



BETHANY CHURCH - NEW ORLEANS

3700 CANAL STREET, NEW ORLEANS, LA 70119  
PROJECT #: 197

06/04/2020

PRICING DOCUMENTS  
ONE TO ONE DESIGN, LLC.

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3700 CANAL STREET  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

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COVER SHEET

SHEET NO.

G0-0



ABBREVIATIONS				GENERAL SYMBOL LEGEND		GENERAL NOTES		STAGING NOTES		SHEET INDEX		PROJECT INFORMATION										
ABV AFF ADJ ALT ARCH BM BW BLKG BOARD BFE BOS BS BTM BLDG CABINET CLG CEM CLG HGT CEM CT CLR COL CONC CONT CONC DEMO DTL DIA DIM DIV DS DWG DF ELEC EL EQIP EXIST EXT FOC FOP FOS FE FEC FF FFE FLR FD GA GALV GC GB GYD BD	ABOVE ADJACENT ALTERNATE ARCHITECT (URAL) BENCH MARK BELOW BLOCKING BOARD BASE FLOOD ELEVATION BOTTOM OF STRUCTURE BOTH SIDES BOTTOM BUILDING CABINET CEILING CEILING HEIGHT CEMENT CERAMIC TILE CLEAR (ANCE) COLUMN CONCRETE CONTINUOUS OR CONTINUE CONCRETE MASONRY UNIT DEMOLISH, DE DETAIL DIAMETER OVERHEAD PLAM PLY WD PAINTED PLATE REFLECTED CEILING PLAN REFERENCE REFRIGERATOR RETURN AIR REVISION (S), REVISED ROOM ROUGH OPENING RUBBER BASE SIMILAR SOLID CORE SPECIFICATION SQUARE STANDARD STEEL STRUCTURE (AL) TEMPORARY TOP OF STRUCTURE TYP VERTICAL VERIFY IN FIELD GLASS, GLAZING WATER CLOSET WINDOW WITHOUT WOOD	HW HVAC HGT HC HM HORZ HB LVR INT LAV LOUVER MAX MEP MTL MIN MSC NC NTS OC OFCI OFFO OPP OPH OH PLAM PLY WD PTD RCP RE RIA REV RM RO RS SC SPEC SQ STD STL STR TEMP TOS TYP VERT VP WC WIN WO WD	HARDWARE HEATING / VENTILATING / AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL HOSE BIB HOT WATER HEATER INTERIOR LAVATORY LOUISIER MAXIMUM MECHANIC (AL) METAL MINIMUM MISCELLANEOUS NOT IN CONTRACT NOT TO SCALE ON CENTER OWNER FURNISHED, CONTRACTOR INSTALLED OWNER FURNISHED, OWNER INSTALLED OPPOSITE OPPOSITE HAND OVERHEAD PLASTIC LAMINATE PLYWOOD PAINTED PLATE REFLECTED CEILING PLAN REFERENCE REFRIGERATOR RETURN AIR REVISION (S), REVISED ROOM ROUGH OPENING RUBBER BASE SIMILAR SOLID CORE SPECIFICATION SQUARE STANDARD STEEL STRUCTURE (AL) TEMPORARY TOP OF STRUCTURE TYP VERTICAL VERIFY IN FIELD WATER CLOSET WINDOW WITHOUT WOOD	                            	CENTERLINE NEW STRUCTURAL GRID LINE EXISTING STRUCTURAL GRID LINE PARTITION TYPE BREAK LINE KEYNOTE LIGHTING FIXTURE TAG REVISION NUMBER WINDOW / GLAZING DESIGNATION MATERIAL TAG ROOM NAME ROOM NUMBER ELEVATION NORTH ARROW DRAWING NUMBER SHEET NUMBER EXTERIOR ELEVATION DESIGNATION DRAWING NUMBER SHEET NUMBER INTERIOR ELEVATION DESIGNATION DRAWING NUMBER SHEET NUMBER WALL SECTIONS, BUILDING SECTIONS DRAWING NUMBER SHEET NUMBER DETAIL CALLOUT DRAWING NUMBER SHEET NUMBER DOOR DESIGNATION	1. THE GENERAL CONTRACTOR AND EACH TRADE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS, AND ALL APPLICABLE WORK AS SHOWN OR INFERRED. ALL WORK AS SHOWN OR INFERRED SHALL BE INCLUDED IN THE COSTS. 2. THE GENERAL CONTRACTOR SHALL SUBMIT ALL SUB-CONTRACTORS' SHOP DRAWINGS TO THE ARCHITECT FOR WRITTEN APPROVAL PRIOR TO WORK BEING PERFORMED. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS. 3. ALL WORK SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS AND SHALL BE OF NEW AND BEST QUALITY. NO MATERIAL SUBSTITUTIONS SHALL BE MADE, EXCEPT BY WRITTEN APPROVAL OF THE ARCHITECT IN RESPONSE TO THE CONTRACTOR'S REQUEST. 4. THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL A SIGNED PROPOSAL IS RETURNED TO THE GENERAL CONTRACTOR. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY THE ARCHITECT PRIOR TO THE START OF ANY WORK. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS. SEE SPECIFICATIONS FOR CHANGE ORDER PROCEDURES. 5. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. SEE SPECIFICATIONS. 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUOUS CLEAN UP AND REMOVAL FROM THE PREMISES OF ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SALVAGES AS GENERATED BY THE CONSTRUCTION AND/OR THE WORK OF OTHER CONTRACTORS AND SUB-CONTRACTORS. 7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FINAL AND THOROUGH CLEANING OF ALL SURFACES, FINISHES AND EQUIPMENT AND SHALL DELIVER THE PREMISES IN "MOVE-IN" CONDITION. 8. BARRICADES: THE CONTRACTOR SHALL INSTALL FENCES AND/OR BARRICADES AS NECESSARY FOR THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC AND FOR PROTECTION OF TREES AND SHRUBBERY. FENCES SHALL BE DETAILED AND SHOWN ON THE CONTRACT DOCUMENTS. 9. TOILETS: THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY TOILETS AS NECESSARY FOR USE OF WORKMEN UNLESS OTHERWISE NOTED, AND KEEP TOILETS IN SANITARY CONDITION. 10. PROTECTION: THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR PROTECTING BUILDING PROPERTY AND CONTENTS DURING CONSTRUCTION. 11. REMOVAL OF TRASH AND DEBRIS: THE CONTRACTOR SHALL NOT PERMIT TRASH AND DEBRIS TO ACCUMULATE IN THE BUILDING OR ON THE GROUND IN THE VICINITY OF THE BUILDING. HE SHALL ESTABLISH AND MAINTAIN A REGULAR DAILY ROUTINE FOR REMOVING TRASH AND DEBRIS AND HAULING IT AWAY FROM THE PREMISES. 12. WHEN ITEMS OF EQUIPMENT OR MATERIAL FAIL TO PERFORM OR TO GIVE SATISFACTORY SERVICE DURING WARRANTY PERIOD, THE OWNER MAY REQUIRE THAT CORRECTIONS BE MADE EVEN TO THE EXTENT OF INSTALLING NEW EQUIPMENT OR MATERIALS. WHEN THIS BECOMES NECESSARY, THE WARRANTY PERIOD SHALL EXTEND FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE NEW INSTALLATION. THE EXTENDED WARRANTY PERIOD SHALL APPLY ONLY TO THOSE ITEMS WHICH HAVE NOT PERFORMED SATISFACTORILY. 13. PRECONSTRUCTION CONFERENCE: AFTER NOTIFICATION THAT THE CONTRACT HAS BEEN EXECUTED, THE ARCHITECT SHALL ARRANGE WITH THE OWNER AND CONTRACTOR AND CONDUCT A PRE-CONSTRUCTION CONFERENCE TO BE HELD AT THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT HIS SUBCONTRACTORS ARE IN ATTENDANCE AND SHALL FURNISH TO THE ARCHITECT AND OWNER (1) THE SCHEDULE OF VALUES, (2) LIST OF SUBCONTRACTORS AND MATERIAL SUPPLIERS, AND (3) THE CONSTRUCTION SCHEDULE. 14. PUNCH LIST ITEMS: AT THE TIME OF THE FINAL INSPECTION, A PUNCH LIST WITH ASSIGNED MONETARY VALUES WILL BE COMPILED BY THE DESIGN PROFESSIONAL IN CHARGE. IF THESE ITEMS ARE NOT COMPLETE WITHIN THE 45 DAY LIEN PERIOD, THE MONETARY VALUE OF THE ITEM WILL BE WITHHELD AND THE ITEM WILL BE COMPLETED BY THE OWNER. 15. TEMPORARY UTILITIES: UTILITIES DURING CONSTRUCTION OF THE NEW FACILITIES OR MAJOR MODIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. 16. DURING CONSTRUCTION PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10. 17. ALL INSULATION & INSULATION ASSEMBLIES SHALL HAVE A FLAME SPREAD OF 25 OR LESS & A SMOKE DEVELOPED FACTOR OF 450 OR LESS. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450. 18. ALL THRESHOLDS SHALL COMPLY WITH ADA. 19. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC. 20. INTERIOR WALLS AND CEILING SHALL HAVE A FLAME SPREAD OF 0-200 & A SMOKE DEVELOPMENT RATING OF 0-450.	1. OWNER WILL NOT BE OCCUPYING THE BUILDING DURING DAYTIME AND NIGHT TIME HOURS. AFTER HOURS AND NIGHT TIME CONSTRUCTION TIME FRAME WILL NOT BE A PART OF THIS STAGING PLAN. ALL CONSTRUCTION TIME FRAMES WILL BE ESTABLISHED WITH THE OWNER FOR OWNERS APPROVAL. CONTRACTOR TO PROVIDE AND MAINTAIN ALL TEMPORARY POWER, CONTRACTOR TO PROVIDE AND MAINTAIN ALL TEMPORARY EXTERIOR AND INTERIOR CONSTRUCTION LIGHTING FOR THE WORK. 2. CONTRACTOR'S SITE AND CONSTRUCTION SEQUENCING / PHASING / TIME FRAMES AND FACILITIES TO BE NOTED ON THE STAGING DRAWINGS TO BE PREPARED BY THE CONTRACTOR. ALL STAGING AREAS AND TIME SEQUENCING TO BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO COMMENCING THE WORK AT ANY SITE LOCATION. STAGING PLANS WILL BE UPDATED AS THE WORK EVOLVED AND CONDITIONS CHANGE. CONTRACTOR TO FOLLOW ALL APPLICABLE CITY ORDINANCES. 3. STAGING INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: A. ANY AND ALL STAGING AREAS B. STORAGE AREAS C. STOCKPILE AREAS D. DUMPSTER AND TRASH RECEPTION E. SANITARY FACILITIES F. LOADING AREAS G. TRAILER AND/OR FIELD OFFICE H. USE OF CRANES / LIFTS FOR MANPOWER AND REMOVAL AND INSTALLATION OF MATERIALS I. ALL TEMPORARY FENCE ENCLOSURES, HEIGHT, LOCATIONS, TYPES, AND ACCESS POINTS J. CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY SECURED FENCING WITH VISUAL BLOCKING SCREENING. K. MINIMUM FENCE HEIGHT @ 6' WITH CHAIN LINK FABRIC KNUCKLED TOP AND BOTTOM L. SHORING AND SECURING OF ALL EQUIPMENT M. DEMOLITION AND PLACEMENT OF NEW CONCRETE AND ASSOCIATIVE ACTIVITIES SHALL BE DESCRIBED. CONCRETE AND MATERIALS WASTE AND WASHOUT WATER INCLUDING MIXING TRUCKS) SHALL BE CONTAINED ON SITE, REMOVED FROM SITE, AND DISPOSED PROPERLY AND NOT ENTER DRAINAGE, SEWER OR POTABLE WATER SYSTEMS N. ACCUMULATION OF CONSTRUCTION DEBRIS SHALL BE REMOVED PROMPTLY BY THE CONTRACTOR PER APPROVED SCHEDULE 4. CONTRACTOR'S TRAFFIC CONTROLS: A. NUMBER AND LOCATION OF CONTRACTOR'S PARKING BOTH ON- AND OFF- SITE B. TRUCK SCHEDULING AND ROUTING, ANTICIPATED HOURS, WITH NUMBERS OF DELIVERIES, PICK UP, SHOWN DAILY INCLUDING TIME OF DAY C. ROUTE FOR STORG AND ACCESS POINTS IDENTIFYING USE AND TIME OF STREETS AND DRIVES D. CONTRACTOR TO PROVIDE ALL SIGNAGE AND CONTROLS AT STREETS AND DRIVEWAYS E. EMERGENCY ACCESS AND EXITING FROM SITE AND BUILDING SHALL NOT BE IMPEDED F. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SIDEWALK PROTECTION IN AREAS WHERE CONSTRUCTION IS TAKING PLACE ADJACENT TO SIDEWALKS AND OVERHEAD HAZARDS. G. SIDEWALKS ADJACENT TO CONSTRUCTION SITE SHALL BE MAINTAINED FOR PUBLIC USE BY THE CONTRACTOR IDENTIFY DETOUR PATHS INCLUDING SIGNAGE TYPES AND PLACEMENT. 5. CONTRACTOR TO INVENTORY ALL SITE FEATURES / CONDITIONS PRIOR TO COMMENCING WORK A. EXISTING CONDITIONS OF ALL AREAS ACCESSED BY THE CONTRACTOR ARE TO BE NOTED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: a. PAVING, STREETS, DRIVEWAYS, SIDEWALKS, CURBING, GRADING, SOILS, EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND DRAINAGE ITEMS BOTH ABOVE AND BELOW GROUND, INCLUDING (BUT NOT LIMITED TO) ANY CLEANOUTS, VALVES, AND METER BOXES B. CONTRACTOR TO NOTE TOPOGRAPHY INFORMATION EXISTING AND NEW TO CHARACTERIZE THE SITE CONTRACTOR TO NOTE AREAS AND EXTENT OF SOIL DISTURBANCE BY CONTRACTOR'S VEHICLES AND EQUIPMENT 6. ALL DETEIORATION AND DAMAGE AS A RESULT OF THE WORK IS TO BE RESTORED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL WORK WITH STORAGE AND STAGING WITH EXISTING SITE CONDITIONS SO AS NOT TO DAMAGE TREES AND THEIR ROOT SYSTEMS. GRASS AREAS DISTURBED TO BE RESTORED 7. CONTRACTOR TO IMPLEMENT MEASURES TO ENSURE SITE AND PUBLIC WAY WILL BE MAINTAINED AND REMAIN CLEAN THROUGHOUT CONSTRUCTION 8. CONTRACTOR TO PROVIDE DAILY LISTING OF ONSITE WORKERS WITH ACCEPTABLE CRIMINAL BACKGROUND CHECKS TO THE OWNER, CONTRACTOR TO PROVIDE EACH WORKER OWNER APPROVED IDENTIFICATION BADGE AND PARKING TAG 9. CONTRACTOR TO IDENTIFY ALL NOISE-PRODUCING ITEMS AND MEASURES TO REDUCE NOISE 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE CITY OF NEW ORLEANS FOR ANY AND ALL CONSTRUCTION PHASING REQUIRED TO KEEP ADJACENT STREETS, BUSINESSES, AND RESIDENCES FULLY ACCESSIBLE DURING CONSTRUCTION. ALL DELIVERIES SHALL BE MADE FROM CITY STREETS. 11. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMIETER FENCE ON SITE. AT COMPLETION OF PROJECT, CONTRACTOR IS TO REMOVE FENCING.	00 GENERAL G0-0 COVER SHEET G1-1 PROJECT INFORMATION + DRAWING INDEX G4-1 PHOTO DOCUMENTATION G4-2 PHOTO DOCUMENTATION G4-3 PHOTO DOCUMENTATION G4-4 PHOTO DOCUMENTATION 02 DEMOLITION AD1-0 DEMOLITION PLAN - SITE AD1-1 DEMOLITION PLANS AD1-2-1 DEMO PLAN - ROOF (LOWER) AD1-2-2 DEMO PLAN - ROOF (UPPER) 03 CIVIL C10-1 SITE DRAINAGE CONDITIONS C11-1 EXISTING CONDITIONS C12-1 DEMOLITION PLAN C13-1 SITE PLAN C14-1 UTILITY PLAN C15-1 GRADING PLAN C2-1 STORMWATER POLLUTION PREVENTION C2-2 STORMWATER POLLUTION PREVENTION C5-1 DETAILS C5-2 DETAILS 04 LANDSCAPE L1-1-1 PLANTING PLAN L5-1-1 DETAILS 06 ARCHITECTURAL A10-1 SITE - PLAN A10-2 SITE DETAILS A10-3 SITE DETAILS A10-4 SITE DETAILS A11-1 FLOOR PLAN - LEVEL 1 A11-2 FLOOR PLAN - MEZZANINE A12-1 PLAN - ROOF (LOWER) A12-2 PLAN - ROOF (UPPER) A2-1 BUILDING ELEVATIONS A2-2 BUILDING ELEVATIONS A2-3 EXTERIOR AXONOMETRIC A2-4 EXTERIOR AXONOMETRIC	<p><b>PROJECT DESCRIPTION:</b> THE PROJECT IS A RENOVATION OF AN EXISTING VACANT BUILDING THAT PREVIOUSLY SERVED AS AN ASSEMBLY OCCUPANCY FOR GRACE EPISCOPAL CHURCH.</p> <p>THE SCOPE OF WORK INCLUDES RENOVATION OF THE MAIN WORSHIP SPACE, CHAPEL, PARISH HALL, CONSTRUCTION OF INTERIOR PARTITIONS FOR AN INTERIOR LOBBY AND DAYCARE, AND CONSTRUCTION OF INTERIOR SUPPORT SPACES.</p> <p>NO SIGNIFICANT EXTERIOR ALTERATIONS WILL TAKE PLACE, WITH THE EXCEPTION OF NEW FENESTRATION AND MODIFICATION TO THE EXTERIOR CLADDING AT THE DAYCARE / INTERIOR LOBBY FACING AN EXISTING OUTDOOR AREA. ROOFING AT ALL EXISTING ROOFS, RENOVATION OF THE REAR PARKING LOT, A NEW CANOPY &amp; PAVING LEADING FROM THE REAR PARKING LOT TO THE SIDE ENTRANCE OF THE NEW LOBBY, AND NEW LANDSCAPING.</p> <p>NO INTERIOR WORK WILL BE CONDUCTED UNDER THIS SCOPE FOR THE EXISTING PARSONAGE BUILDING LOCATED ON THE PROPERTY.</p> <p><b>APPLICABLE CODES (NOT LIMITED TO THE FOLLOWING):</b> INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL EXISTING BUILDING CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL FIRE CODE 2015 NATIONAL ELECTRIC CODE 2014 NFPA 101 2012 ADA 2010</p> <p><b>OCCUPANCY:</b> MIXED OCCUPANCY ASSEMBLY (NO CHANGE OF USE) INSTITUTIONAL (DAYCARE)</p> <p><b>CONSTRUCTION TYPE:</b> MAIN WORSHIP SPACE, CHAPEL IBC TYPE IIB, SPRINKLERED NFPA II (000), SPRINKLERED ALL OTHER SPACES IBC TYPE VB, SPRINKLERED NFPA V (000), SPRINKLERED</p> <p><b>FIRE PROTECTION:</b> SPRINKLERED, FIRE ALARM</p> <p><b>ZONE:</b> HJ-MUJ</p> <p><b>BASE FLOOD ELEVATION:</b> AE/5</p> <p><b>SITE AREA:</b> 53,174 SF</p> <p><b>EXISTING BUILDING INFORMATION</b> <b>BUILDING STORIES:</b> 1. EXISTING MEZZANINE SPACE ON EITHER SIDE OF EXISTING PLATFORM <b>BUILDING HEIGHT:</b> 37'-10" EXCLUDING BELL TOWER <b>GROSS BUILDING AREA:</b> 16,075 SF EXISTING CHURCH 2,860 SF EXISTING PARSONAGE</p> <p><b>NFPA 101 EXTINGUISHMENT REQUIREMENTS</b> 12.3.5.2 ANY BUILDING CONTAINING ONE OR MORE ASSEMBLY OCCUPANCIES WHERE THE AGGREGATE OCCUPANT LOAD OF THE ASSEMBLY OCCUPANCIES EXCEEDS 300 SHALL BE PROTECTED BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.7</p>													
AREA MAP				VICINITY MAP																		
<p>REVISION ISSUE DATE</p> <table border="1"><thead><tr><th>REVISION</th><th>ISSUE</th><th>DATE</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table>				REVISION	ISSUE	DATE													<p>ISSUE: PRICING DOCUMENTS ARCHITECT PROJECT NO: 197 DRAWN BY: XX ISSUE DATE: 06/04/2020</p> <p>SHEET TITLE <b>PROJECT INFORMATION + DRAWING INDEX</b></p> <p>SHEET NO. <b>G1-1</b></p>			
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1 CANAL STREET FACADE, SHOWING ENTRY TO SANCTUARY. DAMAGED WOOD STOREFRONT DOORS TO BE REPLACED IN KIND; BRICK AND CAST STONE TO BE CLEANED AND REPAIRED WHERE NOTED (RE: BUILDING ELEVATIONS). DAMAGED TO CAST STONE CROSS TO BE REPAIRED, NEW IN-GROUND LED UPLIGHTING TO BE INSTALLED (RE: SITE PLAN). ENTIRE BUILDING TO BE ROOFOFF (RE: ROOF DRAWINGS & SPECIFICATIONS.)



2 INTERNAL COURTYARD LOOKING TOWARD CLEVELAND AVENUE. NEW LANDSCAPING / PAVING @ INTERNAL COURTYARD. METALWORK GATE TO BE LEAD ABATED, CLEANED AND REPAINTED. EXISTING CHAPEL DOOR TO BE REPLACED WITH GLAZED DOOR IN EXISTING OPENING. MECHANICAL SYSTEMS AT RIGHT TO BE REROUTED, BRICK TO BE PATCHED TO MATCH EXISTING ADJACENT.



3 INTERNAL COURTYARD LOOKING TOWARD CANAL STREET. EXISTING PAVING AND WATER FEATURE TO BE DEMOLISHED. NEW RAISED PLANTING BED AND PERMEABLE PAVING TO BE INSTALLED (RE: SITE PLAN). NEW DS AND GUTTERS TO BE REPLACED IN KIND IN SAME LOCATIONS, TYP. THROUGHOUT.



4 EXISTING FACADE SHOWING LOGGIA AND LOBBY ENTRY FROM CANAL STREET. NEW BICYCLE PARKING TO BE ADDED AT LEFT (RE: SITE PLAN). ROOFS TO BE REPLACED THROUGHOUT. NEW GUTTERS AND DOWNSPOUTS TO BE REPLACED IN KIND IN SAME LOCATIONS, TYP. THROUGHOUT. EXISTING STAINED AND LEADED GLASS TO REMAIN.



5 SECONDARY FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) ON S. CORTEZ ST. SIDE WITH NON-HISTORIC H.M. & VINYL OPENINGS. FIBER CEMENT SIDING. OPENINGS TO BE MODIFIED, RELOCATED, AND REPLACED (RE: BUILDING ELEVATIONS) WITH RECEIVE NEW WINDOWS. NEW ENTRY WALKWAY TO BE INSTALLED WITH PLANTING. ROOFS, GUTTERS, AND DOWNSPOUTS TO BE REPLACED IN KIND IN SAME LOCATIONS.



6 WORSHIP SPACE ENTRY FROM CANAL STREET. SIGN POSTS AT LEFT TO BE REMOVED. EXISTING LEADED GLASS WINDOWS TO REMAIN. EXISTING SITE LIGHTING ON POLES TO BE REFURBISHED.



7 REAR FACADE OF PARSONAGE. FROM CLEVELAND AVENUE SIDE. BRICK TO BE CLEANED AND REPAIRED (RE: BUILDING ELEVATIONS).



8 CANAL STREET ELEVATION SHOWING WORSHIP ENTRY AND BELLTOWER (SEEN FROM S. CORTEZ ST. SIDE). EXISTING CAST STONE AND BRICK TO BE CLEANED AND REPAIRED (RE: BUILDING ELEVATIONS).



9 CLEVELAND AVENUE (SECONDARY) FACADE (LOOKING TOWARD CANAL STREET). EXISTING WINDOWS TO BE REPLACED WITH IMPACT-RATED GLAZING AND ASSEMBLIES. EXISTING NON-HISTORIC HOLLOW METAL DOORS TO BE REPLACED WITH IMPACT-RATED GLASS STOREFRONT SYSTEMS AND DOORS (RE: BUILDING ELEVATIONS). BRICK TO BE CLEANED (RE: BUILDING ELEVATIONS). ROOFS, DOWNSPOUTS, AND GUTTERS TO BE REPLACED IN SAME LOCATIONS THROUGHOUT. PARKING LOT TO BE REPLACED IN ITS ENTIRETY (RE: SITE PLAN). NON-HISTORIC AWNING TO BE REMOVED.



10 CLEVELAND AVENUE (SECONDARY) FACADE (LOOKING TOWARD CANAL STREET). EXISTING WINDOWS TO BE REPLACED WITH IMPACT-RATED GLAZING AND ASSEMBLIES IN EXISTING OPENINGS. WOOD FENCING TO BE REMOVED (RE: DEMO SITE PLAN). BRICK TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS). NEW PREFABRICATED METAL CANOPY TO BE INSTALLED OVER NEW ACCESSIBLE RAMP (RE: SITE PLAN. BUILDING PLAN). NEW WOODEN FENCING TO BE INSTALLED TO SCREEN MECHANICAL YARD (RE: SITE PLAN). WALL A/C UNIT TO BE REMOVED AND INFILLED WITH BRICK TO MATCH EXISTING.



11 SECONDARY S. CORTEZ ST FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) LOOKING TOWARD CLEVELAND AVENUE. EXISTING PAVING, WOODEN FENCING, DATE PALMS, AND MECHANICAL UNITS TO BE DEMOLISHED. FACADE TO BE CLEANED; EXISTING OPENINGS TO BE MODIFIED, RELOCATED TO ACCEPT NEW WINDOWS (RE: BUILDING ELEVATIONS). NEW ENTRY PAVING, PLANTING, AND LED SITE LIGHTING TO BE INSTALLED (RE: SITE PLAN). NEW ROOFING, GUTTERS, AND DOWNSPOUTS TO REPLACE EXISTING IN SAME LOCATIONS.



12 SECONDARY S. CORTEZ ST FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) LOOKING TOWARD CANAL STREET.



13 SECONDARY S. CORTEZ ST FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) LOOKING TOWARD CANAL STREET.



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1 SECONDARY S. CORTEZ ST FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) LOOKING TOWARD CANAL STREET. EXISTING SOFFIT TO REMAIN EXCEPT AS NOTED FOR NEW CANOPY.



2 SECONDARY CLEVELAND AVE FACADE (HIDDEN FROM PUBLIC RIGHT OF WAY) SHOWING EXISTING HISTORIC WINDOWS. NEW IMPACT RATED GLAZING AND ASSEMBLIES TO BE INSTALLED (RE: BUILDING ELEVATIONS). BRICK TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS).



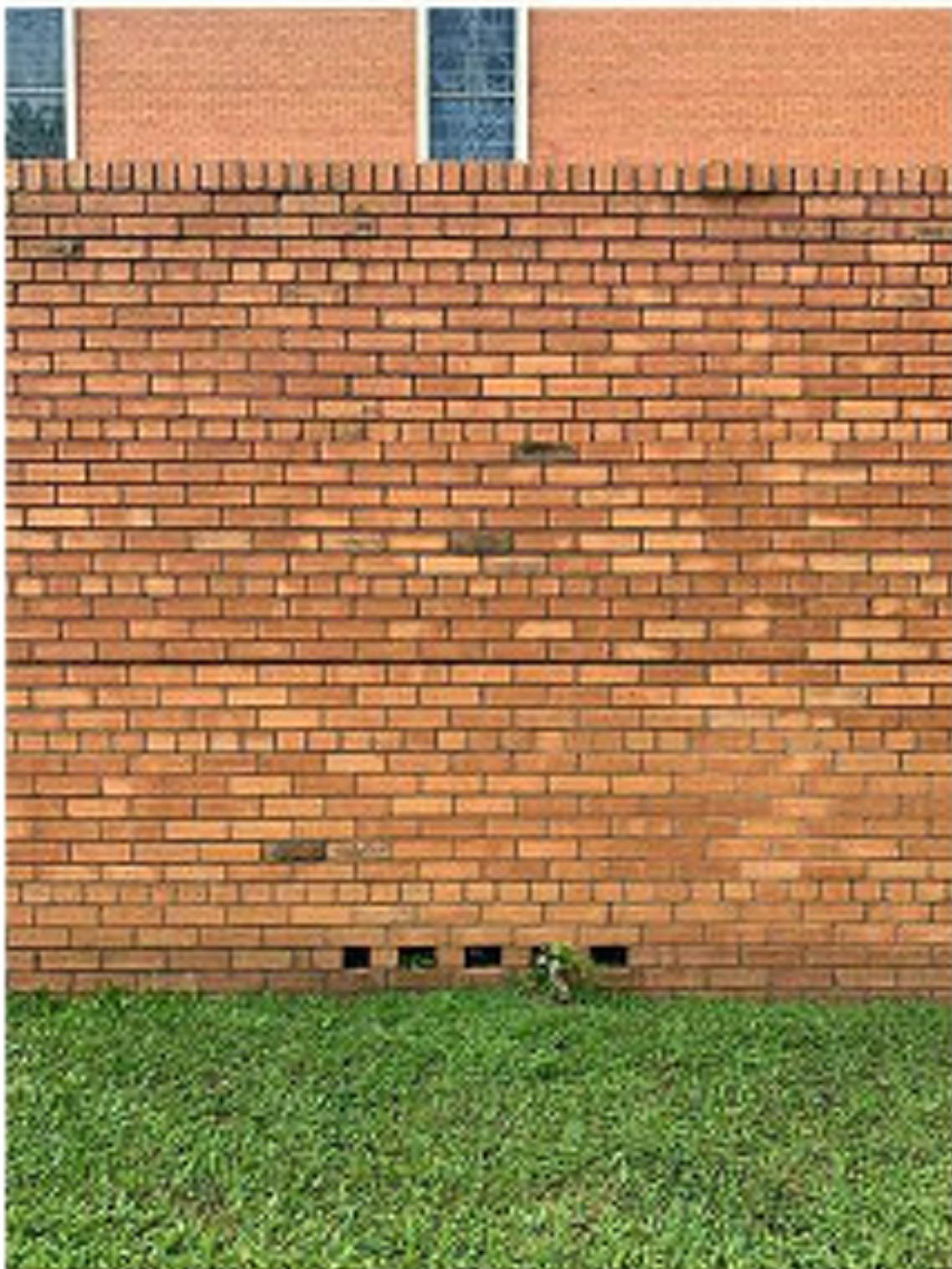
3 CANAL STREET ENTRY TO WORSHIP SPACE. BRICK AND CAST STONE TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS). EXISTING HANDRAILS TO REMAIN. DAMAGED WOOD STOREFRONT ASSEMBLY TO BE REPLACED IN KIND TO MATCH EXISTING PROFILES.



4 CORNER OF CANAL STREET FACADE AND S. TELEMACHUS STREET FACADES. EXISTING HISTORIC CAST-STONE CORNERSTONE TO REMAIN. BRICK AND CAST STONE TO BE CLEANED AND REPAIRED AS NOTED (RE: BUILDING ELEVATIONS).



5 EXISTING WOOD STOREFRONT ASSEMBLY AT CANAL STREET FACADE. TO BE REPLACED IN KIND TO MATCH EXISTING PROFILES WITH IMPACT-RATED GLAZING AND ASSEMBLY. HARDWARE TO BE NEW TO MEET LIFE SAFETY REQUIREMENTS.



6 EXISTING COURTYARD WALL ALONG S. TELEMACHUS STREET FACADE. BRICK AND CAST STONE TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS). EXISTING STAINED GLASS TO REMAIN, TYP. THROUGHOUT. PORTION OF ROWLOCK AT TOP TO BE REPAIRED.



7 INTERNAL COURTYARD AND METALWORK GATE LOOKING TOWARD S. TELEMACHUS STREET. METALWORK TO BE LEAD ABATED, CLEANED AND PAINTED. EXISTING PLASTER SOFFIT TO REMAIN.



8 EXISTING INTERNAL COURTYARD WALL, LOOKING TOWARD S. TELEMACHUS STREET. EXISTING PLANTING TO BE REMOVED. NEW PAVING, GROUNDCOVER AND PLANTING TO BE INSTALLED (RE: SITE PLAN). EXISTING PLASTER SOFFIT TO REMAIN. BRICK TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS).



9 EXISTING LOGGIA ENTRY TO LOBBY SHOWN (CANAL STREET FACADE, LOOKING TOWARD S. TELEMACHUS STREET FROM PARSONAGE). EXISTING HOLLOW METAL DOOR TO BE REPLACED WITH IMPACT RATED STOREFRONT SYSTEM AND GLAZING (RE: DOOR SCHEDULE).



10 EXISTING STEP CRACKING DUE TO SETTLING AT LOGGIA ON CANAL STREET FACADE TO BE REPAIRED & REPOINTED.



11 EXISTING EFFLORESCENCE AT BRICK IN COURTYARD LOOKING TOWARD ENTRY VESTIBULE (HIDDEN FROM PUBLIC RIGHT OF WAY). BRICK TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS). EXISTING PLASTER SOFFIT AND DOOR TO REMAIN.



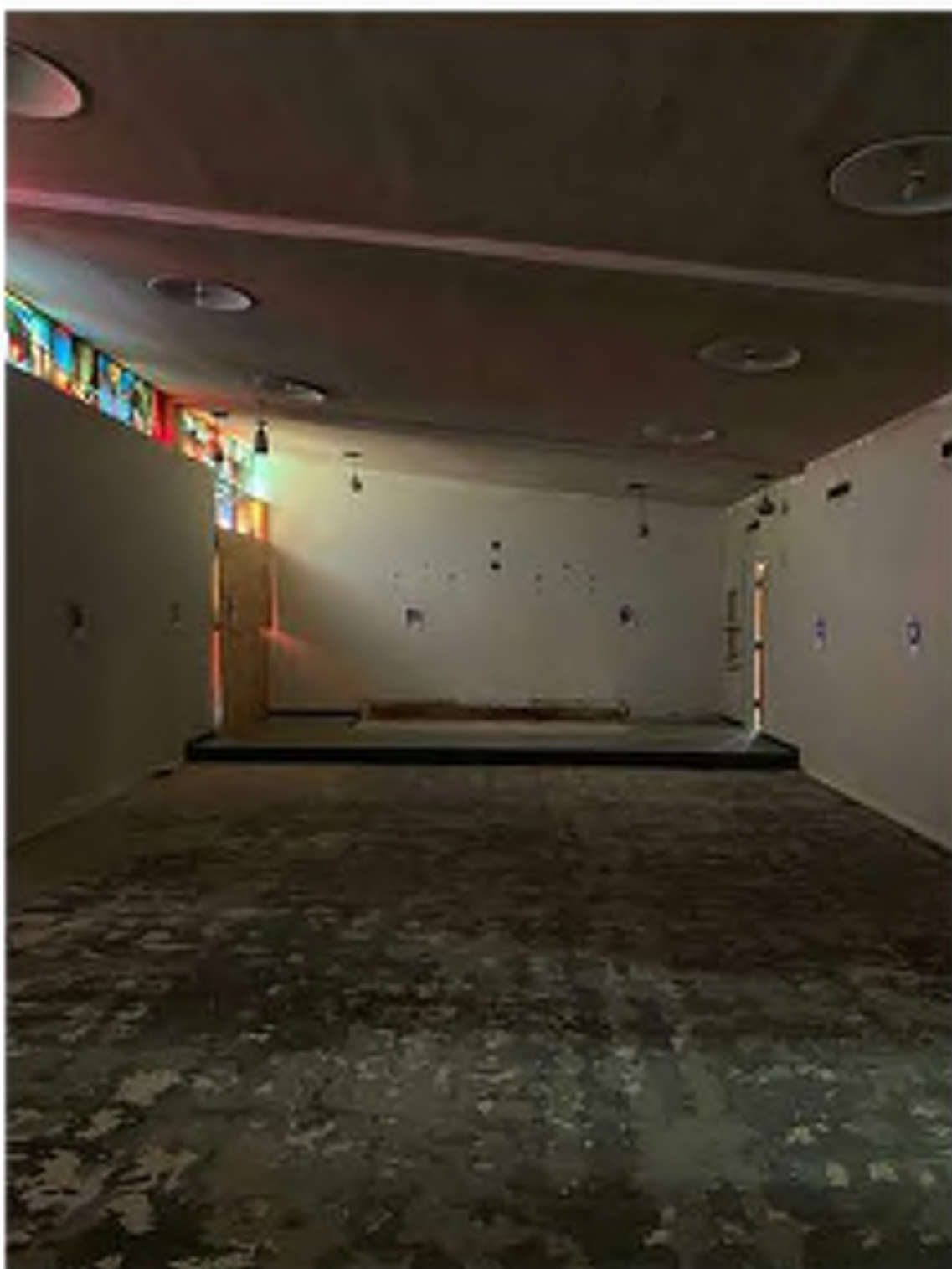
12 EXISTING WORSHIP SPACE LOOKING TOWARD CANAL STREET FROM ALTAR. EXISTING STAINED GLASS WINDOWS AND HISTORIC MURAL TO REMAIN. NON-HISTORIC STUD WALL TO LEFT AND SURFACE MOUNTED SPEAKERS TO BE REMOVED (RE: DEMO PLAN). EXISTING CEILING TO BE DEMOLISHED ABOVE SEATING (EXISTING CHEVRON CEILING TO REMAIN ABOVE ALTAR PLATFORM. RE: REFLECTED CEILING PLAN). NEW SHAPED ACOUSTIC CEILING TO BE INSTALLED. NEW CARPET TO BE INSTALLED. EXISTING TERRAZZO AT ALTAR TO REMAIN. EXISTING BRICK TO REMAIN. EXISTING PAINTED WALLS TO BE REPAINTED, ROOM.



13 EXISTING SANCTUARY LOOKING TOWARD ALTAR FROM CANAL STREET. EXISTING HISTORIC MURAL TO REMAIN. EXISTING CEILING ABOVE ALTAR PLATFORM TO REMAIN (RE: RCP). EXISTING TERRAZZO ALTAR AND STEPS TO BE REMOVED AND FILLED WITH TERRAZZO FINISH TO MATCH EXISTING. REMAINING TERRAZZO PLATFORM TO BE PROTECTED. NEW SCREEN WALL, THEATRICAL SCRIM, PROJECTION SCREEN, AND THEATRICAL LIGHTING TO BE INSTALLED AS INDICATED (RE: PLAN, ELEVATIONS, RCP). EXISTING BAFFLES TO ORGAN LOFT TO BE REMOVED AND FILLED WITH PLASTER FINISH TO MATCH ADJACENT EXISTING. SIDE WALLS OF CHANCEL TO BE PAINTED.



14 EXISTING KITCHEN RANGE, STOVETOP, HOOD TO BE RESERVED FOR REUSE. EXISTING 3 COMPARTMENT SINK, SINGLE HAND SINK, AND DISHWASHER TO REMAIN. EXISTING CEILING TO BE REMOVED AND REPLACED WITH NEW KITCHEN ZONE ACT CEILING (RE: RCP). EXISTING VINYL TILE TO BE REMOVED AND CONCRETE SLAB TO BE REFINISHED AS FINISHED FLOOR.



15 EXISTING CHAPEL. HISTORIC STAINED GLASS WINDOWS TO REMAIN. EXISTING LIGHT FIXTURES TO REMAIN AND BE REPAIRED. NEW TERRAZZO TILE FLOORING TO BE INSTALLED. NEW COFFEE PREP AREA, BANQUETTE SEATING, AND PRIVACY SCREENS TO BE INSTALLED (RE: PLAN, ELEVATIONS, RCP). EXISTING PLASTER CEILING AND BEAMS TO REMAIN, BE REPAIRED.



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1 EXISTING CHURCH ADMINISTRATION SPACE. ROOF FRAMING TO REMAIN. SPACE TO BE SUBDIVIDED AS SHOWN IN PLAN. EXISTING WINDOWS AND DOORS TO BE REPLACED WITH IMPACT RATED GLAZING ASSEMBLIES (RE: BUILDING ELEVATIONS, SCHEDULES). NEW ENGINEERED WOOD FLOORING TO BE INSTALLED THROUGHOUT.



2 EXISTING CHURCH ADMINISTRATION SPACE. ROOF FRAMING TO REMAIN. SPACE TO BE SUBDIVIDED AS SHOWN IN PLAN. EXISTING WINDOWS AND DOORS TO BE REPLACED WITH IMPACT RATED GLAZING ASSEMBLIES (RE: BUILDING ELEVATIONS, SCHEDULES). NEW ENGINEERED WOOD FLOORING TO BE INSTALLED THROUGHOUT.



3 EXISTING CHURCH ADMINISTRATION SPACE. ROOF FRAMING TO REMAIN. SPACE TO BE SUBDIVIDED AS SHOWN IN PLAN.



4 EXISTING PASS-THROUGH WINDOW AT KITCHEN TO BE SALVAGED. OPENING TO BE FILLED IN TO MATCH ADJACENT EXISTING.



5 DAMAGED WOODEN SEDIA SEATING IN CHANCEL TO BE REMOVED AND SALVAGED TO OWNER. OPENING TO BE INFILLED TO MATCH EXISTING WALL ABOVE AND PAINTED.



6 EXISTING NON-HISTORIC STUD FRAMING IN SANCTUARY TO BE DEMOLISHED (RE: DEMO PLAN).



7 EXISTING GLAZED METALWORK DOUBLE DOORS AT CHAPEL TO BE ABATED FOR LEAD AND TO REMAIN. HARDWARE TO BE REPLACED TO MEET LIFE SAFETY REQUIREMENTS.



8 EXISTING NON-HISTORIC INTERIOR FRAMING AND GLAZING IN LOBBY ENTRY VESTIBULE TO BE DEMOLISHED. (RE: PLAN)



9 EXISTING STRUCTURAL TERRA COTTA CLAY TILE BEARING WALL TO REMAIN.



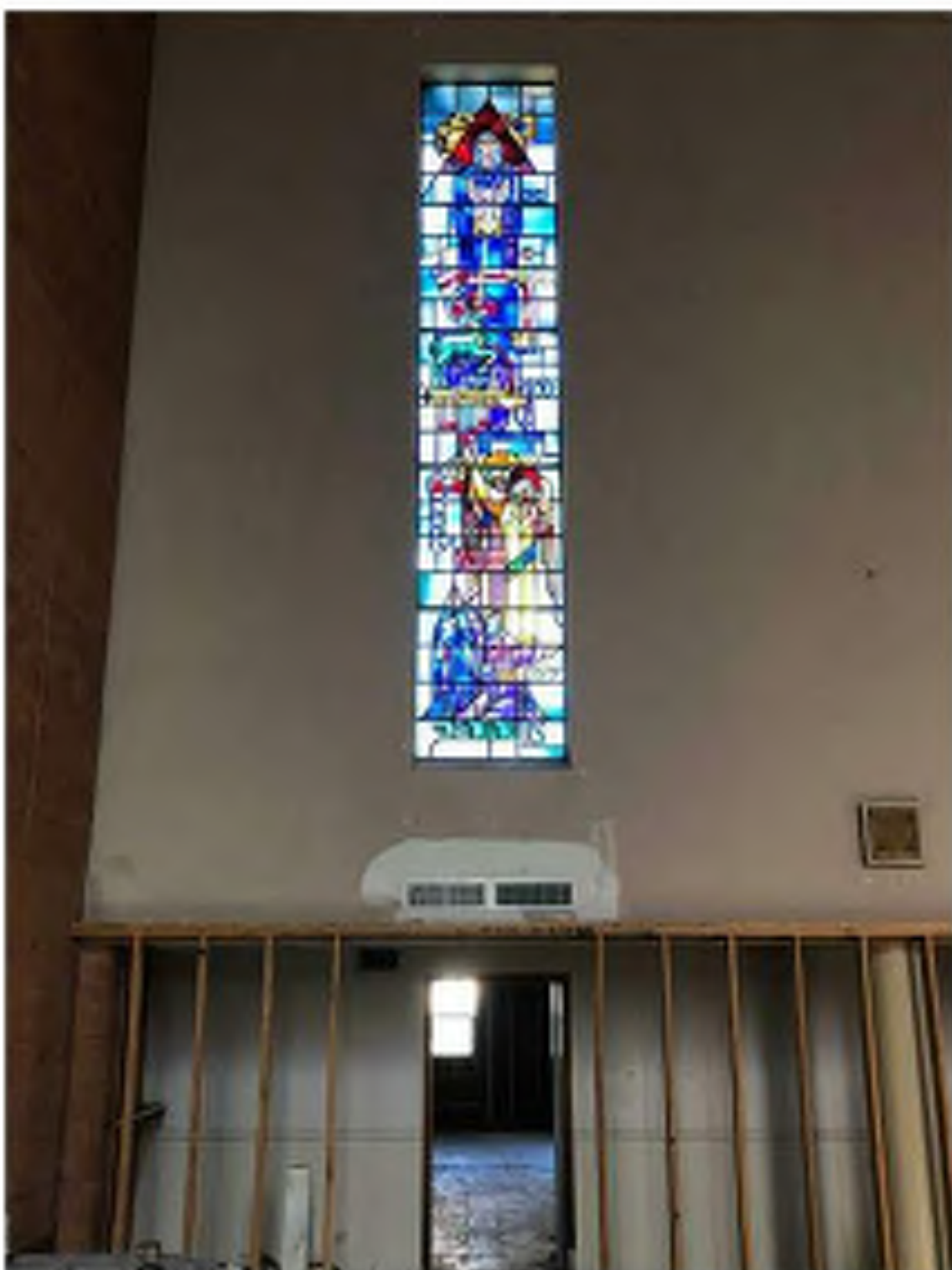
10 EXISTING ACOUSTIC TILE CEILING TO BE DEMOLISHED AT EXISTING CHURCH ADMINISTRATION AREA (NEW DAYCARE AREAS.) NEW SUSPENDED GYP CEILING TO BE INSTALLED (RE: RCP).



11 VIEW TO ROOF FROM EXISTING BRIDAL ROOM. EXISTING LEADED GLASS TO REMAIN (TYP. THROUGHOUT).



12 EXISTING BAFFLES @ ORGAN LOFT (SIM. BOTH SIDES OF CHANCEL) TO BE DEMOLISHED. OPENING TO BE INFILLED AND FINISHED WITH PLASTER TO MATCH ADJACENT EXISTING WALL.



13 SANCTUARY LOOKING NE. EXISTING STAINED GLASS TO REMAIN (TYP. THROUGHOUT). SURFACE-MOUNTED SPEAKERS TO BE REMOVED. WALL TO BE PATCHED AND FINISHED TO MATCH EXISTING ADJACENT PLASTER. NON-HISTORIC STUD FRAMING TO BE REMOVED (RE: DEMO PLAN, ELEVATIONS)



14 EXISTING NON-FUNCTIONING ORGAN PIPES IN LOFTS @ SIDES OF CHANCEL TO BE REMOVED AND SALVAGED TO OWNER.



15 NON-HISTORIC METAL STUD FURRING TO BE REMOVED AT NEW RESTROOMS / NEW LOBBY (PREVIOUS CHURCH ADMINISTRATION AREA.)

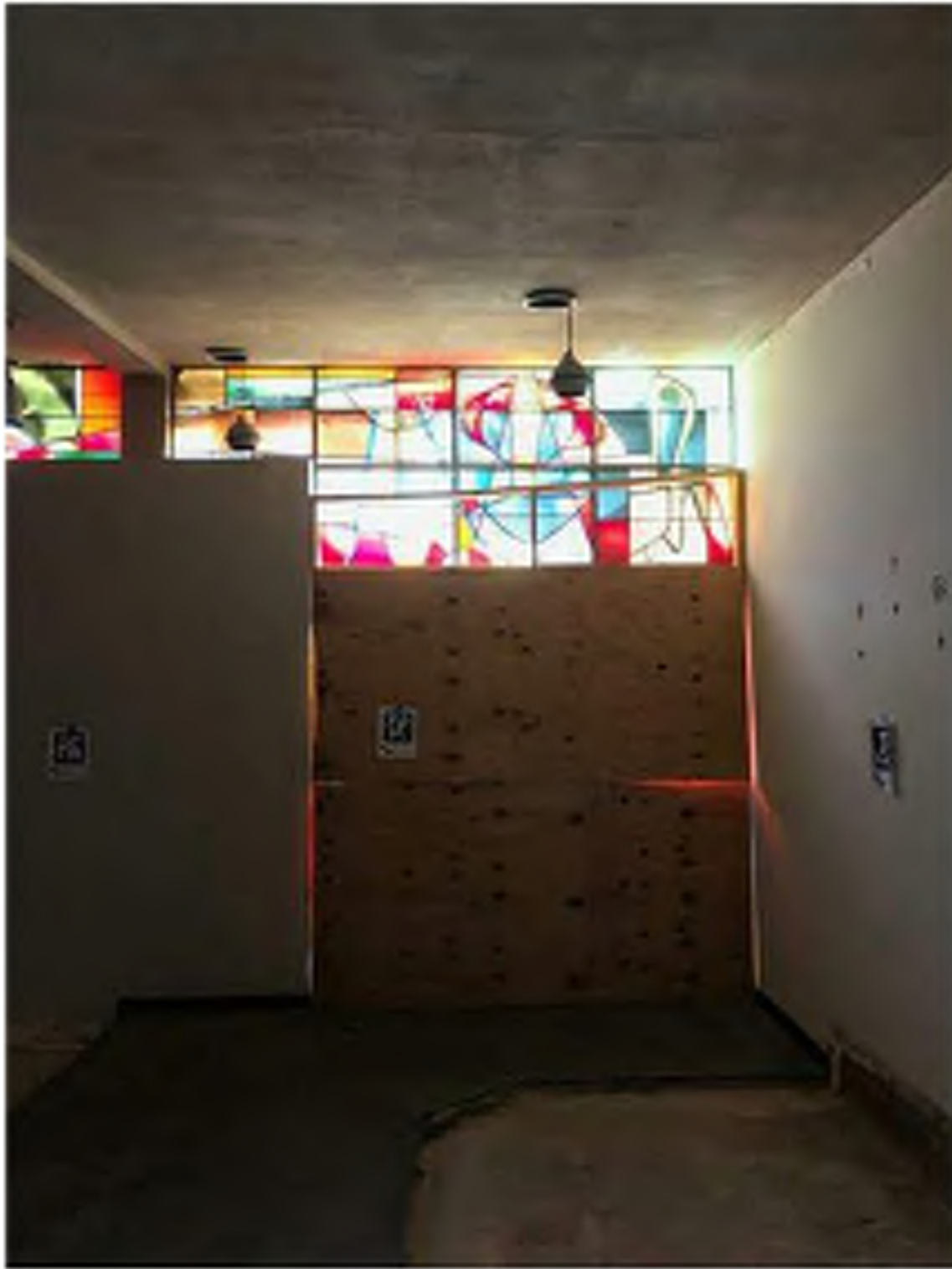


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SHEET TITLE  
PHOTO  
DOCUMENTATION





1 EXISTING CHAPEL BUILDING. EXISTING HISTORIC STAINED GLASS TO REMAIN, TYP. THROUGHOUT. PLYWOOD PROTECTIVE SHEATHING TO BE REMOVED. DAMAGED TERRAZZO FLOORING AT CHAPEL TO BE REMOVED AND REPLACED WITH NEW TERRAZZO TILE FLOORING (RE: ROOM SCHEDULE). EXISTING PENDANT LIGHT FIXTURES (SHOWN) TO BE DEMOLISHED (RE: DEMO AND NEW RCP).



2 EXISTING STRUCTURAL FRAMING AT EXTERIOR WALL ALONG CANAL STREET IN CHURCH ADMINISTRATION SPACE. WATER DAMAGED SHEATHING AND STRUCTURE TO BE CUT OUT AND REPLACED (RE: ASSEMBLY TYPES, PLAN).



3 EXISTING STRUCTURAL FRAMING IN CHURCH ADMINISTRATION SPACE TO BE REMOVED & REPLACED WITH NEW.



4 EXISTING CHURCH ADMINISTRATION SPACE. SPACE TO BE SUBDIVIDED WITH NEW PARTITIONS AS SHOWN IN PLAN.



5 EXISTING CHURCH ADMINISTRATION SPACE. EXISTING PLUMBING LINES TO BE CUT TO FLOOR LEVEL, CAPPED, AND ABANDONED. NEW ENGINEERED WOOD FLOORING TO BE INSTALLED THROUGHOUT. EXISTING WALLS TO BE FINISHED (RE: ASSEMBLY TYPES, ELEVATIONS.) NON-HISTORIC METAL STUD FURRING TO BE REMOVED.



6 EXISTING LEADED GLASS TO REMAIN, TYP. THROUGHOUT. PUTTY & SEALANT TO BE ABATED AND REPLACED WITH NEW (TYP.)



7 EXISTING HISTORICAL STAINED GLASS (SEEN FROM EXTERIOR). BRICK AND CAST STONE ELEMENTS TO BE CLEANED AND REPAIRED AS SHOWN (RE: BUILDING ELEVATIONS).



8 EXISTING CAST STONE CROSS AND LEADED GLAZING AT CANAL STREET FACADE. CAST STONE TO BE CLEANED AND REPAIRED AS NOTED IN BUILDING ELEVATIONS.

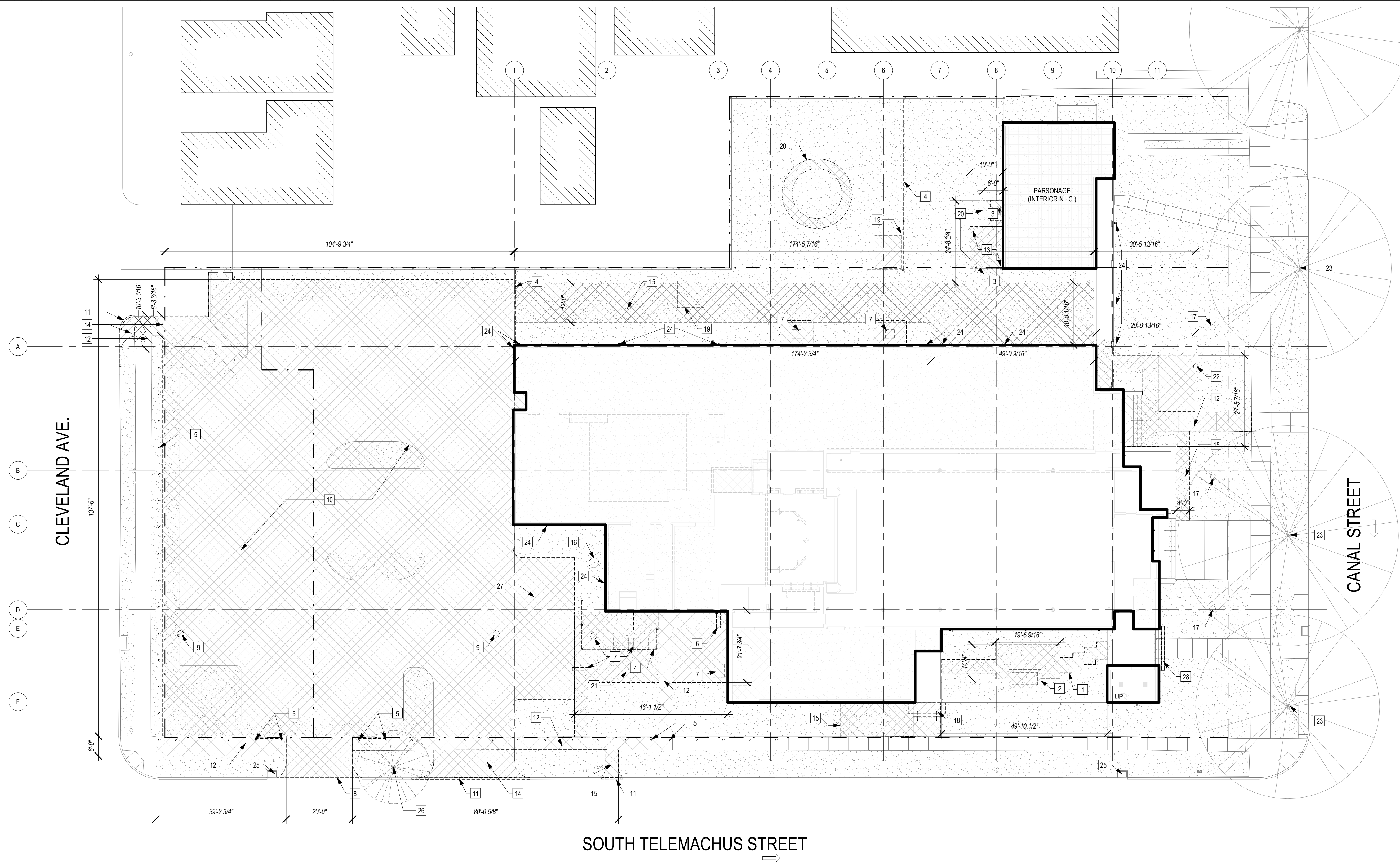


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DOCUMENTATION





1 SITE PLAN - DEMO  
1/16" = 1'-0"

GENERAL NOTES - DEMOLITION

- CONTRACTOR TO REMOVE ALL LOOSE BUILDING CONTENTS, INCLUDING ALL FURNITURE AND TRASH, AND DISPOSE OFF-SITE IN ACCORDANCE WITH MUNICIPAL, STATE AND FEDERAL LAW.
- CONTRACTOR TO REMOVE ANY AND ALL ABANDONED PIPING SYSTEMS (SPRINKLER, PLUMBING, AND ELECTRICAL CONDUIT), AS WELL AS ANY REMAINING MECHANICAL & FIRE PROTECTION SYSTEMS.
- TYPES OF DEMOLITION INCLUDES (BUT IS NOT LIMITED TO) THE WORK SHOWN ON THE D-SERIES SHEETS. THE DEMOLITION WILL REQUIRE SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING:
  - PORTIONS OF BUILDING ELEMENTS INDICATED ON THE DRAWINGS AND AS NECESSARY TO ACCOMMODATE AND REPAIR EXISTING CONDITIONS AND RENOVATIONS AND NEW CONSTRUCTION.
  - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT AS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF MATERIALS TO BE DEMOLISHED AND MAINTAIN ADJACENT FACILITIES TO REMAIN.
  - CEASE OPERATIONS AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
  - STRUCTURAL ENGINEER WILL INSPECT AND ISSUE INSTRUCTIONS FOR TEMPORARY SHORING AND REPAIRS.
- NOT ALL DEMOLITION SCOPE IS SHOWN ON THE D-SERIES SHEETS. DEMOLITION IS REQUIRED AND WILL NEED TO BE COORDINATED WITH OTHER DISCIPLINES IN THESE CONTRACT DOCUMENTS, INCLUDING (BUT NOT LIMITED TO) ARCHITECTURAL, CIVIL, LANDSCAPING, STRUCTURAL, AND MECHANICAL, ELECTRICAL AND PLUMBING TO THE EFFECT OF THE WORK.
- COORDINATE WORK TO SALVAGE AND REUSE BUILDING ELEMENTS IDENTIFIED AS "EXISTING TO REMAIN". DESIGN INTENT IS TO REUSE EXISTING WHERE POSSIBLE AND/OR IDENTIFIED IN THE DOCUMENTS.
- ALL DEMOLITION MAY BE PHASED, WITH CONTRACTOR MAKING PROVISIONS TO MAINTAIN ALL PORTIONS OF THE BUILDING SECURE AND WEATHERPROOF.
- CONTRACTOR TO PROTECT EXISTING WINDOW / DOOR / GLAZING ASSEMBLIES AND CASING AT EXTERIOR WALLS FOR REFURBISHMENT AS PART OF HISTORIC PRESERVATION. CONTRACTOR TO REVIEW REFURBISHMENT SCOPE OF WORK WITH ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- MODIFY EXISTING WALL OPENINGS AS REQUIRED TO CONFORM TO NEW DOOR, WINDOW, AND CASED OPENING REQUIREMENTS.
- WHERE EXISTING PARTITIONS HAVE BEEN REMOVED, ADJOINING WALLS AND FLOORING ARE TO BE PATCHED FLUSH AND MADE READY TO RECEIVE NEW FINISHES. ALL REMAINING EXISTING INTERIOR AND EXTERIOR WALLS, COLUMNS AND BEAMS ARE TO BE CHECKED FOR CRACKS, WAVES, AND IMPERFECTIONS.
- DEMOLITION SCOPE SHOWN IN THESE DRAWINGS IS GENERAL AND BASED ON VISUAL OBSERVATIONS. IT SHOULD NOT BE ASSUMED TO BE ALL INCLUSIVE. ALL DEMOLITION WORK MUST BE COORDINATED WITH NEW WORK AND WITH THE REQUIREMENTS OF OTHER TRADES PERFORMING WORK ON THE PROJECT.
- THIS CONTRACT ENCOMPASSES THE REMOVAL OF EXISTING CONSTRUCTION ONLY WHERE NECESSARY TO ENABLE NEW CONSTRUCTION TO BE PERFORMED AS INDICATED. ALL DEMOLITION SHALL BE PERFORMED SO THAT THE REMAINING CONSTRUCTION IS SAFE FOR FUTURE BUILDING USE.
- CAP OR OTHERWISE TERMINATE IN CONCEALED LOCATIONS ANY UTILITIES, PIPING, DUCT WORK, ETC. IN ACCORDANCE WITH APPLICABLE CODES, REGULATORY AGENCIES, AND GENERAL SAFETY STANDARDS.
- COORDINATE ADDITIONAL DEMOLITION WITH CIVIL / STRUCTURAL DRAWINGS.
- EXISTING PLASTER TO REMAIN SHALL BE SOUNDED, CLEANED, ALL FISSURES SEALED, AND REPAIRED TO MATCH EXISTING.

GENERAL NOTES - SITE DEMOLITION

- DEMOLISH EXISTING PAVING AND GRADING AS REQUIRED TO INSTALL SCHEDULED PAVINGS.

KEYNOTES - DEMO SITE

- EXISTING CONCRETE & STONE WALKWAY TO BE DEMOLISHED.
- EXISTING WATER FEATURE & ASSOCIATED CONSTRUCTION TO BE DEMOLISHED. UTILITY LINES TO BE CAPPED.
- PREP SITE FOR NEW PAVING (RE: SITE PLAN)
- REMOVE WOODEN FENCE & POSTS
- REMOVE ABANDONED CHAIN LINK FENCE POSTS, TYP.
- DEMOLISH EXISTING NON-COMPLIANT CONCRETE STEPS
- REMOVE ABANDONED MECHANICAL EQPT., PLUMBING UTILITIES, ELEC. UTILITIES. SEE MECH. ELEC. DRAWINGS AND SPECIFICATIONS FOR SERVICES AND EQUIPMENT REMOVAL.
- EXISTING ASPHALT CURB CUT TO BE REMOVED
- REMOVE EXISTING BASKETBALL GOAL & POLE
- ASPHALT PARKING LOT TO BE REMOVED IN ITS ENTIRETY. RE: CIVIL
- EXISTING CURB TO BE REMOVED
- EXISTING SIDEWALK TO BE REMOVED
- DEMOLISH AND REMOVE EXISTING CONCRETE PAVING AND BASKETWEAVE PAVERS.
- PREPARE SITE FOR NEW CURB CUT
- EXISTING GRASS/EARTH TO BE REMOVED FOR NEW PAVING
- EXISTING GREASE TRAP TO BE DEMOLISHED
- EXISTING SITE LIGHTING TO BE REFURBISHED
- LANDING, STEPS, KNEE WALLS TO BE DEMOLISHED AND REMOVED. SALVAGE EXISTING HANDRAILS
- EXISTING SHED TO BE REMOVED. SALVAGED TO OWNER
- REMOVE EXISTING PAVING
- PREPARE SITE FOR NEW MECHANICAL YARD. RE: CIVIL
- REMOVE DEAD PALM COMPLETELY AND FILL HOLE. SEE LANDSCAPE DRAWINGS.
- EXISTING LIVE OAK (TO REMAIN), PROTECT THROUGHOUT DURATION OF CONSTRUCTION. SEE LANDSCAPE DRAWINGS.
- ALL EXISTING GUTTERS AND DOWNSPOUTS TO BE REMOVED. DOWNSPOUT BOOT, CAST IRON SUBSURFACE BOOTS / CONCRETE TO BE REMOVED.
- EXISTING STORM DRAIN TO REMAIN
- EXISTING TREE TO BE REMOVED. RE: LANDSCAPE / CIVIL
- PREPARE SITE FOR NEW PARKING LOT. RE: CIVIL
- EXISTING CONCRETE RISER TO BE REMOVED. REPLACE WITH NEW CAST STONE RISER TO MATCH ADJACENT. REFER TO CAST IN PLACE STAIR DETAIL 10/A1-0.4

LEGEND - DEMO

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING BUILDING COMPONENT TO BE REMOVED. SEE REFERENCE KEYNOTE.
- EXISTING MATERIAL TO BE REMOVED. SEE REFERENCE KEYNOTE.
- NOT IN CONTRACT
- KEYNOTE, SEE SCHEDULE
- EXISTING BUILDING, NOT IN SCOPE



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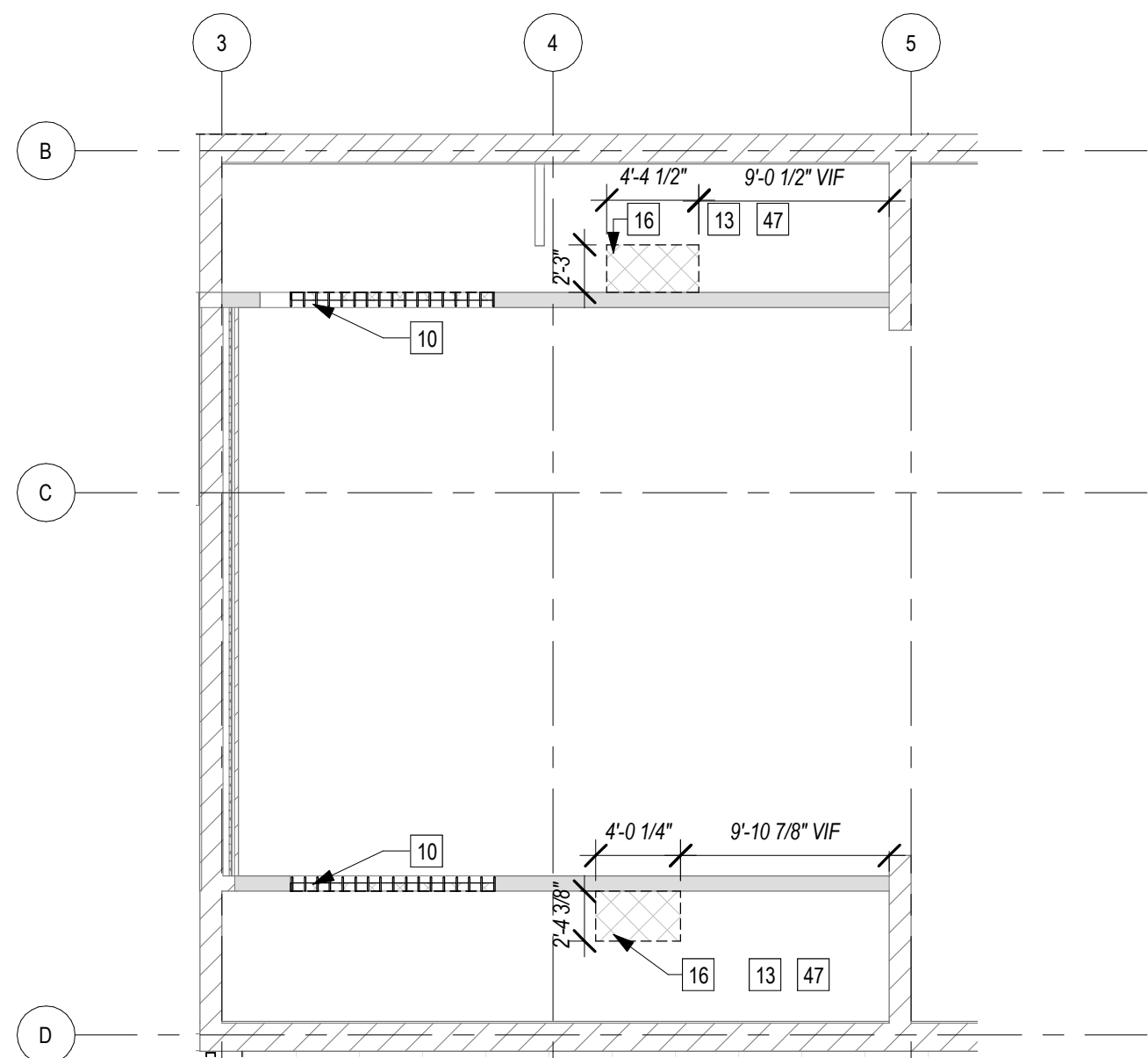
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ISSUE DATE: 06/04/2020  
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DEMOLITION PLAN  
- SITE

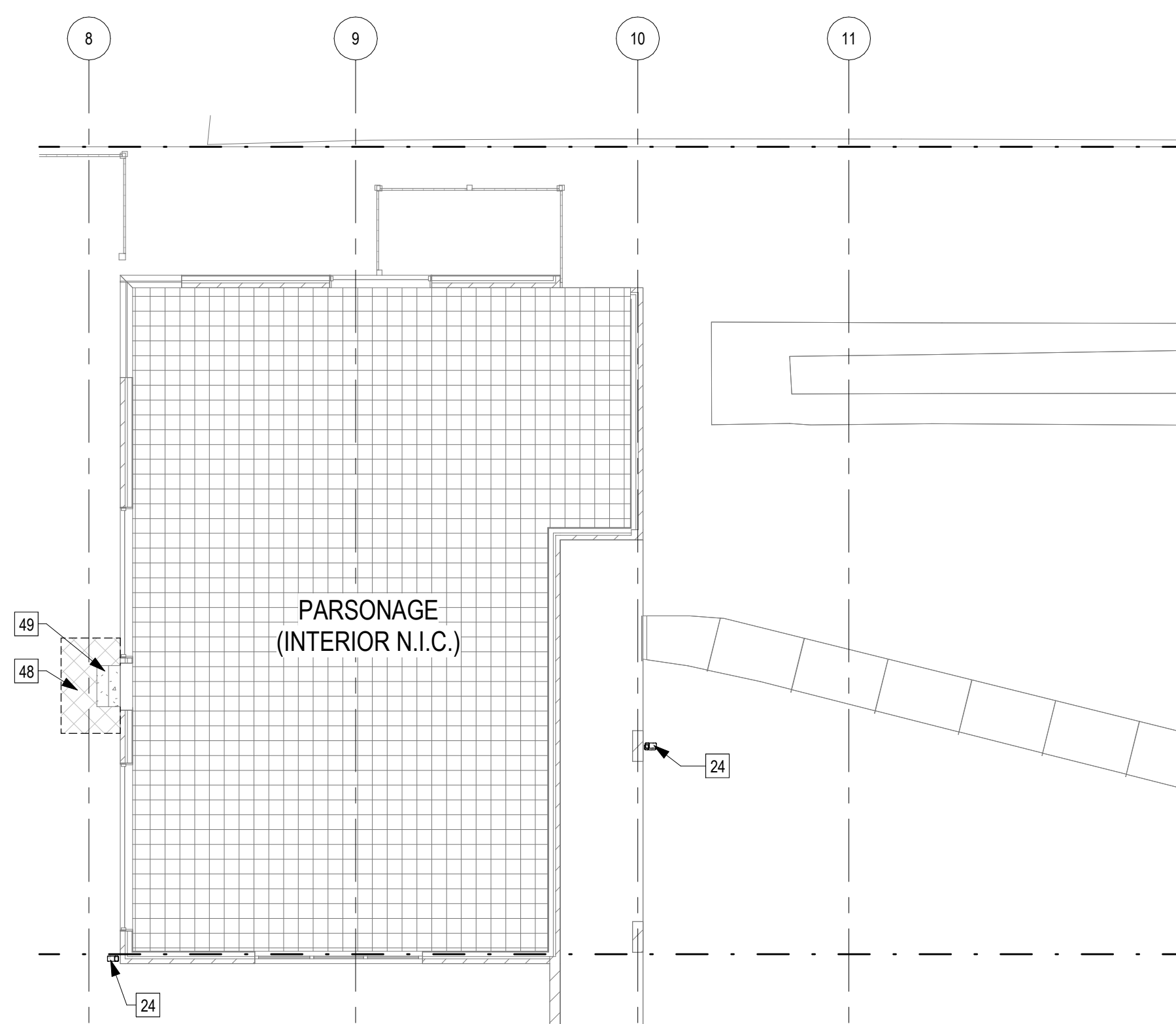


GENERAL NOTES - DEMOLITION FLOOR PLANS

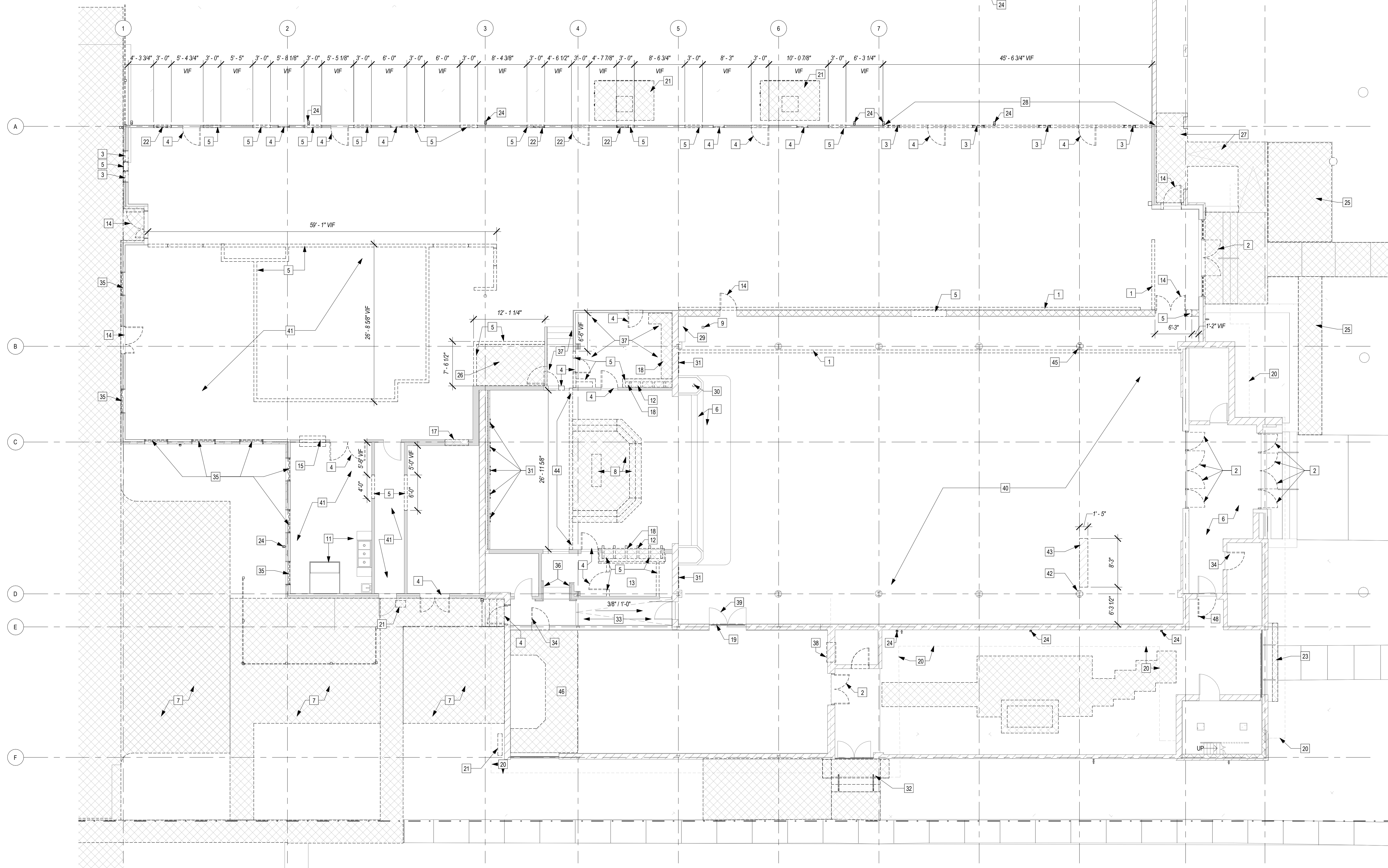
- CONTRACTOR TO REMOVE ALL FINISH FLOORING SYSTEMS, U.N.O., DOWN TO THE STRUCTURAL SUB FLOOR AND DISPOSE OFF SITE IN ACCORDANCE WITH EPA REQUIREMENTS & HAZARD REMEDIATION PLANS. PREPARE CONCRETE TO RECEIVE NEW FLOORING AS INDICATED.
- MODIFY EXISTING WALL OPENINGS AS REQUIRED TO CONFORM TO NEW DOOR, WINDOW, AND CASING OPENING REQUIREMENTS.
- WHERE EXISTING PARTITIONS HAVE BEEN REMOVED, ADJOINING WALLS AND FLOORING ARE TO BE PATCHED FLUSH AND MADE READY TO RECEIVE NEW FINISHES. ALL REMAINING EXISTING INTERIOR AND EXTERIOR WALLS, COLUMNS AND BEAMS ARE TO BE CHECKED FOR CRACKS, WAVES, AND IMPERFECTIONS.
- WINDOW FRAMES AND SASHES TO BE REMOVED AND REPAIRED WHERE POSSIBLE. RE WINDOW SCHEDULE FOR SCOPE.
- ALL EXISTING TERRAZZO TO REMAIN UNLESS NOTED OTHERWISE. TERRAZZO TO BE PATCHED WHERE NECESSARY TO MATCH ADJACENT AND CREATE FLUSH, SMOOTH SURFACE.



1 MEZZANINE DEMOLITION  
1/8" = 1'-0"



PARSONAGE  
(INTERIOR N.I.C.)



2 LEVEL 01 DEMOLITION  
1/8" = 1'-0"

KEYNOTES - DEMO PLAN

- DEMOLISH & REMOVE EXISTING FRAMING AS INDICATED
- EXISTING WEATHERED HISTORIC DOOR & FRAME IN DISREPAIR TO BE DEMOLISHED
- DEMOLISH AND REMOVE EXISTING WINDOW AS INDICATED
- DEMOLISH AND REMOVE EXISTING DOOR ASSEMBLY AS INDICATED
- DEMOLISH INDICATED EXTENTS OF EXISTING WALL
- EXISTING TERRAZZO TO REMAIN
- EXISTING GRASS TO BE REMOVED FOR NEW MECHANICAL YARD. RE: CIVIL
- SALVAGE EXISTING ALTAR, ALTAR PLINTH, AND STEPS TO OWNER.
- REMOVE EXISTING MARBLE PILLAR. SALVAGE TO OWNER.
- DEMOLISH & REMOVE EXISTING WOOD BAFFLE ASSEMBLY. PREPARE OPENING FOR NEW INFILL TO MATCH EXISTING ADJACENT WALL. SALVAGE AND REMOVE EXISTING SOUND BAFFLE MECHANISM IN ITS ENTIRETY. TYP.
- RETAIN ALL EXISTING KITCHEN APPLIANCES.
- REMOVE EXISTING SEDILA SEATING ASSEMBLY. SALVAGE TO OWNER.
- REMOVE ANY REMAINING EXISTING ORGAN ASSEMBLY. SALVAGE TO OWNER ANY AND ALL REMAINING PARTS OF EXISTING ORGAN ASSEMBLY INCLUDING BUT NOT LIMITED TO: CONSOLE, ACTION, PIPES AND SUPPORTS, AND WIND BOX IN THEIR ENTIRETIES. COORDINATE ORGAN SALVAGE WITH SALVAGE OF BAFFLE MECHANISM TO PREVENT DAMAGE TO ANY PART OF BUILDING NOT INCLUDED IN DEMOLITION SCOPE. IF REMOVAL REQUIRES ADDITIONAL INTERVENTION BEYOND DEMOLITION SCOPE SHOWN HERE, NOTIFY ARCHITECT BEFORE PROCEEDING.
- REMOVE EXISTING HOLLOW METAL DOOR
- EXISTING COUNTERTOP & PASS-THROUGH WINDOW TO BE REMOVED
- PORTION OF FLOOR STRUCTURE TO BE REMOVED FOR NEW STAIR OPENING. RE: STRUC.
- EXISTING MECH. GRILLE TO BE REMOVED AND INFILLED TO MATCH ADJACENT EXISTING WALL ASSEMBLY
- EXISTING MILLWORK TO BE REMOVED, SALVAGE.
- EXISTING GLAZED DOOR TO REMAIN
- OVERHEAD EXTENT OF EXISTING SOFFIT
- REMOVE ABANDONED MECHANICAL EQPT., PLUMBING UTILITIES, ELEC. UTILITIES
- EXISTING WINDOW / DOOR TO BE DEMOLISHED AND OPENING MODIFIED FOR NEW WINDOW
- EXISTING CONCRETE RISER TO BE REMOVED. REPLACE WITH NEW CAST STONE RISER TO MATCH ADJACENT. REFER TO CAST IN PLACE STAIR DETAIL 00A1-04
- ALL EXISTING GUTTERS AND DOWNSPOUTS TO BE REMOVED. DOWNSPOUT BOOT, CAST IRON SUBSURFACE BOOTS / CONCRETE TO BE REMOVED.
- EXISTING GRASS TO BE REMOVED FOR NEW PAVING
- EXISTING PORTION OF BASED FLOOR TO BE REMOVED IN ITS ENTIRETY
- EXISTING PAVING AND RAMPS TO BE REMOVED
- PORTION OF WALL TO BE REMOVED FOR NEW STOREFRONT OPENING AND STRUCTURE
- EXISTING SHELF, BRACKETS TO REMAIN
- EXISTING PODIUM ANCHOR TO BE REMOVED. PATCH TERRAZZO TO MATCH ADJACENT.
- EXISTING MECH. GRILLE TO BE REPLACED WITH NEW EXISTING OPENING
- LANDING, STEPS, KNEE WALLS TO BE DEMOLISHED AND REMOVED. SALVAGE EXISTING HANDRAILS TO OWNER
- EXISTING SLOPED FLOOR TO REMAIN, NO WORK
- EXISTING DOOR TO HAVE DOOR SWING MODIFIED
- EXISTING WINDOW / DOOR TO BE DEMOLISHED AND OPENING MODIFIED FOR NEW WINDOW
- EXISTING HANDRAILS TO REMAIN
- EXISTING CARPET, ADHESIVES, AND WALL BASE TO BE REMOVED. PREP SLAB FOR NEW FINISH
- EXISTING LOW WALL DIFFUSER TO BE DEMOLISHED. INFILL WALL TO MATCH ADJACENT
- EXISTING PAINTED FINISH TO BE REMOVED FROM FLOOR SLAB AT CORRIDOR
- EXISTING PAINT FINISH AND PAINTED MANDALA ON FLOOR IN SANCTUARY TO BE REMOVED FROM SLAB
- EXISTING VCT AND ADHESIVES TO BE REMOVED FROM FLOOR. PREP TO RECEIVE NEW FLOOR FINISH AS SPECIFIED
- EXISTING COLUMN SURROUND TO BE REMOVED FOR ELECTRICAL CONDUIT
- PORTION OF EXISTING CONCRETE SLAB TO BE REMOVED FOR NEW ELECTRICAL CONDUIT RUN TO NEW AUDIO BOOTH. RE ELECTRICAL AND NEW PLANS
- DEMOLISH EXISTING CONCRETE KNEE WALL. W/ STEEL VERTICAL MEMBERS TO REMAIN
- REMOVE EXISTING COLUMN COVER AND COLUMN. SALVAGE FOR REUSE
- EXISTING TERRAZZO TO BE REMOVED FROM ALTAR AT FORMER CHAPEL AND SALVAGED. PREP TO RECEIVE NEW FINISH FLOOR.
- REMOVE ANY REMAINING EXISTING ORGAN ASSEMBLY. SALVAGE TO OWNER ANY AND ALL REMAINING PARTS OF EXISTING ORGAN ASSEMBLY INCLUDING BUT NOT LIMITED TO: CONSOLE, ACTION, PIPES AND SUPPORTS, AND WIND BOX IN THEIR ENTIRETIES. COORDINATE ORGAN SALVAGE WITH SALVAGE OF BAFFLE MECHANISM TO PREVENT DAMAGE TO ANY PART OF BUILDING NOT INCLUDED IN DEMOLITION SCOPE. IF REMOVAL REQUIRES ADDITIONAL INTERVENTION BEYOND DEMOLITION SCOPE SHOWN HERE, NOTIFY ARCHITECT BEFORE PROCEEDING.
- EXISTING PAVING PAD TO BE REMOVED
- REMOVE EXISTING METAL GRILLE DOOR AND FRAME IN ENTIRETY.
- EXISTING STAIRS TO REMAIN

LEGEND - DEMO

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING BUILDING COMPONENT TO BE REMOVED. SEE REFERENCE KEYNOTE.
- EXISTING MATERIAL TO BE REMOVED. SEE REFERENCE KEYNOTE.
- NOT IN CONTRACT
- KEYNOTE. SEE SCHEDULE
- EXISTING BUILDING, NOT IN SCOPE

BETHANY CHURCH - NEW ORLEANS

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AGENCY REVIEW:

SEAL:



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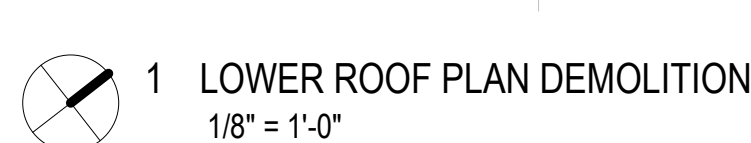
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DEMOLITION  
PLANS

SHEET NO.

AD1-1-1





*AD1-2-1*





*AD1-2-2*





## POST-DEVELOPMENT CALCULATIONS

Precipitation for storage volume requirement (in)	1.25
S, max natural retention	0.6
Q, runoff (in)	0.71

## Time needed for water to flow from the most remote point to the outlet

	Length (ft)	Slope (ft/ft)	n-value	Flow Area (sf)	Wetted Perimeter (ft)	Travel Time (hr)
Channel/Pipe Flow						
Channel/Pipe Flow						

Pre-Development Tc (hr)	0.892
Pre-Development Tc (min)	53.512

Precipitation for storage volume requirement (in)	1.25
$S$ , max natural retention	0.7
$Q$ , runoff (in)	0.66

	Length (ft)	Slope (ft/ft)	n-value	Flow Area (sf)	Wetted Perimeter (ft)	Travel Time (hr)
Channel/Pipe Flow						
Channel/Pipe Flow						

Pre-Development Tc (hr)	0.27
Pre-Development Tc (min)	16.1

	Length (ft)	Slope (ft/ft)	Surface Cover	Manning's n	Travel Time (hr)
Sheet Piles	300	0.005	Concrete	0.012	0.07

low flow				0	
low flow				0	

PICTURE INPUT

	0.2

	Length (ft)	Slope (ft/ft)	Surface Cover	Manning's n	Travel (hr)
Shoat flow	131	0.03	Grass; Bermuda grass	0.43	0

Low Flow				*	
Low Flow				*	

ATURE INPUT

	8
	0.2

GREEN INFRASTRUCTURE INPUT

Pervious Pavement	PP2A	PP2B	PP2C	PP2D
Area (sf)	510			
Contributing Drainage Area (sf)	7500			
Pavement Depth (in)	4	8	8	8
Pavement Void Space	0.35	0.2	0.2	0.2
Aggregate Layer Depth (in)	24	18	18	18
Aggregate Layer Void Space	0.35	0.35	0.35	0.35
Storage Volume (cf)	357			
<b>Total PP Storage Volume (cf)</b>	<b>357</b>			

Bioretenation/Bioswale/Length	Wo2A	Wo2B	Wo2C	Wo2D
Length (ft)				
Width (ft)				
Side Slope Ratio (C:1)				
Contributing Drainage Area (sf)	0			
Ponding Depth (in)	5	3	3	3
Bio-retention Soil Depth (in)	5	5	5	5
Bio-retention Soil Void Space	0.3	0.3	0.3	0.3
Brickstone Stone Layer Depth (in)	5	3	3	3
Brickstone Stone Void Space	0.15	0.15	0.15	0.15
Aggregate Layer Depth (in)	18	15	15	18
Aggregate Layer Void Space	0.3	0.3	0.3	0.3
Subsurface Storage Volume (cf)	0			
Surface Storage Volume (cf)				
Total Storage Volume (cf)				

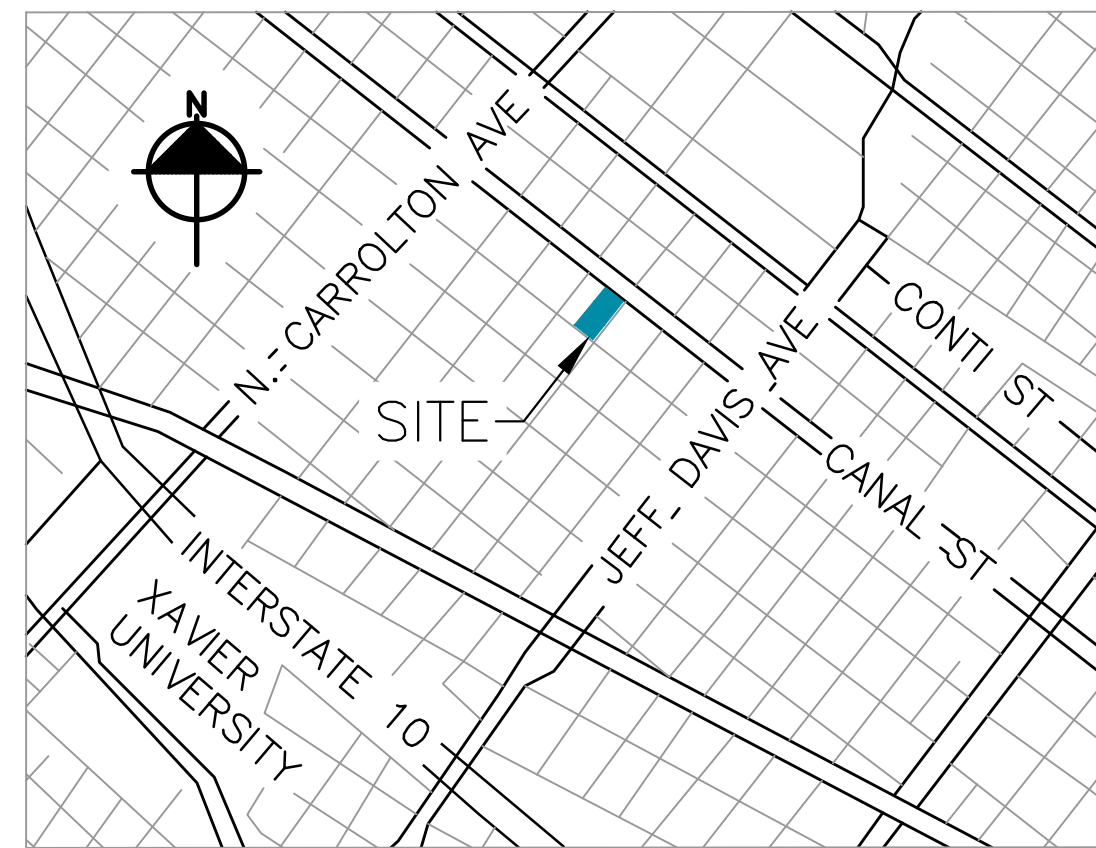
Total Bioretention Storage Volume (cf) 0.0

PRE-DEVELOPMENT COVERPOST-DEVELOPMENT LAND COVER



TOPOGRAPHIC SURVEY  
OF LOTS A, B, AND C  
SQUARE 731  
FIRST DISTRICT  
ORLEANS PARISH, LOUISIANA

SCALE: 1"=20' (30x42)



VICINITY MAP  
NOT TO SCALE

- NOTES:
1. THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LA. ONE CALL. (1-800-272-3020).
  2. NO TITLE RESEARCH OR UTILITY SERVITUDE RESEARCH WAS PERFORMED BY THE SURVEYOR.
  3. AS PER FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 22071C0226F, EFFECTIVE DATE SEPTEMBER 30, 2016, THE SITE IS IN ZONE AE (EL=-2.0') AND ZONE X (NO FLOOD ZONE).
  4. ELEVATIONS AND BEARINGS SHOWN ARE BASED ON GPS MEASUREMENTS, LSU GULF NET, VRS, NORTH AMERICAN DATUM (1983) LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM, US SURVEY FEET, NAVD88.
  5. SOME FEATURES NOT DRAWN TO SCALE FOR CLARITY.
  6. THE FOLLOWING DOES NOT REPRESENT A BOUNDARY SURVEY.
  7. PROPERTY LINES SHOWN ARE APPROXIMATE. REFERENCE BOUNDARY SURVEY BY OTHERS

CP#1 - X=3,672,065.17 Y=537,098.21 Z=-4.06  
CP#2 - X=3,672,275.79 Y=537,359.75 Z=-3.58  
TBM-NAIL SET IN UTILITY POLE (BLUE FLAGGING) Z=-0.39

REFERENCE PLATS:  
ALTA/NSPS LAND TITLE SURVEY OF LOTS A, B, AND C, SQUARE 731, BY ACADIA LAND SURVEYING, LLC, DATED: MAY 28, 2018.

LEGEND			
⊙	LIGHT POLE	⊙	SPOT ELEVATION
⊙	POWER POLE	⊙	CROSS FOUND
⊙	FIRE HYDRANT	⊙	CROSS SET
⊙	WATER METER	⊙	CATCH BASIN
⊙	SEWER MANHOLE	⊙	SEWER CLEANOUT
⊙	SEWER MANHOLE	⊙	TELEPHONE SIGNAL
⊙	WATER MANHOLE	⊙	TELEPHONE PEDestal
⊙	POST	⊙	GAS VALVE
⊙	SEAL POLE MOUNTED	⊙	ELECTRIC JUNCTION BOX
⊙	OVERHEAD ELEC	⊙	OVERHEAD ELEC
⊙	DRAIN LINE	⊙	DRAIN LINE
⊙	UG TELEPHONE	⊙	UG TELEPHONE
⊙	SEWER LINE	⊙	SEWER LINE
⊙	GAS LINE	⊙	GAS LINE
⊙	WATER LINE	⊙	WATER LINE
⊙	BUILDING	⊙	BUILDING
⊙	TREE	⊙	TREE
⊙	PALM TREE	⊙	PALM TREE

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I HEREBY CERTIFY THIS  
PLAT REPRESENTS AN  
ACTUAL GROUND  
SURVEY MADE BY ME  
OR UNDER MY DIRECT  
SUPERVISION AND  
CONTROL.

BATTURE LLC  
engineers • land surveyors  
5110 FRERET ST., NEW ORLEANS, LA 70115  
PH: 504-533-8644  
FAX: 504-336-2272  
INFO@BATTURE-ENG.COM

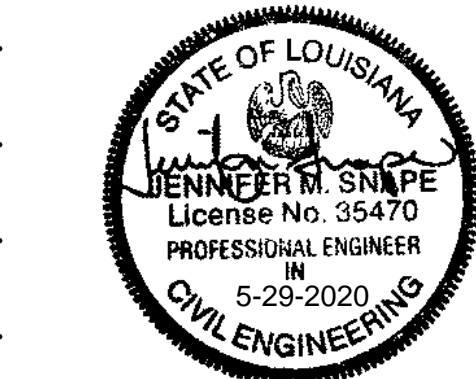
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BETHANY CHURCH - NEW ORLEANS

3700 CANAL STREET  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

SEAL:



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REVISION	ISSUE	DATE

ISSUE: PREP.CSG  
ARCHITECT PROJECT NO: 187  
DRAWN BY: AD  
ISSUE DATE: 06/04/2020  
SHEET TITLE

EXISTING CONDITIONS

SHEET NO.

C1-1-1



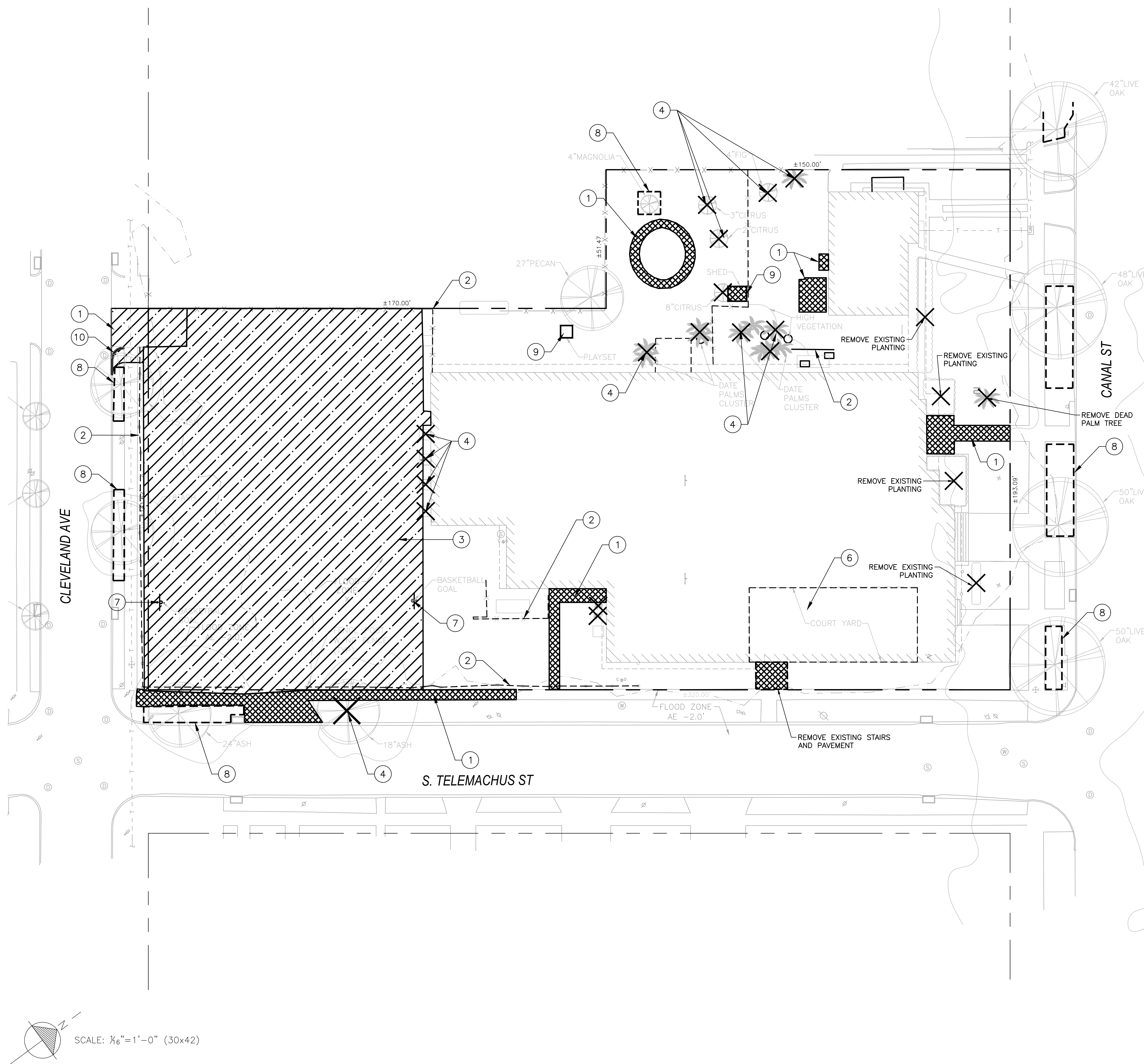
REVISION	ISSUE	DATE

ISSUE:	PRICING SET
ARCHITECT PROJECT NO:	197
DRAWN BY:	AD
ISSUE DATE:	06/04/2020
SHEET TITLE	

## DEMOLITION PLAN

**SHEET NO.**

*C1-2-1*



SCALE:  $\frac{1}{16}" = 1'-0"$  (30x42)

DEMOLITION NOTES:

1. CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY AGENCIES TO VERIFY THAT UTILITY SERVICES HAVE BEEN TERMINATED OR DISCONNECTED PRIOR TO REMOVAL OF STRUCTURES (BUILDINGS), WATER METERS, GAS METERS, ETC.
2. THE LOCATIONS OF UNDERGROUND AND OTHER UNDESIRABLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO USE BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NON-VISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LOUISIANA ONE CALL (#811).
3. CONTRACTOR SHALL FILL TRENCHES/VOIDS CREATED BY REMOVAL OF PIPES, DROP INLETS, TREES, STRUCTURES, ETC. WITH TOPSOIL. REMOVAL OF THE EXISTING TOPSOIL AND BACKFILLING OF THESE ITEMS SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN SECTION 202 OF THE LOUISIANA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES (LSSRD), 2006 EDITION.
4. CLEARING AND STRIPPING - CONTRACTOR SHALL CLEAR THE EXISTING GROUND SURFACE OF PAVEMENT, VEGETATION, STUMPS, LOOSE TOPSOIL, DEBRIS, LOOSE FILL, ORGANIC MATTER, DEMOLITION DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS. STRIPPING SHOULD BE TO A DEPTH NECESSARY TO REMOVE VEGETATION AND ROOTS AND REACH FIRM UNDISTURBED SOIL. CLEARING SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN SECTION 201 OF THE LOUISIANA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES (LSSRD), 2006 EDITION. TOPSOIL, EXISTING ROOTS, ORGANIC MATERIAL, AND ANY FILL MATERIAL REMOVED FROM AREAS BELOW NOW RETAINING WALLS AND PAVEMENT CAN BE USED AS TOPSOIL IN LANDSCAPE AREAS.
5. SUBGRADE PREPARATION - AFTER REACHING FIRM UNDISTURBED SOIL, EXPOSED GROUND SHALL BE PROOF ROLLED WITH A BULLDOZER, COMPACTOR OR TRACKED VEHICLE EXERTING A GROUND PRESSURE BETWEEN 10 AND 15 PSI. NO VIBRATORY SYSTEM (IF PRESENT) SHALL BE USED DURING PROOF ROLLING. PROOF ROLLING SHALL BE PERFORMED DURING PERIODS OF DRY WEATHER. THE GEO-TECHNICAL ENGINEER SHALL BE PRESENT DURING PROOF ROLLING.
6. CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM PLANNED PAVING AREAS TO PREVENT WATER PONDING ON THE SITE DURING CONSTRUCTION.
7. STRUCTURAL FILL - SHALL BE DEFINED AS A SELECT GRANULAR MATERIAL (SUCH AS LOCALLY AVAILABLE RIVER SAND). SAND FILL (AASHTO A-3) SHOULD BE NON PLASTIC AND FREE OF ROOTS, CLAY LUMPS, AND OTHER DELETERIOUS MATERIALS WITH NO MORE THAN 10% BY WEIGHT OF MATERIAL PASSING A U.S. STANDARD NO. 200 SIEVE SIZE. THE MAXIMUM ORGANIC CONTENT SHOULD NOT EXCEED 5% BY WEIGHT. PRIOR TO TRANSPORTING STRUCTURAL FILL TO THE SITE, A SAMPLE SHOULD BE TESTED TO VERIFY ITS CONFORMANCE TO THESE RECOMMENDATIONS.
8. COMPACTATION - STRUCTURAL FILL USED BENEATH GRADE SUPPORTED FOOTINGS AND PAVEMENTS SHOULD BE PLACED IN 6 TO 8-IN. LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY NEAR OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D 1557. STRUCTURAL FILL OR GENERAL FILL USED FOR EXISTING PAVEMENT GRADING SHOULD BE SPREAD IN LOOSE LIFTS OF 10 TO 12 INCHES AND COMPACTED BY SEVERAL PASSES OF A BULLDOZER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DAMAGES TO THE UTILITY ENTITIES. ALL REPAIRS OF THE DAMAGED UTILITIES SHALL BE DONE BY THE RESPECTIVE UTILITY ENTITY. ALL REPAIRS SHALL BE DONE AT THE CONTRACTORS EXPENSE.
10. ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.

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S. CORTEZ ST

S. TELEMACHUS ST

REQ'D 9" CONCRETE PAVEMENT FOR FOOTERS  
EXTENTS TO BE COORDINATED WITH ARCHITECT  
PARKING BUMPER, TYP.

DRIPLINE OF EXST.  
MATURE LIVE OAKS

4" MAGNOLIA

27" PECAN

EXISTING BUILDING TO  
BE RENOVATED

EXISTING STAIRS  
SEE ARCH

BIKE PARKING  
BY OTHERS

SEE STRUCTURAL

PLANTING  
AREAS

BIKE PARKING  
BY OTHERS

EXISTING CAST  
STONE STAIRS  
SEE ARCH

EXISTING CAST  
STONE STAIRS  
SEE ARCH FOR  
RESTORATION  
REQUIREMENTS

NEW STAIRS AND RAMP,  
SEE ARCH

DRIPLINE OF EXST.  
MATURE LIVE OAKS

SCALE: 1/8"=1'-0" (30x42)

LEGEND			
⋈	- LIGHT POLE	---(ONE)---	OVERHEAD ELEC.
—	- GUY WIRE	---(SIZE) D---	DRAIN LINE
⊗	- POWER POLE	---(SIZE) S---	UG TELEPHONE
⋈	- FIRE HYDRANT	---(SIZE) G---	GAS LINE
⊗	- WATER METER	---(SIZE) W---	WATER LINE
⊙	- SEWER MANHOLE		- BUILDING
⊙	- SEWER CLEANOUT		
⊙	- DRAIN MANHOLE		
⊙	- DRAIN CLEANOUT		
⊙	- DROP INLET, ROUND		- TREE
⊙	- DROP INLET, SQUARE		
⊙	- WATER MANHOLE		
⊙	- TELEPHONE MANHOLE	⊙	- LITTLE TREE
⊙	- TRAFFIC MANHOLE		- PALM TREE
⊙	- POST		
⊙	- GAS MANHOLE		
⋈	- WATER VALVE	---	
⋈	- SIGN, POLE MOUNTED	---	
⋈	- SPOT ELEVATION	---	
⊙	- IRON ROD SET	---	
⊕	- CROSS FOUND	---	
⊕	- CROSS SET	---	
⊕	- MAG NAIL FOUND	---	
⊕	- CATCH BASIN	---	
⊕	- MAILBOX	---	
⊕	- TEL. JB	---	
⊕	- TRAFFIC SIGNAL	---	
⊕	- TELEPHONE PEDESTAL	---	
⊕	- GAS VALVE	---	
⊕	- GAS BOX	---	
⊕	- TRASH CAN	---	

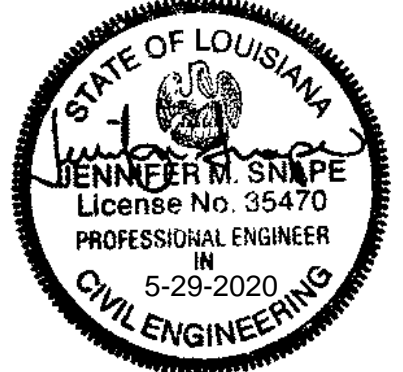
SITE PLAN LEGEND	
1	PERVIOUS CONCRETE IN PARKING STALLS, SEE DETAIL 6, SHT C5-1-1
2	TYPICAL CONCRETE SIDEWALK, SEE DETAIL 2, SHT C5-1-1
3	EXISTING SIDEWALK OR PAVEMENT TO REMAIN
4	PROPOSED CONCRETE DRIVEWAY PER DPW STANDARDS, SEE DETAIL 10, SHT C5-2-1
5	TYPICAL VEHICULAR CONCRETE PAVEMENT, SEE DETAIL 3, SHT C5-1-1
6	CRUSHED Limestone GROUNDcover WITH UNDERDRAIN SEE SHT C1-4-1
7	EXISTING TREE TO REMAIN, SEE DEMOLITION PLAN FOR PROTECTION INFORMATION
8	PLANTING AREAS, PROPOSED CONDITIONS VARY, SEE PLANTING PLAN
9	6" CONCRETE BARRIER CURB, TYP. SEE DETAIL 1, SHT C5-1-1
10	TIE NEW CONCRETE CURB TO EXISTING MOUNTABLE CURB WITH TRANSITION CURB. SEE DETAIL 5, SHT C5-2-1
11	PEDESTRIAN CONCRETE PAVEMENT SEE DETAIL 2, SHT C5-1-1
12	TYPE 1 CURB RAMP PER NEW ORLEANS DPW STANDARDS SEE STANDARD DRAWINGS ADA1
13	ADA PARKING STALL SYMBOL, TYP. SEE DETAIL 8, SHT C5-1-1
14	ADA BOLLARD SIGN, SEE DETAIL 9, SHT C5-1-1
15	MECHANICAL YARD, SEE STRUCTURAL FOR REQUIREMENTS
16	NEW CONCRETE PAVEMENT AND RAMPS, SEE ARCH

- SITE PLAN NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
  - ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
  - REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
  - BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
  - ALL DIMENSIONS SHOWN ARE FROM:
    - FACE OF CURB TO FACE OF CURB
    - FACE OF CURB TO PROPERTY LINE
    - FACE OF CURB TO CENTER OF STRUCTURE (DROP INLET, MANHOLE, ETC.)
    - PROPERTY LINE TO BUILDING FACE
  - ALL CURB RADII SHALL BE 2 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.
- STORMWATER MANAGEMENT NOTE:
- ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

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3700 CANAL STREET  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

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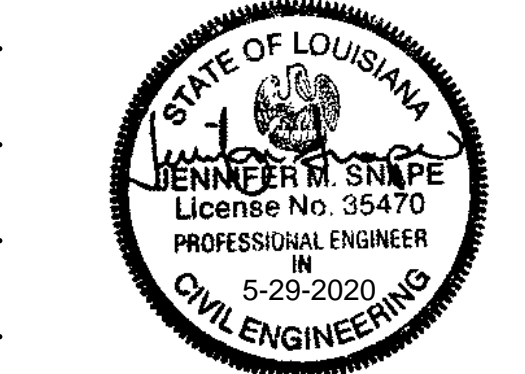
ISSUE:	PICKING SET
ARCHITECT PROJECT NO.:	197
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ISSUE DATE:	06/04/2020
SHEET TITLE	

SITE PLAN

SHEET NO.

C1-3-1





REVISION	ISSUE	DATE

ISSUE:	PRICING SET
ARCHITECT PROJECT NO:	187
DRAWN BY:	AD
ISSUE DATE:	06/04/2020
SHEET TITLE:	

UTILITY PLAN

LEGEND		
⋈ - LIGHT POLE	WV - WATER VALVE	---(SIZE)--- - OVERHEAD ELEC.
⋈ - GUY WIRE	⋈ - SIGN, POLE MOUNTED	---(SIZE)--- - DRAIN LINE
⋈ - POWER POLE	⋈ - UG TELEPHONE	---(SIZE)--- - UG TELEPHONE
⋈ - FIRE HYDRANT	⋈ - SPOT ELEVATION	---(SIZE)--- - SEWER LINE
⋈ - WATER METER	⋈ - IRON ROD SET	---(SIZE)--- - GAS LINE
⋈ - SEWER MANHOLE	⋈ - CROSS FOUND	---(SIZE)--- - WATER LINE
⋈ - SEWER CLEANOUT	⋈ - CROSS SET	⋈ - BUILDING
⋈ - DRAIN MANHOLE	⋈ - MAG NAIL FOUND	⋈ - CATCH BASIN
⋈ - DRAIN CLEANOUT	⋈ - MAILBOX	⋈ - TREE
⋈ - DROP INLET, ROUND	⋈ - TEL. AB	⋈ - LITTLE TREE
⋈ - DROP INLET, SQUARE	⋈ - TELEPHONE PEDESTAL	⋈ - PALM TREE
⋈ - WATER MANHOLE	⋈ - GAS VALVE	
⋈ - TELEPHONE MANHOLE	⋈ - GAS BOX	
⋈ - TRAFFIC MANHOLE	⋈ - TRASH CAN	
⋈ - POST		
⋈ - GAS MANHOLE		

UTILITY PLAN LEGEND		
---(SIZE) D---	--- REQ'D DRAIN LINE	⋈ - SEWER MANHOLE
---(SIZE) S---	--- REQ'D SEWER LINE	⋈ - DRAIN MANHOLE
---(SIZE) W---	--- REQ'D WATER LINE	

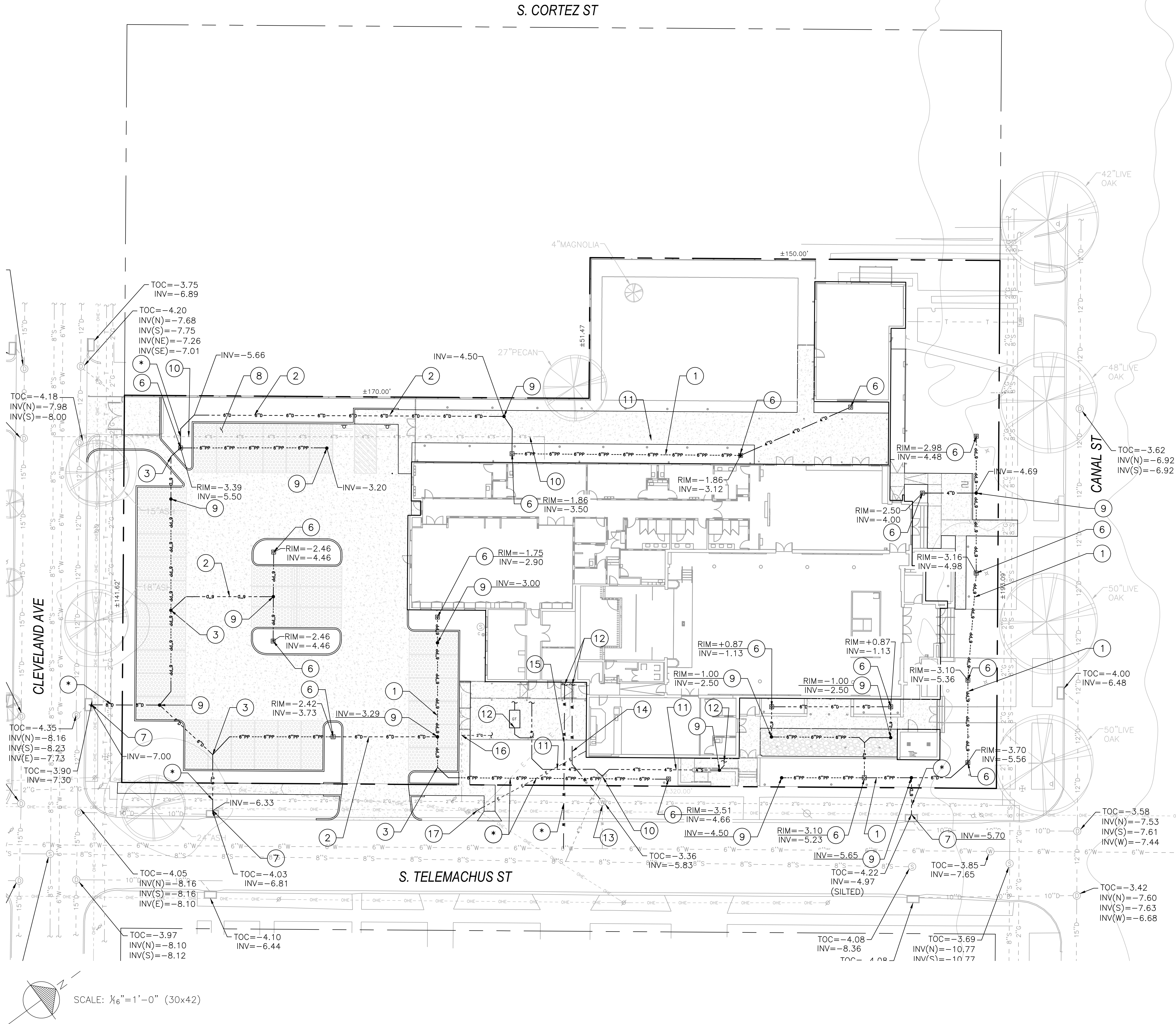
⋈	CAUTION: UTILITY CROSSING. CONTRACTOR TO NOTIFY ENGINEER IF CONFLICT OCCURS.
1	PERFORATE PVC UNDERDRAIN, SIZE VARIES, 1% MIN. SLOPE
2	SOLID PVC DRAIN LINE, SIZE VARIES, 1% MIN. SLOPE
3	CONNECT NEW PVC LINES WITH WYE, PER SWNO STANDARDS
4	APPROX. LOCATION OF DOWNSPOUT, SEE ARCH FOR DETAILS
5	PERVIOUS PAVEMENT UNDERDRAIN SEE DETAIL 14, SHT C5-2-1
6	OVERFLOW DRAIN IN PLANTING AREA, SEE DETAIL 15, SHT C5-2-1
7	TIE-IN DRAIN LINE TO CATCH BASIN PER SWBNO STANDARDS. SEE SWBNO DETAIL B178-S0
8	PERMEABLE PAVEMENT, TYP. SEE SITE PLAN, SHT C1-3-1
9	REQ'D CLEANOUT. SEE DETAIL 12, SHT C5-2-1
10	EXISTING 4" SEWER SERVICE LINE. CONTRACTOR TO CONFIRM AND NOTIFY ENGINEER OF DEPTH OF LINE.
11	4" PVC SANITARY SEWER LINE, COORDINATE INVERTS WITH MEP AND EXISTING
12	SEE PLUMBING PLAN FOR CONNECTION OF UTILITY LINE INTO BUILDING
13	EXISTING 2" WATER METER IN MANHOLE
14	2-1/2" WATER SERVICE LINE PER SWBNO STANDARDS. COORDINATE WITH SWBNO FOR TIE IN TO METER. SEE PLUMBING PLAN FOR BACKFLOW PREVENTER LOCATION.
15	6" FIRE SERVICE LINE PER SWBNO STANDARDS. COORDINATE WITH SWBNO FOR TIE IN TO MAIN.
16	COORDINATE WITH ENTERGY FOR GAS TIE IN TO EXISTING SERVICE LINE
17	COORDINATE WITH ENTERGY FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR TO CAREFULLY COORDINATE UTILITY CROSSINGS.

UTILITY NOTES:

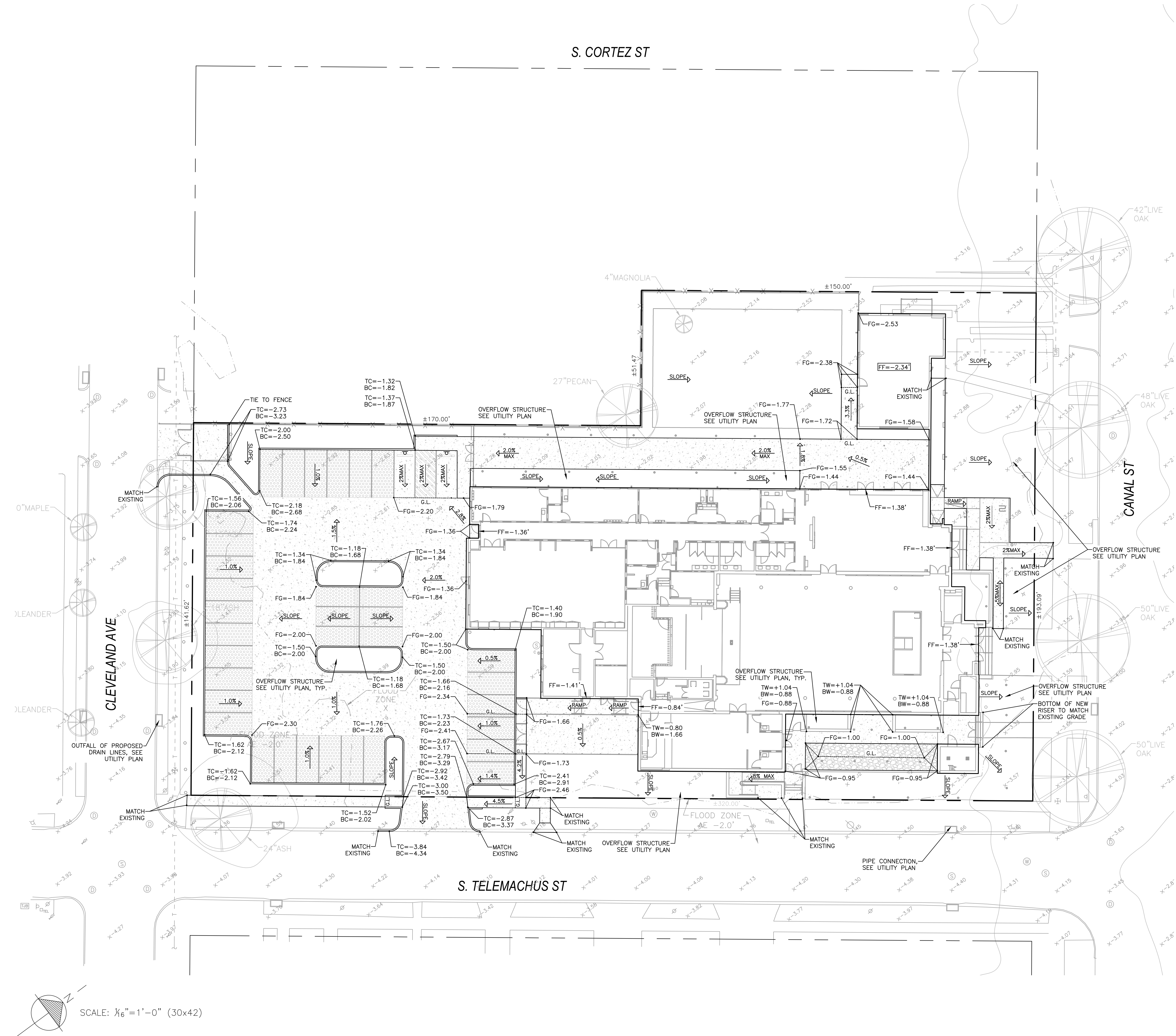
- UTILITY EXCAVATIONS SHALL CONFORM TO THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST ORLEANS PARISH UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER IMMEDIATELY FOR DIRECTIONS.
- CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY UTILITY DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- ANY PLANNED INTERRUPTION OF UTILITY SERVICE SHALL BE GIVEN A 48 HOUR NOTICE TO THE UTILITY COMPANY AND THE OWNER.
- THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO USE BY THE AGENCIES CONTROLLING SUCH RECORDS, WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN, THE ACTUAL NON-VISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON, EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LOUISIANA ONE CALL (#811).
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
- CONTRACTOR MUST FIELD VERIFY ALL EXISTING DRAINAGE & SEWER INVERTS. NOTIFY ENGINEER OF ANY PROBLEMS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO COORDINATE SEWER AND WATER CONNECTIONS WITH SEWERAGE AND WATER BOARD OF NEW ORLEANS.

S&WB NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH S&WB GENERAL SPECIFICATIONS, S&WB STANDARD DRAWINGS, AND S&WB DRAWING NO. 7260.
- CONTRACTOR SHALL CONTACT HADI AMINI (505-865-0445) OF S&WB CONSTRUCTION ADMINISTRATION AND INSPECTION DEPARTMENT A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION TO ARRANGE FOR INSPECTION.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING TO THE S&WB CONSTRUCTION ADMINISTRATION DEPARTMENT BEFORE BEGINNING CONSTRUCTION:
  - PROOF OF LOUISIANA MUNICIPAL AND PUBLIC WORKS CONTRACTORS LICENSE
  - DEPARTMENT OF PUBLIC WORKS STREET CUT PERMIT
  - PROOF OF INSURANCE INDEMNIFYING THE S&WB OF NEW ORLEANS IN THE AMOUNT OF AT LEAST \$5,000,000.00
  - ANY WORK OUTSIDE OF THE PUBLIC RIGHT OF WAY MUST BE REVIEWED AND APPROVED BY THE SEWERAGE AND WATER BOARD OF NEW ORLEANS PLUMBING DEPARTMENT IN ADVANCE OF CONSTRUCTION. A LICENSED MASTER PLUMBER MUST CONTACT THE PLUMBING DEPARTMENT AT 504-586-2160 TO VERIFY COMPLIANCE WITH ALL APPLICABLE GOVERNING REGULATIONS. OBTAINING THE SIGNATURE OF A REPRESENTATIVE OF S&WB ENGINEERING DOES NOT RELIEVE THE PLUMBER OF THIS OBLIGATION
  - THE METER SHALL BE INSTALLED AS RECEIVED FROM S&WB METER DEPARTMENT AND MAY NOT BE MODIFIED IN ANY MANNER. ANY MODIFICATIONS WILL VOID THE UL WARRANTY AND, AS SUCH, MAY SUBJECT THE OWNER TO FINANCIAL PENALTY AND LOSS OF SERVICE.
  - ALL BRONZE/ BRASS FITTINGS, CONNECTORS CORPORATION STOPS AND APPURTENANCES USED IN CONJUNCTION WITH PE TUBING SHALL BE DOMESTIC MANUFACTURE, SHALL BE MADE OF LEAD FREE BRONZE/BRASS, AND MEET ALL REQUIREMENTS OF AWWA, ASTM, AND ANSI FOR USE IN THE POTABLE WATER DISTRIBUTION SYSTEMS.







**LEGEND**

○ - LIGHT POLE	W - WATER VALVE	---(OHE)--- - OVERHEAD ELEC.
--- - GUY WIRE	□ - SIGN, POLE MOUNTED	---(DZ)--- - DRAIN LINE
○ - POWER POLE	○ - SPOT ELEVATION	---(T)--- - UG TELEPHONE
○ - FIRE HYDRANT	○ - IRON ROD SET	---(S)--- - SEWER LINE
○ - WATER METER	○ - CROSS FOUND	---(G)--- - GAS LINE
○ - SEWER MANHOLE	○ - CROSS SET	---(W)--- - WATER LINE
○ - DRAIN MANHOLE	○ - MAG NAIL FOUND	▨ - BUILDING
○ - DRAIN CLEANOUT	○ - CATCH BASIN	○ - TREE
○ - DROP INLET, ROUND	○ - MAILBOX	○ - LITTLE TREE
○ - DROP INLET, SQUARE	○ - TEL. AB	○ - PALM TREE
○ - WATER MANHOLE	○ - TRAFFIC SIGNAL	
○ - TELEPHONE MANHOLE	○ - TELEPHONE PEDESTAL	
○ - TRAFFIC MANHOLE	○ - GAS VALVE	
○ - POST	○ - GAS BOX	
○ - GAS MANHOLE	○ - TRASH CAN	

**GRADING PLAN LEGEND**

TOC=-3.68  
INV(E)=-6.57  
INV(W)=-6.65  
INV(N)=-5.89

○ - EXISTING ELEVATION  
← SLOPE - GRADE ARROW

TOC = TOP OF CASTING  
INV = INVERT (DIRECTION)  
FG = FINISH GRADE  
TW = TOP OF WALL  
TC = TOP OF CURB  
BC = BOTTOM OF CURB  
MG = MEET EXISTING GRADE

- GRADING PLAN NOTES:**
- SEE SITE PLAN AND ARCH. PLAN DRAWINGS FOR GEOMETRY ASSOCIATED WITH NEW CONSTRUCTION.
  - CONTRACTOR SHALL LAY OUT THE WORK AND VERIFY ALL DIMENSIONS AND GRADES INDICATED ON THE DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
  - THE GRADE IN THE GRASS AND LANDSCAPED AREAS SHALL COME TO THE TOP OF CURB UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
  - GRADES ARE BASED ON THE ELEVATIONS COLLECTED BY BATTURE, LLC.
  - ALL ROOF DRAINS SHALL BE INSTALLED TO DISCHARGE INTO PLANTER OR PERMEABLE PAVING AREAS EXCEPT AS OTHERWISE SHOWN.

**ONE to ONE**  
DESIGN | ARCHITECTURE | TECHNOLOGY

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AGENCY REVIEW:

SEAL:

STATE OF LOUISIANA  
JENNIFER R. SNIDE  
License No. 35470  
PROFESSIONAL ENGINEER  
IN  
CIVIL ENGINEERING  
5-29-2020

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REVISION	ISSUE	DATE

ISSUE: \_\_\_\_\_ PRICING SET: \_\_\_\_\_  
ARCHITECT PROJECT NO: 187  
DRAWN BY: AD  
ISSUE DATE: 06/04/2020  
SHEET TITLE: \_\_\_\_\_

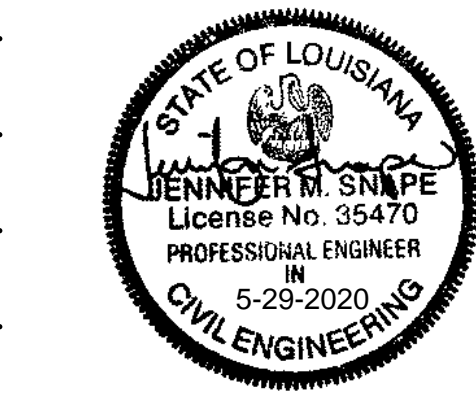
**GRADING PLAN**

SHEET NO. \_\_\_\_\_

**C1-5-1**

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REVISION	ISSUE	DATE

ISSUE:                      PRKING: SHT  
ARCHITECT PROJECT NO.:    187  
DRAWN BY:                      AD  
ISSUE DATE:                      06/04/2020  
SHEET TITLE

STORMWATER  
POLLUTION PREVENTION

LEGEND		
⋈	— LIGHT POLE	— WATER VALVE
—	— GUY WIRE	— SIGN, POLE MOUNTED
⋈	— POWER POLE	— OVERHEAD ELEC.
⋈	— FIRE HYDRANT	— (SIZE) — DRAIN LINE
⋈	— WATER METER	— (SIZE) — UG TELEPHONE
⋈	— SEWER MANHOLE	— (SIZE) — SEWER LINE
⋈	— SEWER CLEANOUT	— (SIZE) — GAS LINE
⋈	— DRAIN MANHOLE	— (SIZE) — WATER LINE
⋈	— DRAIN CLEANOUT	— CROSS FOUND
⋈	— DROP INLET, ROUND	— CROSS SET
⋈	— DROP INLET, SQUARE	— MAG NAIL FOUND
⋈	— WATER MANHOLE	— CATCH BASIN
⋈	— TELEPHONE MANHOLE	— MAILBOX
⋈	— TRAFFIC MANHOLE	— TEL. AB
⋈	— POST	— TRAFFIC SIGNAL
⋈	— GAS MANHOLE	— TELEPHONE PEDESTAL
⋈		— GAS VALVE
⋈		— GAS BOX
⋈		— TRASH CAN
⋈		— BUILDING
⋈		— TREE
⋈		— LITTLE TREE
⋈		— PALM TREE

SWPPP REQUIREMENTS

- a. CONTRACTOR SHALL MEET THE FOLLOWING ELEMENTS BELOW AS APPLICABLE TO THE PROJECT, EVEN IF ELEMENTS ARE NOT DEPICTED ON PLAN.
- b. MARK CLEARING LIMITS AND ENVIRONMENTALLY CRITICAL AREAS. WITHIN THE BOUNDARIES OF THE PROJECT SITE AND PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, CLEARLY MARK ALL CLEARING LIMITS, EASEMENTS, SETBACKS, ALL ENVIRONMENTALLY CRITICAL AREAS AND THEIR BUFFERS, AND ALL TREES AND DRAINAGE COURSES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA.
- c. RETAIN TOP LAYER, WITHIN THE BOUNDARIES OF THE PROJECT SITE, THE DUFF LAYER, TOPSOIL, AND NATIVE VEGETATION, IF THERE IS ANY, SHALL BE RETAINED IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT FEASIBLE. IF IT IS NOT FEASIBLE TO RETAIN THE TOP LAYER IN PLACE, IT SHOULD BE STOCKPILED ON-SITE, COVERED TO PREVENT EROSION, AND REPLACED IMMEDIATELY UPON COMPLETION OF THE LAND DISTURBING ACTIVITIES TO THE MAXIMUM EXTENT FEASIBLE.
- d. ESTABLISH CONSTRUCTION ACCESS. LIMIT CONSTRUCTION VEHICLE ACCESS, WHENEVER POSSIBLE, TO ONE ROUTE. STABILIZE ACCESS POINTS AND MINIMIZE TRACKING SEDIMENT ONTO PUBLIC ROADS. PROMPTLY REMOVE ANY SEDIMENT TRACKED OFF SITE.
- e. PROTECT DOWNSTREAM PROPERTIES AND RECEIVING WATERS. PROTECT PROPERTIES AND RECEIVING WATERS DOWNSTREAM FROM THE DEVELOPMENT SITES FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF DRAINAGE WATER FROM THE PROJECT SITE. IF IT IS NECESSARY TO CONSTRUCT FLOW CONTROL FACILITIES TO MEET THIS REQUIREMENT, THESE FACILITIES SHALL BE FUNCTIONING PRIOR TO IMPLEMENTATION OF OTHER LAND DISTURBING ACTIVITY, INCLUDING BUT NOT LIMITED TO THE USE OF SILT FENCING ALONG ALL SITE BOUNDARIES. IF PERMANENT INFILTRATION FACILITIES ARE USED TO CONTROL FLOWS DURING CONSTRUCTION, THESE FACILITIES SHALL BE PROTECTED FROM SILTATION DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- f. PREVENT EROSION AND SEDIMENT TRANSPORT FROM THE SITE BY VEHICLES. WHENEVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, THE TRANSPORT OF SEDIMENT ONTO THE PAVED ROAD SHALL BE MINIMIZED. IF SEDIMENT IS TRANSPORTED ONTO A PAVED ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM PAVED ROADS BY SHOVELING OR SWEEPING AND SHALL BE TRANSPORTED TO A CONTROLLED DISPOSAL AREA. IF SEDIMENT IS TRACKED OFF SITE, ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY, OR AT LEAST TWICE DAILY DURING WET WEATHER. STREET WASHING IS ALLOWED ONLY AFTER SEDIMENT IS REMOVED, AND STREET WASH WASTEWATER SHALL BE PREVENTED FROM ENTERING THE DRAINAGE SYSTEM AND RECEIVING WATERS.
- g. STABILIZE SOILS. PREVENT ON-SITE EROSION BY STABILIZING ALL EXPOSED AND UNWORKED SOILS, INCLUDING STOCK PILES AND EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS. SOILS SHALL BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. SOIL STOCKPILES SHALL BE STABILIZED FROM EROSION, PROTECTED WITH SEDIMENT TRAPPING MEASURES, AND BE LOCATED AWAY FROM STORM DRAIN INLETS, WATERWAYS, AND DRAINAGE CHANNELS. BEFORE THE COMPLETION OF THE PROJECT, PERMANENTLY STABILIZE ALL EXPOSED SOILS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- h. PROTECT STORM DRAINS. PREVENT SEDIMENT FROM ENTERING ALL STORM DRAINS, INCLUDING DITCHES THAT RECEIVE DRAINAGE WATER FROM THE PROJECT. STORM DRAIN INLETS PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACED AS RECOMMENDED BY THE PRODUCT MANUFACTURER, OR MORE FREQUENTLY IF REQUIRED TO PREVENT FAILURE OF THE DEVICE OR FLOODING. STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT DRAINAGE WATER DOES NOT ENTER THE DRAINAGE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS. STORM DRAIN INLET PROTECTION DEVICES SHALL BE REMOVED AT THE CONCLUSION OF THE PROJECT. WHEN MANUFACTURED STORM DRAIN INLET PROTECTION DEVICES ARE NOT FEASIBLE, INLETS AND CATCH BASINS MUST BE CLEANED AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. THE USE OF STRAW OR HAY BALES SHALL BE PROHIBITED.
- i. STABILIZE CHANNELS AND OUTLETS. ALL TEMPORARY ON-SITE DRAINAGE SYSTEMS SHALL BE DESIGNED, CONSTRUCTED, AND STABILIZED TO PREVENT EROSION. STABILIZATION SHALL BE PROVIDED AT THE OUTLETS OF ALL DRAINAGE SYSTEMS THAT IS ADEQUATE TO PREVENT EROSION OF OUTLETS, ADJACENT STREAM BANKS, SLOPES, AND DOWNSTREAM REACHES.
- j. CONTROL POLLUTANTS. MEASURES SHALL BE TAKEN TO CONTROL POTENTIAL POLLUTANTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING MEASURES:
1. ALL POLLUTANTS, INCLUDING SEDIMENT, WASTE MATERIALS, AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF DRAINAGE WATER AND PURSUANT TO ALL APPLICABLE DISPOSAL LAWS.
  2. CONTAMINANT, COVER, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND OTHER MATERIALS THAT HAVE THE POTENTIAL TO POSE A THREAT TO HUMAN HEALTH OR THE ENVIRONMENT.
  3. ON-SITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.
  4. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT.
  5. APPLICATION OF FERTILIZERS AND PESTICIDES SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO DRAINAGE WATER. MANUFACTURERS' LABEL REQUIREMENTS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
  6. FOR ANY PAINT REMOVAL, PAINT PREPARATION, PRESSURE-WASHING OR SANDBLASTING ACTIVITIES THAT WILL RESULT IN PARTICLES ENTERING THE AIR OR LANDING ON THE GROUND, BMP STEPS SHALL BE IMPLEMENTED TO PREVENT OR MINIMIZE TO THE MAXIMUM EXTENT PRACTICABLE SUCH PARTICLE RELEASES INTO THE ENVIRONMENT. DISCHARGE OF WASTES FROM SUCH ACTIVITIES TO THE MS4 IS PROHIBITED.
- k. MAINTAIN BMPs. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED WITHIN FIVE DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY CONTROLS ARE NO LONGER NEEDED, WHICHEVER IS LATER. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- l. CONCRETE WASTE MANAGEMENT. CONCRETE WASTE FROM WASHOUT OF READY MIX TRUCKS, CONCRETE PUMPS, AND OTHER CONCRETE EQUIPMENT CAUSES CHEMICAL AND CHANGES IN RUNOFF BY INCREASING SEDIMENT AND CHANGING THE PH. CONCRETE WASTE MANAGEMENT IS THE PRACTICE OF CAPTURING ALL CONCRETE WASTES AND PROTECTING THE DRAINAGE SYSTEM FROM ANY DISCHARGE CONTAMINATED BY CONCRETE. THIS CONCRETE WASTE INCLUDES SWEEPINGS FROM CONCRETE OR OTHER CONCRETE SLURRY WASTES.
- A. APPLICATIONS. CONCRETE WASTE MANAGEMENT REQUIREMENTS SHALL APPLY TO ALL CONSTRUCTION SITES, PHASES, SUBDIVISIONS, OR DEVELOPMENTS WITH CONCRETE WORK. THIS INCLUDES THE USE OF CONCRETE DELIVERED BY TRUCK OR OTHER CONCRETE COATED EQUIPMENT, MORTAR-MIXING STATIONS, OR WHERE CONCRETE DUST, DEBRIS, OR SLURRY IS CREATED BY EITHER CONSTRUCTION OR DEMOLITION. CONCRETE WASTE MANAGEMENT PRACTICES SHALL ALSO APPLY TO ANY OPERATOR OF A VEHICLE USED TO DELIVER OR APPLY CONCRETE PRODUCTS.
1. ALL CONSTRUCTION SITES SHALL PROVIDE AND IDENTIFY A REASONABLE CONCRETE WASHOUT FACILITY FOR THE USE OF THOSE PROVIDING CONCRETE OR CONCRETE RELATED SERVICES ON THAT SITE OR MAKE ARRANGEMENTS FOR THE REMOVAL OF CONCRETE WASTE.
  2. IN SOME CASES, PARTICULARLY IN THE CASE OF AN OWNER-BUILDER CONSTRUCTION OR RENOVATION OF A SINGLE STRUCTURE, THE CONCRETE PROVIDER IS EXPECTED TO DISPOSE OF OR WASHOUT ANY EXCESS CONCRETE OR DEBRIS IN A MANNER CONSISTENT WITH THIS SECTION EVEN IF THE SITE DOES NOT LEND ITSELF TO A SEPARATE WASHOUT FACILITY.
  3. DESIGN CRITERIA. PROVIDE A MINIMUM OF SIX CUBIC FEET OF CONTAINMENT VOLUME FOR EVERY TEN CUBIC YARDS OF CONCRETE TO BE POURED. THERE MUST BE A MINIMUM FREEBOARD OF SIX INCHES FOR THOSE FACILITIES BUILT ABOVE THE GROUND OR A MINIMUM OF 12 INCHES FOR THOSE BUILT BELOW GRADE. PREFABRICATED WASHOUT FACILITIES ARE ALLOWED SO LONG AS THEY MEET THE CRITERIA OF TEMPORARY FACILITIES IN TERMS OF CAPACITY, PROTECTION FROM RUNOFF AND CLEAN OUT REQUIREMENTS. ALL WASHOUT AREAS MUST:
    1. BE LOCATED AS FAR AWAY FROM STORM DRAINS, DITCHES, OR OTHER BODIES OF WATER AS IS PRACTICAL.
    2. PROVIDE ALL-WEATHER ACCESS WITH SUFFICIENT CONTROLS TO KEEP MUD OR DEBRIS FROM THE STREETS SURROUNDING THE FACILITY.
    3. PHYSICALLY RESTRICT ALL RUNOFF FROM THE AREA BY CONSTRUCTION OF TEMPORARY PIT OR BERMED AREA OF SUFFICIENT SIZE. ARTIFICIAL BERM MAY BE CREATED FROM STRAW BALES OR SAND BAGS SO LONG AS THE SAME IS STAKED AND IS DOUBLE OR TRIPLE-LINED WITH POLYETHYLENE SHEETING OF SUFFICIENT THICKNESS AND WITHOUT HOLES OR TEARS.
    4. BE CLEARLY MARKED BY SIGNAGE.
    5. BE LINED WITH POLYETHYLENE SHEETING OF SUFFICIENT THICKNESS AND WHICH IS FREE FROM HOLES, TEARS, OR DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
  4. MAINTENANCE REQUIREMENTS. THE WASHOUT PIT SHALL BE CLEANED AND MAINTAINED ON A REGULAR BASIS.
- C. THE FACILITY MUST BE REMOVED OR CLEANED OUT WHEN THE FACILITY IS NO LONGER REQUIRED FOR WORK IN THE AREA OR WHEN THE FACILITY IS AT 75 PERCENT CAPACITY.
2. TO REMOVE OR CLEAN THE FACILITY, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY FACILITY MUST ALSO BE REMOVED AND DISPOSED OF WHEN THEY ARE NO LONGER SUITABLE FOR USE OR NO LONGER NEEDED.
  3. ANY HOLES OR DEPRESSIONS CAUSED BY A TEMPORARY WASHOUT FACILITY SHOULD BE BACKFILLED AND REPAIRED AND THE SOIL SHALL BE STABILIZED.
  4. BE CLEANED UP IMMEDIATELY IN THE EVENT THAT ANY LIQUID OR OTHER CONTAMINANT IS FOUND OUTSIDE THE WASHOUT FACILITY.
  5. ALL CONCRETE WASTE MATERIAL MUST BE PROPERLY DISPOSED OF.
- m. CONTRACTOR MUST COMPLY WITH PROCEDURES OUTLINED BY PUBLIC WORKS STANDARD SECTION C204.

SWPPP LEGEND

- |   |   |   |  |
|---|---|---|--|
| 1 | INSTALL REINFORCED FILTER FABRIC FENCE ALONG PERIMETER OF SITE (SEE DETAIL 1, SHT C2-2-1)                               | 4 | TREE PROTECTION FENCING, TYP. MAINTAIN THROUGHOUT CONSTRUCTION       |
| 2 | INSTALL INLET PROTECTION AT ALL EXISTING DRAINS, NOT JUST THOSE SHOWN ON PLANS. SEE REQUIREMENTS IN NOTES SWPPP SHEETS. | 5 | INSTALL PROTECTION AT NEW DRAINAGE INLET. SEE DETAILS ON SHT C2-2-1. |
| 3 | WRAP PERVIOUS PAVEMENTS IN FILTER FABRIC. PROTECT AS IF ENTIRE PERVIOUS PAVING IS AN INLET.                             | 6 | CONCRETE WASHOUT AREA SEE DETAIL ON SHT C2-2-1                       |

CONTRACTOR AGREEMENT

CONTRACTOR AGREES TO IMPLEMENT AND FOLLOW CONDITIONS AND IMPLEMENTATIONS SHOWN HEREIN DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS SET FORTH IN SECTION C204 OF THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS GENERAL SPECIFICATIONS AND EPA AND LDEQ GUIDELINES.

CONTRACTOR OF RECORD



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C204.02 – STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and STORMWATER CONTROL MEASURES (SCMs)

- (a) General:
1. Contractor shall implement, maintain, and inspect all erosion and sediment controls identified in the SWPPP. The program shall address both common construction activities and extraordinary events. The Contractor shall remove all temporary SCMs, such as silt fences, catch basins, filters, wash areas, etcetera at the end of construction.
  2. Contractor shall include Water Pollution Control Drawings (WPCD) in the SWPPP to illustrate the locations, applications, and deployment of the Storm Water Control Measures (SCMs) identified in the SWPPP. The WPCDs shall be included as an attachment to the SWPPP.
  3. Storm Water Control Measures (SCMs): The Storm Water Control Measures (SCMs) are techniques, processes, activities, or structures used to reduce the pollutant content of a storm water or non-storm water discharge. SCMs may include simple, non-structural methods such as good housekeeping, staff training, and preventive maintenance. Additionally, SCMs may include structural modifications such as the installation of berms, canopies, or treatment control.
  4. The Contractor shall comply with laws, rules, and regulations of the State of Louisiana and agencies of the United States Government prohibiting the pollution of lakes, wetlands, streams, or river waters from the dumping of contaminants, refuse, rubbish, or debris.
  5. The Contractor shall submit copies of the SWPPP a minimum of 10 working days prior to beginning construction, to the Director. Contractor shall update the SWPPP as necessary during the work to prevent contamination of the storm water collection system.
  6. Before start of work, Contractor shall train all employees and Subcontractors on the approved SWPPP and related WPCD and provide the Department of Public Works with written documentation of said training.

- (a) Construction: The Contractor shall keep a copy of the SWPPP on the job site. The Contractor shall provide continuously at the jobsite all the tools, equipment, and materials necessary to implement the SWPPP at all times from project initiation through completion, including any punchlist or warranty work on the project. At a minimum the following requirements shall be met as applicable, to the maximum extent practicable, at construction sites:
1. Storm Drain System Protection: At the first order of work, the Contractor shall protect the existing storm drain system from entrance of construction debris and pollutants. Such protection shall include implementing the SCMs as outlined in the SWPPP. Protection shall prohibit the discharge of untreated runoff from temporary or permanent street maintenance/landscape maintenance material and waste storage areas from entering the storm drain system. Sediment that is generated on the project site shall be retained using structural drainage controls. In addition, the protection system shall have a minimum of three features:
    - a) A particulate filter of geosynthetic material securely fastened in place such that it cannot be bypassed without significant physical damage;
    - b) A prefilter for the particulate filter; and
    - c) On-hand materials to close off the inlet or opening in the case of a significant pollution spill. Contractor shall monitor and maintain all storm drain inlet protection devices during rain events to prevent flooding.

2. Material Management & Storage: No construction-related materials, wastes, spills or residues shall be discharged from the project site to streets, drainage facilities or adjacent properties by wind or runoff. All materials and/or equipment storage areas where liquid construction materials are placed shall be protected by a physical barrier capable of containing the entire volume of stored liquid materials. During active construction activities, portions of the barrier may be removed for access. However, the barrier materials must be readily accessible for replacement by onsite construction personnel. The barrier must be in place at all times during the absence of Contractor personnel at the storage site. Building materials shall be placed on pallets and covered in event of rain. Do not store materials in the street or gutter area.
3. Equipment & Vehicle Maintenance: Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site and shall not be allowed to discharge from the project site to streets, drainage facilities or adjacent properties by wind or runoff. The Contractor shall inspect vehicles and equipment on each day of use. Leaks shall be repaired off-site if possible. If necessary to repair on site, the runoff must be contained, or the problem vehicle or equipment shall be removed from the project site until repaired. If necessary, drip pans shall be placed under the vehicles or equipment while not in use to catch and/or contain drips and leaks.

4. SCMs Inspections: The Contractor shall inspect all pollution control SCMs regularly. The Contractor shall adopt an element on a daily basis, and shall not be allowed to. During periods of precipitation where any runoff occurs, the system shall be checked twice a day, seven days a week, whether or not any work has been performed. The Contractor shall keep a monitoring inspection log of each inspection.
5. Spill Prevention & Cleanup Plan: Contractor shall have a spill prevention plan and spill cleanup materials readily available and addressed in the SWPPP. Spills shall be cleaned up immediately using dry methods if possible. Spill cleanup material shall be properly disposed of offsite. Contractor shall keep a record of any spills in the inspection log. In addition, at the end of the project, the Contractor must certify that all contaminated materials have been properly disposed in accordance with the SWPPP.
6. Asphalt & Concrete Activities: Asphalt and concrete activities shall be scheduled for dry weather. Contractor shall prohibit saw cutting during a storm event of 0.25 inches or greater. Store bags of cement away from gutters and storm drains, sealed and covered, protected from rainfall runoff and wind. Place tarp under cement mixer before operating to catch spills. Never dispose of cement washout or concrete dust onto driveways, streets, gutters or storm drains.
7. Sidewalk Washing: The following methods should be utilized to prevent discharge of sidewalk cleaning wastewater into the storm drain system:
  - a) Sweep and pick up all areas to be cleaned before using water.
  - b) Manually scrape gum from sidewalks and other surfaces.
  - c) Must use high pressure and low volume of water with no additives and at an average usage of 0.006 gallons per square foot of surface area to be rinsed.
  - d) Use a wet/dry vacuum to collect wash water for disposal. Large volumes of wash water may require the use of a small sump pump to remove wash water from the job site.
  - e) One or more of the following methods are recommended to prevent pollutants from entering the storm drain system:
    - Sandbags can be used to create a barrier around storm drains.
    - Rubber mats or plugs can be used to seal drain openings.
    - Temporary berms or containment pods help keep water on site.
    - Use berms of sandbags to direct wash water to landscaping.
    - Use large squeegees to accumulate sheet flow for collection.
    - Remember to remove plugs, berms, and sandbags or you may be liable for possible flooding.
  - f) Wash water that contains hazardous waste such as oil-saturated absorbents, water with lead or other heavy metals from oxidized paint, and solvent cleaners requires special treatment and must be disposed of through a hazardous waste facility.

8. Employee SCMs Training: Contractor shall train employees and Subcontractors on SCMs implementation, general good housekeeping, and proper spill containment and cleanup. Before start of work, Contractor shall provide the Department of Public Works and the Sewerage & Water Board with written documentation of training and keep all documentation in the SWPPP.
9. Inspection: Contractor shall maintain SCMs at all times on a daily basis, shall inspect and repair or replace, as needed, all job site SCMs a minimum of:
  - Biweekly
  - Before, during and after a major rain event.

- Contractor shall document the inspections in the SWPPP.
10. Dewatering: Avoid dewatering discharges where possible by using the water for dust control, infiltration, etcetera.

- (a) Temporary Erosion Control:
1. This work consists of constructing and maintaining temporary erosion control features shown on the plans or as directed. Installation of temporary erosion control features shall be coordinated with construction of permanent erosion control features to the extent necessary to ensure economical, effective and continuous control of erosion and water pollution throughout the life of the contract.

- The Contractor shall comply with a Storm Water Pollution Prevention Plan (SWPPP) and Storm Water Control Measures (SCMS) approved by the Department when conducting clearing or earthwork operations. The SWPPP shall include the erosion control features as shown on the plans, or as directed, in addition to other required components of the SWPPP specified by the US Environmental Protection Agency (EPA) and the Louisiana Department of Environmental Quality (LDEQ). The plan shall indicate the use of contract items and the coordination of this work with the scheduling of clearing and earthwork. SCMs include but are not limited to:
- a) All mechanical equipment intended for use at said construction site must be properly maintained.
  - b) Erect silt barrier fencing around the construction site,
  - c) Cover all drain inlets in the immediate area of the construction site until all work is completed,
  - d) Spread and compact all fill material within a short time after delivery (approximately 48 hours),
  - e) Drive creosote pilings soon after their delivery (approximately 48 hours),
  - f) Cover any loose piles of dirt or creosote pilings with plastic, if they will not be put into place in a short time,
  - g) Clean all mortar and cement mixing equipment in such a manner that the discharge does not enter the storm water system, but is removed as solid waste to a proper location,
  - h) Cover all piles of sand used for mortar with plastic,
  - i) Do not store fuel, automotive fluids, paint, glue, solvents, plaster, or other petroleum products on site for extended periods of time, or in areas where they are subject to spillage or open to the elements. Such products should remain in their original packaging until ready for use,
  - j) Maintain proper absorbent and diking material to guard against accidental spillage of automotive fluids and other liquid products used on site,
  - k) Have all workers and equipment enter the construction area from a single stable entrance,
  - l) Have all work coordinated by a single Contractor who is responsible for the SWPPP.

2. Control of Erodible Soil:

- a) General: The Contractor shall prevent the transmission of soil particles into streams, canals, lakes, reservoirs or other waterways. Except as necessary for construction, excavated material shall not be deposited into streams or impoundments, or in a position close enough to be washed in waterways by high water or runoff. The Contractor shall not disturb lands or waters outside the limits of construction, except as authorized.

- b) Adjacent to Property: The location of, and method of operation in, borrow pits, material pits and disposal areas obtained by the Contractor for waste material from the project (other than commercially operated sources) shall be the Contractor's responsibility.

3. Materials: Materials not covered by project specifications shall meet commercial grade standards and shall be approved before being incorporated into the project. No testing of materials used in temporary erosion control features will be required. Acceptance of temporary erosion control materials will be by visual inspection.

- c) Slope Drains: Slope drains may be constructed of pipe, fiber mats, rubble, Portland cement concrete, asphaltic concrete, plastic sheets or other acceptable material.

- d) Silt Fencing: Silt fencing shall be wire-supported or self-supported systems. Other silt fencing systems may be used when approved.

- i) Wire-Supported: Wire-supported silt fencing shall consist of standard woven livestock wire, and minimum of 14-gauge (2.0 mm diameter) wire, a minimum of 36 inches (900 mm) in height with a maximum wire spacing of 6 inches (150 mm). Posts shall be either wood or steel installed a minimum of 2 feet (0.6 m) in the ground. Filter material shall be burlap weighing approximately 7 1/2 ounces per square yard (0.25 kg per sq. m), approved jute fabric or approved geotextile fabric. Geotextile fabric shall comply with Section 1019, Class F.

- ii) Self-Supported: Self-supported silt fencing shall consist of an approved geotextile fabric suitably attached to posts of either wood or steel installed in accordance with plan details. Geotextile fabric shall comply with LaDOTD Section 1019, Class G.

- j) Temporary Construction Entrance: Temporary construction entrances shall consist of stone or recycled Portland cement concrete complying with LaDOTD Subsection 711.02, 2 lb (1 kg) class placed on geotextile fabric complying with Section 1019, Class D. The geotextile fabric underliner shall be placed at the locations designated for temporary construction entrances before stone or recycled Portland cement concrete is placed. The stone or recycled Portland cement concrete shall be placed and compacted to the required thickness as directed. This work also includes additional measures required to remove mud from truck tires, such as wash racks, etc.

- ik) Hay Bales: Hay or straw bales shall be rectangular bales, acceptable to the Director. The average length of bales shall be 34 inches (850 mm) minimum.

4. Exposure of Erodible Earth: The Director may direct the Contractor to provide immediate permanent or temporary erosion control measures to prevent contamination of streams, lakes, tidal waters, reservoirs, canals or other impoundments or prevent detrimental effects on property outside the right-of-way and damage to the project. Limitations of areas in which excavation and embankment operations are underway shall be commensurate with the Contractor's capability and progress keeping finish grading, temporary erosion control, and permanent erosion control measures in accordance with the accepted schedule.

5. Incorporation of Erosion Control features: Use of temporary erosion control features will be authorized to correct unforeseen conditions that develop during construction; to control erosion prior to the time it is practical to construct permanent control features; or to provide immediate temporary control of erosion that develops during normal construction operations but is not associated with permanent erosion control features. Permanent erosion control features shall be incorporated into the project at the earliest practical time. Temporary erosion control features will be used where stage construction or other conditions not under control of the Contractor preclude completion of a section of roadway in a continuous manner, or where subsequent construction operations will cause damage to permanent erosion control features.

6. Construction Requirements: Temporary erosion control features shall consist of, but not be limited to, temporary seeding, temporary mulching, sandbagging, slope drains, sediment basins, sediment check dams, erosion checks, artificial coverings, berms, and stone entrances. The Director may direct use of temporary erosion control features or methods other than those included in the original contract. Soil deposits outside the right-of-way shall be immediately removed and the surface repaired at no direct pay. The Director shall have the authority to require the Contractor's operations to be discontinued until erosion deposits have been cleared and the area restored.

- a) Sandbagging: Sandbags shall be placed as directed.

- b) Baled Straw or Hay: Baled straw or hay shall be placed as directed to form checks or dams to control erosion and siltation. Bales shall be properly staked or otherwise secured as directed, as shown on the plans. The bales shall be buried as necessary to prevent scour under the bales. A minimum of 2 stakes shall be driven through each bale.

- c) Filter Socks: Filter socks may be used in lieu of baled straw or hay in front of catch basins.

- d) Geotextile Filters: Use geotextile filters in combination with filter socks at catch basins in lieu of baled straw or hay.

- e) Slope Drains: Slope drains shall be constructed with acceptable materials in accordance with plan details or as directed, if necessary to prevent scour. The discharge area shall be stabilized or protected by temporary riprap as directed. Cost of discharge area protection will be included under the slope drain item.

- f) Sediment Basins: Sediment basins shall be constructed in accordance with plan details or as directed.

- g) Sediment Check Dams: Check dams shall be constructed at locations shown on the plans or as directed. Check dams shall be constructed before clearing and grubbing or grading in the area is begun unless otherwise directed.

- h) Silt Fencing: Silt fencing shall be furnished and constructed at designated locations or other locations, as directed by the Director.

- i) Berms: Earth berms shall be constructed as directed to divert the flow of water from erodible surfaces.

- j) Unforeseen Conditions: When unforeseen conditions are encountered, the Director may direct the Contractor to construct such temporary devices as required to control erosion during construction. Details may be developed jointly by the Director and the Contractor.

- k) Maintenance of Erosion Control Features: The Contractor shall install, construct, repair, and maintain temporary erosion control features within 7 calendar days of being instructed to do so by the Director. Temporary erosion control features shall be inspected at least once every 14 calendar days and within 24 hours after a rainfall event of 0.5 inches or greater. The features are to be maintained as described below and, if required, replaced as directed at no direct pay.

- i) Straw or Hay Bale Barriers: The bale barriers shall be inspected after each rainfall and time frame as defined above and at least daily during prolonged rainfall. Close attention shall be paid to the repair of damaged bales, "end runs" and undercutting beneath bales.

- iv) Filter Socks and Geotextile Fabric: Ensure that filter socks remain in place and that geotextile filters do not allow runoff to enter the catch basin around the edges.

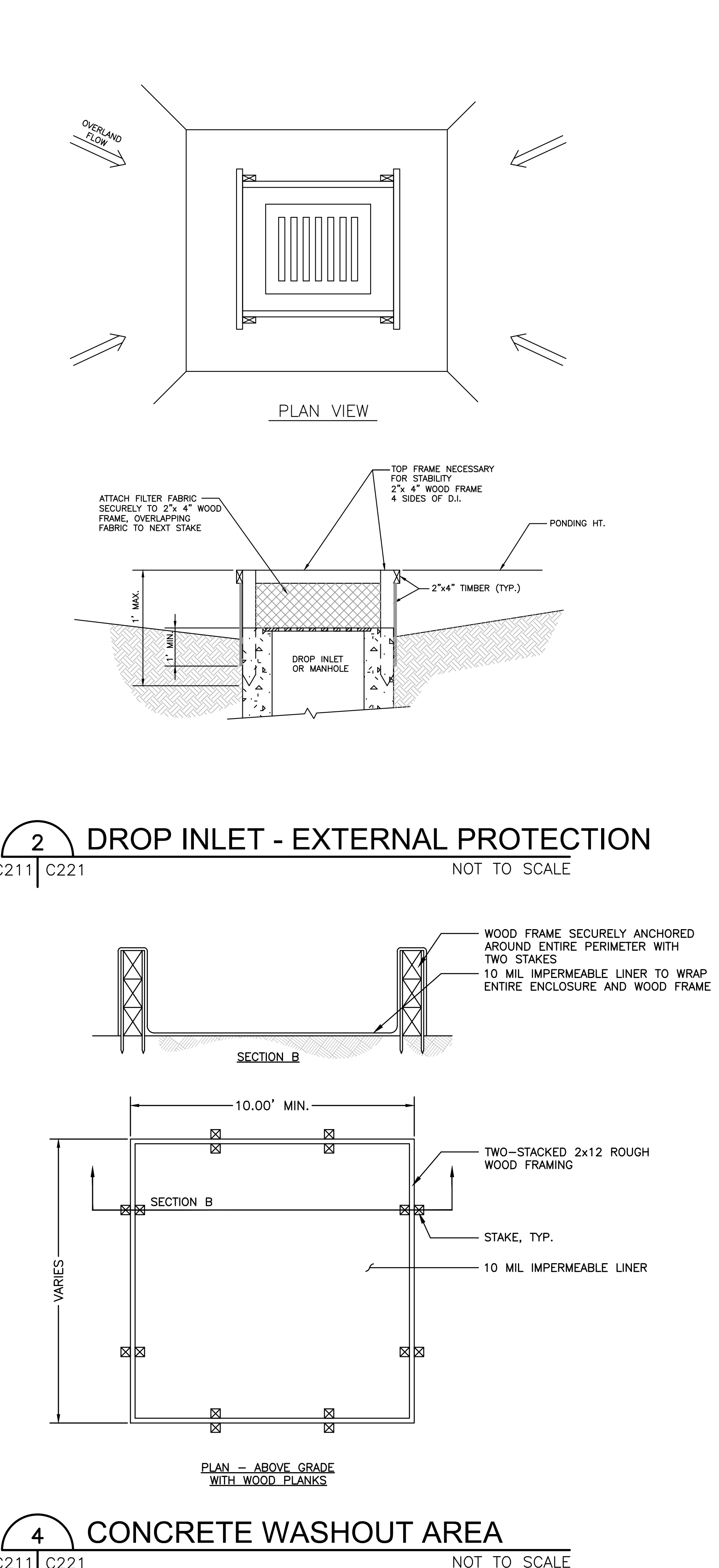
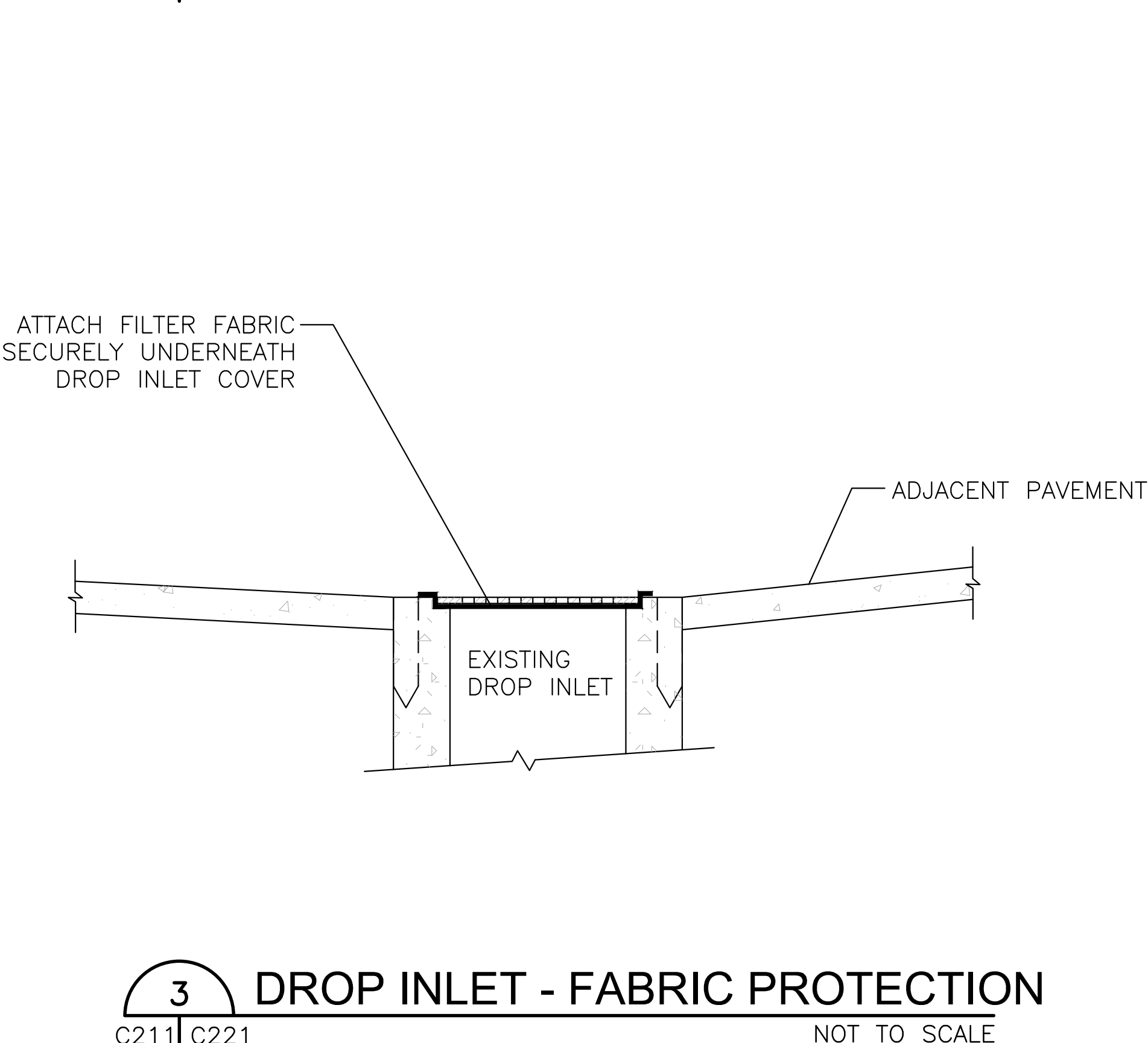
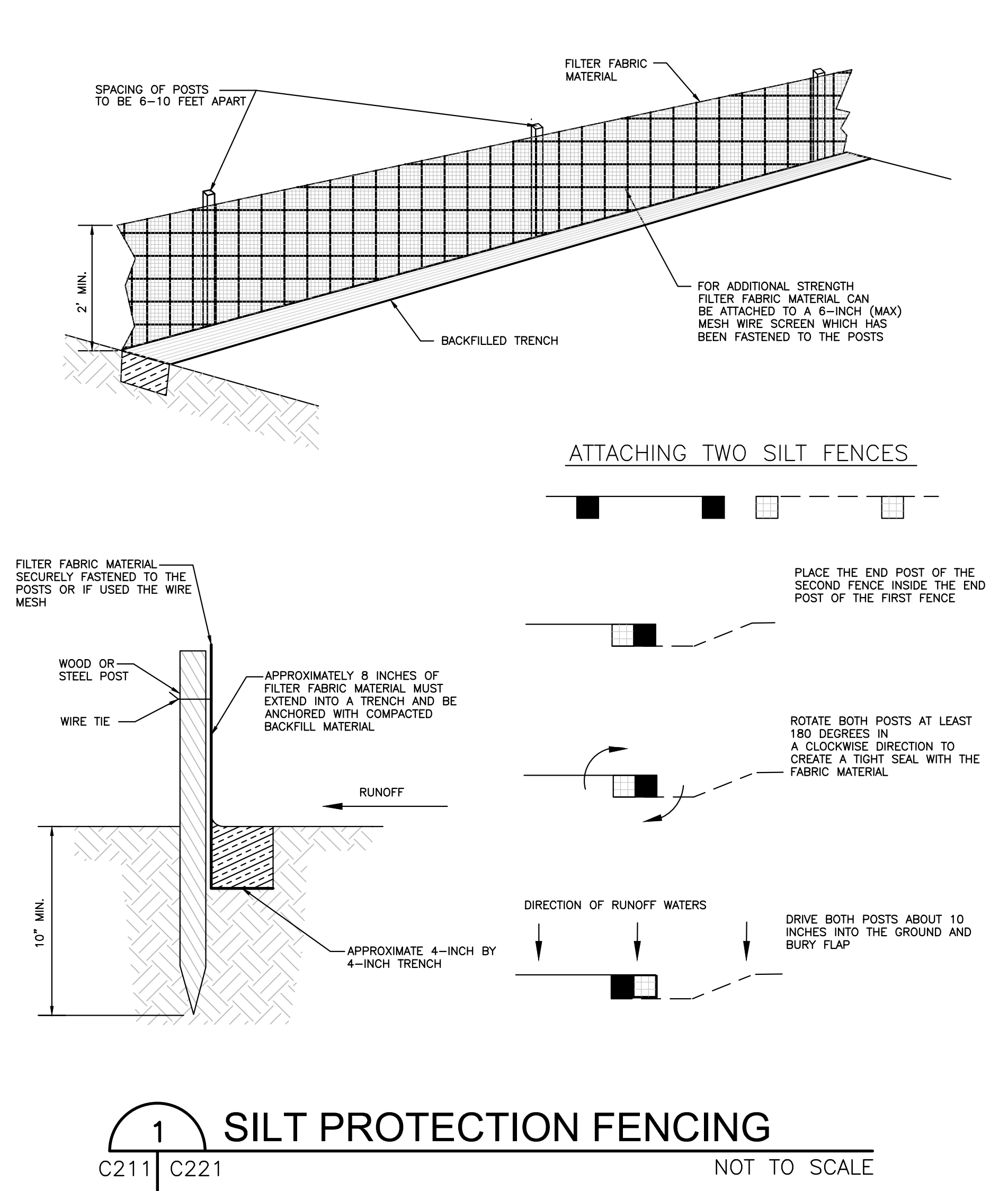
- v) Slope Drains: Slope drains shall be inspected weekly and after each rainfall as defined above, and repairs made if necessary. The Contractor shall avoid the placement of any material on and prevent construction traffic across the slope drain.

- vi) Sediment Check Dams: Sediment deposits shall be removed when the deposits reach one-half the height of the check dam. Inspections shall be made to insure that the center of the dam is lower than the edges. Erosion around the edges shall be corrected immediately.

- vii) Silt Fencing: Sediment deposits shall be removed when the deposits reach one-half the height of the fence. If the fabric on the silt fence decomposes or becomes ineffective, the fabric shall be replaced promptly.

- viii) Temporary Stone Construction Entrance and/or Wash Racks: The construction entrance shall be maintained to allow for removal of mud from the tires. The sediment from the wash rack runoff shall be removed once the wash rack is no longer performing as intended.

- n) Removal of Temporary Erosion Control Features: Temporary erosion control feature existing at the time of construction of permanent erosion control features shall be removed or incorporated into the soil in such manner that no detrimental effect will result. The Director may direct that temporary features be left in place. Sediment in sediment basins, silt fences, check dams, and other catchment areas shall be removed, replaced with acceptable soils in accordance with LaDOTD Subsection 203.06.



CONTRACTOR AGREEMENT
CONTRACTOR AGREES TO IMPLEMENT AND FOLLOW CONDITIONS AND IMPLEMENTATIONS SHOWN HEREIN DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH REQUIREMENTS SET FORTH IN SECTION C204 OF THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS GENERAL SPECIFICATIONS AND EPA AND LDEQ GUIDELINES.
CONTRACTOR OF RECORD

AGENCY REVIEW:

SEAL:



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REVISION	ISSUE	DATE

ISSUE:	ISSUE SET
ARCHITECT PROJECT NO:	187
DRAWN BY:	AD
ISSUE DATE:	06/04/2020
SHEET TITLE	

STORMWATER  
POLLUTION PREVENTION

SHEET NO.

C2-2-1





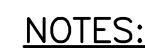
REVISION	ISSUE	DATE

ISSUE:	PRICING SET
ARCHITECT PROJECT NO:	197
DRAWN BY:	AD
ISSUE DATE:	06/04/2020
SHEET TITLE	

## DETAILS

SHEET NO.

*C5-1-1*



1. CURB SHALL HAVE SCORE JOINTS AT 20' (MAX.) INTERVALS AND EXPANSION JOINTS AT 100' (MAX.) INTERVALS.

NOTES:

1. SAND SUBBASE SHOULD BE COMPACTED TO 95% OF IT'S MAXIMUM DRY DENSITY NEAR OPTIMUM WATER CONTENT USING ASTM D 1557.
2. COMPACTED SAND (I.E. RIVER SAND) - SHALL BE NON-PLASTIC AND FREE OF ROOTS, CLAY LUMPS, AND OTHER DELETERIOUS MATERIALS WITH NO MORE THAN 10% BY WEIGHT OF MATERIAL PASSING A U.S. STANDARD NO. 200 MESH SIEVE. MAXIMUM ORGANIC CONTENT SHOULD NOT EXCEED 5% BY WEIGHT. PRIOR TO TRANSPORTING FILL TO THE SITE, A SAMPLE SHOULD BE TESTED TO VERIFY IT'S CONFORMANCE TO THESE REQUIREMENTS.
3. ASPHALT SHALL CONFORM TO THE MATERIAL AND CONSTRUCTION REQUIREMENTS FOR ASPHALT PAVEMENT AS SPECIFIED IN THE LSSRB.
4. GEOTEXTILE STABILIZATION FABRIC SHALL MEET OR EXCEED THE MATERIAL REQUIREMENTS IN SECTION 1019.01 OF THE LSSRB. A CLASS C GEOTEXTILE SHOULD BE USED AND PLACED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
5. SUBGRADE PREPARATION - AFTER STRIPPING, CLEARING, AND DEMOLITION OPERATIONS, THE EXPOSED GROUND SHOULD BE PROOFCOLLED WITH A BULLDOZER, COMPACTOR, OR TRACKED VEHICLE EXERTING A GROUND PRESSURE BETWEEN 10 AND 15 PSI. THE VIBRATORY SYSTEM ON THE COMPACTOR, IF PRESENT, SHOULD NOT BE USED DURING PROOFCOLLING. ANY WEAK AREAS SHOULD BE REMOVED AND BACKFILLED WITH COMPACTED SAND. CLEARING AND COMPACTION OPERATIONS SHALL ONLY BE PERFORMED DURING PERIODS OF DRY WEATHER.



COMPACTED SUBGRADE  
PER RECOMMENDATIONS  
IN GEOTECHNICAL REPORT

STRUCTURAL FILL  
(12" MIN.) COMPACTED  
IN ACCORDANCE WITH  
SPECIFICATIONS

REQ'D MIRAFI 600X  
OR EQUAL

NOTE:

1. SEE DETAIL 10 OF THIS SHEET FOR REQUIREMENTS FOR CONTROL AND EXPANSION JOINTING

└ PERMISSIBLE CONST. JOINT

Diagram illustrating the components and standards for a curb and gutter assembly:

- BARRIER CURB & GUTTER PER NO. DPW STANDARDS
- 1" PREMOLDED EXPANSION JOINT, TYP.
- 5' TRANSITION CURB MOUNTABLE TO BARRIER
- MOUNTABLE CURB PER NO. DPW STANDARDS

NOTE:

1. REFER TO STANDARD DETAILS AND SPECIFICATIONS OF THE NEW ORLEANS DEPARTMENT OF PUBLIC WORKS FOR INSTALLATION REQUIREMENTS.

NOTE:

1. ALL PERMEABLE PAVEMENT INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE.
2. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

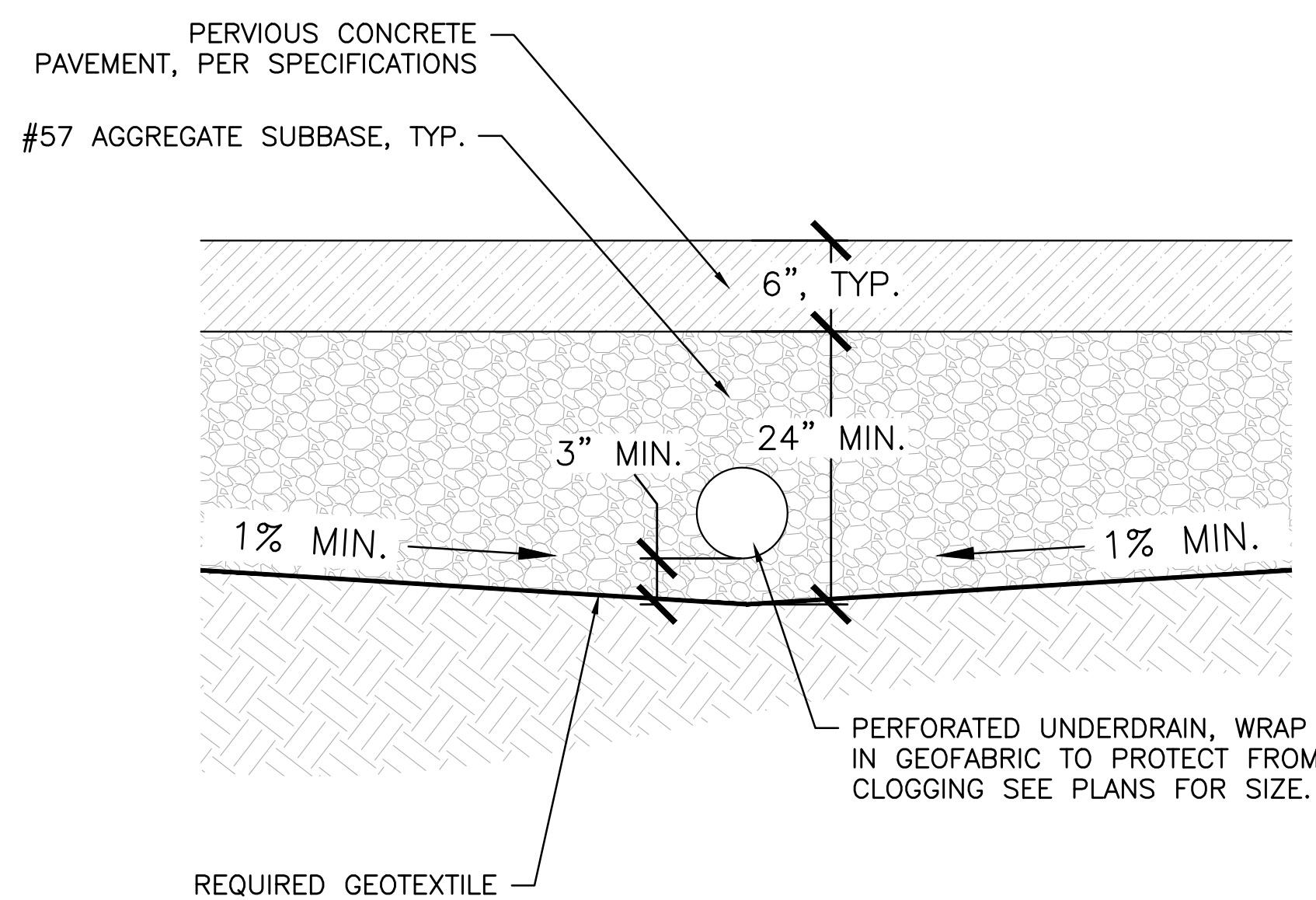
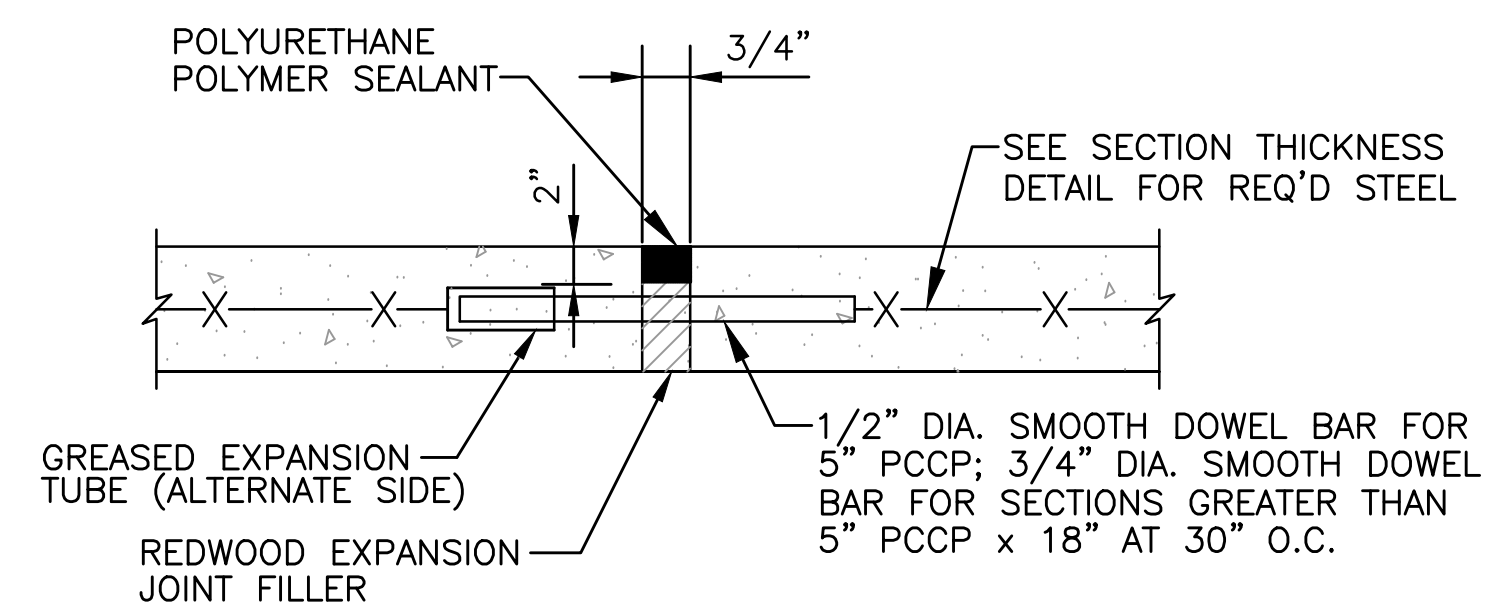
[illegible]

Diagram illustrating the required dimensions and paint specifications for a wheelchair accessible parking space:

- 8" DIA. (Wheelchair width)
- 10" (Clearance from curb to wheel)
- 8" (Clearance from wheel to front of vehicle)
- 2 COATS OF TRAFFIC PAINT (HANDICAP BLUE)
- 4" WIDE PAINTED LINES (HANDICAP BLUE)
- 1' (Total width of the space)



## EXPANSION JOINT

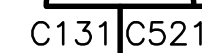
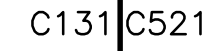
10 TYPICAL CONCRETE JOINTING  
C131 | C511

NOT TO SCALE

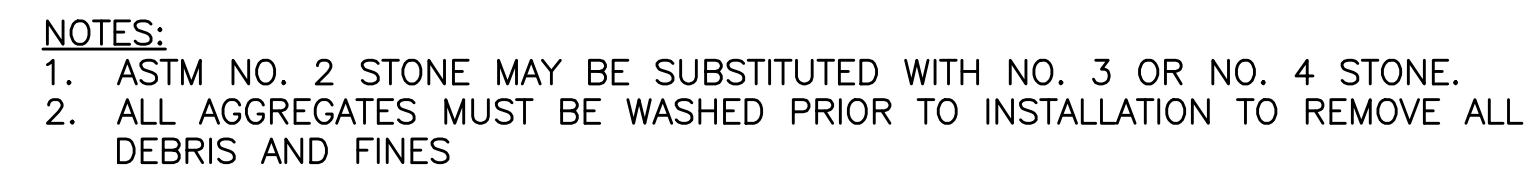




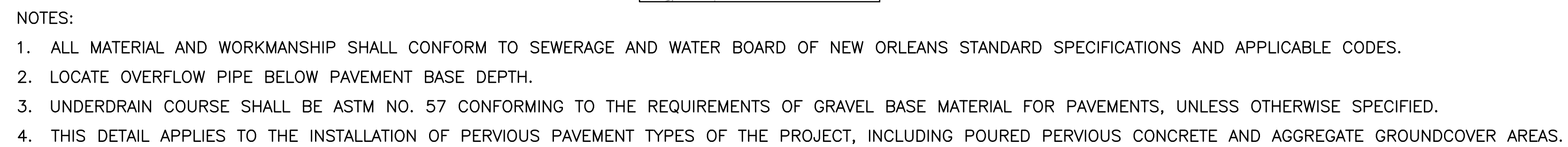
C131	C521
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C131	C521
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C131	C521
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C131	C521
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NOT TO SCALE



## GENERAL NOTES - SITE PLAN

- REFER TO CIVIL, STORMWATER, AND LANDSCAPE DRAWINGS FOR SPECIFIC DISCIPLINE REQUIREMENTS. PLANTING SHOWN HERE FOR REFERENCE ONLY. RE: PLANTING PLAN.
- ALL VERTICAL EXPOSED CONCRETE SURFACES SHALL BE RUBBED.
- REFER TO MEP FOR ADDITIONAL SITE WORK.

## KEYNOTES - SITE

- NEW DECORATIVE FENCE & GATE.
- EXISTING EAVE (OVERHEAD).
- NEW GUTTER, NEW DOWNSPOUTS (TYP.).
- EXISTING SITE FENCE.
- EXISTING 3/4" IRON ROO.
- NEW CAST STONE RISER TO MATCH ADJACENT. REFER TO CAST IN PLACE STAIR DETAIL 10A1-0-4.
- EXISTING HANDRAIL, TO REMAIN.
- EXISTING HISTORIC CORNERSTONE TO REMAIN.
- EXISTING HOSE BIBB.
- EXISTING POCKET GATE.
- NEW ACCESSIBLE ENTRY RAMP, STAIRS, BENCH, & RETAINING WALLS.
- NEW CAST STONE RETAINING WALL. REFER TO PLANTING BED DETAIL 5A1-0-4.
- NEW PLANTING, REF: LANDSCAPE.
- PERMEABLE SURFACE.
- LONG-TERM BICYCLE PARKING, "BOLA" FROM LANDSCAPE FORMS. FINISH TO BE STAINLESS STEEL. SEE EMBED DETAIL A1-0-4.
- SHORT-TERM BICYCLE PARKING, "FLO" FROM LANDSCAPE FORMS. FINISH TO BE STAINLESS STEEL.
- NEW CODE-COMPLIANT CONCRETE RAMP.
- NEW CURB OUTFLARE WITH DETECTABLE WARNING, REF: CIVIL.
- NEW FENCED ENCLOSURE FOR GARBAGE + RECYCLING.
- NEW CURB, REF: CIVIL.
- NEW PARKING LOT PAVING, RE: CIVIL.
- NEW GREASE TRAP, RE: PLUMBING.
- CURRENT EXTENT OF EXISTING LIVE OAK CANOPY (TO REMAIN).
- EXISTING LIVE OAK (TO REMAIN).
- NEW PERMEABLE PARKING PAVING, RE: CIVIL.
- NEW CURB CUT FOR PARKING LOT DRIVEWAY, RE: CIVIL.
- FIRE HYDRANT, E.T.R.
- NEW SIDEWALK, RE: CIVIL.
- NEW GRASS, RE: CIVIL + LANDSCAPE.
- NEW CONCRETE WALKWAY WITH CEMENT TOPPING.
- NEW CONCRETE PAVING.
- EXTENT OF NEW CANOPY (OVERHEAD).
- NEW LOADING SPACE.

## PARKING SCHEDULE

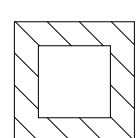
Count	Type
2	ADA 8' x 18'
26	PARKING 8.5' x 18'
6	PARKING COMPACT 7.5' x 16'
Grand total: 34	

## BICYCLE PARKING SCHEDULE

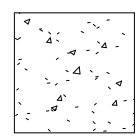
Count	Type
1	LONG-TERM
12	SHORT-TERM
Grand total: 13	

## LEGEND - SITE PLAN

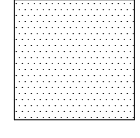
- NEW  
— EXISTING TO REMAIN  
— NOT IN CONTRACT  
— PROPERTY LINE
- <K1> LIGHT FIXTURE AT GRADE  
• <K2> LIGHT FIXTURE AT GRADE



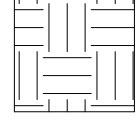
EXISTING BUILDING TO REMAIN, NO WORK



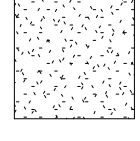
NEW CONCRETE



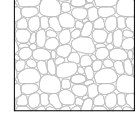
NEW GRASS



EARTH / PLANTER



PERVIOUS PAVING SYSTEM



PERMEABLE SURFACE

CLEVELAND AVENUE

CANAL STREET

S. TELEMACHUS STREET

1 SITE PLAN  
1/16" = 1'-0"

BETHANY CHURCH - NEW ORLEANS

3700 CANAL STREET  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

SEAL:

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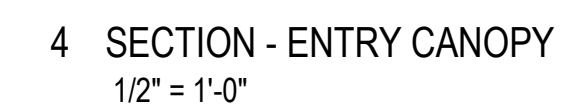
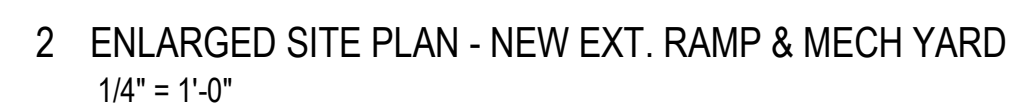
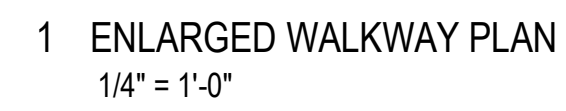
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ARCHITECT PROJECT NO.: 197  
DRAWN BY: SH  
ISSUE DATE: 06/04/2020  
SHEET TITLE

SITE - PLAN

SHEET NO.

A1-0-1







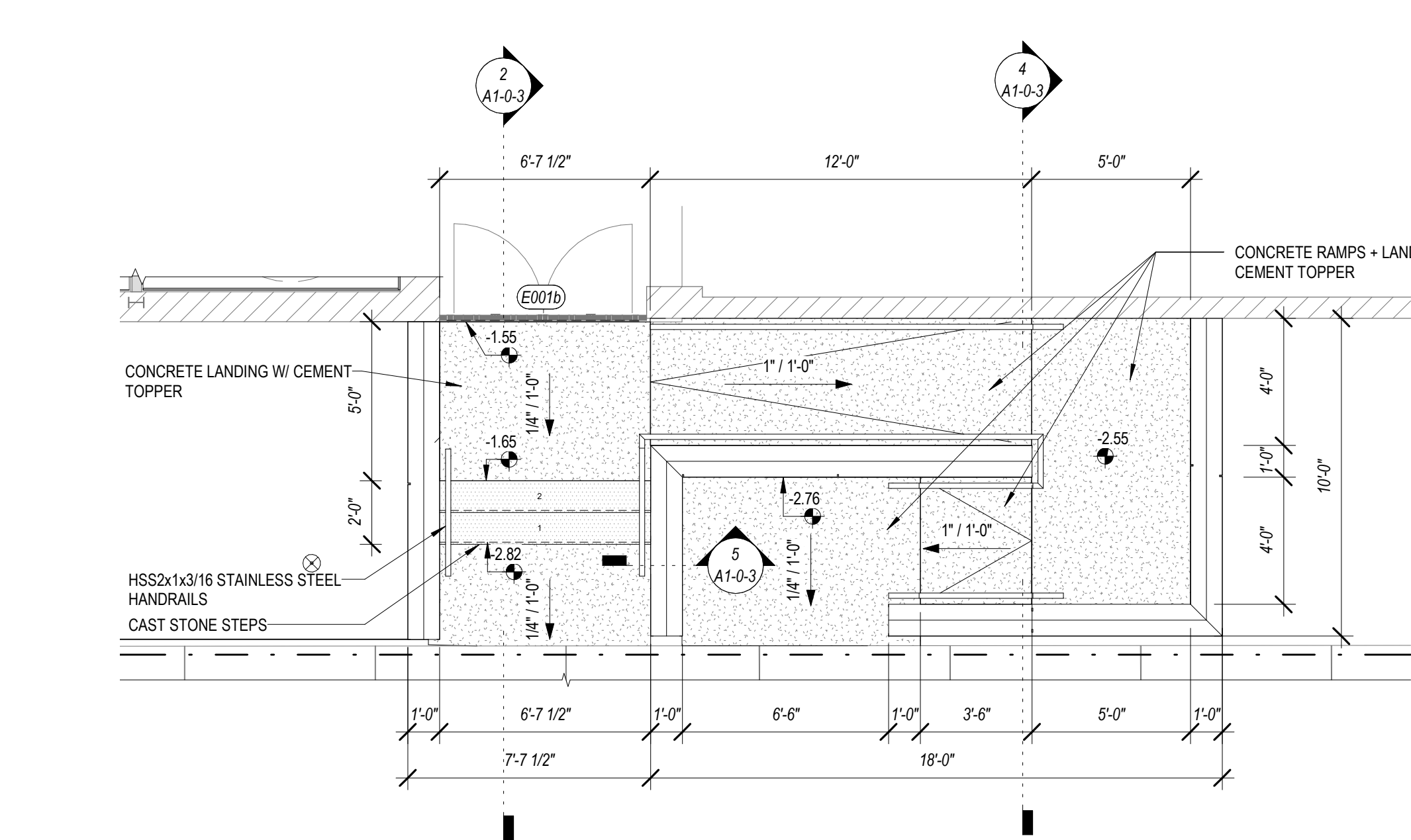
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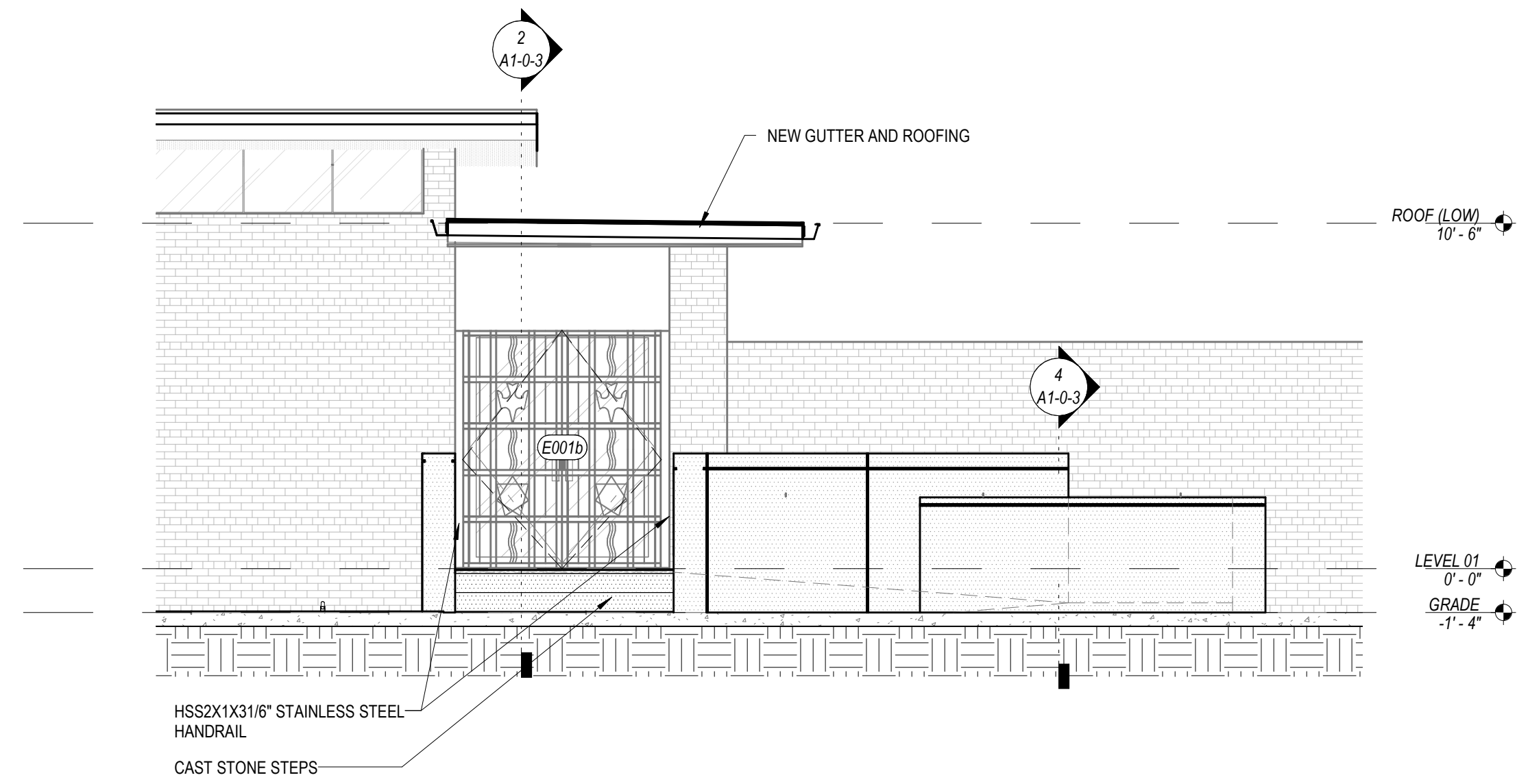
SITE DETAILS

SHEET NO.

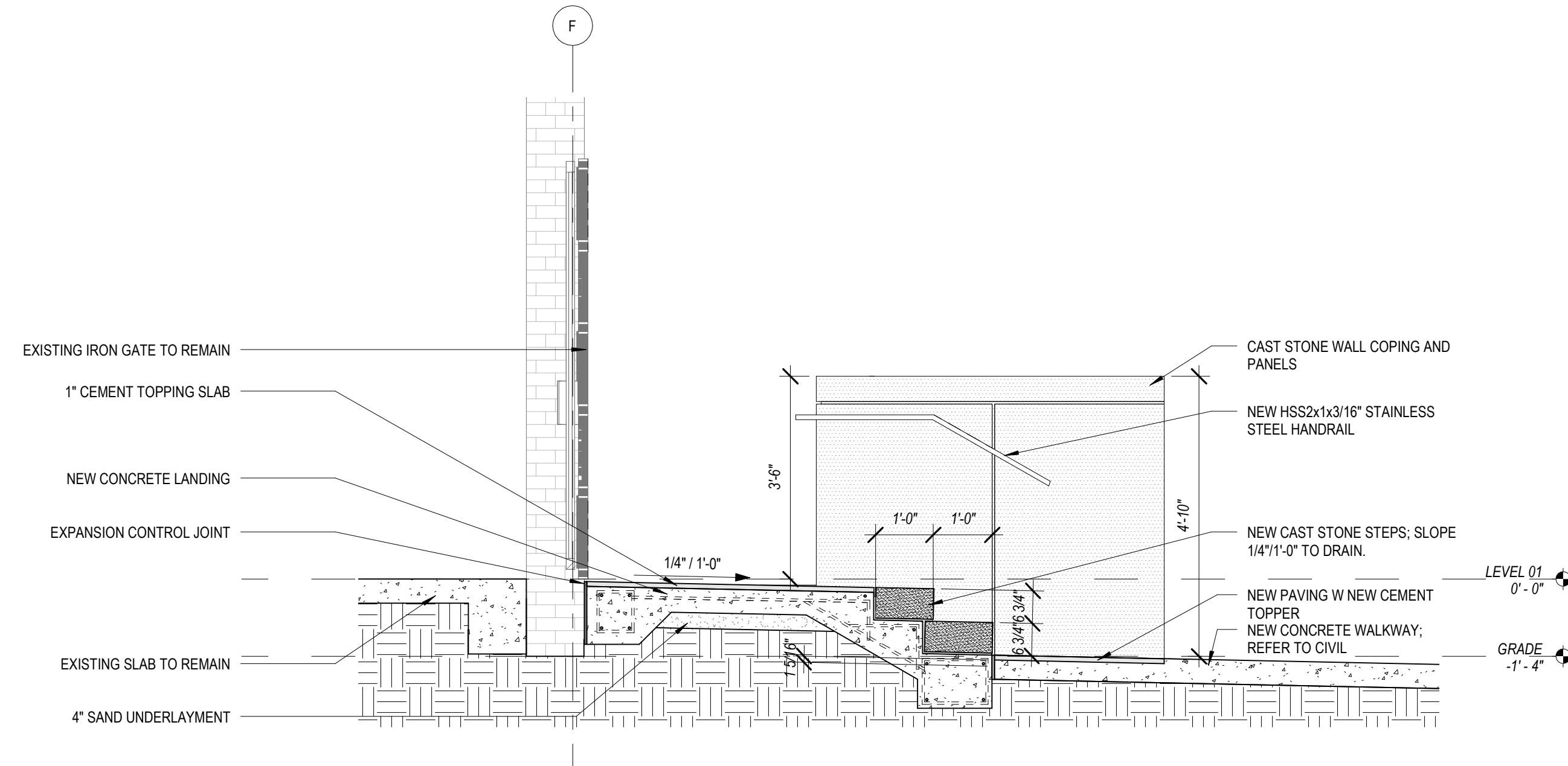
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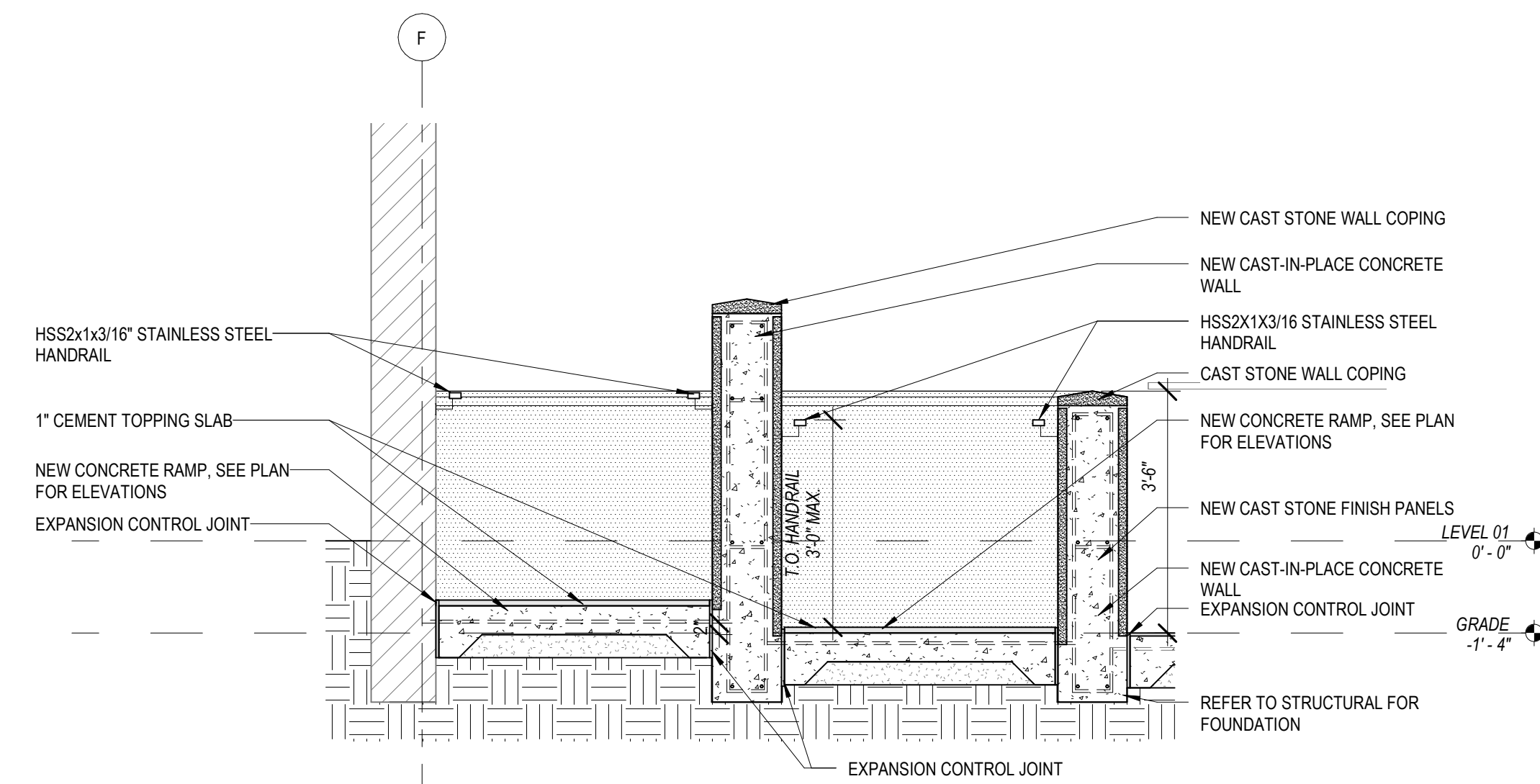
1 ENLARGED PLAN - CHAPEL ENTRY ACCESSIBLE RAMP  
1/4" = 1'-0"



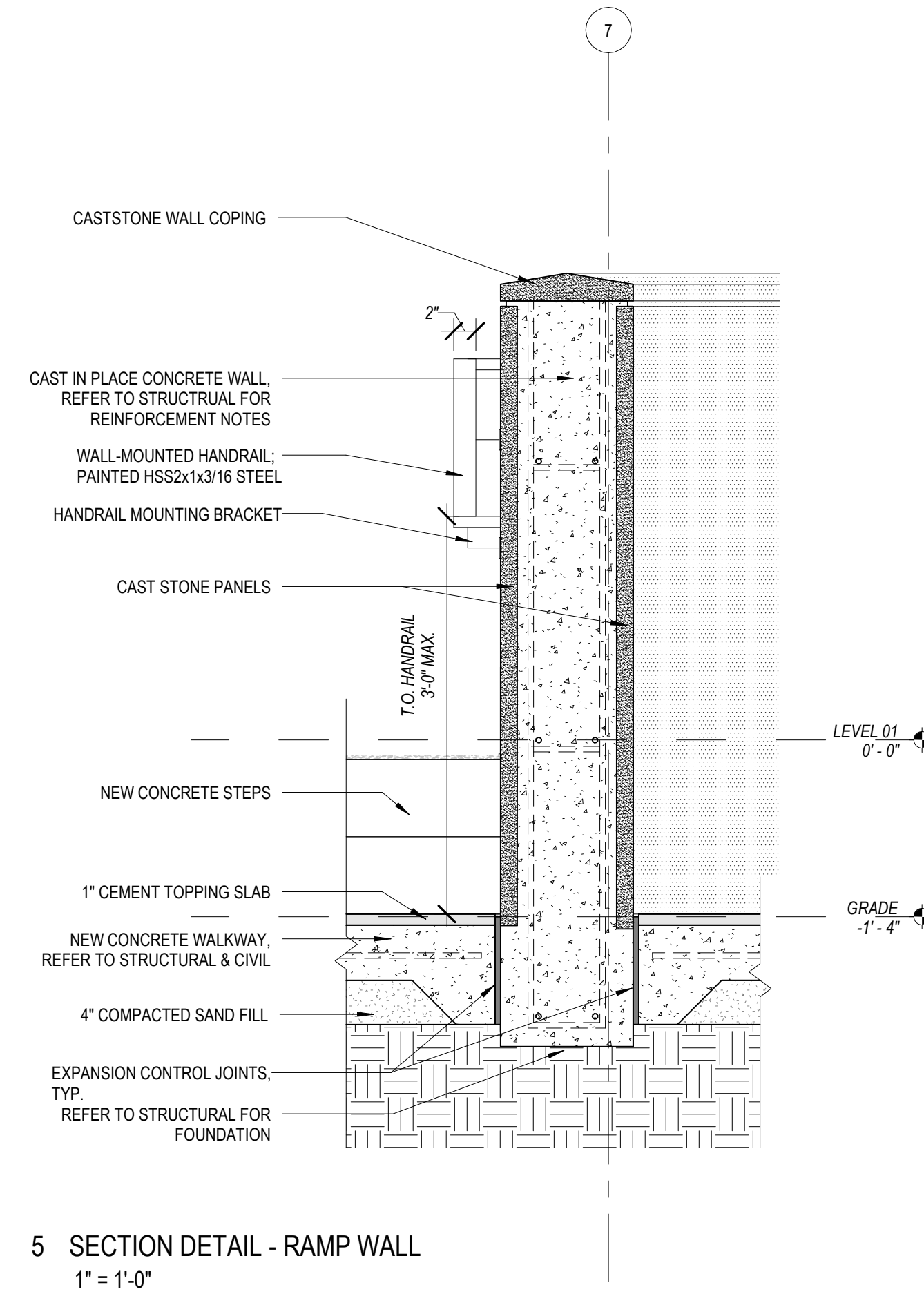
3 SITE ELEVATION - ENTRY RAMP WEST  
1/4" = 1'-0"



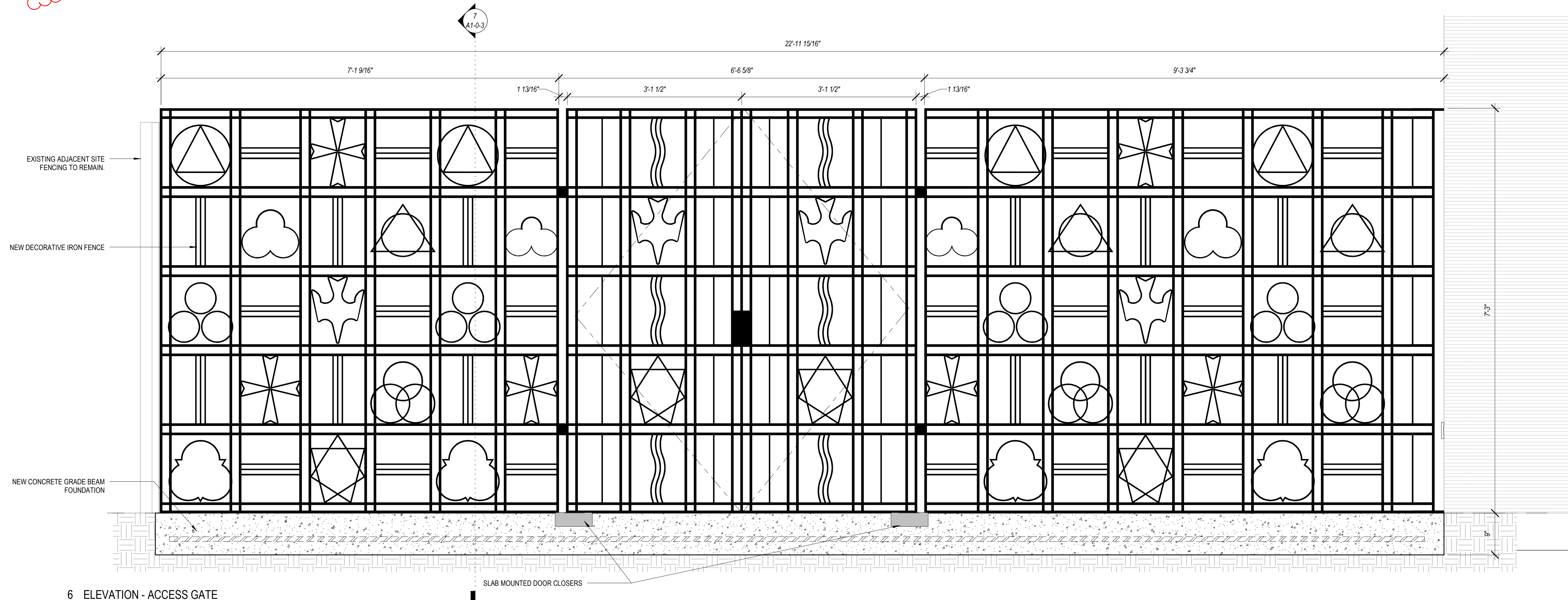
2 SECTION DETAIL - ENTRY RAMP  
1/2" = 1'-0"



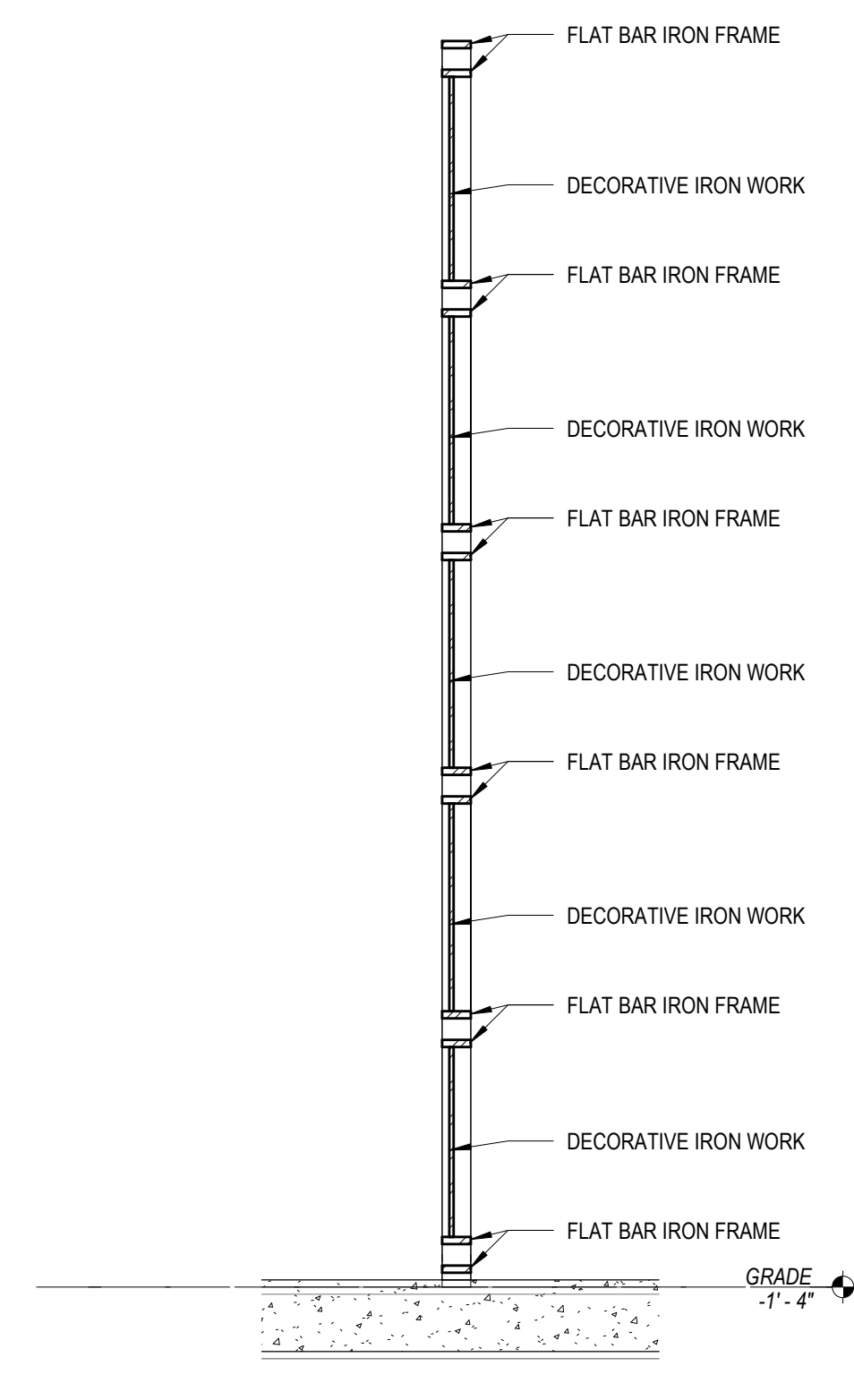
4 SECTION DETAIL - ENTRY RAMP CROSS SECTION  
1/2" = 1'-0"



5 SECTION DETAIL - RAMP WALL  
1" = 1'-0"

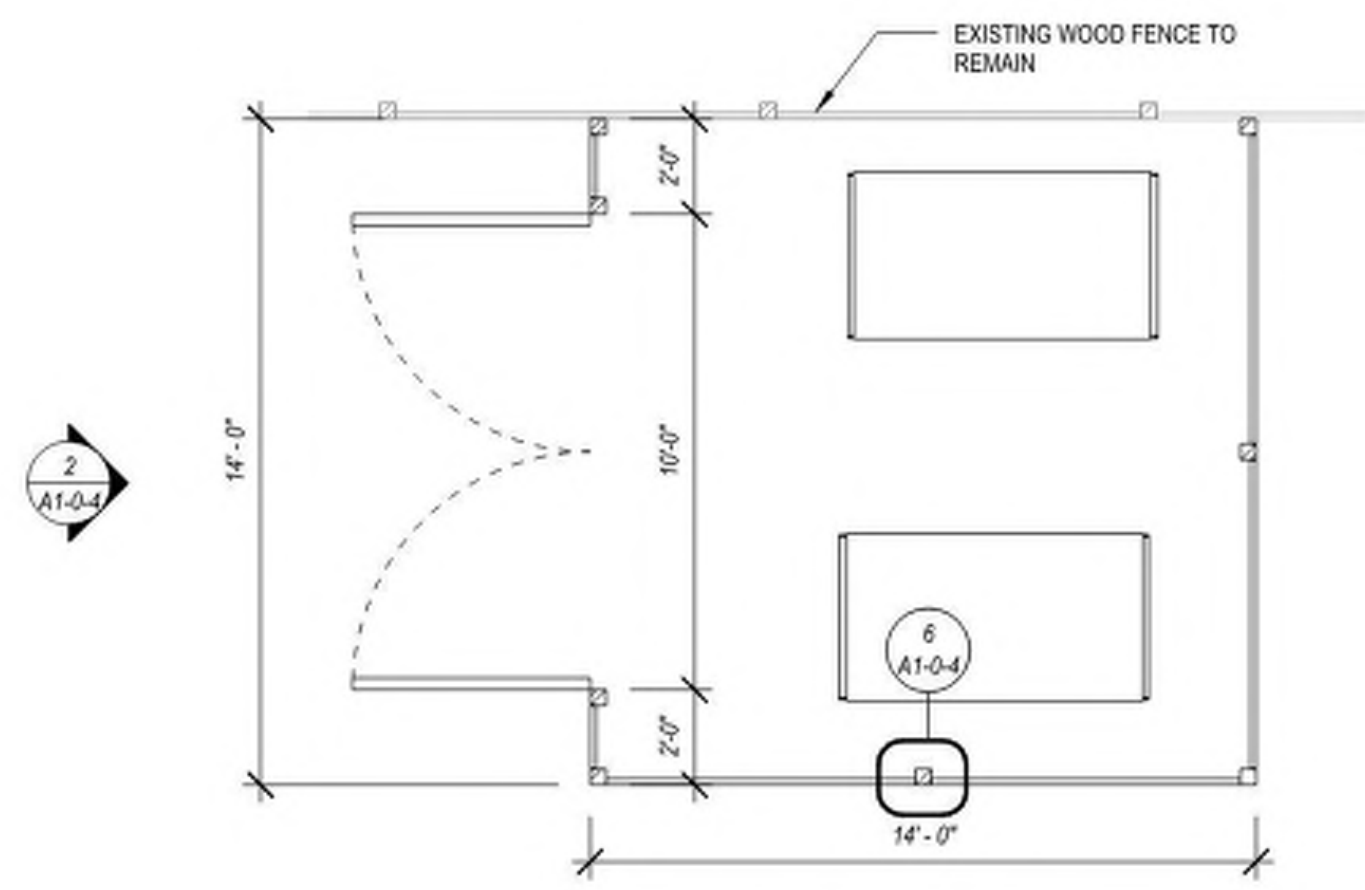


6 ELEVATION - ACCESS GATE  
1" = 1'-0"

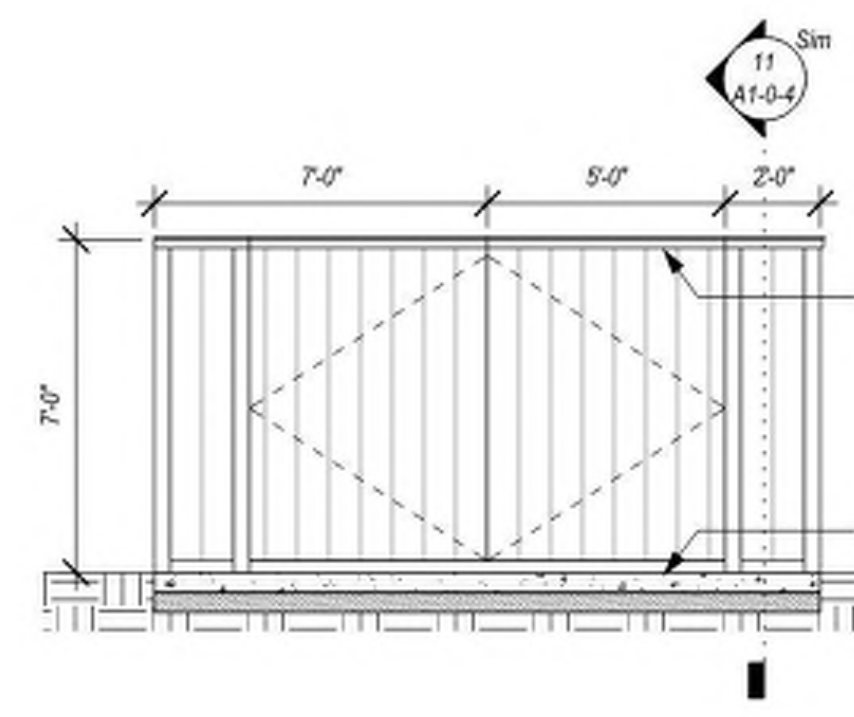


7 DECORATIVE FENCE SECTION DETAIL  
1" = 1'-0"

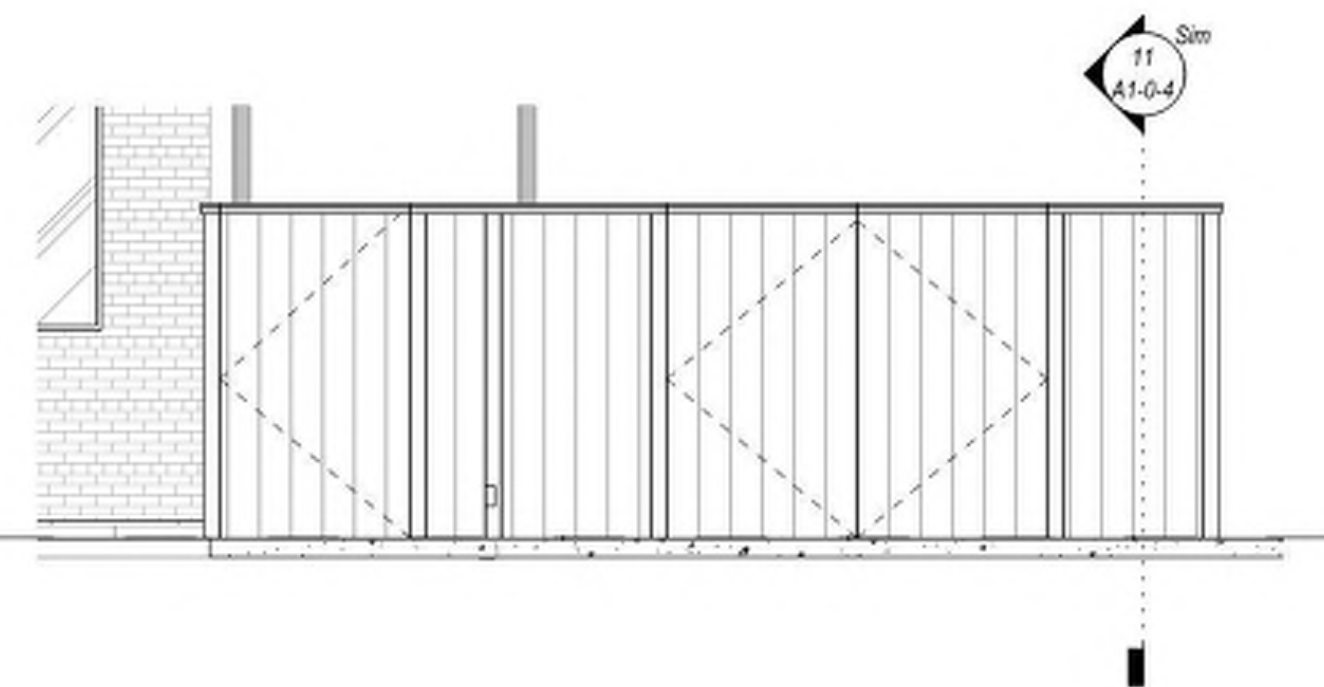




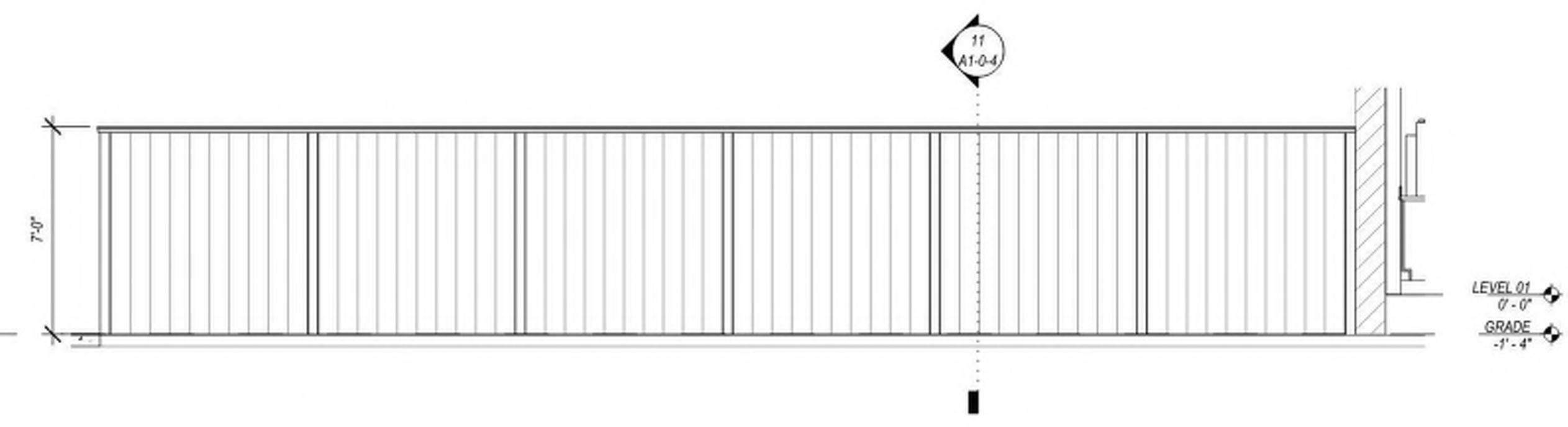
1 ENLARGED SITE PLAN - TRASH ENCLOSURE FENCE  
1/4" = 1'-0"



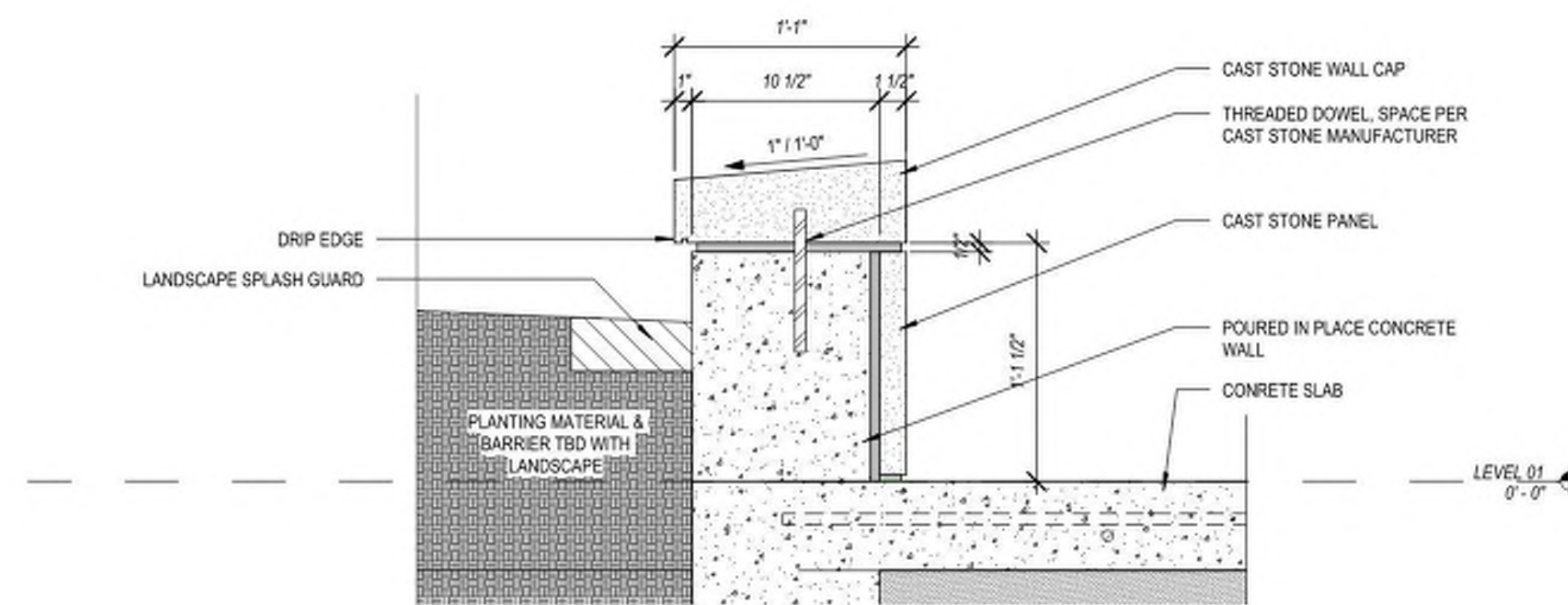
2 SITE ELEVATION - TRASH ENCLOSURE FENCE  
1/4" = 1'-0"



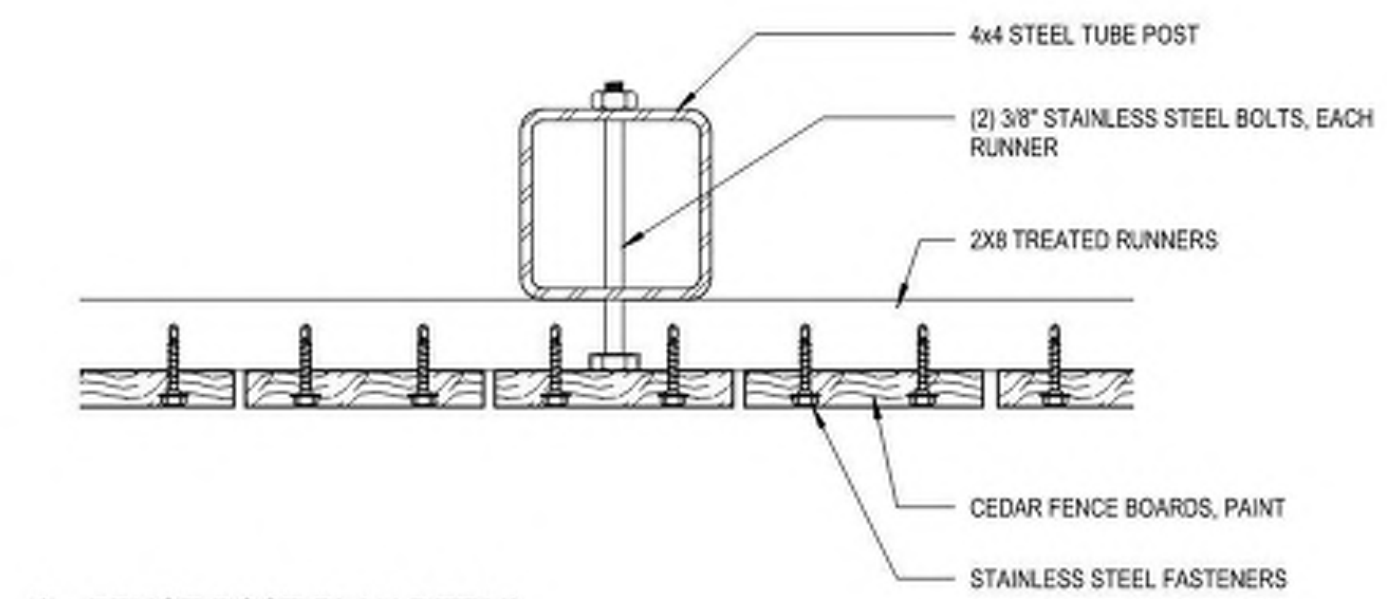
3 SITE ELEVATION - FENCING  
1/4" = 1'-0"



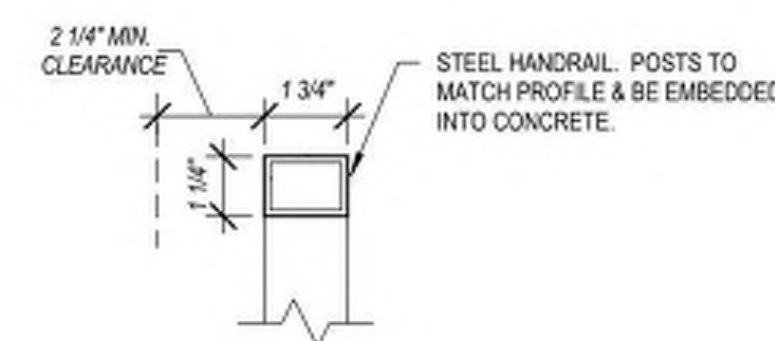
4 SITE ELEVATION - FENCING  
1/4" = 1'-0"



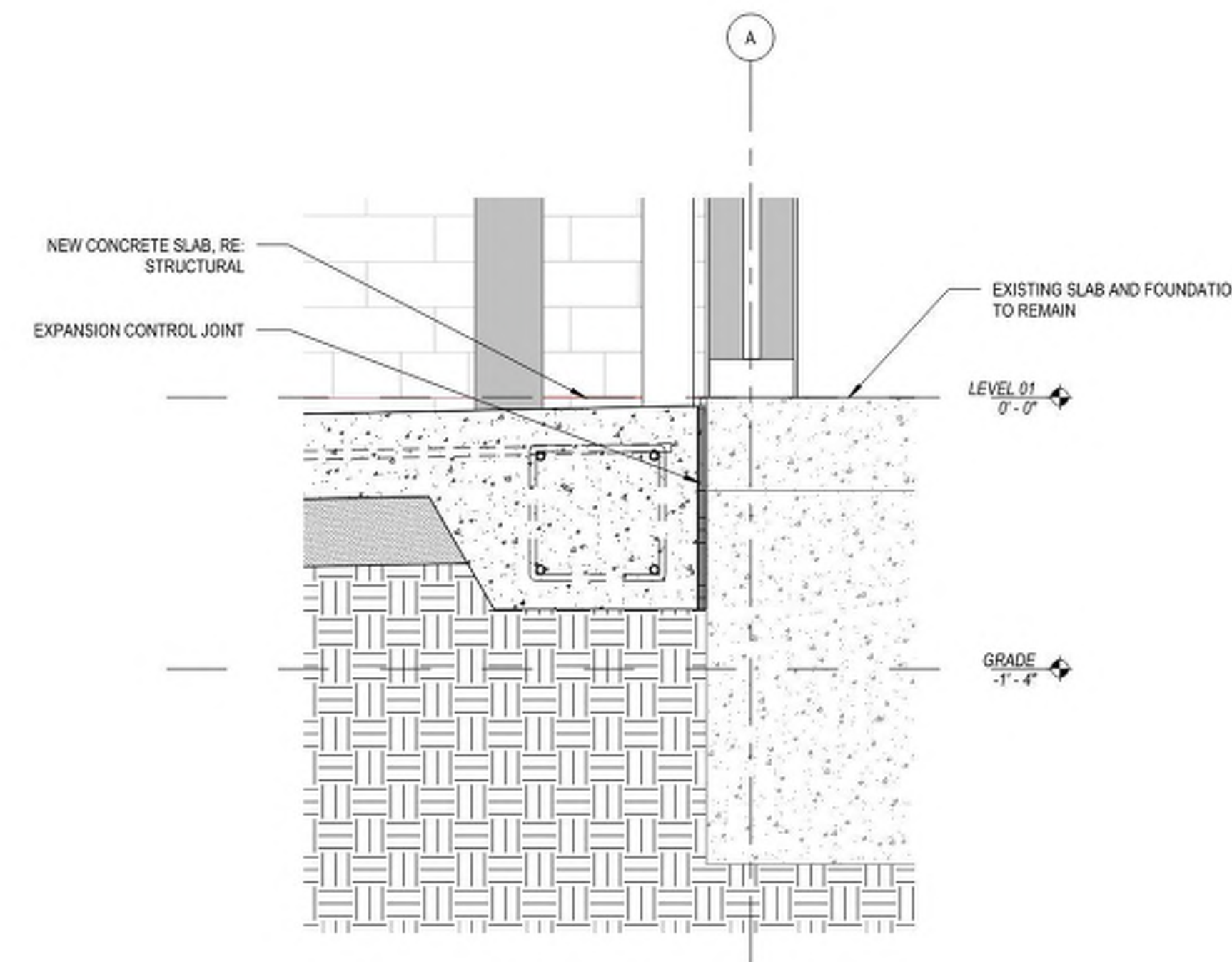
5 SITE SECTION - COURTYARD PLANTING BED  
1 1/2" = 1'-0"



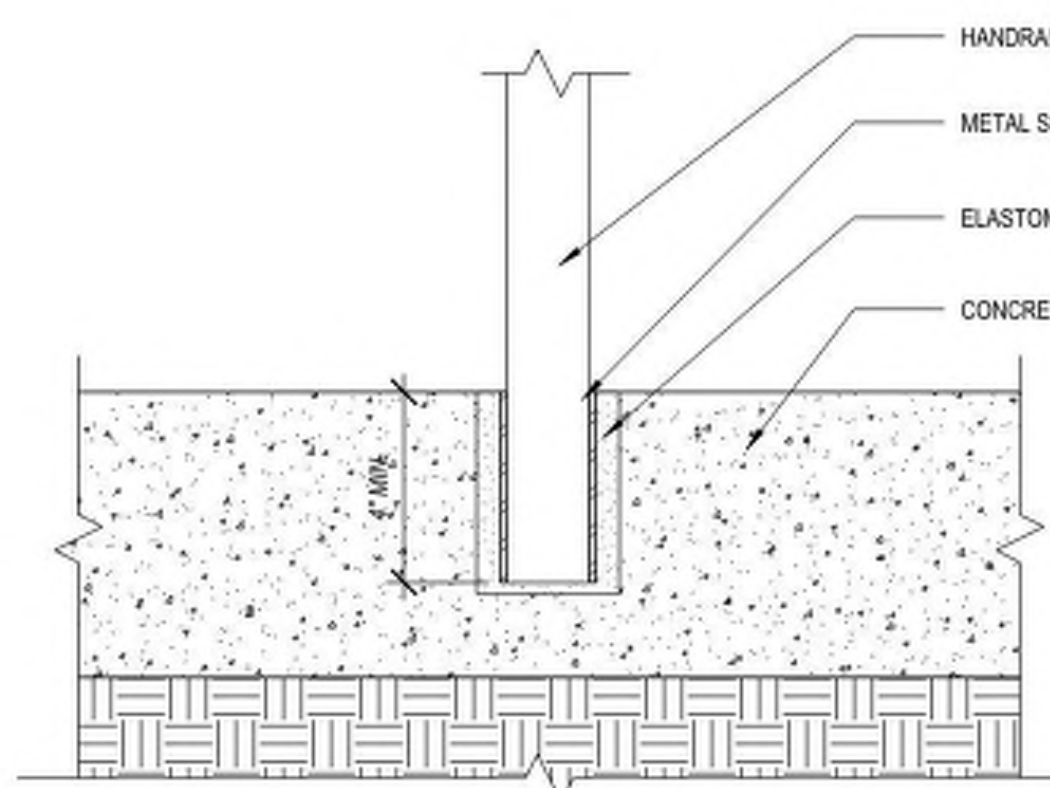
6 FENCE POST PLAN DETAIL  
3" = 1'-0"



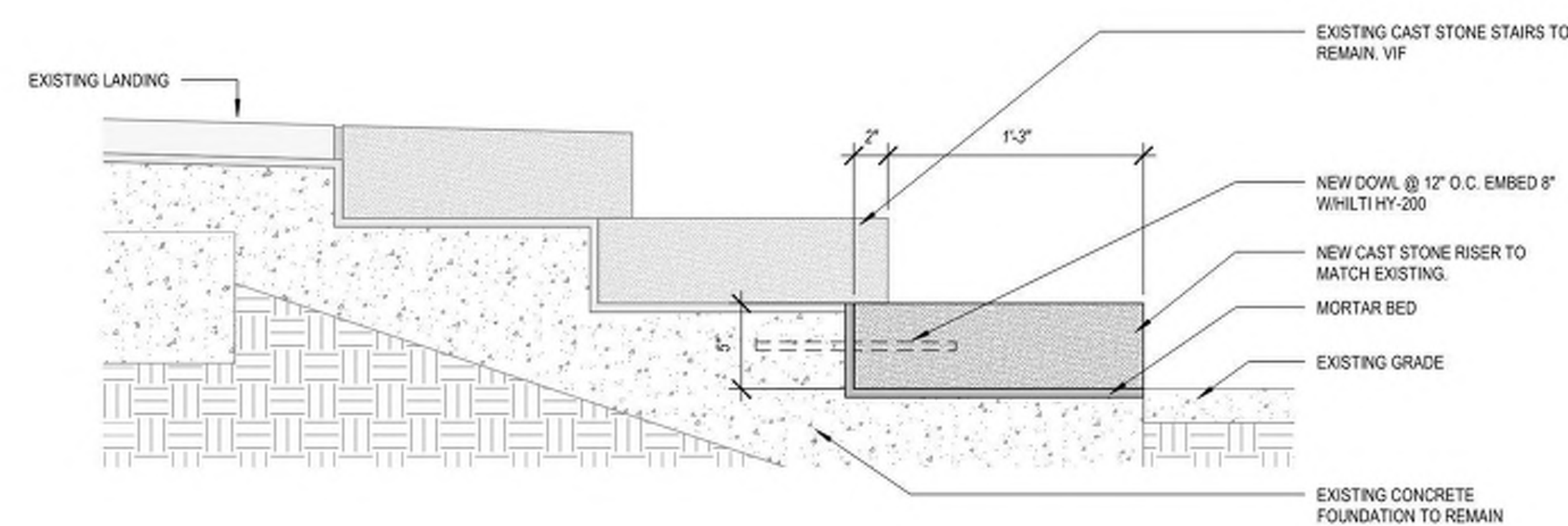
7 EXTERIOR HANDRAIL CROSS SECTION  
3" = 1'-0"



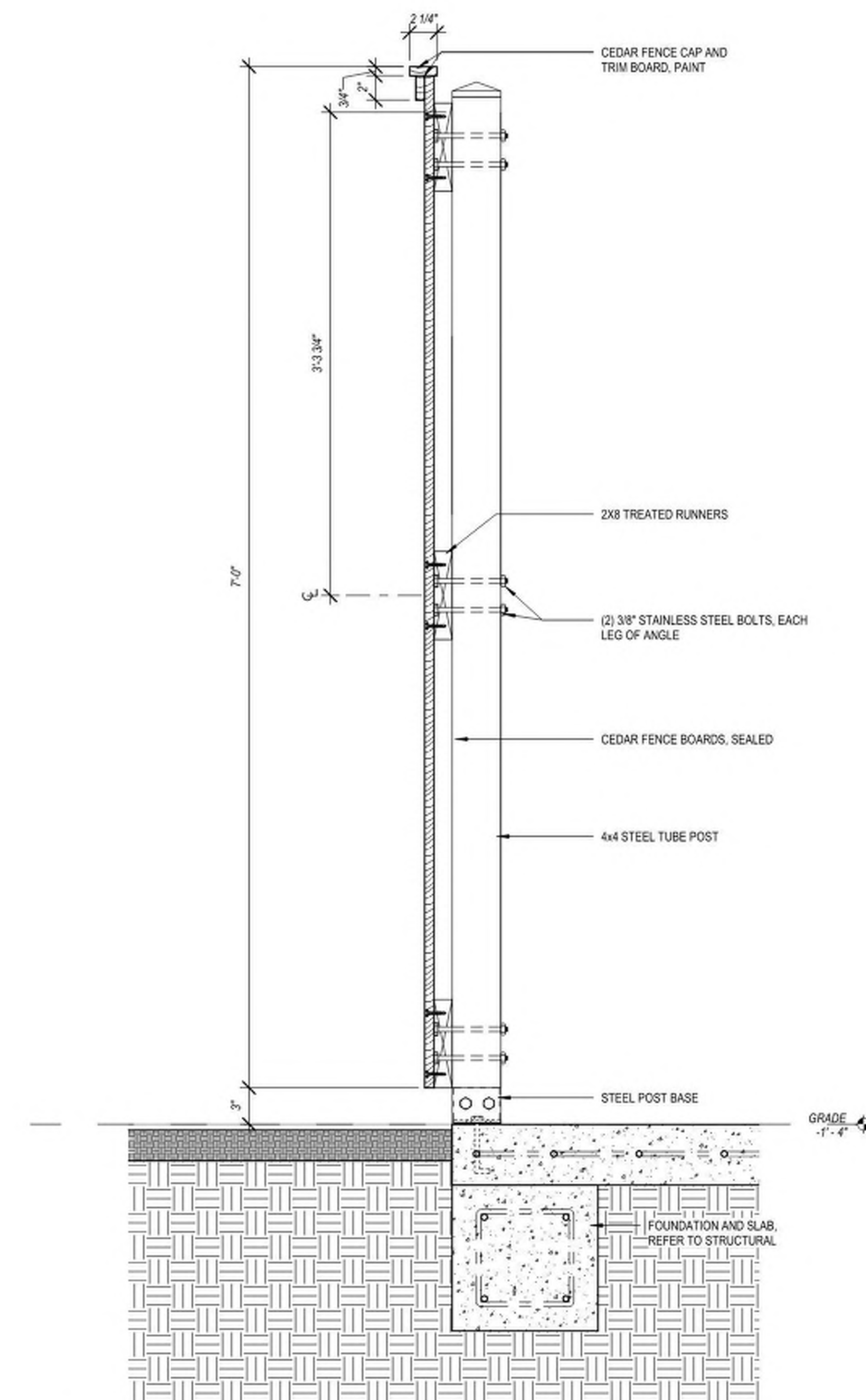
8 SECTION DETAIL - NEW SLAB TO EXISTING SLAB  
1 1/2" = 1'-0"



9 EMBED DETAIL  
3" = 1'-0"



10 CAST IN PLACE STAIR DETAIL  
1 1/2" = 1'-0"



11 FENCE SECTION DETAIL  
1 1/2" = 1'-0"

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3700 CANAL STREET  
NEW ORLEANS, LA 70119

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A1-0-4












### GENERAL NOTES - FLOOR PLANS

1. ALL DIMENSIONS GIVEN TO FACE OF STUD FOR NEWLY CONSTRUCTED WALLS AND FROM FACE OF FINISH ON EXISTING WALLS ANY DIMENSIONS INVOLVING EXISTING BUILDING STRUCTURE SHOULD BE TO FACE OF EXISTING STRUCTURE UNLESS OTHERWISE NOTED. SEE AS SERIES FOR ASSEMBLY TYPES.
2. STRUCTURAL GRID PROVIDED FOR REFERENCE ONLY. EXACT LOCATION OF ALL EXISTING STRUCTURAL ELEMENTS TO BE VERIFIED BY FIELD SURVEY.
3. ALL WALL SURFACES (BOTH NEW AND REFINISHED) ARE TO BE ALIGN FLUSH WITH ADJACENT WALLS. FINISH SURFACES TO BE FINISHED TO FACE OF FINISHED WALL.
4. OWNER TO PROVIDE FURNITURE TO BE INSTALLED AS SHOWN.
5. RE-AS SERIES FOR ENLARGED PANELS OF INTERIORS.
6. REMOVAL & EXTENSION OF EXISTING PARTITIONS INCLUDING OR MISSING MORTAR AND DAMAGED MASONRY TO BE REMOVED, REPAIRS ACCORDING TO THE SPECIFICATIONS.
7. KEYNOTES ADDRESS OBSERVATIONS AS SEEN BY ARCHITECT / ENVELOPE CONSULTANT.
8. CONTRACTOR TO VERIFY ALL INFORMATION IN FIELD WITH DEVELOPER, SUBCONTRACTOR AND COORDINATE WITH ARCHITECT ON SITE PRIOR TO CONDUCTING THE WORK.
9. PROVIDE BLOCKING BETWEEN STUDS FOR ALL EQUIPMENT, INCLUDING BUT NOT LIMITED TO: EQUIPMENT, CLOSET BINS, ETC., COUNTERS, AND PROPOSED MOUNTING LOCATIONS FOR EQUIPMENT, GRAB BARS, ETC. PROVIDE BLOCKING FOR PROPOSED MEDIA CLOSET (ELEC) AND EQUIPMENT CLOSET (ELEC) TO BE USED FOR BLOCKING ON STUDS FOR USE OF CABINET/EQUIPMENT INSTALLERS. BLOCKING TO BE PRESSURE-TREATED AS REQD.
10. CONTRACTOR TO LOCATE ALL PLUMBING FIXTURES AND NOTIFY ARCHITECT OF ANY CONFLICT PRIOR TO PIPING AND FIXTURE INSTALLATION.
11. ANY REQUIRED ACCESS PANEL IN RATED CONSTRUCTION SHOULD BE RATED TO MATCH EXISTING RATING. NOTIFY ARCHITECT AND ENGINEER WHERE THIS MAY OCCUR PRIOR TO INSTALLATION.
12. FIRE STOP ALL RATED WALL PENETRATIONS.
13. PROVIDE DRAFT STOPS AND FIREBLOCKING IN ALL NEW PARTITIONS MADE WITH COMBUSTIBLE MATERIALS.
14. CONTRACTOR TO PROTECT ALL EXISTING STAINED GLASS / LEADED GLASS, AND MURALS FROM DIRT, DUST, AND CONSTRUCTION ACTIVITY THROUGHOUT DURATION OF CONSTRUCTION.

## KEYNOTES - PLAN

- 1 NEW TEMPERED STAGE EXTENSION COVERING EXISTING STAIRS. STAGE WILL NOT BE  
2 ANCHORED INTO EXISTING FLOOR / TERRAZZO (O.F., INSTALLED BY OTHER)
- 3 NEW TEMPERED STAIRS UP TO STAGE EXTENSION (O.F., INSTALLED BY OTHER)
- 4 NEW LAFAYETTE STAIR
- 5 NEW CURTAIN, OFOI
- 6 SOLID PORTABLE PARTITION
- 7 COLOR CHANGING LED STRIP FIXTURE WITH TRACK & LENS AT PERIMETER OF LEADED GLASS  
8 WINDOW AS SHOWN.
- 9 CONCRETE FLOOR TO BE POLISHED AND SEALED
- 10 LINE ARRAY SPEAKERS, OFOI
- 11 NEW MOTORIZED WINDOW COVERING PANEL ON TRACK.
- 12 EXISTING MURAL TO REMAIN
- 13 EXISTING TERRAZZO TO REMAIN. WHERE TERRAZZO IS DEMOLISHED, INFILL WITH TERRAZZO TO  
14 MATCH ADJACENT
- 15 INFILL PARTITION TO REPLACE REMOVED ORGAN BAFFLE TO BE FLUSH WITH ADJACENT FINISH
- 16 NEW ALUMINUM GRATE CATWALK WITH METAL FRAMING, CABLE SUPPORTED FROM EXISTING  
17 ROOF STRUCTURE.
- 18 CEILING-HUNG LIGHTING RIG, TYP. (OFOI)
- 19 NEW WATER FOUNTAIN
- 20 WALL MOUNTED SIGNAGE, OFOI
- 21 EXISTING TERRAZZO TO REMAIN
- 22 EXISTING HOOD EXHAUST & GREASE DUCT TO BE SERVICED FOR NEW USE.
- 23 EXTENSIVE CRACKING, WATER DAMAGE AT MASONRY ON BOTH SIDES OF WALL TO BE  
24 REPAIRED.
- 25 NEW 24" UNI-STRUT CATWALK WITH ALUMINUM GRATING, SUPPORTED FROM EXISTING ROOF  
26 STRUCTURE.
- 27 CANOPY SUPPORT COLUMN, TYP.
- 28 EXISTING SOFFIT (OVERHEAD)
- 29 3/4" FIRE RATED PLYWOOD FOR RACK MOUNTING
- 30 NEW RUBBER TREADS AT EXISTING STAIR
- 31 NEW ACOUSTIC PANEL, TYP.
- 32 EXISTING DOOR TO BE MODIFIED FOR NEW SWING ORIENTATION
- 33 CUSTOM PRIVACY SCREEN UP TO 7'-0" AFF
- 34 REPAIR WATER DAMAGE BEYOND STAINED GLASS WINDOW SILL @ THIS LOCATION
- 35 NEW RUBBER TREADS AT EXISTING STAIR
- 36 CLEAN EFFLORESCENCE & REPAIR WATER DAMAGE AT MASONRY
- 37 RETRACTABLE PROJECTION SCREEN
- 38 EXISTING COLUMNS
- 39 OPERABLE PARTITION, REFER TO DETAIL
- 40 NEW DOWNSPOUT, TYP.
- 41 EXTERIOR WALL TO BE INFILLED TO MATCH ADJACENT
- 42 NEW INFILL WALL TO BE FLUSH WITH ADJACENT
- 43 EXISTING PLASTER BEAM OVERHEAD TO REMAIN
- 44 NEW STOREFRONT
- 45 NEW TERRAZZO TO MATCH EXISTING ADJACENT.
- 46 SECURITY VIEWER
- 47 DOOR TO HAVE FOB ACCESS
- 48 NEW PARTIAL HEIGHT SLAT WALL PARTITION AT PREVIOUS CHOR SPACE
- 49 DOOR TO HAVE BUZZER, FOB ACCESS
- 50 VIDEO RACK (OFOI)
- 51 CAMERA STAND (6X6) OFOI
- 52 NEW COUNTERTOP BELOW SILL OF EXISTING WINDOW OPENINGS
- 53 NEW STAGE BOXES FOR AMPLIFICATION IN STAGE EXTENSION
- 54 FURRED DOWN ABOVE
- 55 LOCKERS (O.F. O.I.)
- 56 LARGE SCREEN MONITOR
- 57 MOP SINK
- 58 EDGE OF NEW CANOPY (OVERHEAD)
- 59 DONATION BOX MILLWORK (OFOI)
- 60 NEW MILLWORK
- 61 EXISTING SLOPED FLOOR TO REMAIN, NO WORK.
- 62 TIME CLOCK/DISPLAY
- 63 EXISTING EAVE (OVERHEAD)
- 64 NEW WALL-MOUNTED HANDRAILS
- 65 (20) RADIO CHARGING STATIONS (OFOI)
- 66 DIMMER SWITCH FOR HOUSE LIGHTS
- 67 UNDERCOUNTER REFRIGERATOR (OFOI)
- 68 UNDER-COUNTER SAFE (OFOI)

### LEGEND

- |   |                         |   |                                    |
|---|-------------------------|---|------------------------------------|
|  | NEW WALL                |  | ASPHALT SHINGLE                    |
|  | EXISTING WALL TO REMAIN |  | MODIFIED BITUMINOUS ROOFING SYSTEM |
|  | NOT IN CONTRACT         |  | PREFINISHED METAL CANOPY           |
|  | 1 HR RATING             |   |                                    |
|  | SMOKE PARTITION         |   |                                    |
|  | KEYNOTE, SEE SCHEDULE   |   |                                    |

BETHANY CHURCH - NEW ORLEANS  
3700 CANAL STREET

3700 CANAL STREET  
NEW ORLEANS, LA 70119

AGENCY REVIEW:

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SHEET TITLE

FLOOR PLAN -  
LEVEL 1

SHEET NO. \_\_\_\_\_

A1-1-1



GENERAL NOTES - FLOOR PLANS

- ALL DIMENSIONS GIVEN TO FACE OF STUD FOR NEWLY CONSTRUCTED WALLS AND FROM FACE OF FINISH ON EXISTING WALLS. ANY DIMENSIONS INVOLVING EXISTING BUILDING ELEMENTS SHOULD BE VERIFIED IN FIELD.
- SEE A6 SERIES FOR ASSEMBLY TYPES.
- STRUCTURAL GRID PROVIDED FOR REFERENCE ONLY; EXACT LOCATION OF ALL EXISTING STRUCTURAL ELEMENTS SHOULD BE VERIFIED IN FIELD.
- ALL WALL SURFACES (BOTH NEW AND REFINISHED) ARE TO BE ALIGN FLUSH WITH ADJACENT EXISTING WALL SURFACES UNLESS OTHERWISE NOTED.
- OWNERS TO PROVIDE FURNITURE TO BE INSTALLED AS SHOWN.
- RE: A7 SERIES FOR ENLARGED PLANS OF INTERIORS.
- ALL INTERIOR & EXTERIOR EFFLORESCENCE, CRUMBING OR MISSING MORTAR, AND DAMAGED MASONRY TO BE REMOVED, REPAIRED ACCORDING TO THE SPECIFICATIONS. KEYNOTES ADDRESS OBSERVATIONS AS SEEN BY ARCHITECT / ENVELOPE CONSULTANT. CONTRACTOR TO VERIFY FULL EXTENT IN FIELD WITH ENVELOPE SUBCONTRACTOR AND COORDINATE WITH ARCHITECT ON SITE PRIOR TO CONDUCTING THE WORK.
- PROVIDE BLOCKING BETWEEN STUDS FOR ALL CABINETRY, SURFACE-MOUNTED ACCESSORIES, CLOSET RODS, SHELVES, COUNTERTOPS, AND PROPOSED MOUNTING LOCATIONS FOR EQUIPMENT, GRAB BARS, ETC. PROVIDE BLOCKING FOR PROPOSED MEDIA LOCATIONS (RE: ELEC.) CONTRACTOR SHALL MARK LOCATION OF BLOCKING ON WALLBOARD FOR USE OF CABINET/EQUIPMENT INSTALLERS. BLOCKING TO BE PRESSURE-TREATED AS REQ'D.
- CONTRACTOR TO LOCATE ALL PLUMBING FIXTURES AND NOTIFY ARCHITECT OF ANY CONFLICT PRIOR TO PIPING AND FIXTURE INSTALLATION.
- ANY REQUIRED ACCESS PANEL IN RATED CONSTRUCTION SHOULD BE RATED TO MATCH WALL RATING. NOTIFY ARCHITECT AND ENGINEER WHERE THIS MAY OCCUR PRIOR TO INSTALLATION.
- FIRE STOP ALL RATED WALL PENETRATIONS.
- PROVIDE DRAFT STOPS AND FIREBLOCKING IN ALL NEW PARTITIONS MADE WITH COMBUSTIBLE MATERIALS.
- CONTRACTOR TO PROTECT EXISTING STAINED GLASS / LEADED GLASS, AND MURALS FROM DEBRIS, DUST, AND CONSTRUCTION ACTIVITY THROUGHOUT DURATION OF CONSTRUCTION.

KEYNOTES - PLAN

- NEW TEMPORARY STAGE EXTENSION COVERING EXISTING STAIRS. STAGE WILL NOT BE ANCHORED INTO EXISTING FLOOR / TERRAZZO (O.F., INSTALLED BY OTHER)
- NEW TEMPORARY STAIRS UP TO STAGE EXTENSION (O.F., INSTALLED BY OTHER)
- NEW LAPEYRE STAIR
- NEW CURTAIN, OFOI
- SOLID PORTABLE PARTITION
- COLOR CHANGING LED STRIP FIXTURE WITH TRACK & LENS AT PERIMETER OF LEADED GLASS WINDOW AS SHOWN.
- CONCRETE FLOOR TO BE POLISHED AND SEALED
- LINE ARRAY SPEAKERS, OFOI
- NEW MOTORIZED WINDOW COVERING PANEL ON TRACK
- EXISTING MURAL TO REMAIN
- EXISTING TERRAZZO TO REMAIN. WHERE TERRAZZO IS DEMOLISHED, INFILL WITH TERRAZZO TO MATCH ADJACENT.
- INFILL PARTITION TO REPLACE REMOVED ORGAN BAFFLE TO BE FLUSH WITH ADJACENT FINISH
- NEW ALUMINUM GRATE CATWALK WITH METAL FRAMING, CABLE SUPPORTED FROM EXISTING ROOF STRUCTURE.
- CEILING-HUNG LIGHTING RIG, TYP. (CFOI)
- NEW WATER FOUNTAIN
- WALL MOUNTED SIGNAGE, OFOI
- EXISTING TERRAZZO TO REMAIN
- EXTENSIVE CRACKING, WATER DAMAGE AT MASONRY ON BOTH SIDES OF WALL TO BE REPAIRED
- NEW 24" UNI-STRUT CATWALK WITH ALUMINUM GRATING, SUPPORTED FROM EXISTING ROOF STRUCTURE.
- CANOPY SUPPORT COLUMN, TYP.
- EXISTING SOFFIT (OVERHEAD)
- 3/4" FIRE RATED PLYWOOD FOR RACK MOUNTING
- NEW RUBBER TREADS AT EXISTING STAIR
- NEW ACOUSTIC PANEL, TYP.
- EXISTING DOOR TO BE MODIFIED FOR NEW SWING ORIENTATION
- CUSTOM PRIVACY SCREEN UP TO 7'-0" AFF
- REPAIR WATER DAMAGE BELOW STAINED GLASS WINDOW SILL @ THIS LOCATION
- NEW RUBBER TREADS AT EXISTING STAIR
- CLEAN EFFLORESCENCE / REPAIR WATER DAMAGE AT MASONRY
- RETRACTABLE PROJECTION SCREEN
- EXISTING COLUMN
- OPERABLE PARTITION, REFER TO DETAIL
- NEW DOWNSPOUT, TYP.
- EXTERIOR WALL TO BE INFILLED TO MATCH ADJACENT
- NEW INFILL WALL TO BE FLUSH WITH ADJACENT
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- MOP SINK
- EDGE OF NEW CANOPY (OVERHEAD)
- DONATION BOX MILLWORK (OFOI)
- NEW MILLWORK
- EXISTING SLOPED FLOOR TO REMAIN, NO WORK.
- TIME CLOCK DISPLAY
- EXISTING EAVE (OVERHEAD)
- NEW WALL MOUNTED HANDRAILS
- (20) RADIO CHARGING STATIONS (OFOI)
- DIMMER SWITCH FOR HOUSE LIGHTS
- UNDERCOUNTER REFRIGERATOR (OFOI)
- UNDER COUNTER SAFE (OFOI)

LEGEND

- |  |                         |  |                                    |
|--|-------------------------|--|------------------------------------|
|  | NEW WALL                |  | ASPHALT SHINGLE                    |
|  | EXISTING WALL TO REMAIN |  | MODIFIED BITUMINOUS ROOFING SYSTEM |
|  | NOT IN CONTRACT         |  | REFINISHED METAL CANOPY            |
|  | 1 HR RATING             |  |                                    |
|  | SMOKE PARTITION         |  |                                    |
|  | KEYNOTE, SEE SCHEDULE   |  |                                    |

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AGENCY REVIEW:

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FLOOR PLAN -  
MEZZANINE

SHEET NO.

A1-1-2





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SHEET TITLE

PLAN - ROOF  
(LOWER)

SHEET NO.

A1-2-1

## GENERAL NOTES - ROOF PLAN

- ALL ELEVATIONS, SLOPES, SQUARE FOOTAGES, AND DIMENSIONS SHOULD BE FIELD-VERIFIED BY THE CONTRACTOR.
- RE: MECH. & PLUMBING DOCUMENTS FOR ADDITIONAL ROOF PENETRATIONS.
- ALL NEW ROOFING TO ACCOMMODATE 1/4" PER FOOT MINIMUM AT MOD. BIT. SYSTEMS. CONTRACTOR TO NOTIFY ARCHITECT IF SLOPE IS LESS THAN 1/4" PER FOOT.
- ALL EXPOSED METAL FLASHING / TRIM PIECES TO BE 24 GA. PREFINISHED GALV. STEEL UNO. PAINT ALL EXPOSED METAL FLASHING / TRIM THAT ARE NOT PREFINISHED AS WELL AS ALL EXPOSED MSC. METAL, TYP.
- ALL WOOD BLOCKING @ ROOF EDGES, RIDGES, ETC. TO BE CONTINUOUS MIN. 2X6 PRESSURE TREATED WOOD BLOCKING. COORDINATE REQUIRED BLOCKING DIMENSIONS WITH DIFFERING ROOF DECK CONDITIONS.
- RE: MEP & STRUCTURAL DOCUMENTS FOR LOCATIONS OF ROOFTOP MECH. EQUIP. AND ADDITIONAL INFORMATION.
- ALL GUTTERS TO HAVE PREFINISHED 1 1/2" X 1 1/2" GALV. METAL BENT PLATE BRACKETS AND 14 GA. X1" GALV. METAL SPACERS @ 36" O.C. MAX. STAGGER WITH EACH OTHER @ 18" O.C. TYP. PROVIDE PREFINISHED GUTTER EXPANSION JOINTS AT 30'-0" MAX. PROVIDE PAINTED SCREENS AT ALL GUTTERS PER SMACNA FIG. 1-246, TYP.
- DOWNSPOUTS TO HAVE PREFINISHED 15 GA#2 GALV. METAL HANGERS @ 48" O.C. PER SMACNA FIG. 1-350, TYP.
- PROVIDE SELF ADHERING SHEET WATERPROOFING MEMBRANE BENEATH ALL ROOF SURFACES AND AT ALL PARAPET / VERTICAL WALL SHEATHING ABOVE ROOF LINE. SEE SPECIFICATIONS.
- ALL PREMANUFACTURED ROOF CURBS SHALL BE PROVIDED AND INSTALLED BY ROOFING SUBCONTRACTOR AND SHALL BE INCLUDED IN ROOF WARRANTY. COORDINATE SIZE AND LOCATION WITH MECHANICAL. SEE SPECIFICATIONS.
- PROVIDE SHOP DRAWINGS FOR TAPERED ROOF INSULATION BOARDS SHOWING ROOF PLAN(S), LAYOUT OF BOARDS, THICKNESS OF BOARDS, FILLER UNITS, SLOPE PER FOOT, DIRECTION OF SLOPE, AND FASTENING PATTERNS. INCLUDE DATA ON LTR VALUES FOR INSULATION WITH SUBMITTAL. MINIMUM ROOF SLOPE SHALL BE 1/4 INCH PER FOOT. SEE SPECIFICATIONS.
- PROVIDE SHOP DRAWINGS FOR ROOF ANCHOR SYSTEM SHOWING ROOF PLAN(S) WITH LOCATIONS FOR ROOF ANCHORS, TIE-BACKS, AND FASTENING REQUIREMENTS TO STRUCTURE. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LOUISIANA LICENSED CIVIL/STRUCTURAL ENGINEER. SEE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING FACILITIES FROM WATER INTRUSION DURING FULL DURATION OF ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SECURING OF ROOF AND ACCESSORIES FOR DESIGN WIND SPEEDS GREATER THAN 152 MPH AND ALL REQUIREMENTS OF ASCE 7 CODE.
- RE: SPECIFICATIONS FOR INSULATION INFORMATION
- RE: SPECIFICATIONS FOR INSULATION INFORMATION.

## KEYNOTES - ROOF PLAN

- NEW GUTTER, NEW DOWNSPOUTS (TYP.)
- NEW MOD. BIT. ROOF
- NEW ASPHALT SHINGLES
- NEW TERRA COTTA RIDGE TILES
- NEW FLASHING & MOD BIT ROOFING AT VERTICAL SURFACE
- NEW PREFINISHED METAL CANOPY
- NEW SPLASH BLOCK
- EXISTING HOOD EXHAUST & GREASE DUCT TO BE SERVICED FOR NEW USE.
- NEW ROOF HATCH
- NEW METAL COPING CAP
- NEW CRICKET AT ROOF HATCH
- NEW CURB: FLASHING, & BUILT UP MOD. BIT. ROOF FOR PROPER DRAINAGE
- EXISTING EAVE (OVERHEAD)
- EXISTING CAST STONE COPING TO BE REPAIRED, TIED IN PROPERLY FOR MOISTURE MITIGATION TO EXISTING MASONRY

## LEGEND

	NEW WALL		ASPHALT SHINGLE
	EXISTING WALL TO REMAIN		MODIFIED BITUMINOUS ROOFING SYSTEM
	NOT IN CONTRACT		PREFINISHED METAL CANOPY
	1 HR RATING		
	SMOKE PARTITION		
	KEYNOTE, SEE SCHEDULE		

1 LOWER ROOF PLAN  
1/8" = 1'-0"





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PLAN - ROOF  
(UPPER)

SHEET NO.

A1-2-2

GENERAL NOTES - ROOF PLAN

- ALL ELEVATIONS, SLOPES, SQUARE FOOTAGES, AND DIMENSIONS SHOULD BE FIELD-VERIFIED BY THE CONTRACTOR.
- RE: MECH. & PLUMBING DOCUMENTS FOR ADDITIONAL ROOF PENETRATIONS.
- ALL NEW ROOFING TO ACCOMMODATE 1/4" PER FOOT MINIMUM AT MOD. BIT. SYSTEMS. CONTRACTOR TO NOTIFY ARCHITECT IF SLOPE IS LESS THAN 1/4" PER FOOT.
- ALL EXPOSED METAL FLASHING / TRIM PIECES TO BE 24 GA. PREFINISHED GALV. STEEL UNO. PAINT ALL EXPOSED METAL FLASHING / TRIM THAT ARE NOT PREFINISHED AS WELL AS ALL EXPOSED MISC. METAL. TYP.
- ALL WOOD BLOCKING @ ROOF EDGES, RIDGES, ETC. TO BE CONTINUOUS MIN. 2X6 PRESSURE TREATED WOOD BLOCKING. COORDINATE REQUIRED BLOCKING DIMENSIONS WITH DIFFERING ROOF DECK CONDITIONS.
- RE: MEP & STRUCTURAL DOCUMENTS FOR LOCATIONS OF ROOFTOP MECH. EQUIP. AND ADDITIONAL INFORMATION.
- ALL GUTTERS TO HAVE PREFINISHED 1/4" X 1 1/2" GALV. METAL BENT PLATE BRACKETS AND 14 GA. X1" GALV. METAL SPACERS @ 36" O.C. MAX. STAGGER WITH EACH OTHER @ 18" O.C. TYP. PROVIDE PREFINISHED GUTTER EXPANSION JOINTS AT 30'-0" MAX. PROVIDE PAINTED SCREENS AT ALL GUTTERS PER SMACNA FIG. 1-246, TYP.
- DOWNSPOUTS TO HAVE PREFINISHED 15 GAX2" GALV. METAL HANGERS @ 48" O.C. PER SMACNA FIG. 1-350, TYP.
- PROVIDE SELF-ADHERING SHEET WATERPROOFING MEMBRANE BENEATH ALL ROOF SURFACES AND AT ALL PARAPET / VERTICAL WALL SHEATHING ABOVE ROOF LINE. SEE SPECIFICATIONS.
- ALL PREMANUFACTURED ROOF CURBS SHALL BE PROVIDED AND INSTALLED BY ROOFING SUBCONTRACTOR AND SHALL BE INCLUDED IN ROOF WARRANTY. COORDINATE SIZE AND LOCATION WITH MECHANICAL. SEE SPECIFICATIONS.
- PROVIDE SHOP DRAWINGS FOR TAPERED ROOF INSULATION BOARDS SHOWING ROOF PLANS, LAYOUT OF BOARDS, THICKNESS OF BOARDS, FILLER UNITS, SLOPE PER FOOT, DIRECTION OF SLOPE, AND FASTENING PATTERNS. INCLUDE DATA ON LTRR VALUES FOR INSULATION WITH SUBMITTAL. MINIMUM ROOF SLOPE SHALL BE 1/4 INCH PER FOOT. SEE SPECIFICATIONS.
- PROVIDE SHOP DRAWINGS FOR ROOF ANCHOR SYSTEM SHOWING ROOF PLAN(S) WITH LOCATIONS FOR ROOF ANCHORS, TIE-BACKS, AND FASTENING REQUIREMENTS TO STRUCTURE. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LOUISIANA LICENSED CIVIL/STRUCTURAL ENGINEER. SEE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING FACILITIES FROM WATER INTRUSION DURING FULL DURATION OF ALL PHASES OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR SECURING OF ROOF AND ACCESSORIES FOR DESIGN WIND SPEEDS GREATER THAN 152 MPH AND ALL REQUIREMENTS OF ASCE 7 CODE.
- RE: SPECIFICATIONS FOR INSULATION INFORMATION.
- RE: SPECIFICATIONS FOR INSULATION INFORMATION.

KEYNOTES - ROOF PLAN

- NEW GUTTER, NEW DOWNSPOUTS (TYP.)
- NEW MOD. BIT. ROOF
- NEW ASPHALT SHINGLES
- NEW TERRA COTTA RIDGE TILES
- NEW FLASHING & MOD BIT ROOFING AT VERTICAL SURFACE
- NEW PREFINISHED METAL CANOPY
- NEW SPLASH BLOCK
- EXISTING HOOD EXHAUST & GREASE DUCT TO BE SERVICED FOR NEW USE.
- NEW ROOF HATCH
- NEW METAL COPING CAP
- NEW CRACKET AT ROOF HATCH
- NEW CURBS, FLASHING, & BUILT UP MOD. BIT. ROOF FOR PROPER DRAINAGE
- EXISTING EAVE (OVERHEAD)
- EXISTING CAST STONE COPING TO BE REPAIRED, TIED IN PROPERLY FOR MOISTURE MITIGATION TO EXISTING MASONRY

LEGEND

	NEW WALL		ASPHALT SHINGLE
	EXISTING WALL TO REMAIN		MODIFIED BITUMINOUS ROOFING SYSTEM
	NOT IN CONTRACT		PREFINISHED METAL CANOPY
	1 HR RATING		
	SMOKE PARTITION		
	KEYNOTE, SEE SCHEDULE		

1 UPPER ROOF PLAN  
1/8" = 1'-0"



GENERAL NOTES - ELEVATION

- ALL EFFLORESCENCE, CRUMBLING OR MISSING MORTAR, AND DAMAGED MASONRY TO BE REMOVED, REPAIRED AS SPECIFIED. ALL MASONRY AND MORTAR TO BE CLEANED. KEYNOTES ADDRESS OBSERVATIONS AS SEEN BY ARCHITECT / ENVELOPE CONSULTANT. CONTRACTOR TO VERIFY FULL EXTENT IN FIELD. CONTRACTOR TO DEVELOP FINAL SCOPE AND VERIFY WITH ARCHITECT PRIOR TO CONDUCTING THE WORK.
- PROVIDE 1/2" MIN. SLOPE AWAY FROM WALL ON TOP SURFACE OF ALL WALL PROJECTIONS.
- SPECIFIED CAULKS & SEALANTS SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRANS, AND OTHER WEATHER EXPOSED AREAS. SEE SPECIFICATIONS FOR TYPES AND LOCATIONS.
- CLEAN, REPOINT AND REPAIR MASONRY/CEMENT PLASTER PER SPECIFICATIONS THROUGHOUT ENTIRE EXTERIOR ENVELOPE.
- WHERE REPOINTING IS PERFORMED, OLD MORTAR SHALL BE REMOVED TO A MINIMUM DEPTH OF 2 TO 2 1/2 TIMES THE WIDTH OF THE JOINT TO ENSURE ADEQUATE BOND AND TO PREVENT MORTAR SEEPAGE.
- AT ALL LOCATIONS OF MORTAR EROSION, CRUMBLING MORTAR, AND HAIRLINE CRACKS IN MORTAR, FULL RE-POINTING IS REQUIRED. AREAS OF SIGNIFICANT AND OBVIOUS DETERIORATION ARE NOTED ON THE ELEVATIONS. CONTRACTOR IS RESPONSIBLE FOR SURVEY OF BRICK CONDITIONS FOR DETERMINATION OF FULL SCOPE OF WORK.
- ALL EXISTING GUTTERS, DOWNSPOUTS, METAL FASCIA, COUNTERFLASHING, CUT-IN FLASHING, REGLETS, AND TRIM TO BE REMOVED UNLESS NOTED OTHERWISE.
- TERRA COTTA RIDGE TILES TO BE SALVAGED.
- ALL WOOD FASCIA TO BE REPLACED.
- CEMENT PLASTER SOFFITS TO REMAIN AND BE REPAIRED UNLESS NOTED OTHERWISE.
- LIMB BACK ALL TREES TO PREVENT DAMAGE @ ROOF PERIMETER. COORDINATE WITH ARCHITECT PRIOR TO CONDUCTING WORK.
- ALL CAST STONE PANELS, COPING, STAIRS TO BE CLEANED, REPAIRED, REPLACED IF DAMAGED, AND SEALED AS NECESSARY.
- REMOVE MUD DAUBER NEST, TYP.
- STEEL LINTELS WITH RUST/PAINT PEELING TO BE CLEANED THOROUGHLY OF ALL RUST AND PRIMER/REPAINTED.
- ALL MATERIALS AND TAKEOFF INFORMATION MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
- SEALANT AT EXTERIOR CAST STONE PANELS / GRANITE TO BE REMOVED AND RESEALED. CONTRACTOR SHALL PROVIDE SUITABLE MORTAR MIX TO MATCH HISTORIC MORTAR IN COLOR, TEXTURE, AND TOOLING TO RETOOL JOINTS THROUGHOUT. NEW MORTAR MUST HAVE A GREATER VAPOR PERMEABILITY AND BE SOFTER THAN THE MASONRY UNITS AND THE HISTORIC MORTAR.

KEYNOTES - ELEVATION

- EXISTING CAST STONE PANELS TO REMAIN. JOINTS TO BE SCRAPED AND NEW SEALANT APPLIED.
- EXISTING CAST STONE STEPS TO REMAIN. JOINTS TO BE SCRAPED AND NEW SEALANT APPLIED.
- EXISTING CAST STONE RETAINING WALL TO BE CLEANED. JOINTS TO BE SCRAPED AND NEW SEALANT APPLIED.
- CLEAN HEAVILY SOILED CAST STONE.
- EXISTING CAST STONE BUILDING CORNERSTONE TO REMAIN.
- EXISTING CAST STONE FASCIA TO REMAIN.
- EXISTING CAST STONE COPING TO BE REPAIRED, TIED IN PROPERLY FOR MOISTURE MITIGATION TO EXISTING MASONRY.
- REPAIR CRACKED, BROKEN CAST STONE.
- REPAIR CAST STONE STAIRS. BOTTOM CONCRETE RISER TO BE REPLACED WITH NEW CAST STONE RISER TO MATCH EXISTING. REFER TO DETAIL 10A1-0-4.
- NEW CAST STONE RETAINING WALL. REFER TO DETAIL 5A1-0-4.
- CLEAN HEAVILY SOILED / WATER STAINED MASONRY.
- EXTENSIVE MORTAR EROSION / WATER DAMAGE AT MASONRY TO BE REPAIRED.
- EXTENSIVE STEP CRACKING / WATER DAMAGE AT MASONRY WALL. BOTH SIDES OF THIS WALL TO BE REPAIRED.
- HEAVILY DAMAGED OR MISSING MORTAR. REMOVE MORTAR AS SPEC'D AND REPOINT.
- CLEAN EFFLORESCENCE / REPAIR WATER DAMAGE AT MASONRY.
- DAMP MASONRY AT EXISTING HOSE BIBB TO BE CLEANED, REPLACED IF NECESSARY. REPLACE OR ADJUST HOSE BIBB TO AVOID LEAKING.
- LOCATION OF REMOVED THRU-WALL WINDOW UNIT AIR CONDITIONER TO BE INFILLED WITH MASONRY TO MATCH ADJACENT HISTORIC MASONRY.
- REPLACE BROKEN / MISSING MASONRY.
- EXISTING STAINED GLASS WINDOW WITH CAST STONE SURROUND TO REMAIN. PROTECT THROUGHOUT DURATION OF CONSTRUCTION.
- EXISTING STAINED GLASS WINDOW.
- EXISTING WEATHERED WOOD STOREFRONT TO BE REPLACED TO MATCH EXISTING.
- EXISTING GATE TO REMAIN.
- NEW DECORATIVE ACCESS GATE AND FENCE.
- EXISTING HANDRAIL TO REMAIN.
- EXISTING CEMENT PLASTER SOFFIT TO BE REPAIRED AS REQUIRED, REPAINTED, TYP.
- EXISTING SITE LIGHTING TO BE REFURBISHED.
- EXISTING HOSE BIBB.
- EXISTING CAST STONE CROSS.
- NEW BIKE RACKS. "FLO" FROM LANDSCAPE FORMS. FINISH TO BE STAINLESS STEEL.
- NEW WOOD, BIT, ROOF.
- NEW ASPHALT SHINGLES.
- NEW TERRA COTTA RIDGE TILES.
- NEW GUTTERS, DOWNSPOUTS, TYP.
- NEW ROOF HATCH & CRICKETING.
- NEW PREPARED METAL CANOPY.
- NEW CANOPY SUPPLY.
- NEW WOOD FASCIA TO REPLACE EXISTING.
- EXISTING METAL COPING TO BE REPLACED, TIED IN PROPERLY FOR MOISTURE MITIGATION TO EXISTING MASONRY.
- NEW REGLET FLASHING, TYP.
- NEW DRIP EDGE FLASHING, TYP.
- STEEL LINTEL TO BE CLEANED AND REPAINTED.
- NEW FIBER CEMENT BOARD LAP SIDING INFILL TO MATCH ADJACENT AT PREVIOUS OPENING.
- NEW SIGNAGE OFC.
- NEW MECHANICAL YARD FENCE.
- NEW SPLASH BLOCK.
- EXISTING HOOD EXHAUST & GREASE DUCT TO BE SERVICED FOR NEW USE.
- NEW SLOPED PAVING TO PARKING LOT. RE: CIVIL.
- NEW STOREFRONT SYSTEM.
- REPAIR DAMAGED PORTION OF GATE.
- NEW CAST STONE RAMP / STAIR SURROUND. SEE A1-0-3.
- NEW ROOF FLASHING.
- HARD CONDUIT TO BE PAINTED TO MATCH BRICK. SEE ELECTRICAL AND SPECIAL SYSTEMS SHEETS.
- EXISTING METAL AND GLASS DISPLAY TO REMAIN.
- EXISTING CONCRETE FOUNDATION TO REMAIN.

LEGEND - ELEVATION

- STEEL LINTEL, TO BE CLEANED AND REPAINTED
- VEGETATION / BIOGROWTH / EFFLORESCENCE TO BE REMOVED
- HEAVY SOILING, TO BE CLEANED
- MISSING BRICKS, TO BE REPLACED
- KEYNOTE, SEE SCHEDULE
- STEP CRACKING
- REPOINT MORTAR

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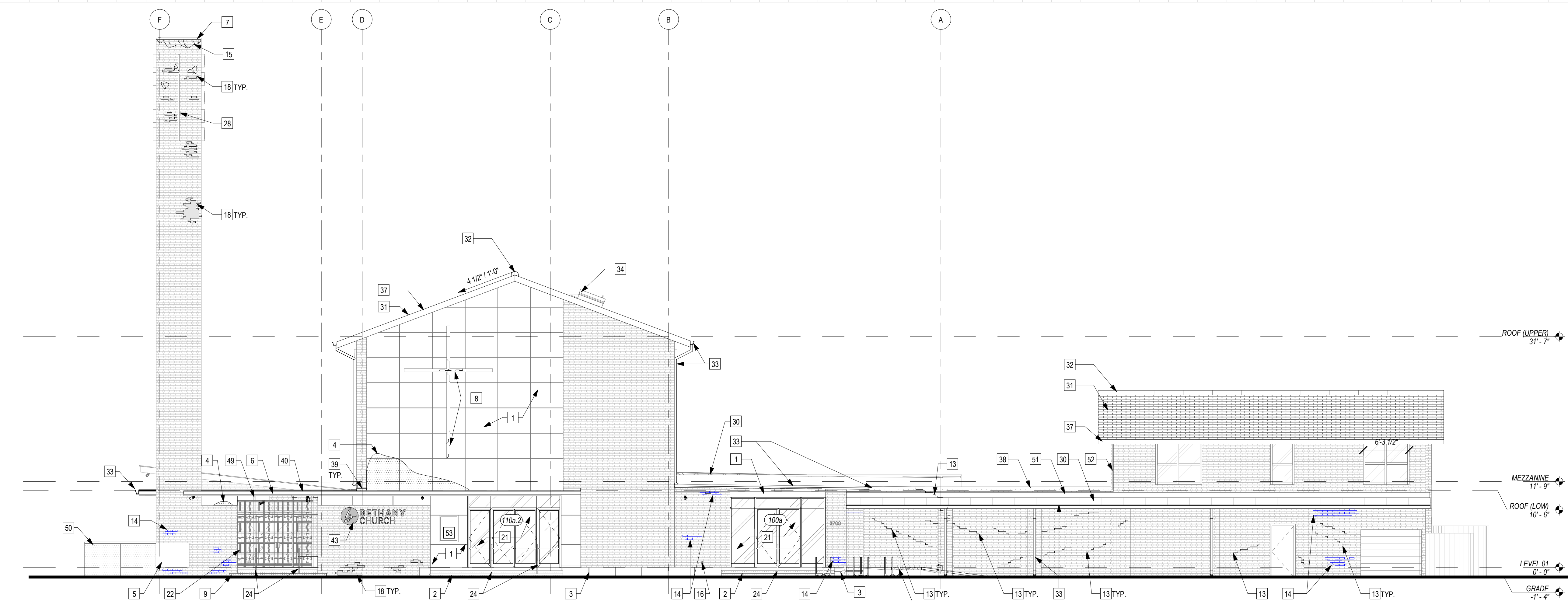
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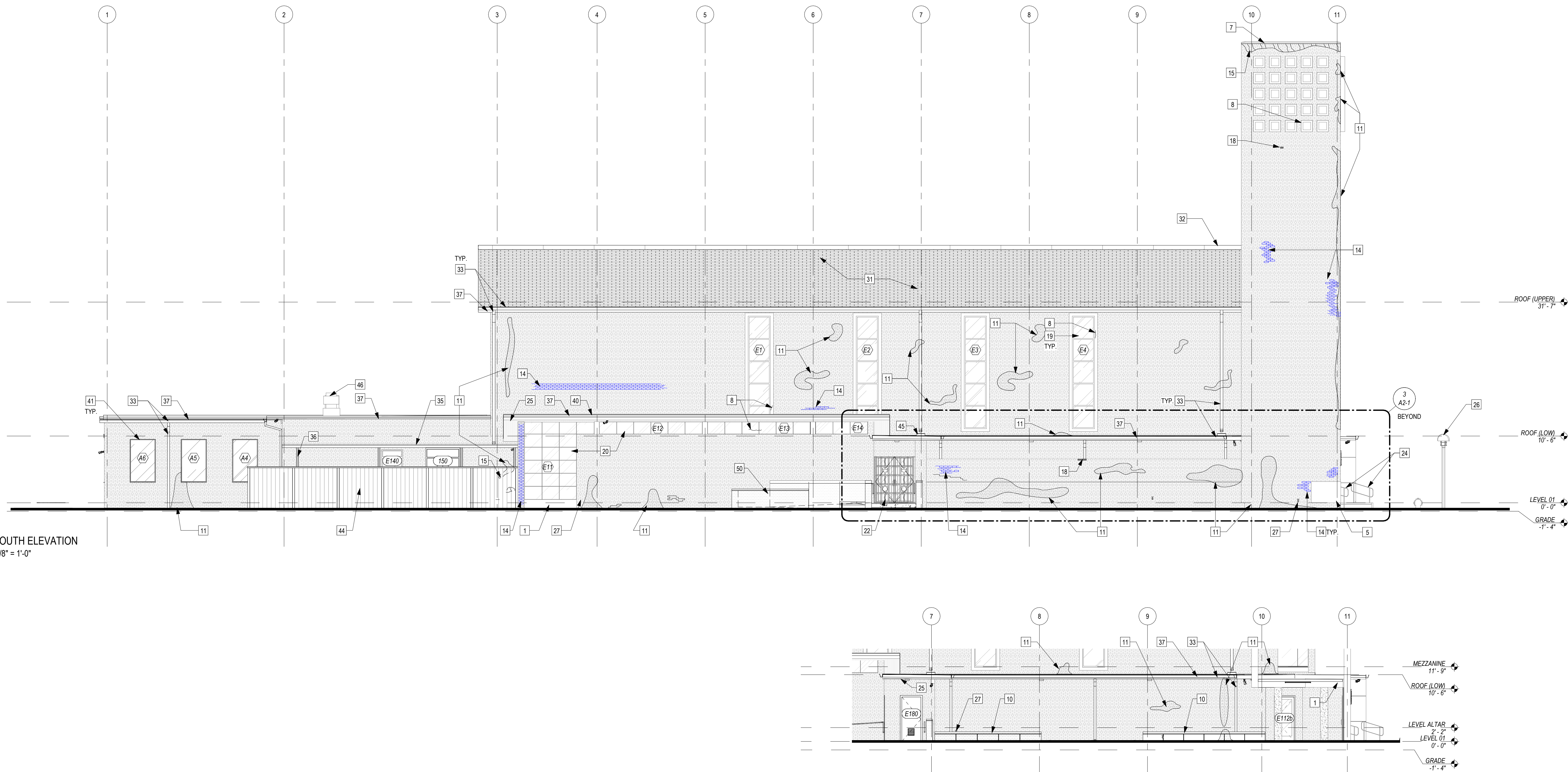
BUILDING  
ELEVATIONS

SHEET NO.

A2-1



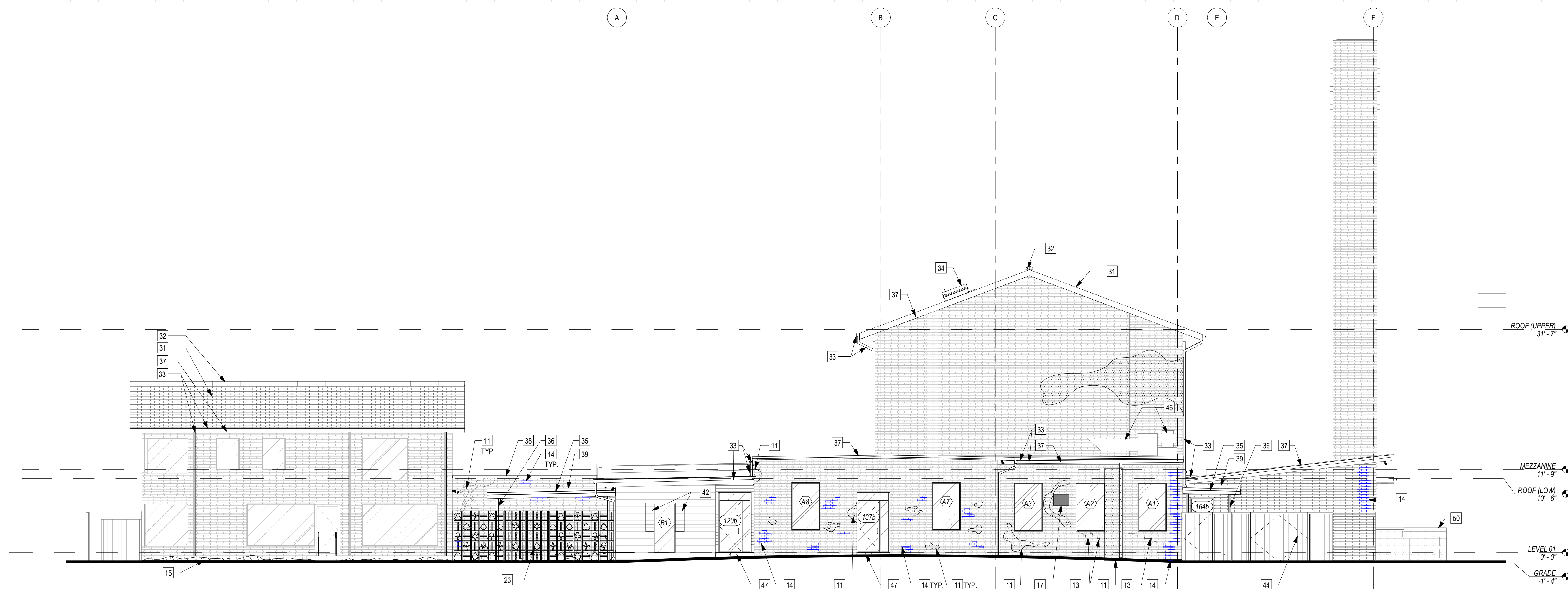
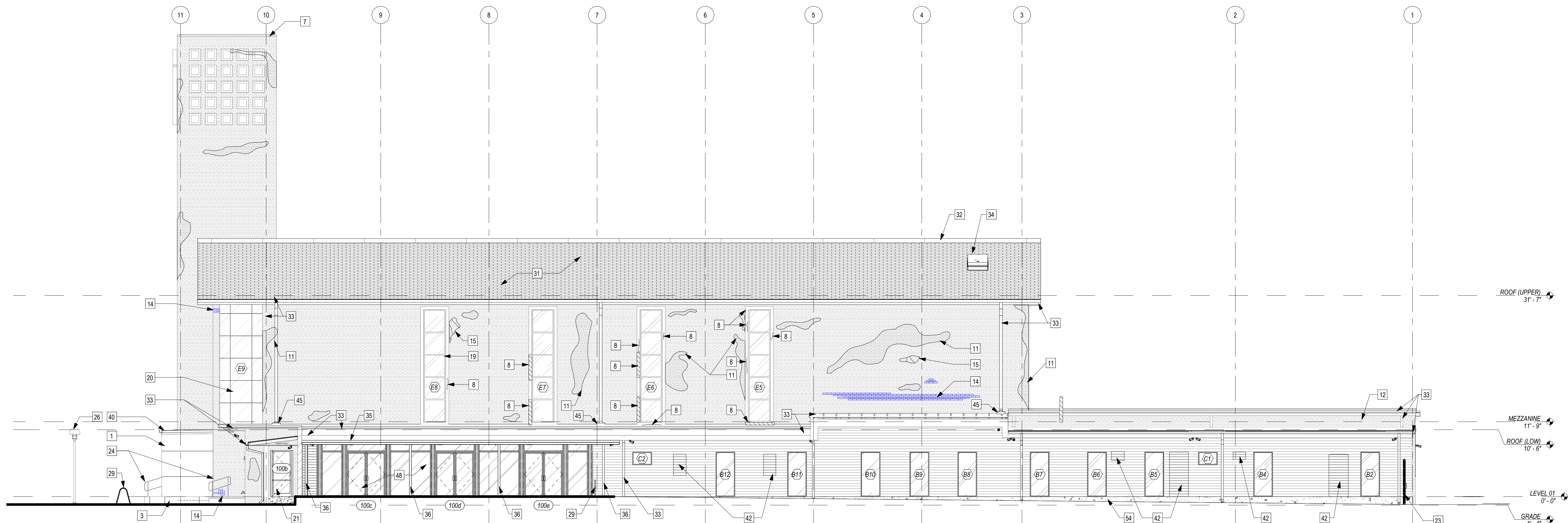
1 EAST ELEVATION  
1/8" = 1'-0"



2 SOUTH ELEVATION  
1/8" = 1'-0"

3 SOUTH ELEVATION BEHIND  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"2 NORTH ELEVATION  
1/8" = 1'-0"

## GENERAL NOTES - ELEVATION

- ALL EFFLORESCENCE, CRUMBLING OR MISSING MORTAR, AND DAMAGED MASONRY TO BE REMOVED, REPAIRED AS SPECIFIED. ALL MASONRY AND MORTAR TO BE CLEANED. KEYNOTES ADDRESS OBSERVATIONS AS SEEN BY ARCHITECT / ENVELOPE CONSULTANT. CONTRACTOR TO VERIFY FULL EXTENT IN FIELD. CONTRACTOR TO DEVELOP FINAL SCOPE AND VERIFY WITH ARCHITECT PRIOR TO CONDUCTING THE WORK.
- PROVIDE 1/2" MIN. SLOPE AWAY FROM WALL ON TOP SURFACE OF ALL WALL PROJECTIONS.
- SPECIFIED CAULKS & SEALANTS SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, AND OTHER WEATHER EXPOSED AREAS. SEE SPECIFICATIONS FOR TYPES AND LOCATIONS.
- CLEAN, REPOINT AND REPAIR MASONRY/CEMENT PLASTER PER SPECIFICATIONS THROUGHOUT ENTIRE EXTERIOR ENVELOPE.
- WHERE REPOINTING IS PERFORMED, OLD MORTAR SHALL BE REMOVED TO A MINIMUM DEPTH OF 2 TO 2 1/2 TIMES THE WIDTH OF THE JOINT TO ENSURE ADEQUATE BOND AND TO PREVENT MORTAR SEEPAGE.
- AT ALL LOCATIONS OF MORTAR EROSION, CRUMBLING MORTAR, AND HAIRLINE CRACKS IN MORTAR, FULL RE-POINTING IS REQUIRED. AREAS OF SIGNIFICANT AND OBVIOUS DETERIORATION ARE NOTED ON THE ELEVATIONS. CONTRACTOR IS RESPONSIBLE FOR SURVEY OF BRICK CONDITIONS FOR DETERMINATION OF FULL SCOPE OF WORK.
- ALL EXISTING GUTTERS, DOWNSPOUTS, METAL FASCIA, COUNTERFLASHING, CUT-IN FLASHING, REGLETS, AND TRIM TO BE REMOVED UNLESS NOTED OTHERWISE.
- TERRA COTTA RIDGE TILES TO BE SALVAGED.
- ALL WOOD FASCIA TO BE REPLACED.
- CEMENT PLASTER SOFFITS TO REMAIN AND BE REPAIRED UNLESS NOTED OTHERWISE.
- LIMB BACK ALL TREES TO PREVENT DAMAGE @ ROOF PERIMETER. COORDINATE WITH ARCHITECT PRIOR TO CONDUCTING WORK.
- ALL CAST STONE PANELS, COPING, STAIRS TO BE CLEANED, REPAIRED, REPLACED IF DAMAGED, AND SEALED AS NECESSARY.
- REMOVE MUD DAUBER NEST, TYP.
- STEEL LINTELS WITH RUSTY PAINT FEELING TO BE CLEANED THOROUGHLY OF ALL RUST AND PRIMED/REPAINTED.
- ALL MATERIALS AND TAKEOFF INFORMATION MUST BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
- SEALANT AT EXTERIOR CAST STONE PANELS / GRANITE TO BE REMOVED AND RESEALED. CONTRACTOR SHALL PROVIDE SUITABLE MORTAR MIX TO MATCH HISTORIC MORTAR IN COLOR, TEXTURE, AND TOOLING TO RETOOL JOINTS THROUGHOUT. NEW MORTAR MUST HAVE A GREATER VAPOR PERMEABILITY AND BE SOFTER THAN THE MASONRY UNITS AND THE HISTORIC MORTAR.

## KEYNOTES - ELEVATION

- EXISTING CAST STONE PANELS TO REMAIN. JOINTS TO BE SCRAPPED AND NEW SEALANT APPLIED.
- EXISTING CAST STONE STEPS TO REMAIN. JOINTS TO BE SCRAPPED AND NEW SEALANT APPLIED.
- EXISTING CAST STONE RETAINING WALL TO BE CLEANED. JOINTS TO BE SCRAPPED AND NEW SEALANT APPLIED.
- CLEAN HEAVILY SOILED CAST STONE.
- EXISTING CAST STONE BUILDING CORNERSTONE TO REMAIN.
- EXISTING CAST STONE FASCIA TO REMAIN.
- EXISTING CAST STONE COPING TO BE REPAIRED, TIED IN PROPERLY FOR MOISTURE MITIGATION TO EXISTING MASONRY.
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- NEW ASPHALT SHINGLES.
- NEW TERRA COTTA RIDGE TILES.
- NEW GUTTERS, DOWNSPOUTS, TYP.
- NEW ROOF HATCH & CRICKETING.
- NEW PREFINISHED METAL CANOPY.
- NEW CANOPY SUPPORT.
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## LEGEND - ELEVATION

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AXONOMETRIC

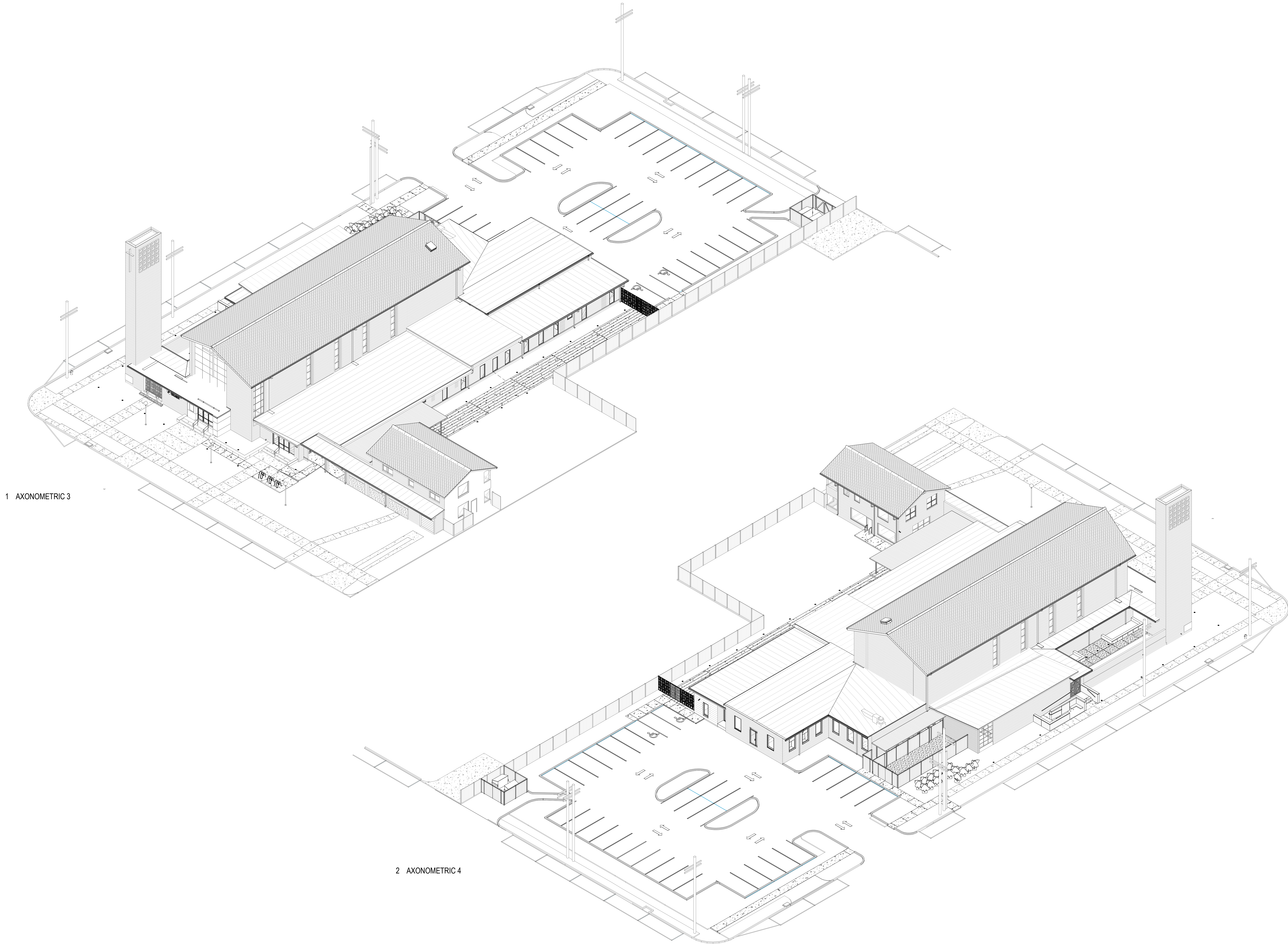
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A2-3

1 AXONOMETRIC 1

2 AXONOMETRIC 2





1 AXONOMETRIC 3

2 AXONOMETRIC 4

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