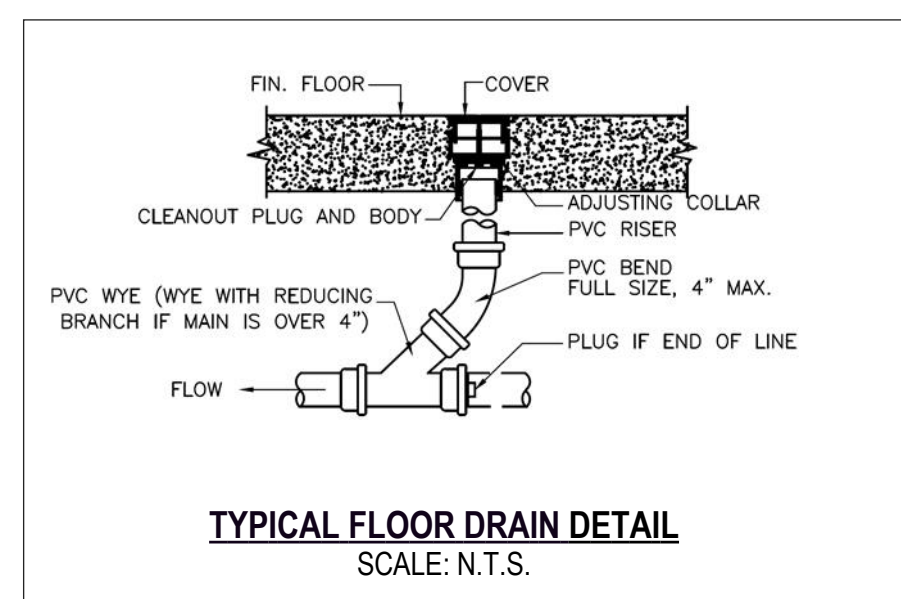
ADA RESTROOMS DETAILS
SCALE: 1/2" = 1'-0"



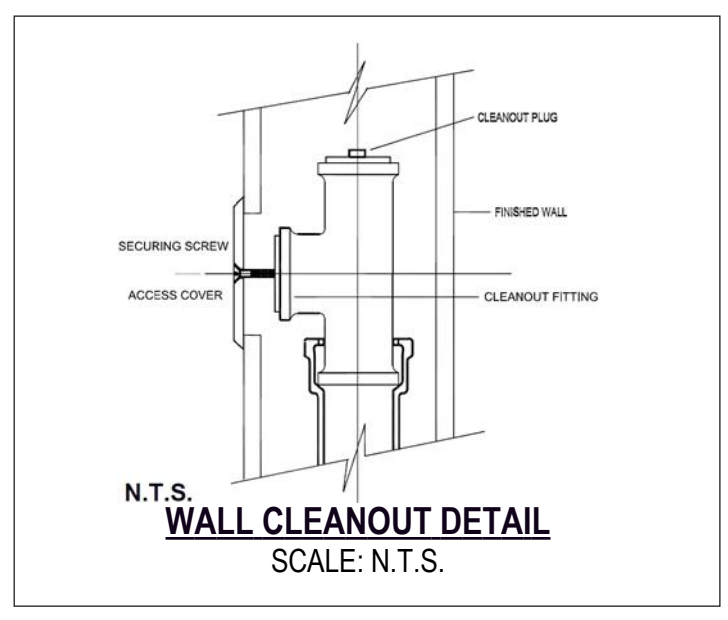
VALVE BOX DETAIL
SCALE: N.T.S.



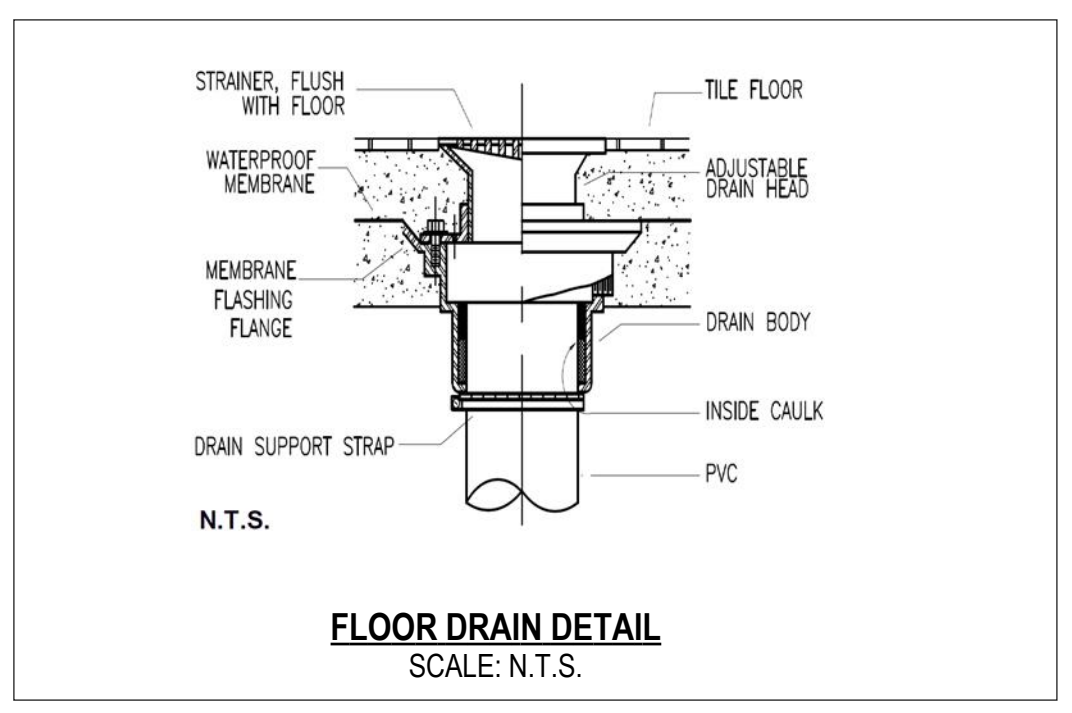
TYPICAL PIPE HANGER UNDER SLAB
SCALE: N.T.S.



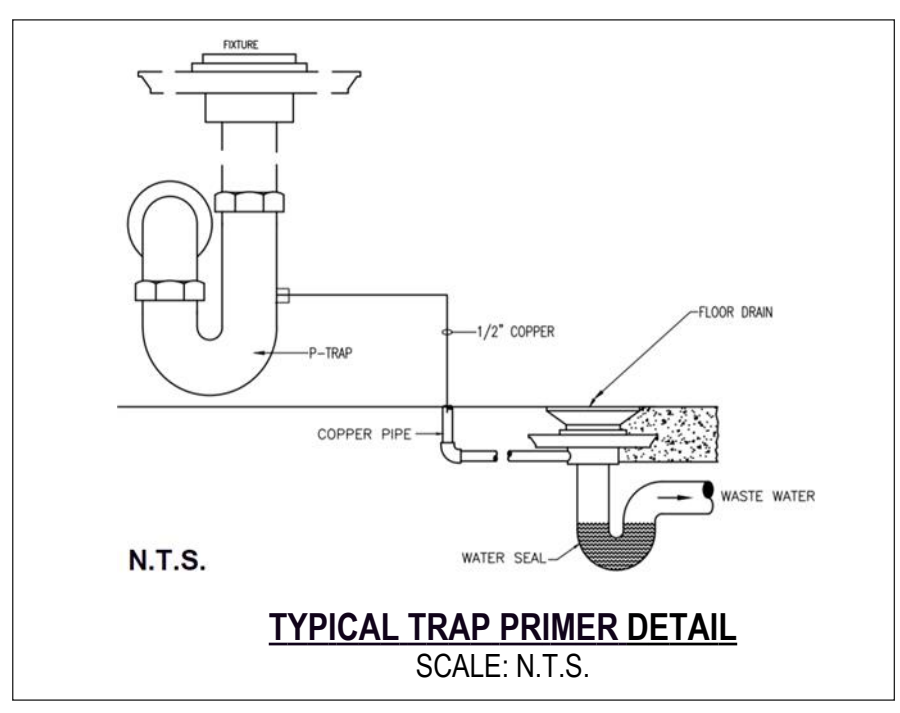
TYPICAL FLOOR DRAIN DETAIL
SCALE: N.T.S.



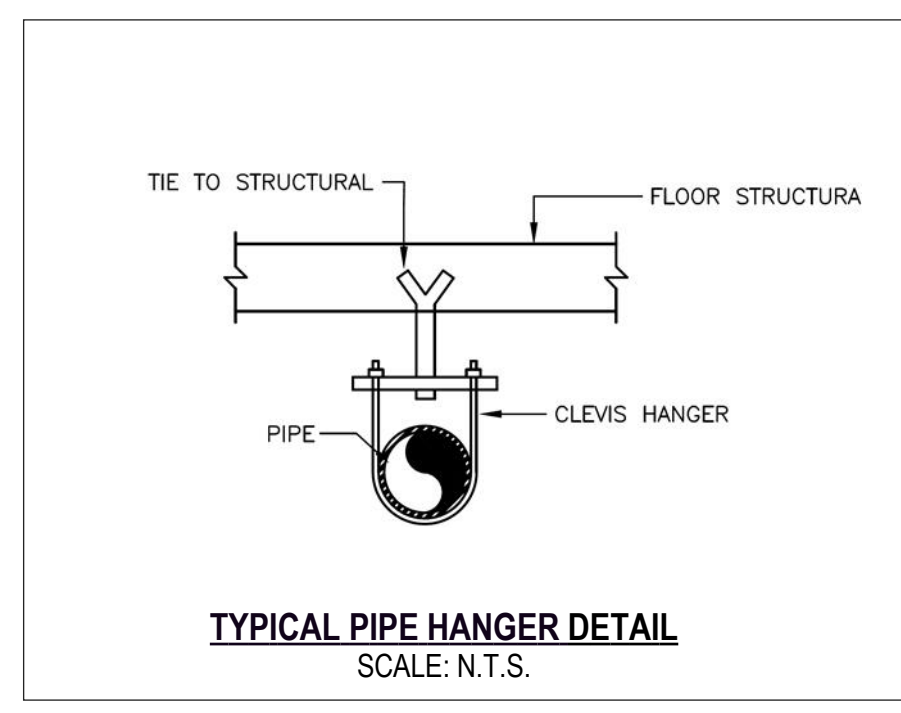
WALL CLEANOUT DETAIL
SCALE: N.T.S.



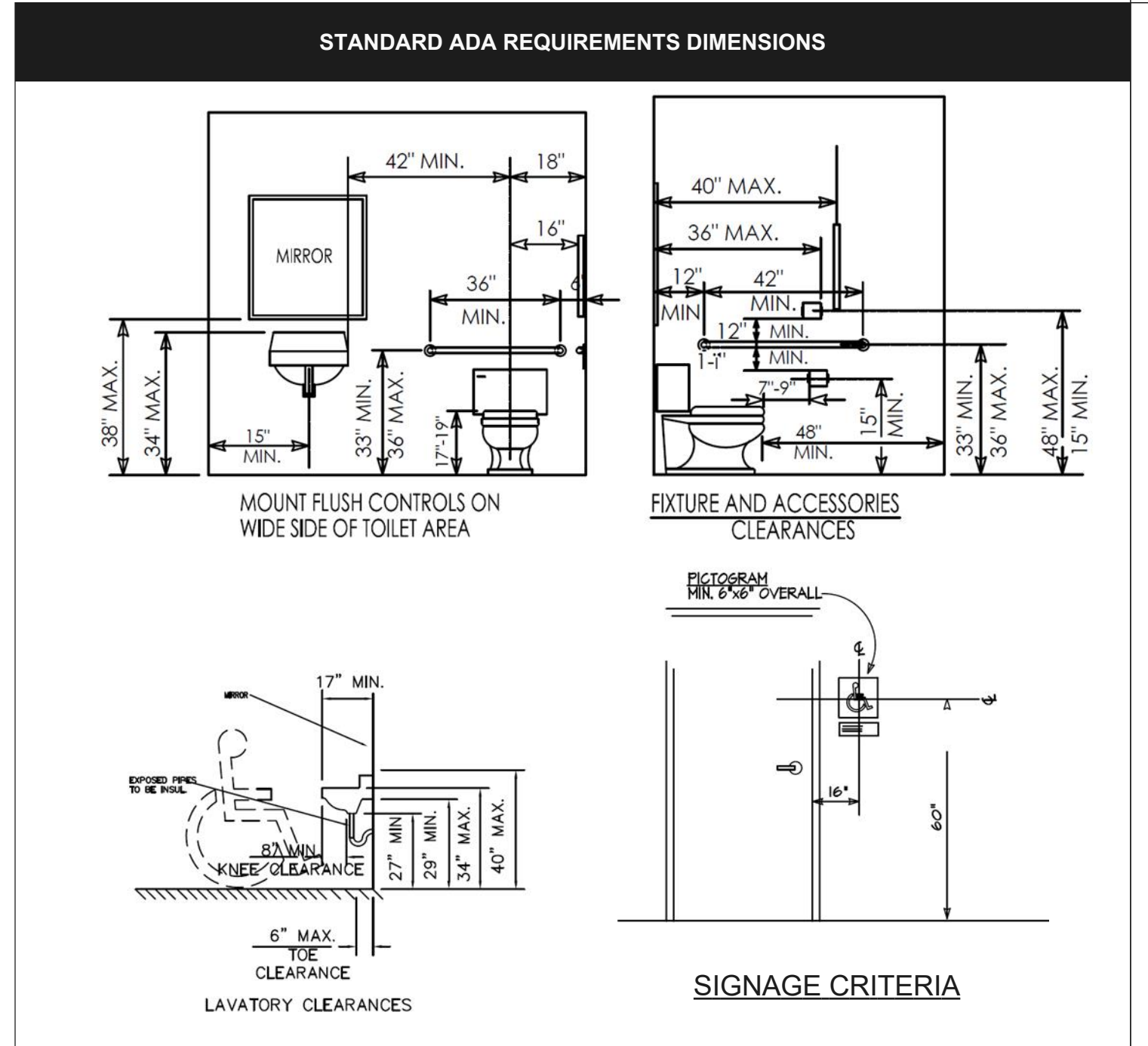
FLOOR DRAIN DETAIL
SCALE: N.T.S.



TYPICAL TRAP PRIMER DETAIL
SCALE: N.T.S.



TYPICAL PIPE HANGER DETAIL
SCALE: N.T.S.



STANDARD ADA REQUIREMENTS DIMENSIONS

A 1ST FLOOR PLUMBING
107 1" = 1'-0"

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DESCRIPTION
FIRST FLOOR PLUMBING

A.107



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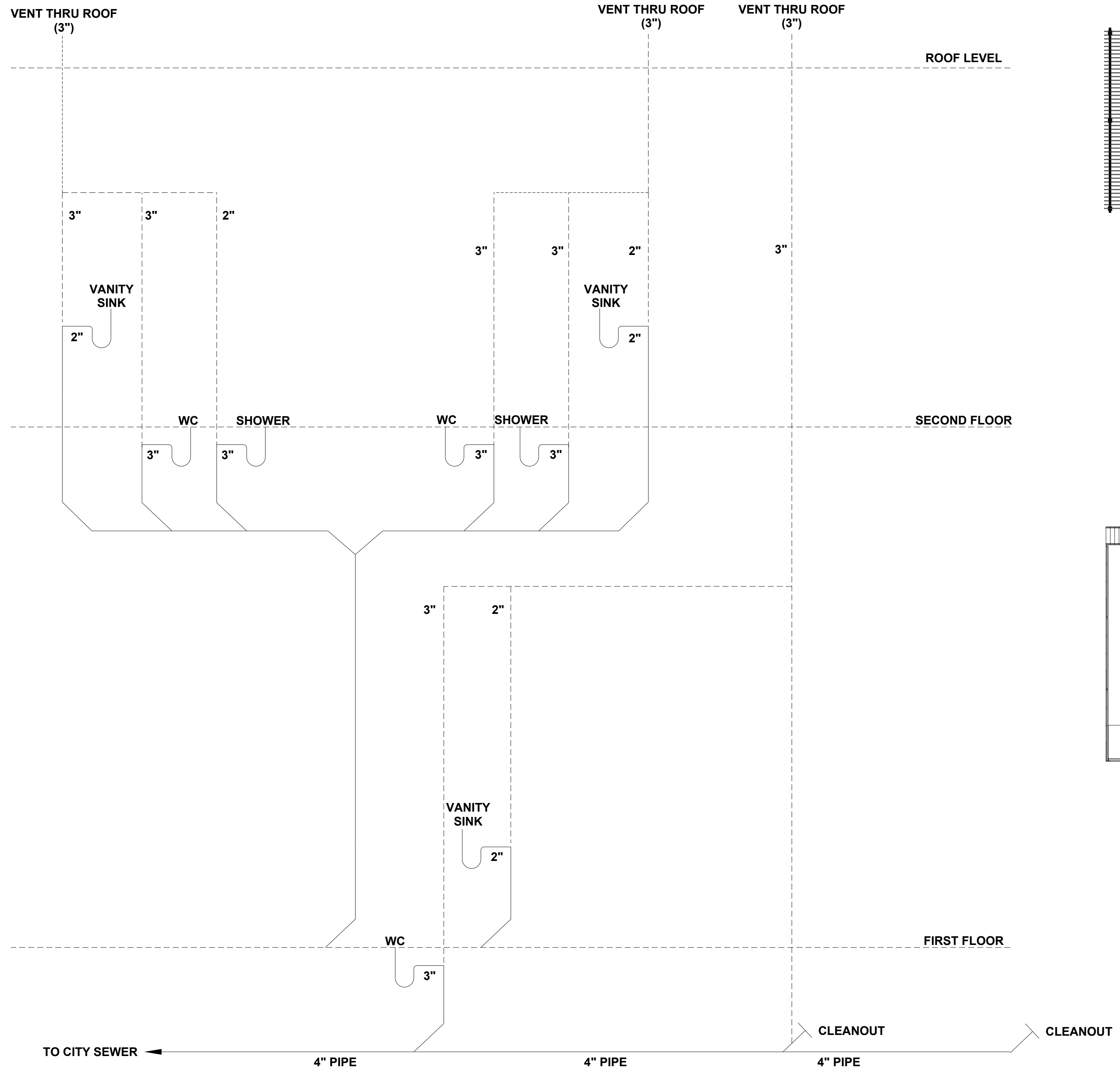
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DESCRIPTION
PLUMBING RISER DIAGRAM

A.108



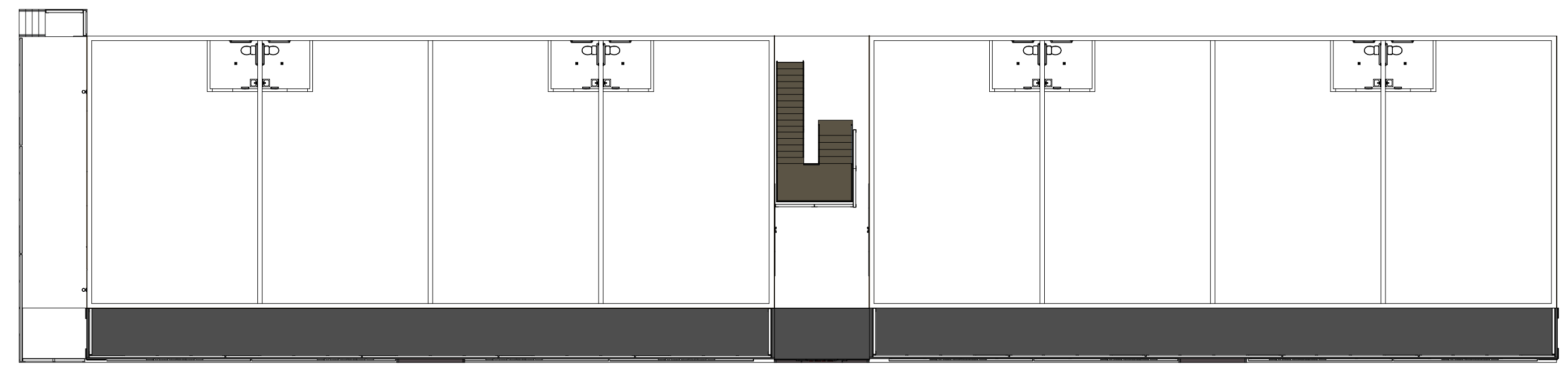
PLUMBING RISER DIAGRAM

-----	VENT
-----	DRAIN

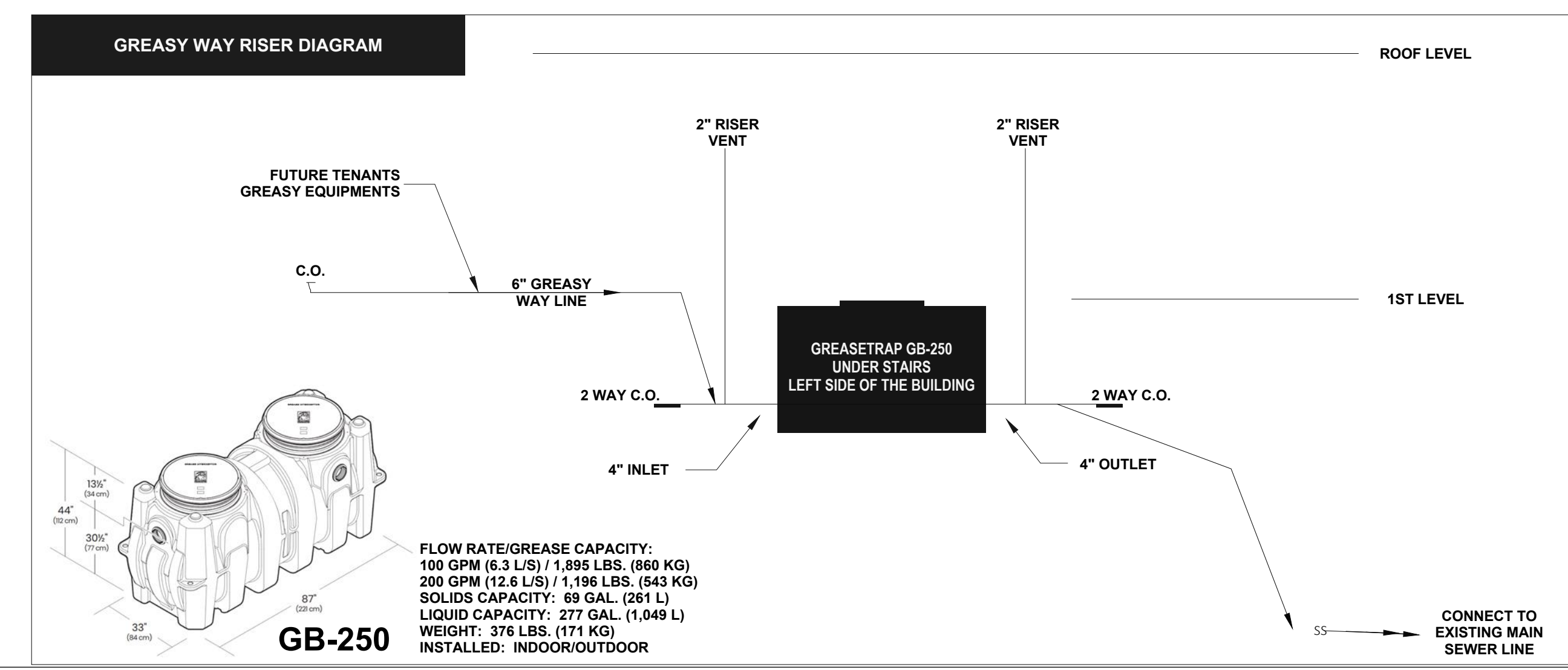
KITCHEN SINK: P-TRAPS 2'
 VANITY: P-TRAPS 2'
 LAUNDRY SINK: P-TRAPS 2'
 W.C.: P-TRAPS 1.5'
 TUB: P-TRAPS 2'
 A/C: P-TRAPS 1.5'



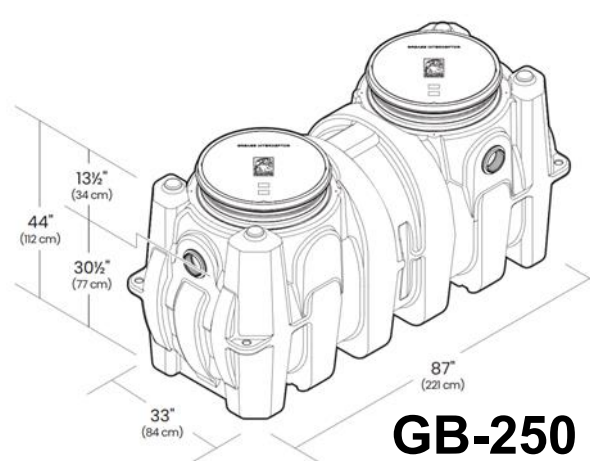
SECOND LEVEL



FIRST LEVEL



GREASY WAY RISER DIAGRAM



GB-250

FLOW RATE/GREASE CAPACITY:
 100 GPM (6.3 L/S) / 1,895 LBS. (860 KG)
 200 GPM (12.6 L/S) / 1,196 LBS. (543 KG)
 SOLIDS CAPACITY: 69 GAL. (261 L)
 LIQUID CAPACITY: 277 GAL. (1,049 L)
 WEIGHT: 376 LBS. (171 KG)
 INSTALLED: INDOOR/OUTDOOR

A PLUMBING RISER DIAGRAM
108 3/32" = 1'-0"

