

1 SITE PLAN  
C100 3/16" = 1'-0"  
NORTH

**CIVIL GENERAL NOTES:**

- DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. VERIFY EXISTENCE AND LOCATION OF ALL SURFACE AND SUBSURFACE STRUCTURES, UTILITIES, DEPTHS AND INVERTS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM THOSE SHOWN.
- ELEVATIONS ARE IN FEET, CAIRO DATUM. SEE SURVEY FOR REFERENCE BENCHMARK. ADD 20.43 TO NAVD TO OBTAIN CAIRO DATUM.
- OBTAIN AND PAY FOR INSPECTIONS, LICENSES, PERMITS AND APPROVALS REQUIRED BY GOVERNING AUTHORITIES AND INSTALL ALL WORK IN COMPLIANCE THEREOF.
- DRAIN, SEWER AND WATER LINES ARE SHOWN IN SCHEMATIC DETAIL ONLY. IT IS NOT POSSIBLE TO DETAIL EVERY OFFSET, ELBOW, TEE, WYE, ETC., THAT MAY BE REQUIRED. PROVIDE COMPLETE WORKING UTILITY SYSTEMS.
- SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR CONTINUATION OF UTILITIES WITHIN 5'-0" OF BUILDINGS.
- WHERE NOTED, REFERENCED STANDARD SPECIFICATION SHALL BE THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD (S&WB) STANDARD SPECIFICATIONS, LATEST EDITION, OR THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITIONS, WHICHEVER IS MORE STRINGENT.
- PROVIDE CONSTRUCTION ZONE TRAFFIC CONTROL PER LOUISIANA DOTD STANDARD PLANS.
- CONTRACTOR SHALL PROVIDE, TO THE ARCHITECT, ACCURATE AS-BUILT DRAWINGS UPON SUBSTANTIAL COMPLETION OF THE PROJECT.

**EARTHWORK NOTES:**

- EXCAVATION SHALL INCLUDE THE REMOVAL OF MATERIAL ENCOUNTERED TO SUBGRADE ELEVATIONS INDICATED AND SUBSEQUENT DISPOSAL OF MATERIALS REMOVED.
- PROOFROLL SUBGRADE TO IDENTIFY WEAK AREAS. EXCAVATE WEAK AREAS AND BACKFILL WITH SELECT FILL.
- SELECT FILL SHALL BE LOCALLY AVAILABLE "PUMPED" SAND, FREE OF ROOTS, CLAY LUMPS, AND OTHER DELETERIOUS MATERIALS WITH NO MORE THAN 10% BY WEIGHT OF MATERIAL PASSING A U.S. STANDARD NO. 200 SIEVE.
- COMPACT SELECT FILL TO AT LEAST 95% (-1%, +3%) IF ITS MAXIMUM DRY DENSITY NEAR OPTIMUM WATER CONTENT IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FILL MATERIAL SHALL BE PLACED IN "LIFTS" NOT EXCEEDING EIGHT (8) INCHES.
- ALL CLEARING, FILLING AND COMPACTION OPERATIONS SHALL BE ACCOMPLISHED DURING PERIODS OF DRY WEATHER ONLY. DUE CONSIDERATION SHOULD BE GIVEN TO THE "SITE CONDITIONS" IN DETERMINING WHEN TO CONTINUE WORK FOLLOWING RAIN EVENTS.

**CONCRETE PAVING NOTES:**

- WHERE NEW PAVING IS TO MEET EXISTING, SAW CUT TO ENSURE A STRAIGHT JOINT.
- FOLLOW NEW ORLEANS DPW STANDARDS FOR ALL PAVEMENT IN PUBLIC RIGHT OF WAY.
- DEFORMED STEEL BARS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DOWEL BARS SHALL BE PLAIN BARS CONFORMING TO ASTM A615.

**LIMESTONE PAVING NOTES:**

- ALL LIMESTONE PAVING SHALL BE SURROUNDED BY 6" BARRIER CURB OR CONCRETE PAVING EDGE.
- PROVIDE TRUEGRID PRO PLUS.
- PROVIDE MIN. THICKNESS OF 18 IN. OF WELL GRADED LIMESTONE. LIMESTONE SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ACCORDING TO ASTM D 1557 OR BE COMPACTED TO A MINIMUM RELATIVE DENSITY OF 75% AS DETERMINED BY ASTM D 4253 AND D 4254. THE MATERIAL SHALL BE PLACED IN 6 IN. LOOSE LIFTS.
- GEOTEXTILE FABRIC SHALL BE A NONWOVEN FABRIC WITH AN APPARENT OPENING SIZE (AOS) SMALLER THAN THE U.S. NO. 70 SIEVE.

**ZONING INFO:**

ZONING DISTRICT:	HU-MU
MIN. LOT AREA:	NONE
MIN. LOT WIDTH:	NONE
MAX. BUILDING HEIGHT:	40' & NO MORE THAN 3 STORIES
MIN. PERMEABLE SPACE:	10%
FRONT YARD:	0'
INTERIOR SIDE YARD:	NONE
CORNER SIDE YARD:	NONE
REAR YARD:	15' ABUTTING RESIDENTIAL DIST.
GROSS FLOOR AREA 1ST FLR:	4192 SF
GROSS FLOOR AREA 2ND FLR:	5533 SF
TOTAL GROSS FLOOR AREA:	9,725 SF
USES	
RETAIL (FUTURE):	PERMITTED
OFFICE:	PERMITTED
PARKING REQUIREMENTS:	
DENTAL OFFICE 2ND FLOOR:	LESS THAN 5000 SF/EXEMPT
FUTURE TENANT OFFICE 2ND FLOOR:	LESS THAN 5000 SF/EXEMPT
RETAIL/OFFICE FUTURE 1ST FLOOR:	LESS THAN 5000 SF/EXEMPT

Date	
Description	
No.	

**ROYAL ENGINEERS & CONSULTANTS**  
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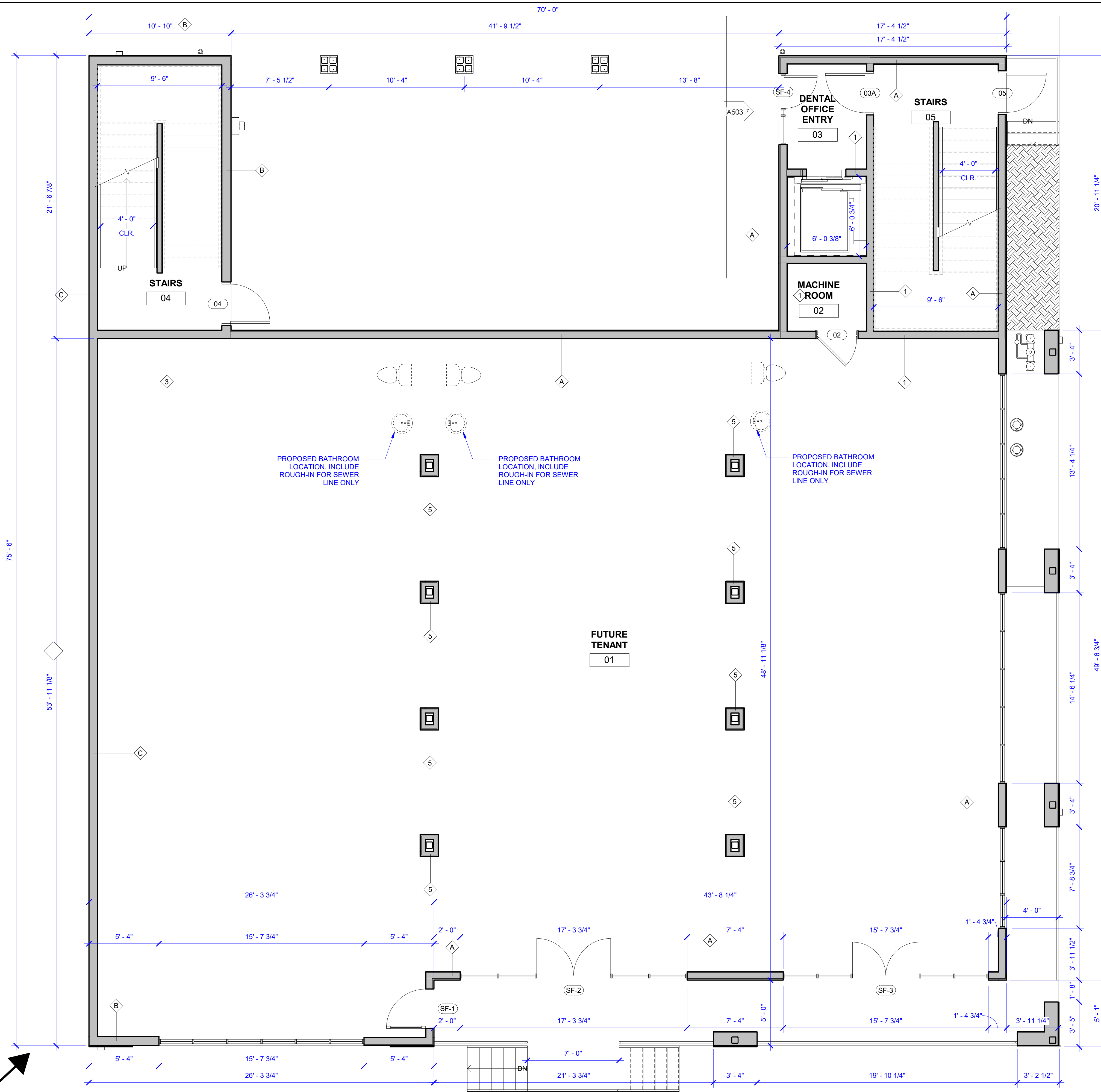
**WMC REALTY**  
837 N BROAD  
DEVELOPMENT  
837 N Broad Street  
New Orleans, LA 70119

**CIVIL SITE PLAN**

Project Number	2019-12
Date	5/28/2020
Drawn By	SM
Checked By	IP



**C100**



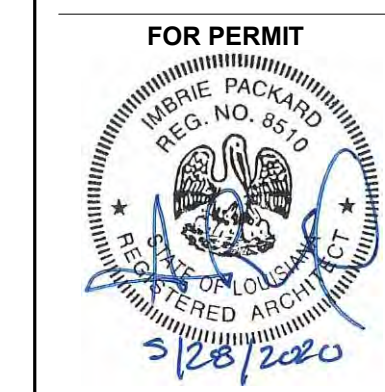
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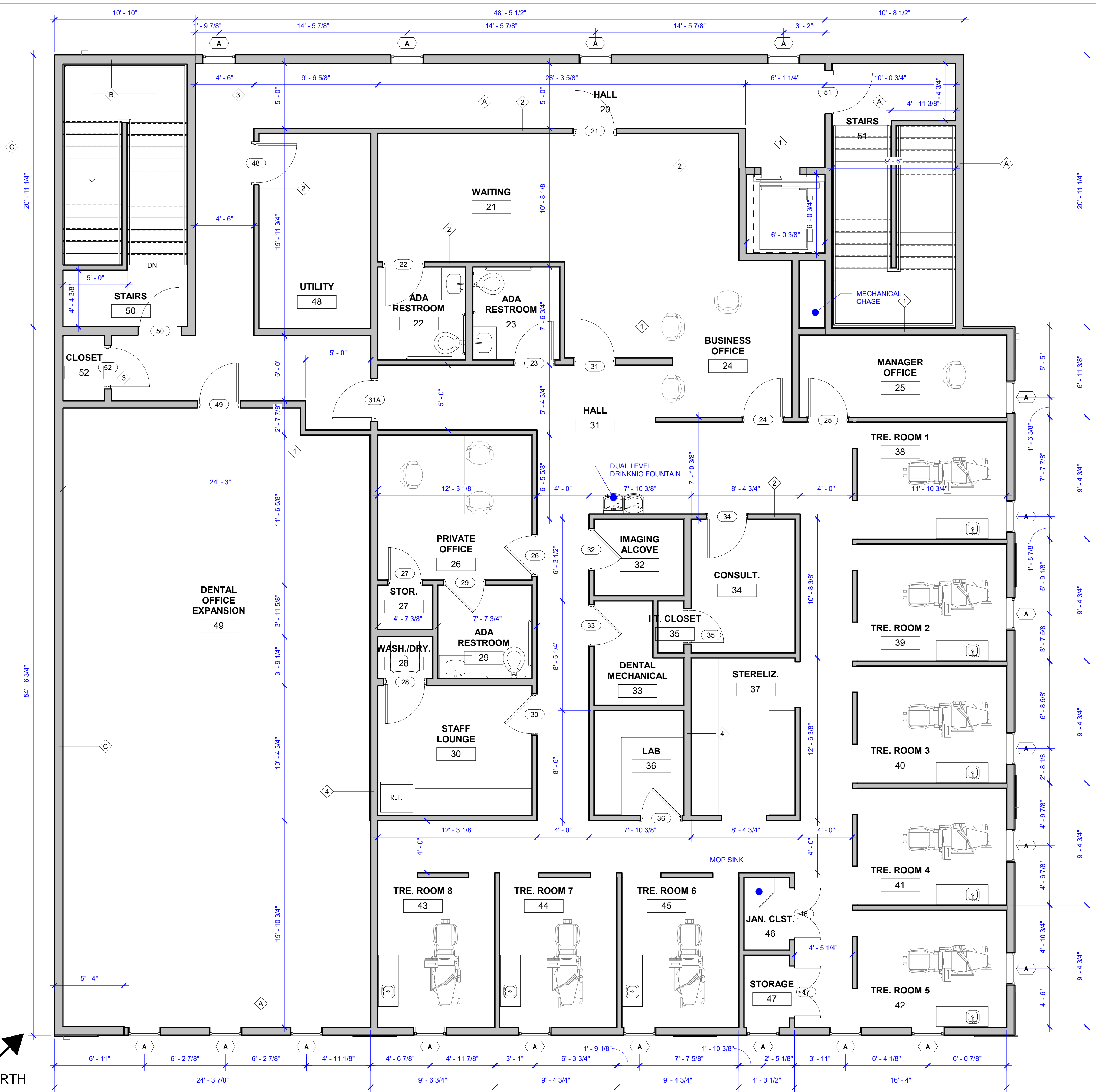
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**FIRST FLOOR PLAN**

Project Number	2019-12
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1 2ND FLOOR  
A102 1/4" = 1'-0"  
NORTH



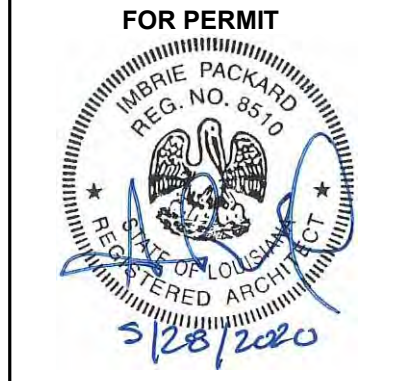
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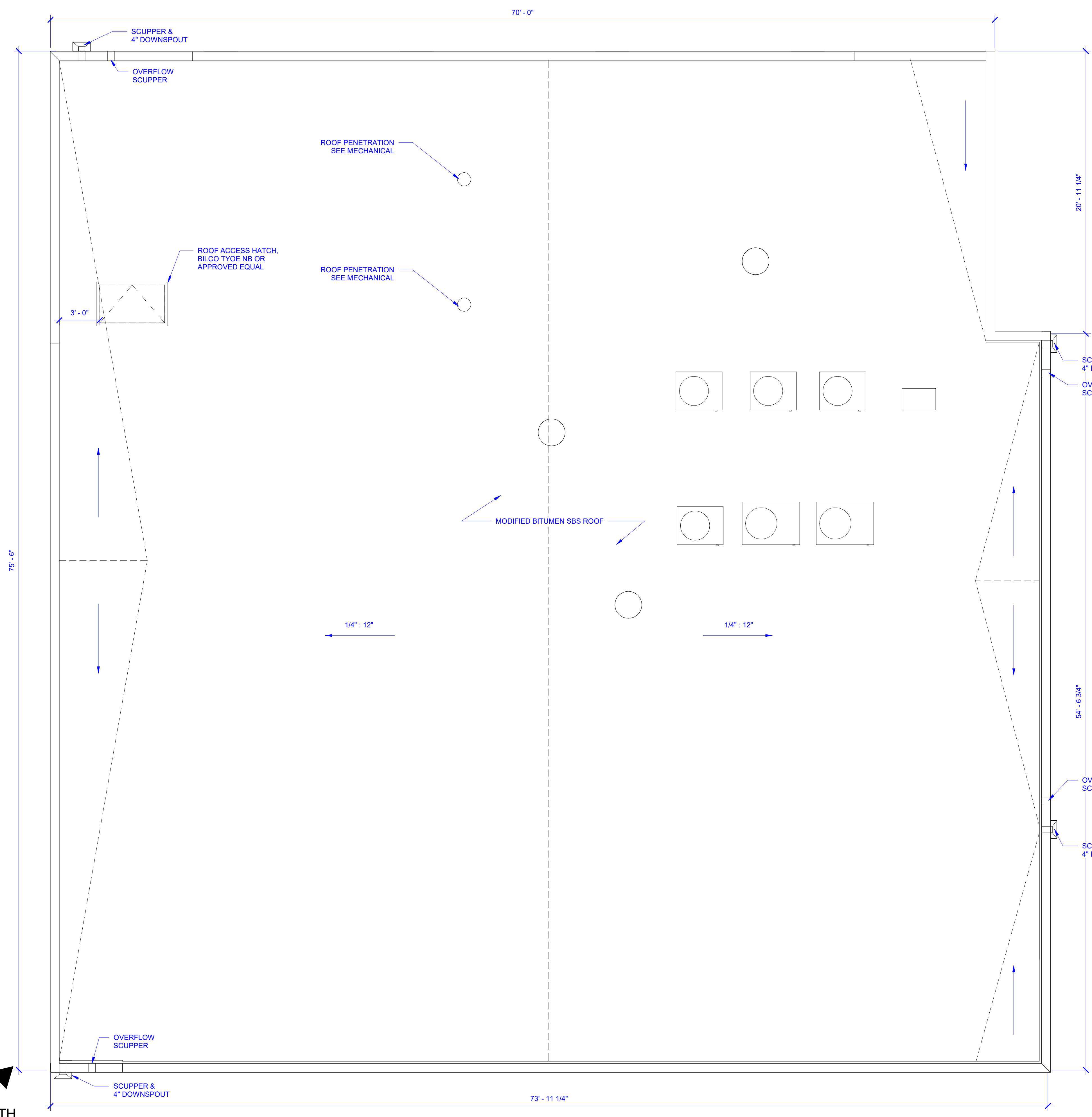
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**DEVELOPMENT**  
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New Orleans, LA 70119

**SECOND FLOOR PLAN**

Project Number 2019-12  
Date 5/28/2020  
Drawn By SM  
Checked By IP



**A102**



**ROOFING GENERAL NOTES:**

1. PROVIDE GAF RUBEROID/LIBERTY SBS MODIFIED BITUMEN ROOFING SYSTEM WITH MANUFACTURER'S 20 YEAR WARRANTY, OR APPROVED EQUAL.
2. PROVIDE TAPERED POLYISO INSULATION SYSTEM SLOPED PER ROOFING PLAN OVER 2" CONT. RIGID INSULATION.
3. ROOFING CONTRACTOR TO SUBMIT SHOP DRAWINGS INCLUDING MANUFACTURER'S STANDARD DETAILS FOR ALL CONDITIONS INCLUDING SCUPPERS, ROOF PENETRATIONS, HVAC EQUIPMENT PLATFORMS, INSULATION, AND PARAPET WALL & CAP.
4. PROVIDE R-19 BATT INSULATION IN CAVITY SPACE BETWEEN ROOF JOISTS.

1 ROOF PLAN  
A103 1/4" = 1'-0"



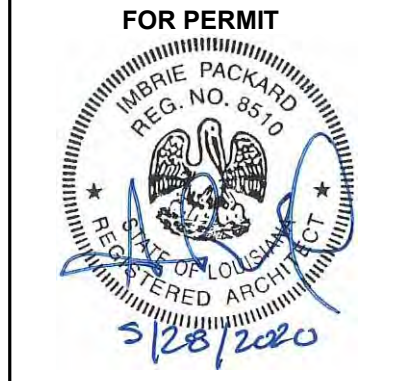
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**ROOF PLAN**

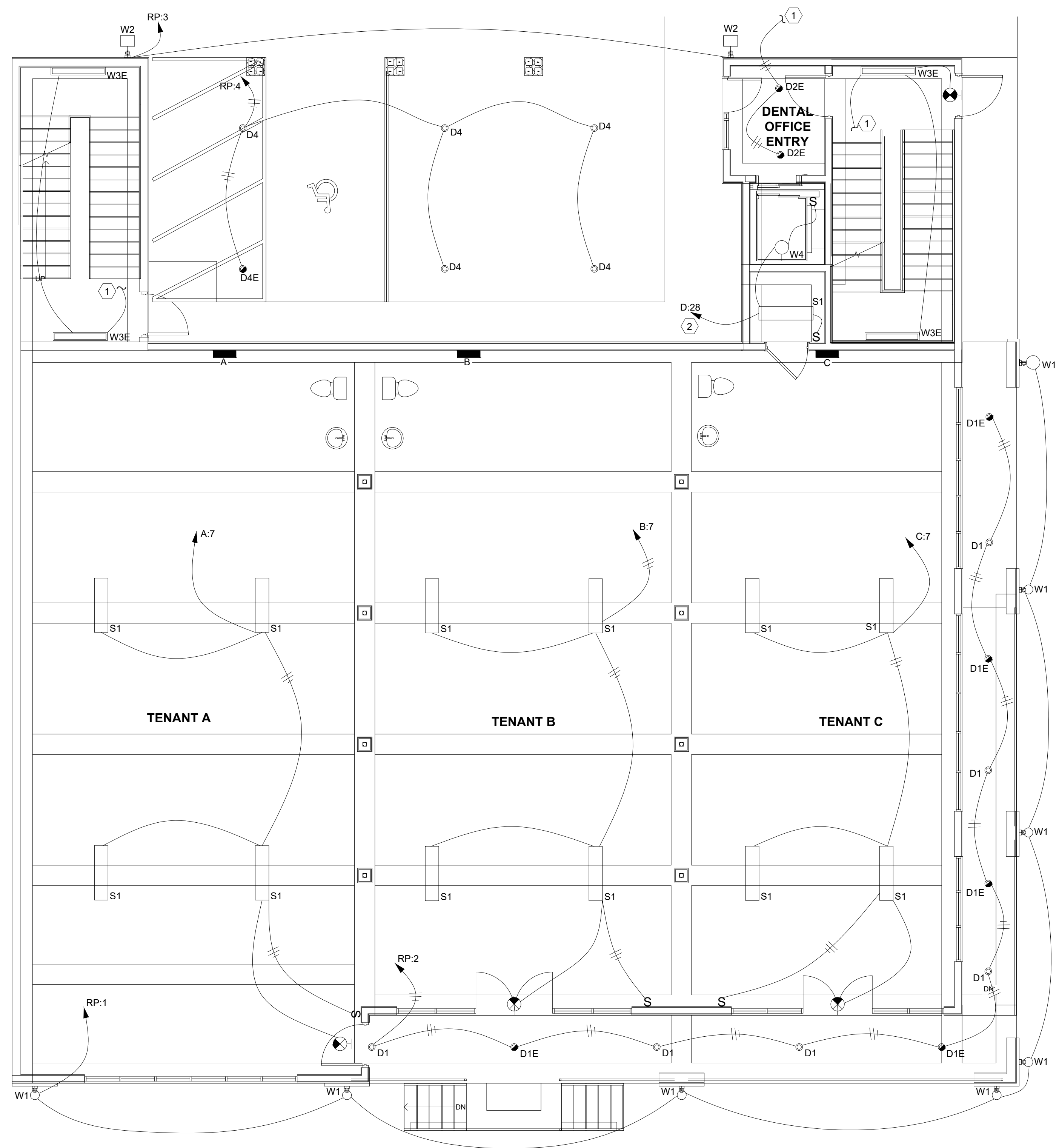
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**A103**







**GENERAL NOTE:**  
 A. COORDINATE LOCATION OF ALL EXTERIOR WALL SCUNCES WITH DOWNSPOUTS. REFERENCE ARCHITECTURAL ELEVATIONS.

**KEY NOTES:**  
 ① CONTINUE TO FLOOR 2  
 ② HOMERUN SEPARATELY FROM STAIRWELL FIXTURES.

**1** FIRST FLOOR LIGHTING PLAN  
 E101 SCALE: 3/16"=1'-0"

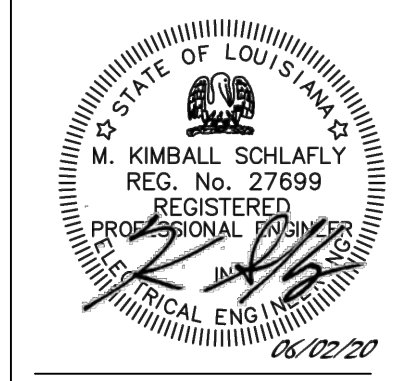
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**837 N BROAD DEVELOPMENT**  
 837 N Broad Street  
 New Orleans, LA 70119

**ELECTRICAL FIRST FLOOR LIGHTING PLAN**

Project Number	2019-12
Date	06/02/2020
Drawn By	AG
Checked By	KS



**MCA**  
 Engineering & Construction  
 BATON ROUGE - NEW ORLEANS

JOB NO: ROY19001  
 RG: 801  
 PROJECT MANAGER: R. MEJIA  
 DATE: 06/02/2020



**E101**





- GENERAL NOTES:**
- A. ALL WIRE SHALL BE COPPER, 2 #12 AWG AND 1 #12 GND IN 1/2" C., UNLESS OTHERWISE NOTED.
  - B. ALL CONDUIT SHALL CONTAIN A #12 GND UNLESS OTHERWISE NOTED.
- KEY NOTES:**
- ① CONTINUE TO FLOOR BELOW.
  - ② HOMERUN SEPARATELY FROM STAIRWELL FIXTURES.
  - ③ COORDINATE WITH SIGN INSTALLER AND PROVIDE CONNECTORS AS NECESSARY TO EXTERIOR SIGNAGE.
  - ④ CONNECT RESTROOM EXHAUST FAN TO LIGHTING CONTROL IN SAME ROOM SUCH THAT WHEN LIGHT IS ON, FAN IS ENERGIZED.

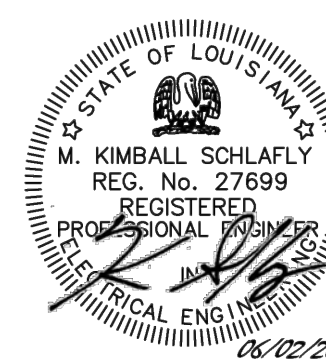
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**ELECTRICAL SECOND FLOOR LIGHTING PLAN**

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Drawn By	AG
Checked By	KS



**1 SECOND LEVEL LIGHTING PLAN**  
 E102 SCALE: 1/4"=1'-0"

**MCA**  
 Engineering & Construction  
 BATON ROUGE - NEW ORLEANS

JOB NO: ROY19001  
 BG: 801  
 PROJECT MANAGER: R. MEJIA  
 DATE: 06/02/2020



**E102**



