

100% CD SET

McDONOUGH 19

MIXED USE

NEW ORLEANS, LOUISIANA

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MCDONOUGH 19 MIXED USE

5909 ST CLAUDE AVE.
 NEW ORLEANS, LA 70117

NO. 23230 Mayors Council Series
 ZD 066-19
 5909 St Claude Ave
 New Orleans, LA 70117

Zoning Provisos:

No person shall use any of the properties described herein or permit another to use any of those properties described herein for the use authorized by this ordinance, unless the following requirements are met and continue to be met:

1. In accordance with Article 12, Section 12.3.A.1 of the Comprehensive Zoning Ordinance, the developer shall submit plans that comply with the minimum 10% permeable open space requirement.
2. In accordance with Article 12, Section 12.3.B of the Comprehensive Zoning Ordinance, the developer shall submit plans indicating the material the developer intends to use on the façade of the structure.
3. The plans submitted to the City Planning Commission for final approval shall indicate the installation of at least six (6) short-term bicycle parking spaces and four (4) long-term bicycle parking spaces. The design of bicycle spaces shall comply with the requirements as set forth in Article 22, section 22.9 of the Comprehensive Zoning Ordinance. When submitting plans to the City Planning Commission for final approval, the developer shall provide documentation of all required approvals by the Department of Public Works for any bicycle spaces located in the public right-of-way.
4. The plans submitted to the City Planning Commission for final approval shall include a parking landscape plan that complies with Article 23, Section 23.6 of the Comprehensive Zoning Ordinance. The Landscape Plan shall indicate the following:
 - a. A front landscaped yard in accordance with Article 23, Section 23.6B of the Comprehensive Zoning Ordinance.
 - b. A building foundation landscape plan in accordance with Article 23, Section 23.6A of the Comprehensive Zoning Ordinance.
 - c. Compliance with all the applicable landscape regulations in Article 23 and elsewhere in the Comprehensive Zoning Ordinance including parking lot landscaping in Article 23, Section 23.7 and buffer yard landscaping in Article 23, Section 23.8.
5. The site plan shall indicate the locations, type and height of any exterior lighting. Any proposed exterior lighting shall comply with standards of Article 21, Section 21.5 of the Comprehensive Zoning Ordinance.
6. Plans Submitted to the City Planning Commission for final approval shall indicate the type, location, size and materials of all signage. All signage shall conform to the requirements of Article 24 fo the Comprehensive Zoning Ordinance, subject to the review and approval of the City Planning Commission staff.
7. In accordance with Article 23, Section 23.13A of the Comprehensive Zoning Ordinance, the plans submitted to the City Planning Commission for final approval shall indicate the location of the trash receptacle which may be within an enclosed structure or screened by a seven foot (7') opaque fence with latching gates. At no time, excepting trash collection days, shall trash be stored as to be visible from the public rights-of-way.
8. The Department of Safety and Permits shall issue no building permits or licenses for this project until final development plans are approved by the City Planning Commission and recorded with the Office of Conveyances. Failure to complete the conditional use process by properly recording the plans within one year or failure to request an administrative extension as provided for in Article 4, Section 4.3.H.2 of the Comprehensive Zoning Ordinance will void the conditional use approval.
9. The conditional use for a cultural facility shall only pertain to the first and second floor of the main structure and the ancillary structure as indicated on the final plans.
10. Prior to final review from the City Planning Commission, the plans shall be heard at the Design Advisory Committee.

DRAWING ISSUE

DATE	ISSUED FOR
06/11/2019	50% DD SET
10/14/2019	90% DD SET
01/17/2020	PERMIT SET
02/07/2020	PERMIT - ADDENDUM 1

REVISIONS

NO.	DESCRIPTION	DATE
1	ASI001	05/05/2020



MA Project No: 16075

Drawn By: Author

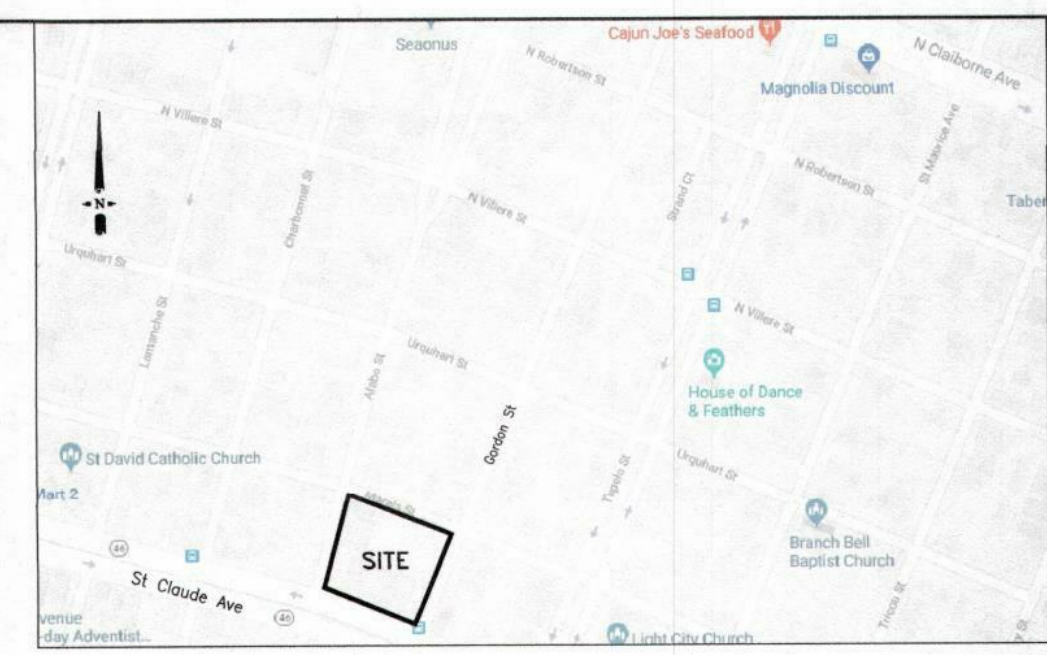
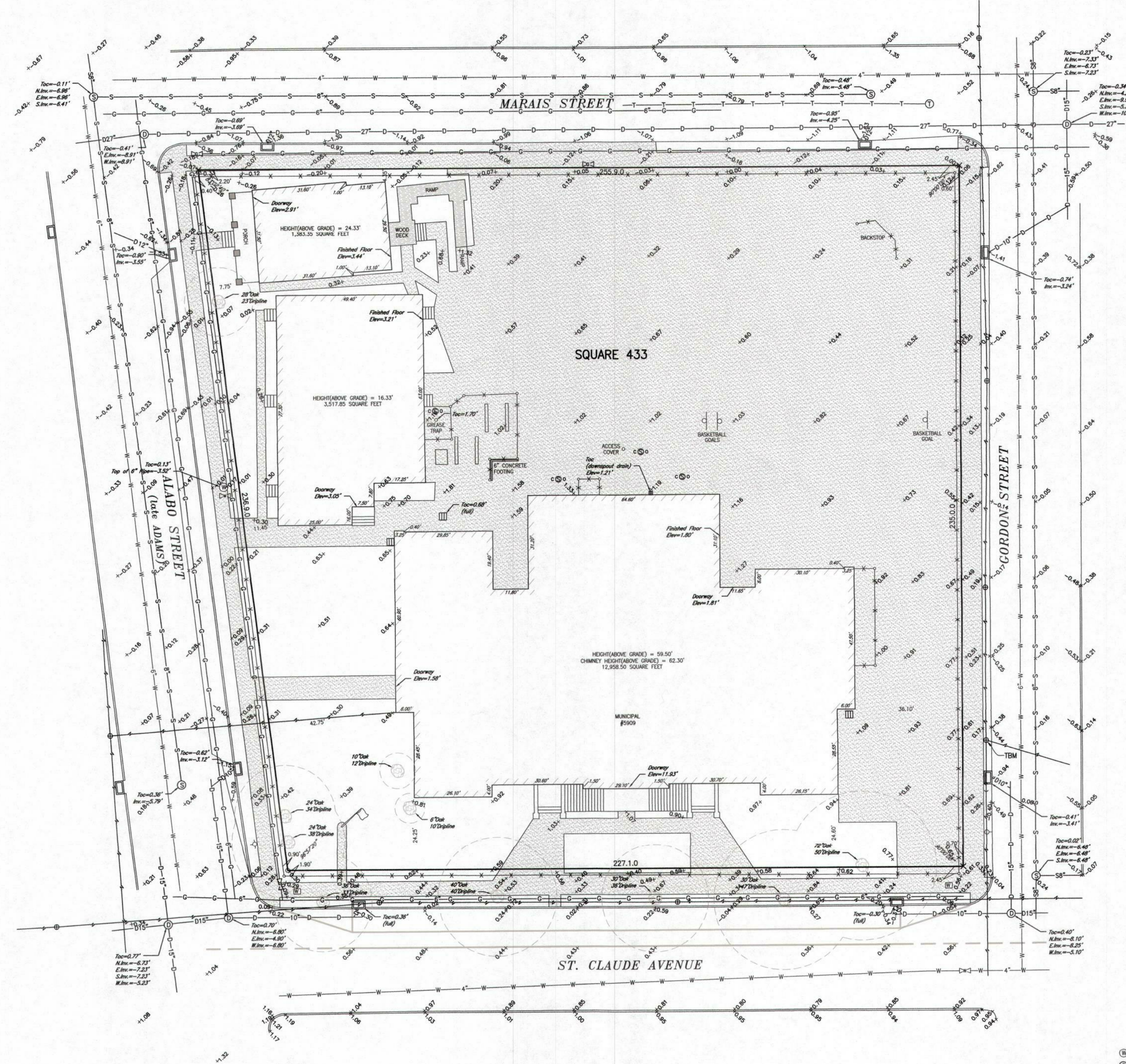
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COVER SHEET

Sheet No:

G000



VICINITY MAP
(NOT TO SCALE)

GENERAL SURVEY NOTES:

1. IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.
2. ELEVATIONS ARE SHOWN IN NAVD 88. ELEVATIONS HEREON ARE ESTABLISHED BY THE LOUISIANA STATE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE USING LSU C4G SOLUTION 5/20/2019 NAVD 88 GEOID 12A.
3. SITE BENCHMARK: 60d SET IN WEST FACE OF POWER POLE, 50' NORTH OF SOUTHEAST CORNER ST. CLAUDE AVENUE AND GORDON STREET. ELEVATION = 3.37 NAVD 88.
4. SEWER, WATER & DRAINAGE LINES ARE BASED ON SEWERAGE & WATER BOARD MAPS AND FIELD DATA.

SURVEY REFERENCE:

ALTA/NSPS LAND TITLE SURVEY, LOUIS D. ARMSTRONG ELEMENTARY SCHOOL (MCDONOUGH NO. 19), SQUARE 433, THIRD DISTRICT BY CODY A. DIMARCO, P.L.S. DATED OCTOBER 3, 2018.

BASIS OF BEARING

TAKEN FROM REFERENCED SURVEY PLAT.

LA ONE CALL

TICKET NO. 190253132

MEMBERS NOTIFIED:

- COX COMMUNICATIONS
- ENTERGY NEW ORLEANS
- AT&T DISTRIBUTION
- NCI COMMUNICATIONS

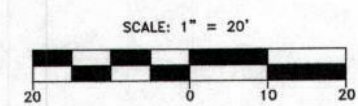
THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON INCLUDING PRIOR TO EXCAVATION AND DIGGING.

FLOOD ZONE INFORMATION

THE PROPERTY IS LOCATED WITHIN AN AREA HAVING FLOOD ZONE DESIGNATION 'X' BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 22071C-0234F, WITH A DATE OF SEPTEMBER 30, 2016 FOR COMMUNITY NO. 225203, ORLEANS PARISH, STATE OF LOUISIANA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE PROPERTY IS SITUATED.

LEGEND

- ⊕ = WATER MANHOLE
- ⊙ = SEWER MANHOLE
- ⊚ = TELEPHONE MANHOLE
- ⊖ = DRAIN MANHOLE
- ⊓ = DROP INLET
- ⊕ = FIRE HYDRANT
- ⊙ = UTILITY POLE
- = GUY WIRE
- ⊕ = GAS VALVE
- ⊙ = WATER METER
- ⊕ = SEWER CLEANOUT
- = OVERHEAD UTILITY LINE
- = CONCRETE CURB
- = DRAIN LINE
- = WATER LINE
- = SEWER LINE
- = GAS LINE
- = TELECOMMUNICATIONS LINE
- ⊓ = CATCH BASIN
- = FENCE
- ⊕ = IRON ROD FOUND
- ⊙ = CROSS FOUND
- ⊕ = WATER VALVE
- ⊙ = TREE



TOPOGRAPHIC SURVEY LOUIS D. ARMSTRONG ELEMENTARY SCHOOL (MCDONOUGH NO. 19) SQUARE 433 THIRD DISTRICT CITY OF NEW ORLEANS ORLEANS PARISH, LOUISIANA		
MADE AT THE REQUEST OF: ALEMBC COMMUNITY DEVELOPMENT	THE SERVICES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVICES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLYING THE DATA FOR THIS SURVEY.	
DATE: 5-20-2019 SCALE: 1" = 20' DRAWN BY: R.J.R. CHECKED BY: C.A.D. JOB NO.: 58148 SHEET: 1 of 1	THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY.	

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02/07/2020	PERMIT - ADDENDUM 1
02/28/2020	100% CD SET

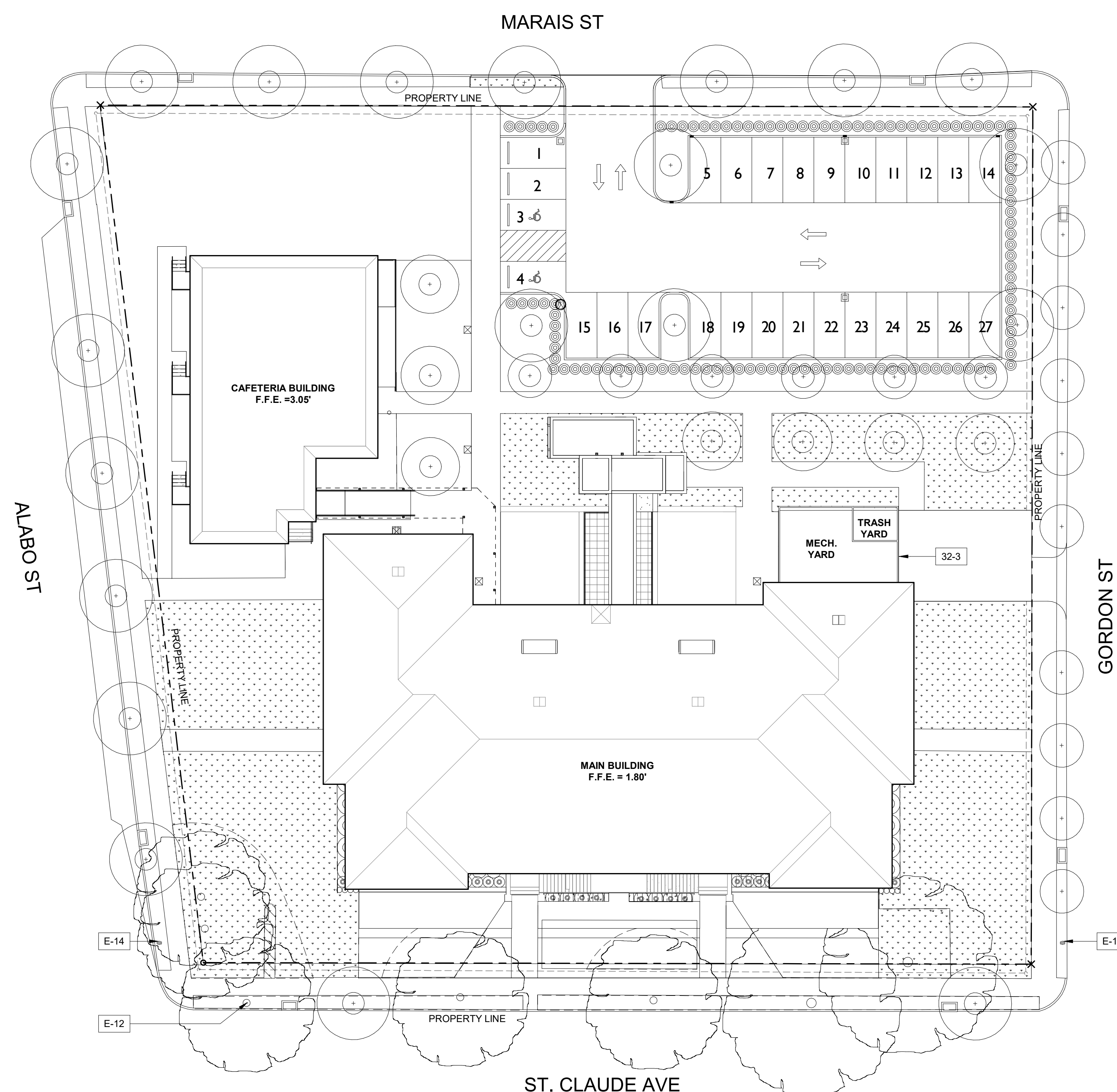
REVISIONS



MA Project No: 16075
 Drawn By: Author
 Checked By: Checker
 Sheet Name: SURVEY

Sheet No: G200

AS1001 CLARIFICATIONS:
 - LANDSCAPE AND WALKWAYS UPDATED PER VALUE ENGINEERING AND PERMITTING REQUIREMENTS.



GENERAL SITE PLAN NOTES

- DO NOT SCALE DRAWINGS. CONSULT WITH ARCHITECT FOR CLARIFICATIONS.
- CONTRACTOR SHALL PROVIDE PUBLIC PROTECTIONS NECESSARY PER ALL APPLICABLE REGULATIONS.
- THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOWN HEREON OR NOT. PRIOR TO ANY EXCAVATION, ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL ROADWAY, SIDEWALKS AND / OR DRIVEWAYS NOT SCHEDULED FOR REMOVAL DAMAGED BY CONSTRUCTION TO MEET OR EXCEED THE ORIGINAL CONDITION. ALL CONCRETE PAVEMENT SHALL BE REPLACED JOINT TO JOINT. CONTRACTOR SHALL GET ARCHITECT'S APPROVAL BEFORE SAW CUTTING ANY PAVEMENT NOT SHOWN ON THE PLANS
- THE EXISTING PLAN IS DOCUMENTED ON THE DRAWINGS IN ACCORDANCE WITH A LIMITED NUMBER OF AVAILABLE ORIGINAL CONSTRUCTION DRAWINGS AND FIELD INVESTIGATIONS. VARIANCE OF ACTUAL EXISTING CONDITIONS FROM THOSE ILLUSTRATED ON THESE DOCUMENTS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE VIBRATION MONITORING AT NEAREST PROPERTY LINE OF ANY DEMOLITION ACTIVITY THAT MAY RESULT IN A VIOLATION OF CITY OF NEW ORLEANS VIBRATION REGULATIONS.
- CONTRACTOR SHALL AT ALL TIMES CONDUCT HIS OR HER OPERATION AS TO ENSURE THE LEAST INCONVENIENCE TO THE GENERAL PUBLIC AND ADJACENT PROPERTY OWNERS AND BUSINESSES. CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL PROPERTIES AND TRAFFIC FLOW IN ROADWAYS AT ALL TIMES.
- LANDSCAPE ELEMENTS SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE PLANS FOR PLANTING, PAVEMENT, AND OTHER SITE MATERIALS.

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 NEW ORLEANS, LA 70117

KEYNOTE SCHEDULE

EXISTING	
E-12	EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED
E-14	EXISTING FIRE HYDRANT TO REMAIN

NEW CONSTRUCTION	
32-3	NEW WOOD FENCING WITH WALKTHROUGH GATE AT MECH. YARD & VEHICULAR GATE AT TRASH YARD

DRAWING ISSUE	
DATE	ISSUED FOR
06/11/2019	50% DD SET
10/14/2019	90% DD SET
01/17/2020	PERMIT SET
02/07/2020	PERMIT - ADDENDUM 1

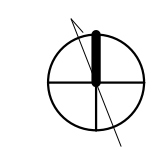
REVISIONS	
1	AS1001 05/05/2020

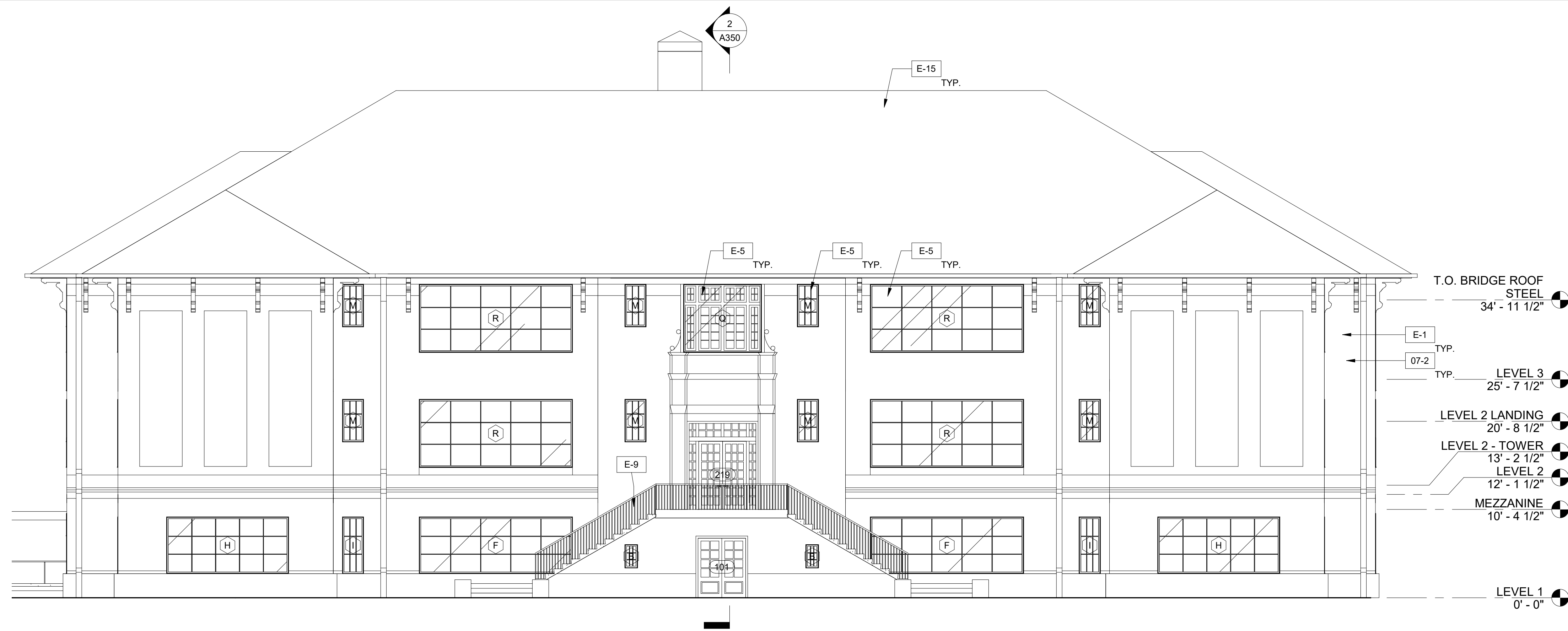


MA Project No: 16075
 Drawn By: Author
 Checked By: Checker
 Sheet Name: SITE PLAN

Sheet No: **A101**

SITE PLAN
 1
 A302/A101 1" = 20'-0"





2 SOUTH ELEVATION
A211/A300 1/8" = 1'-0"



1 WEST ELEVATION
A211/A300 1/8" = 1'-0"

ELEVATION GENERAL NOTES:

-

KEYNOTE SCHEDULE

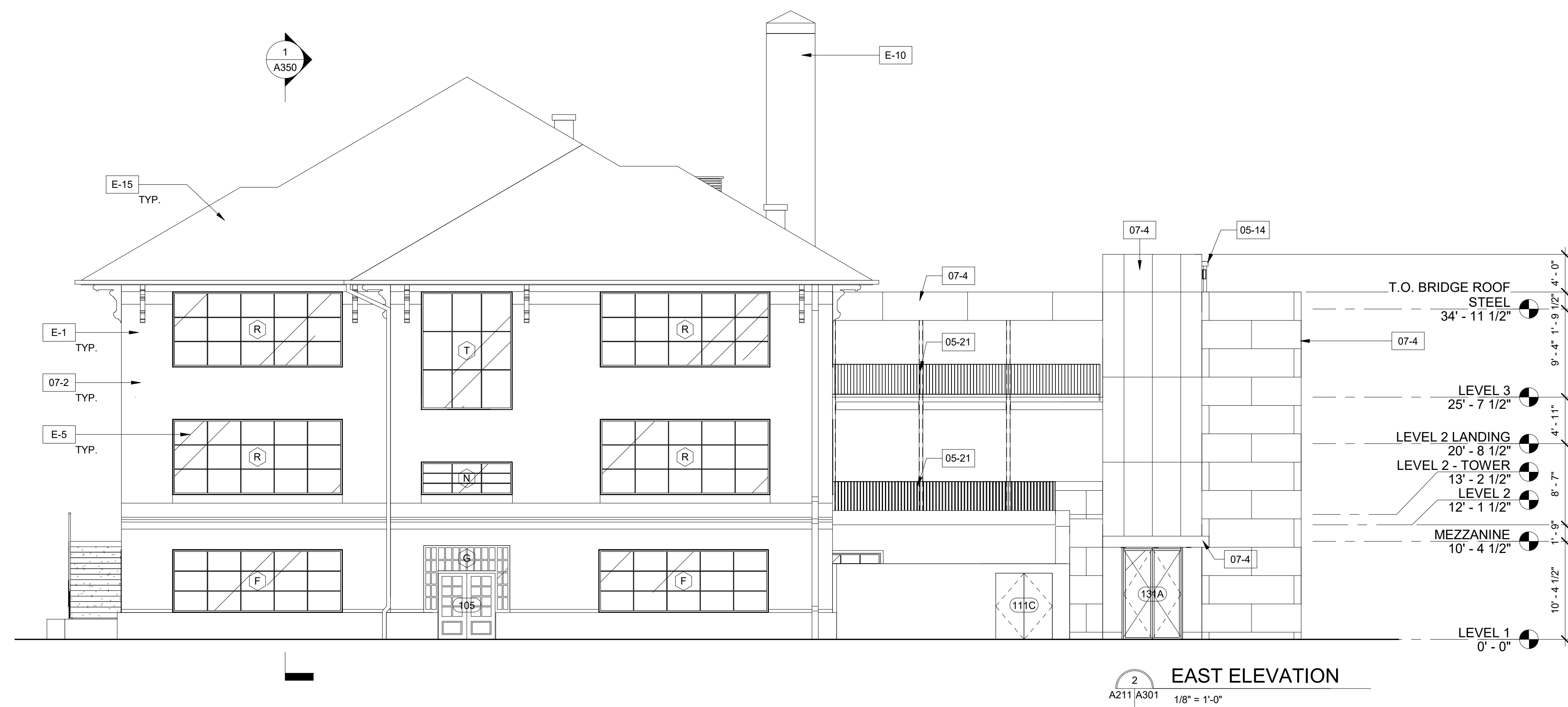
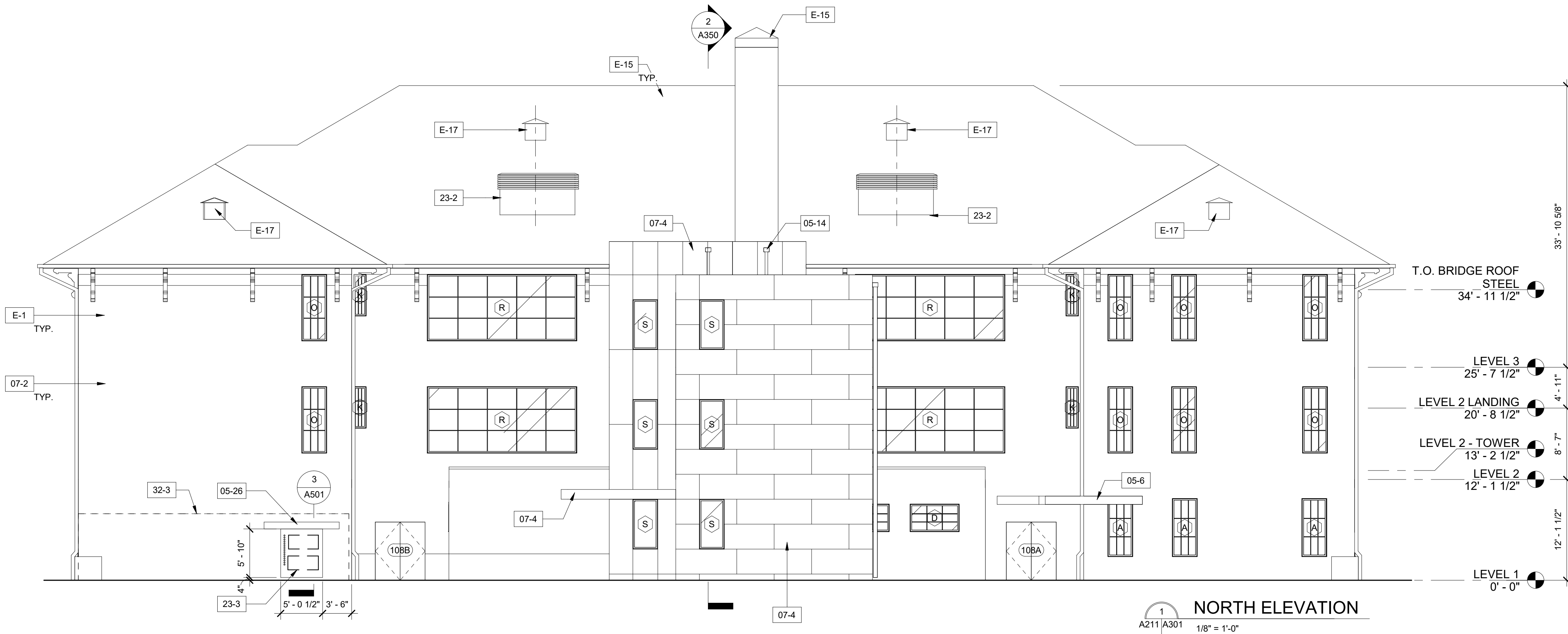
EXISTING		DRAWING ISSUE	
KEYNOTE	DESCRIPTION	DATE	ISSUED FOR
E-1	EXISTING MASONRY WALL TO REMAIN	01/17/2020	PERMIT SET
E-5	EXISTING WINDOW ASSEMBLY TO BE FULLY REFURBISHED INCLUDING BUT NOT LIMITED TO, NEW WOOD MEMBERS WHERE DAMAGED AND NEW GLAZING; MATCH EXIST. PROFILES WHERE NEW MEMBERS ARE REQUIRED	02/07/2020	PERMIT - ADDENDUM 1
		02/28/2020	100% CD SET
NEW CONSTRUCTION		REVISIONS	
05-6	PRE-FAB, POST MOUNTED METAL CANOPY		
05-14	PRE-FAB METAL GUTTER, DOWNSPOUT & SCUPPER; COLOR TO MATCH ADJACENT PHENOLIC PANEL		
05-15	METAL DOWNSPOUT CLAMP; ALIGN W/ PANEL JOINTS		
05-21	METAL GUARDRAIL, PAINTED; REFER TO SECTION DETAILS		
07-2	ELASTOMERIC COATING ON EXIST. STUCCO FACADE, PATCH AND REPAIR ALL CRACKS; TYPICAL ALL ELEVATIONS U.N.O.		
07-4	SOLID PHENOLIC EXTERIOR WALL PANEL SYSTEM [07 42 00]		

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Checked By:
Sheet Name:
EXTERIOR ELEVATIONS
Sheet No:
A300



**ELEVATION
GENERAL NOTES:**

1.

KEYNOTE SCHEDULE

EXISTING	
E-1	EXISTING MASONRY WALL TO REMAIN
E-5	EXISTING WINDOW ASSEMBLY TO BE FULLY REFURBISHED INCLUDING BUT NOT LIMITED TO, NEW WOOD MEMBERS WHERE DAMAGED AND NEW GLAZING; MATCH EXIST. PROFILES WHERE NEW MEMBERS ARE REQUIRED
E-10	EXISTING CHIMNEY STACK TO REMAIN
E-15	EXIST. CLAY TILE ROOF TO REMAIN; RE: BALANCE OF DWGS FOR NEW PENETRATIONS
E-17	EXIST. ROOF EXHAUST TO REMAIN
NEW CONSTRUCTION	
05-6	PRE-FAB, POST MOUNTED METAL CANOPY
05-14	PRE-FAB METAL GUTTER, DOWNSPOUT & SCUPPER; COLOR TO MATCH ADJACENT PHENOLIC PANEL
05-21	METAL GUARDRAIL, PAINTED; REFER TO SECTION DETAILS
05-26	STL. CHANNEL HEADER @ OPENING IN EXIST. MASONRY WALL; RE: STRUCT.
07-2	ELASTOMERIC COATING ON EXIST. STUCCO FACADE, PATCH AND REPAIR ALL CRACKS; TYPICAL ALL ELEVATIONS U.N.O.
07-4	SOLID PHENOLIC EXTERIOR WALL PANEL SYSTEM [07 42 00]
23-2	MECH. LOUVER ON SLOPED CURB; RE: MEP
23-3	DUCT AND PIPING PENETRATION; RE: MEP
32-3	NEW WOOD FENCING WITH WALKTHROUGH GATE AT MECH. YARD & VEHICULAR GATE AT TRASH YARD

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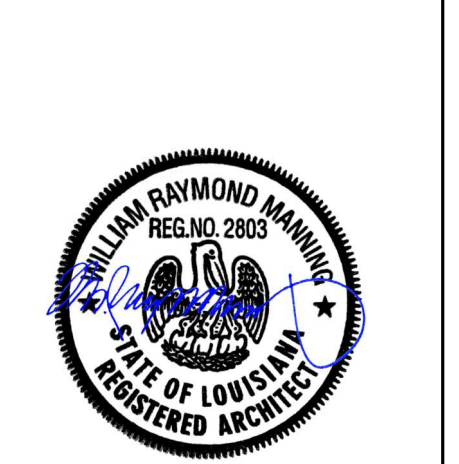
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02/07/2020	PERMIT - ADDENDUM 1
02/28/2020	100% CD SET

REVISIONS



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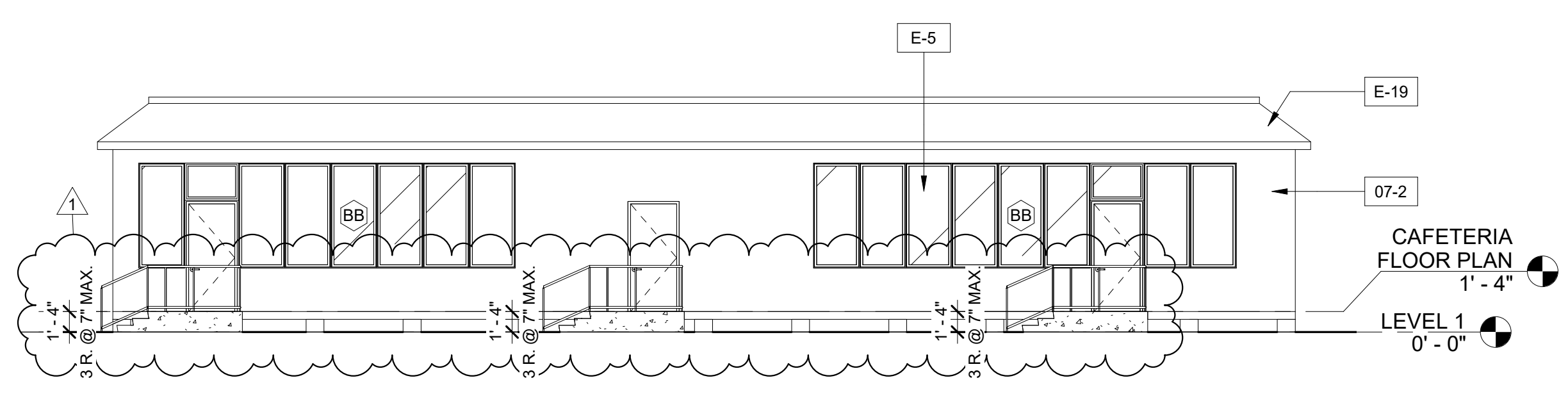
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Sheet No:

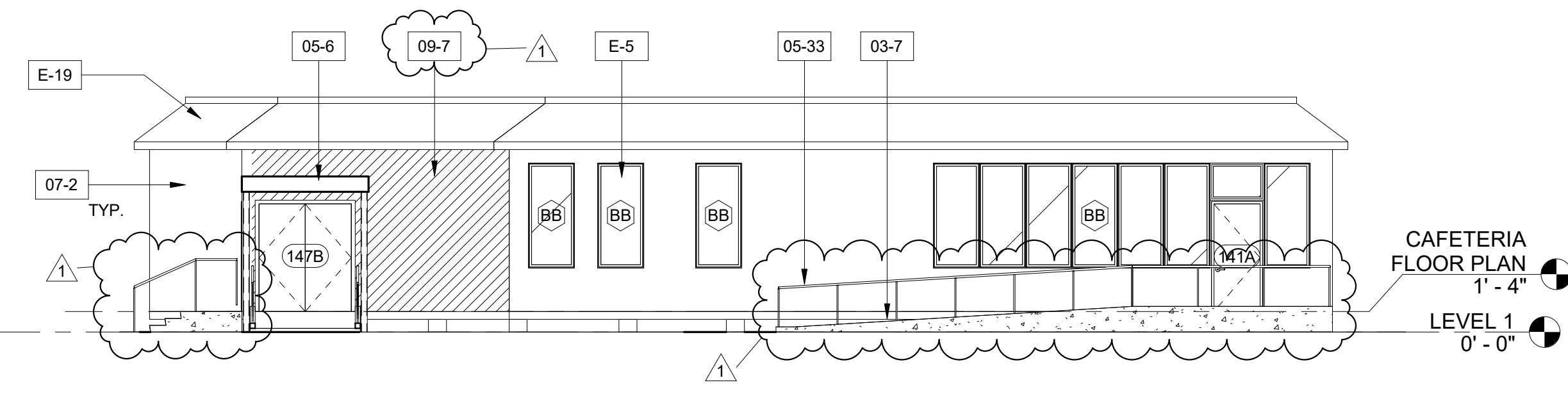
A301

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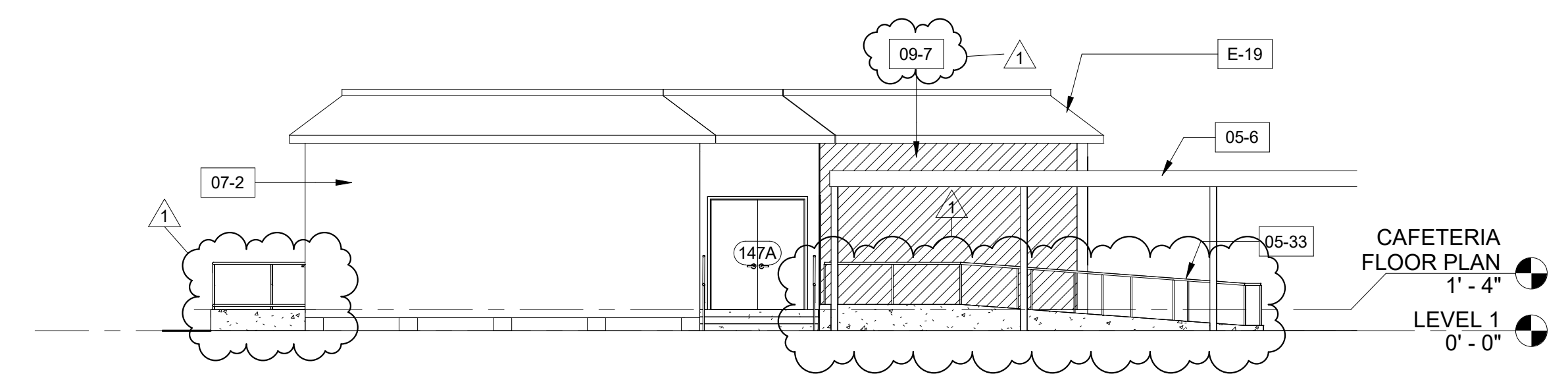
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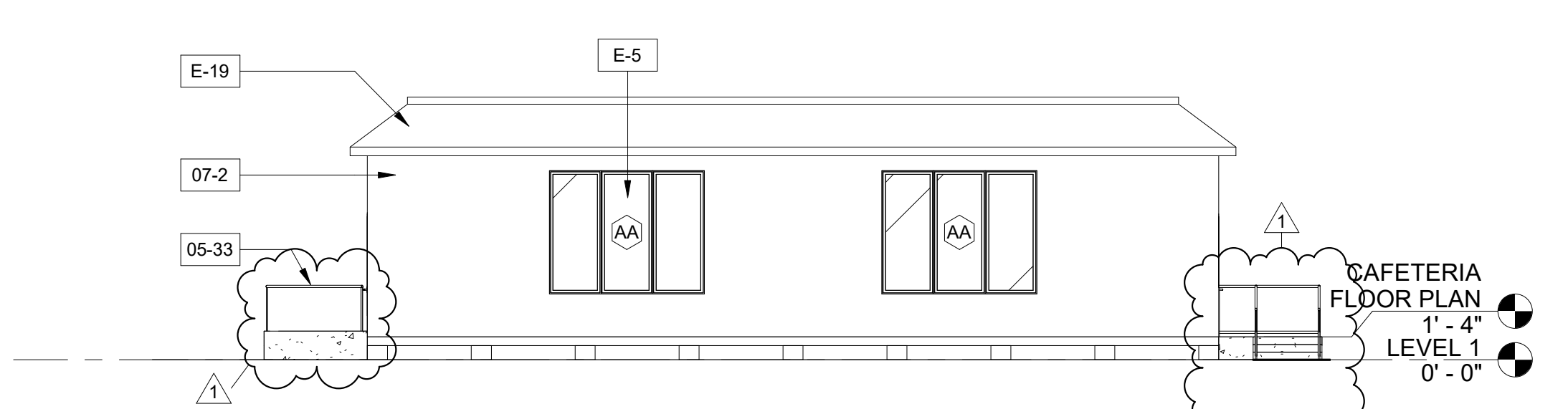
4 CAFETERIA WEST
 A214 | A303 1/8" = 1'-0"



3 CAFETERIA EAST
 A214 | A303 1/8" = 1'-0"



2 CAFETERIA SOUTH
 A214 | A303 1/8" = 1'-0"



1 CAFETERIA NORTH
 A214 | A303 1/8" = 1'-0"

KEYNOTE SCHEDULE

EXISTING		DRAWING ISSUE	
DATE	ISSUED FOR	DATE	ISSUED FOR
06/11/2019	50% DD SET	06/11/2019	50% DD SET
10/14/2019	90% DD SET	10/14/2019	90% DD SET
01/17/2020	PERMIT SET	01/17/2020	PERMIT SET
02/07/2020	PERMIT - ADDENDUM 1	02/07/2020	PERMIT - ADDENDUM 1

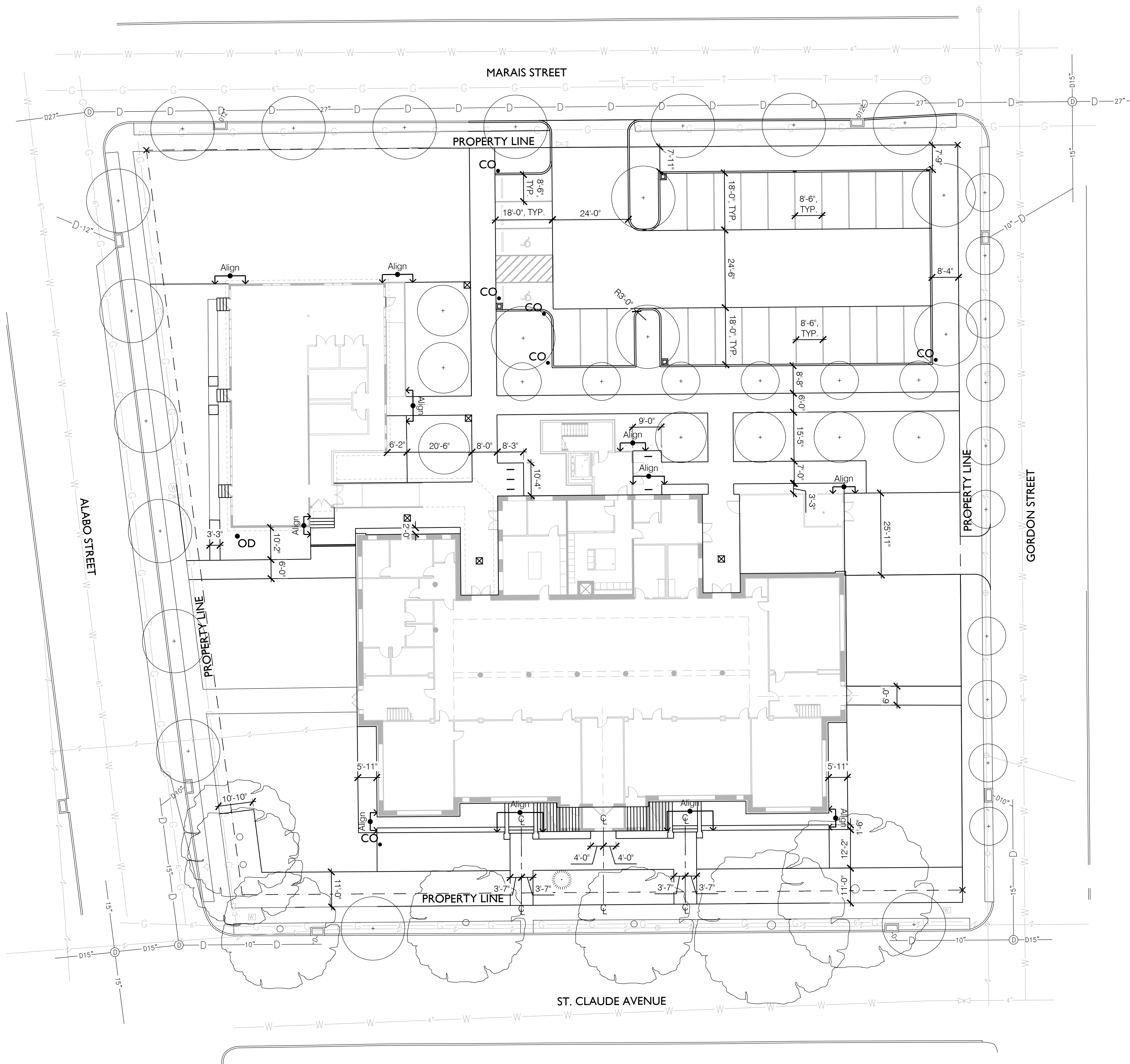
REVISIONS		
NO.	DESCRIPTION	DATE
1	ASI001	05/05/2020

NEW CONSTRUCTION	
03-7	CONCRETE CURB EDGE PROTECTION; RE: STRUCT.
05-6	PRE-FAB, POST MOUNTED METAL CANOPY
05-33	1-1/2" DIA. POST MTD. PAINTED METAL HANDRAIL
07-2	ELASTOMERIC COATING ON EXIST. STUCCO FACADE, PATCH AND REPAIR ALL CRACKS; TYPICAL ALL ELEVATIONS U.N.O.
09-7	3-COAT STUCCO ASSEMBLY ON METAL LATH ON W.P. BARRIER ON EXT. GRADE GYP. SHEATHING

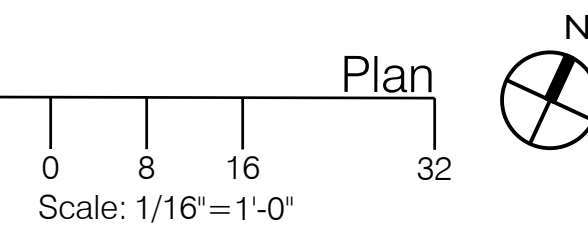


MA Project No: 16075
 Drawn By: Author
 Checked By: Checker
 Sheet Name: CAFETERIA - ELEVATIONS

Sheet No: **A303**



1 LAYOUT PLAN



LEGEND
↪ ALIGN
NOTES
I. CURB RADII WHERE DRIVEWAYS MEET THE STREET SHALL BE 4'. ALL OTHER CURB RADII SHALL BE 3'.

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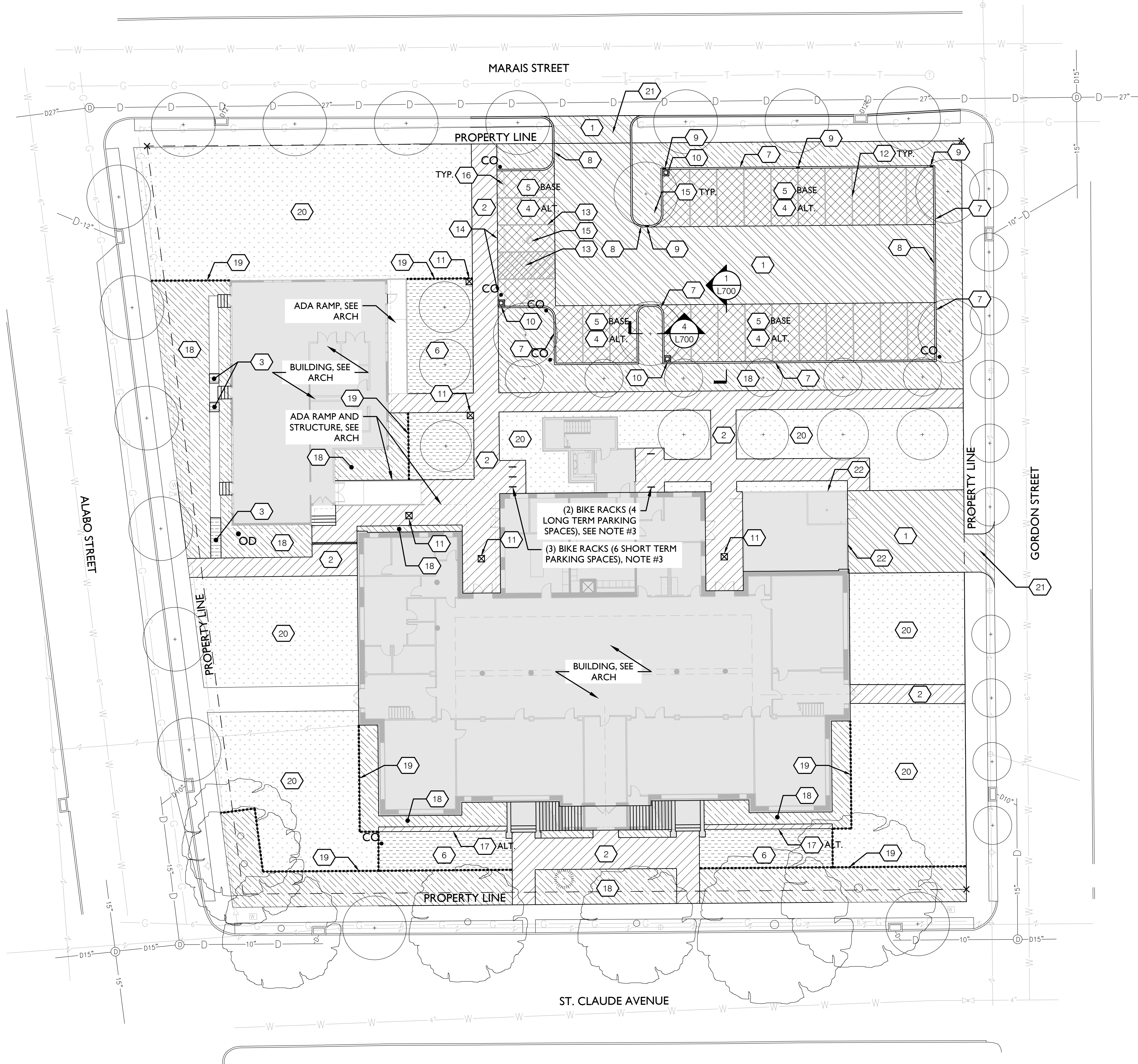
DRAWING ISSUE	
DATE	ISSUED FOR
06/11/2019	50% DD
10/14/2019	90% DD
01/24/2020	PERMIT SET
05/22/2020	SW PERMIT REVISIONS

REVISIONS	
DATE	ISSUED FOR
05/06/2020	ASI #001

05/22/20
 100% CONSTRUCTION DOCUMENTS

MA Project No: 16075
 Drawn By: SMM
 Checked By: SMM
 Sheet Name:
 LAYOUT PLAN

Sheet No:
L100

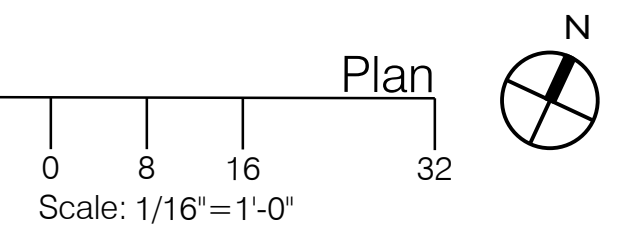


LEGEND

1 CONCRETE PAVEMENT, VEHICULAR, SEE 1/L900	12 PARKING MARKERS TO DELINEATE PARKING STALLS, COLOR SHALL BE WHITE
2 CONCRETE PAVEMENT, PEDESTRIAN, SEE 2/L900	13 PARKING MARKERS TO DELINEATE ADA PARKING STALLS AND AISLE, COLOR SHALL BE BLUE
3 CONCRETE PAVEMENT, OVER GRAVEL, SEE 3/L900	14 REQUIRED HANDICAP PARKING SIGN
4 LAND-ADD ALT #1: CONCRETE PERMEABLE PAVER, SEE 4/L900	15 REQUIRED HANDICAP PARKING SYMBOL
5 BASE BID: FLEXIBLE POROUS PAVEMENT, SEE 5/L900	16 PRE-CAST CONCRETE WHEELSTOPS
6 AGGREGATE SURFACING, SEE 6/L900 AND 7/L900	17 LAND-ADD ALT #2: CONCRETE SEATWALL, SEE 7/L900
7 STANDALONE BARRIER CURB, SEE 8/L900	18 PLANTING, SEE L500
8 DOWELED BARRIER CURB, SEE 9/L900	19 LANDSCAPE EDGING, SEE 3/L901
9 CURB CUT, SEE 10/L900	20 LAWN, SEE L500
10 24"x24" PRE-CAST HEAVY DUTY DROP INLET	21 CITY STANDARD DRIVEWAY, SEE 1/L902
11 12"x12" AREA DRAIN W/ METAL ADA GRATE	22 8" TALL WOOD FENCE, SEE ARCH
	CO. DRAIN CLEAN OUT W/ METAL LID
	OD 8" DOME OVERFLOW DRAIN

- NOTES**
- SEE L400 FOR DRAINAGE PLAN.
 - SEE L201 FOR FENCE PLAN.
 - (5) BIKE RACKS SHALL BE BOLA BY: LANDSCAPE FORMS, EMBEDDED MOUNT, STAINLESS STEEL FINISH. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
 - CONTROL JOINTS SHALL BE PLACED EVERY 10' MIN. EXPANSION JOINTS SHALL BE PLACED EVERY 30' MIN. CONTROL JOINTS AND EXPANSION JOINTS SHALL FOLLOW NEW ORLEANS CITY STANDARD DETAILS FOR CONCRETE PAVEMENT. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - FOR CPC REVIEW:
 - TOTAL SITE AREA = 60,180 SF
 - PERMEABLE OPEN SPACE = 25,202 SF
 - TOTAL SITE PERMEABILITY IS 41% PERMEABLE OPEN SPACE.

1 MATERIALS PLAN



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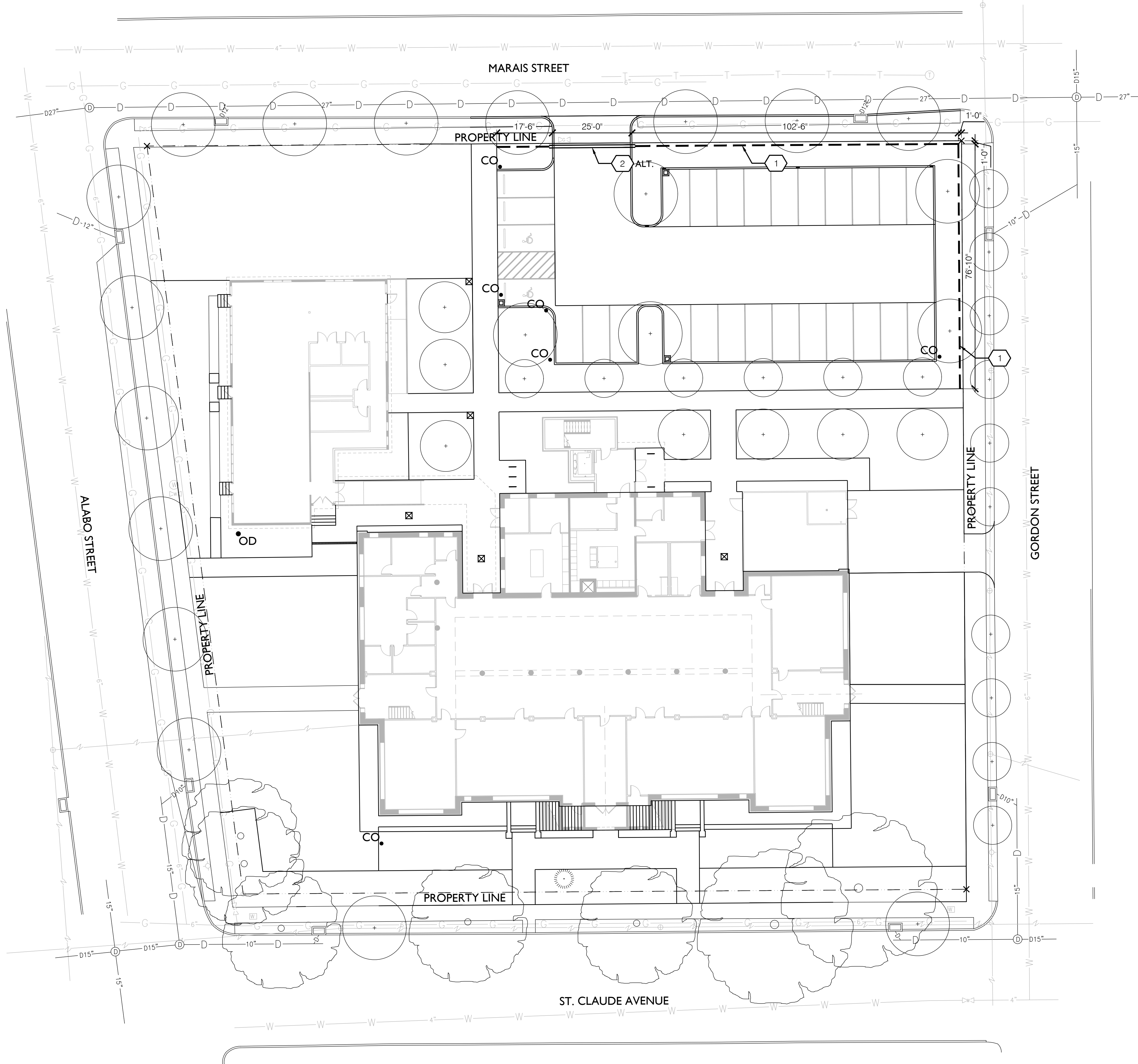
REVISIONS

DATE	ISSUED FOR
05/06/2020	ASI #001

05/22/20
 100% CONSTRUCTION DOCUMENTS

MA Project No: 16075
 Drawn By: SMM
 Checked By: SMM
 Sheet Name: MATERIALS PLAN

Sheet No: **L200**



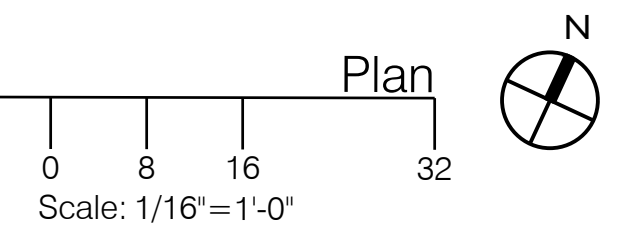
LEGEND

1	4' TALL METAL FENCE, TYP. SEE 3/L700
2	LAND-ADD ALT #3: 4' TALL AUTOMATIC SLIDING GATE TO MATCH METAL FENCE

NOTES

- NO GAP IN FENCE SHALL BE GREATER THAN 4".
- FENCE SHALL BE OFFSET 1'-0" FROM PROPERTY LINE.

1 FENCE PLAN



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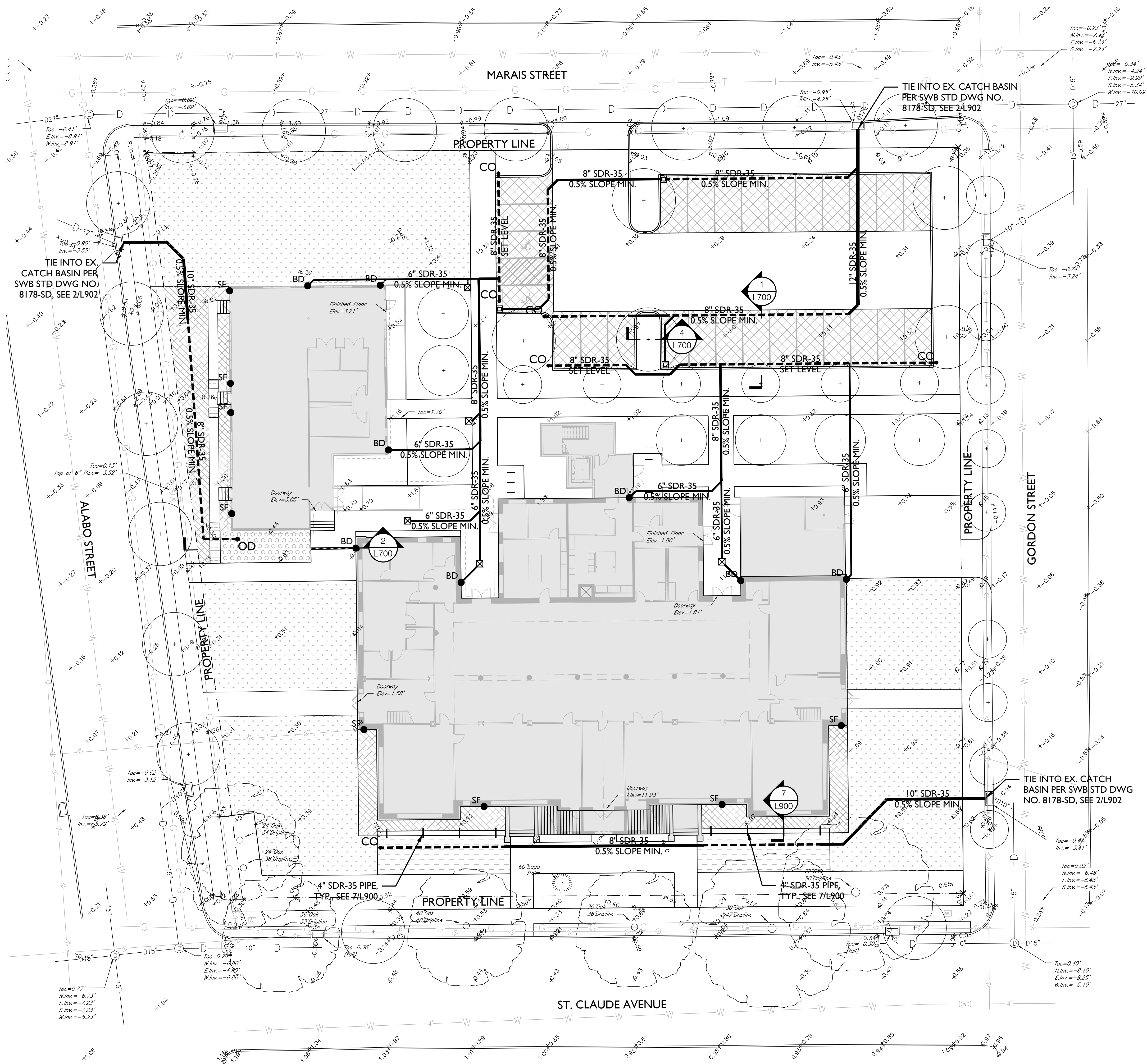
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 FENCE PLAN

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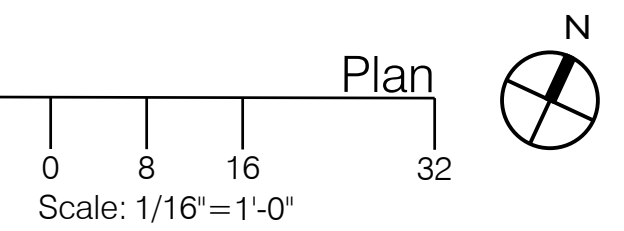


LEGEND

	ALT: BMP - CONCRETE PERMEABLE PAVERS, SEE 4/L900		24"x24" HEAVY DUTY PRE-CAST DROP INLET
	BMP - FLEXIBLE POROUS PAVEMENT, SEE 5/L900		12"x12" AREA DRAIN W/ METAL ADA GRATE
	BMP - BIOSWALE, SEE 2/L590		8" DOME OVERFLOW DRAIN
	BMP - BIO-RETENTION BED, SEE 1/L901		DRAIN CLEANOUT W/ METAL LID
	BMP - GRAVEL STORAGE UNDER DECOMPOSED GRANITE, SEE 7/L900		CURB CUT, SEE 10/L900
	BMP - CONCRETE PAVEMENT, PED. OVER GRAVEL STORAGE, SEE 3/L900		BOOTED DOWNSPOUT, SEE NOTE #1
	BMP - BIO-RETENTION UNDER LAWN, SEE 3/L590		DOWNSPOUT TO SURFACE FLOW
	SOLID DRAIN LINE, SIZE AND TYPE VARIES		
	PERFORATED DRAIN LINE, SIZE AND TYPE VARIES		

- NOTES**
- ALL BOOTED DOWNSPOUTS SHALL HAVE A DOWNSPOUT LEAF CATCHER WHICH SHALL ACT AS AN EMERGENCY OVERFLOW, SEE 5/L901.
 - SUBGRADE SHALL SLOPE AT 0.5% MINIMUM TO UNDERDRAINS.
 - PERFORATED PIPE SHALL CONFORM TO ASTM C2729 AND HAVE 3 PERFORATION ROWS WITH 60" - 60" CIRCUMFERENTIAL HOLE SPACING, 5,000 IN. LONGITUDINAL HOLE SPACING, AND .5000 IN. HOLE DIAMETER.
 - BMPs, PIPES, AND ENTIRE STORMWATER SYSTEM SHALL BE INSPECTED, FULLY CLEANED, AND FLUSHED OUT OF ALL DEBRIS AND SEDIMENT PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY AS REQUIRED BY CITY.
 - PERMEABILITY SHALL CONFORM TO STANDARDS SET FORTH IN ANSI C1701. ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

1 DRAINAGE PLAN



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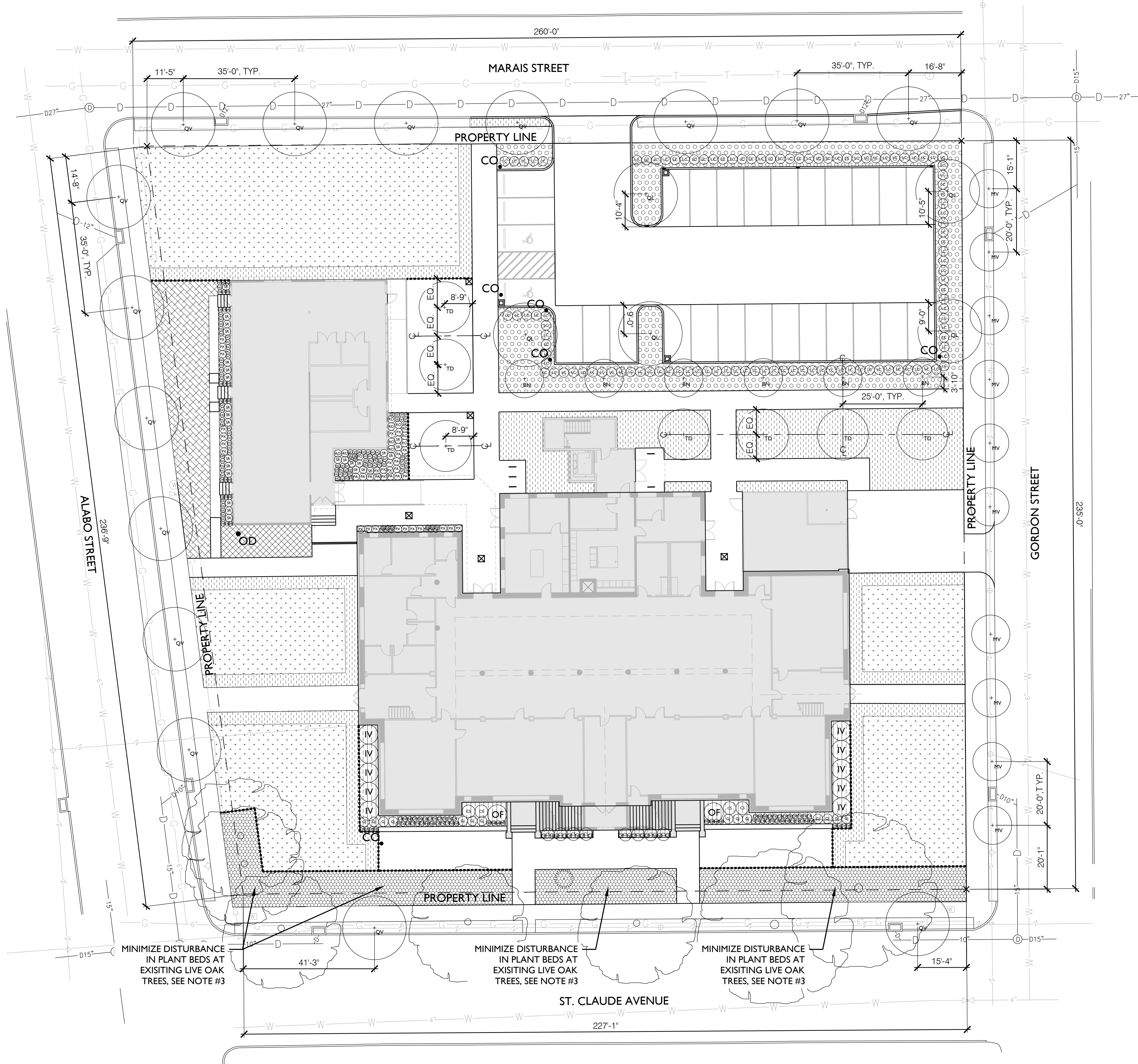
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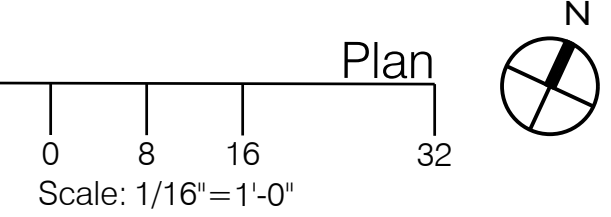
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L301



1 PLANTING PLAN



LEGEND

- EXISTING TREE
- PROPOSED TREES

NOTES

1. SEE L540 FOR PLANT SCHEDULE.
2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL OF GRADING WITHIN ALL GREEN INFRASTRUCTURE AREAS PRIOR TO PLANT INSTALLATION.
3. MINIMIZE DISTURBANCE IN PLANT BEDS UNDER EXISTING LIVE OAK TREES. EXISTING SOIL SHALL REMAIN, NO NEW SOIL SHALL BE ADDED, ALL WORK AND PLANTING UNDER TREE DRIPLINES SHALL BE DONE BY HAND.

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 PLANTING PLAN

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L500

PLANT SCHEDULE (32 93 00)						
TREES						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
BN	DURAHEAT RIVER BIRCH	<i>Betula nigra</i> 'BNMTF'	6	10'-12' TALL	REF PLAN	MULTISTEM; 2-3 TRUNKS, STEMS SHALL ORIGINATE FROM ONE ROOTBALL
MV	SWEETBAY MAGNOLIA	<i>Magnolia virginiana</i>	10	3" CAL.	REF PLAN	SINGLESTEM, MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
QL	OVERCUP OAK	<i>Quercus lyrata</i>	5	3" CAL.	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
QV	SOUTHERN LIVE OAK	<i>Quercus virginiana</i>	15	3" CAL.	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
TD	BALD CYPRESS	<i>Taxodium distichum</i>	7	3" CAL.	REF PLAN	MUST HAVE STRONG CENTRAL LEADER, MIN. CROTCH HEIGHT 6'-0"
SHRUBS AND GROUNDCOVER						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
CS	CAMELLIA SASANQUA 'YULETIDE'	<i>Camellia sasanqua</i> 'Yuletide'	12	7 GAL	36" O.C.	48" TALL MIN.
CR	AMERICAN SWAMP LILY	<i>Crinum americanum</i>	34	1 GAL	18" O.C.	
DB	AFRICAN IRIS	<i>Dietes bicolor</i>	29	1 GAL	18" O.C.	
GJ	JUBILATION GARDENIA	<i>Gardenia jasminoides</i> 'Jubilation'	14	3 GAL	36" O.C.	24" TALL MIN.
HC	BUTTERFLY GINGER	<i>Hedychium coronarium</i>	44	1 GAL	18" O.C.	24" TALL MIN.
IV	YAUPON	<i>Ilex vomitoria</i>	10	15 GAL	72" O.C.	48" TALL MIN.
LC	LOROPETALUM	<i>Loropetalum chinense</i>	112	3 GAL	36" O.C.	24" TALL MIN.
NG	WALKING IRIS	<i>Neomarica gracilis</i>	29	1 GAL	18" O.C.	
NB	MACHO FERN	<i>Nephrolepis biserrata</i>	24	1 GAL	18" O.C.	
OF	SWEET OLIVE	<i>Osmanthus fragrans</i>	2	15 GAL	REF PLAN	48" TALL MIN.
PX	XANADU PHILODENDRON	<i>Philodendron xanadu</i>	24	3 GAL	28" O.C.	
PA	PLUMBAGO	<i>Plumbago auriculata</i>	11	3 GAL	28" O.C.	
RO	COMMON ROSEMARY	<i>Rosmarinus officinalis</i>	11	3 GAL	28" O.C.	24" TALL MIN.
SF	MEALY BLUE SAGE	<i>Salvia farinacea</i>	23	1 GAL	18" O.C.	
SR	DWARF BIRD OF PARADISE	<i>Strelitzia reginae</i> 'Dwarf'	27	3 GAL	28" O.C.	
TK	SOUTHERN SHIELD FERN	<i>Thelypteris kunthii</i>	28	1 GAL	18" O.C.	

SHRUBS AND GROUNDCOVER						
SYMBOL	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING	NOTES
	RAIN GARDEN MIX TYPE 1	SEE NOTES	578	1 GAL.	18" O.C.	RANDOM, TRIANGULAR SPACING: 55% <i>Muhlenbergia capillaris</i> , 15% <i>Coreopsis lanceolata</i> , 10% <i>Rudbeckia hirta</i> , 20% <i>Mondara fistulosa</i>
	RAIN GARDEN MIX TYPE 2	SEE NOTES	214	1 GAL.	15" O.C.	RANDOM, TRIANGULAR SPACING: 15% Louisiana Iris Hybrids, 15% <i>Juncus effusus</i> , 15% <i>Coreopsis lanceolata</i> , 15% <i>Rudbeckia hirta</i> , 15% <i>Mondara fistulosa</i> , 10% <i>Rudbeckia texana</i> , 15% <i>Asclepias perennis</i>
	GROUNDCOVER MIX TYPE 1	SEE NOTES	4,851	4 IN. POTS	8" O.C.	RANDOM, TRIANGULAR SPACING: 30% <i>Ardisia japonica</i> , 20% <i>Liriope spicata</i> , 10% <i>Liriope muscari</i> 'Big Blue', 20% <i>Ruellia brittoniana</i> 'Katie', 20% <i>Rumohra adiantiformis</i>
	GROUNDCOVER MIX TYPE 2	SEE NOTES	8,621	4 IN. POTS	8" O.C.	RANDOM, TRIANGULAR SPACING: 50% <i>Ardisia japonica</i> , 50% <i>Liriope spicata</i>
	CREeping LIRIOPE	<i>Liriope spicata</i>	1,017	4 IN. POTS	12" O.C.	TRIANGULAR SPACING
	LAWN - SOD	<i>Cynodon dactylon</i>	4,767 SF	SOD		
	LAWN - HYDROSEED	<i>Cynodon dactylon</i>	9,194 SF	HYDROSEED		
	3" PINE STRAW MULCH		8,790 SF			ALL PLANT BEDS AND 3' RADIUS AROUND ALL TREES

APPROVED
Public Landscape Plan
Date: 5/22/2020
By: [Signature]
Dept. of Parks & Parkways

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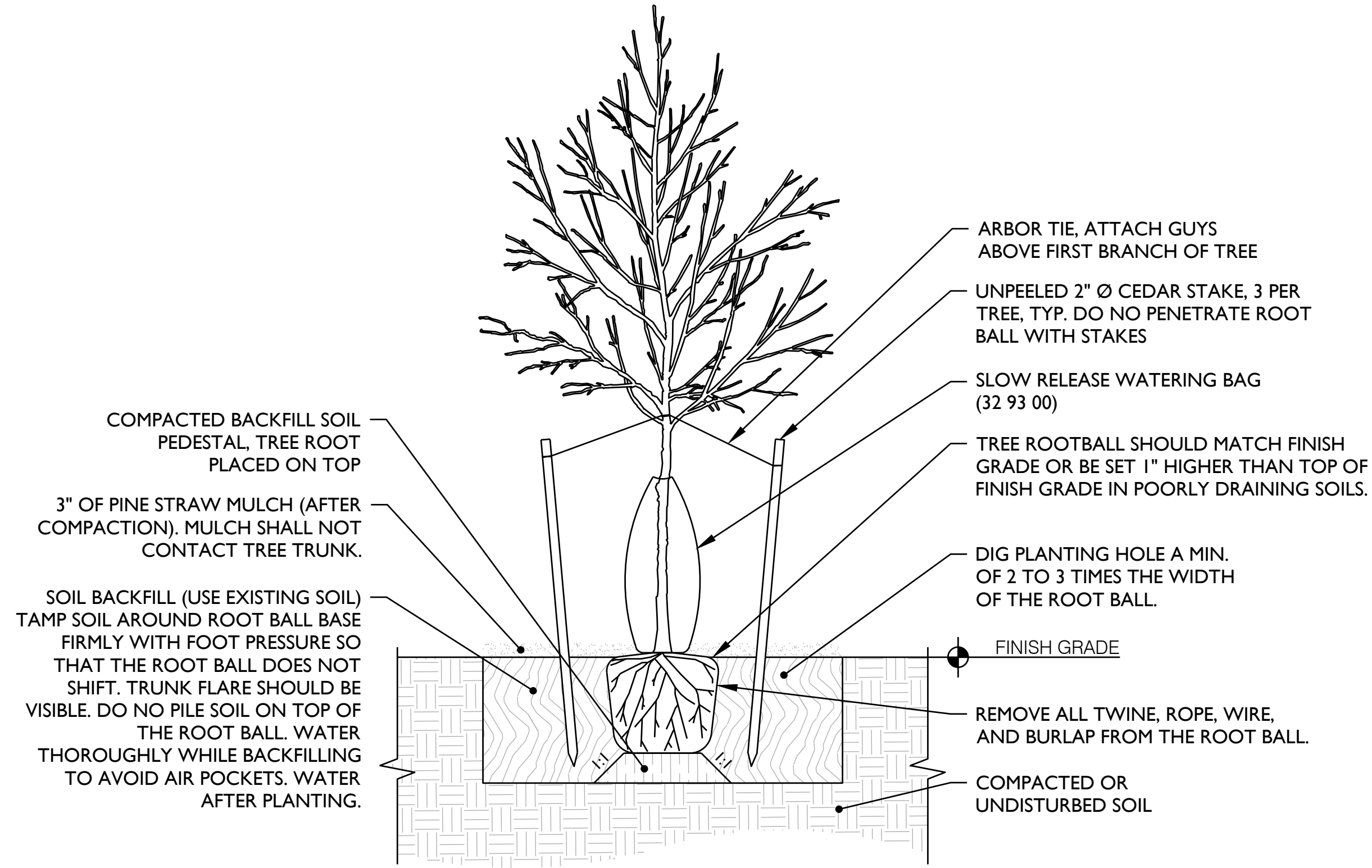
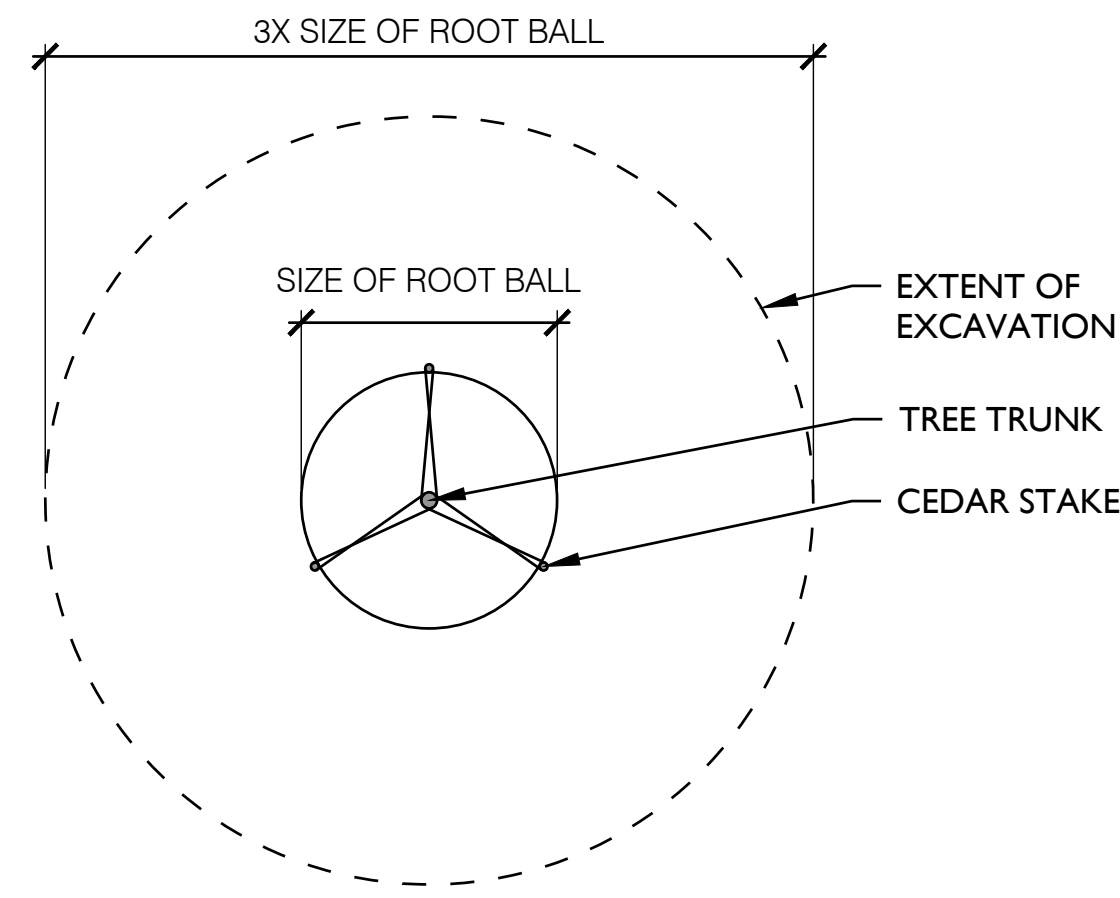
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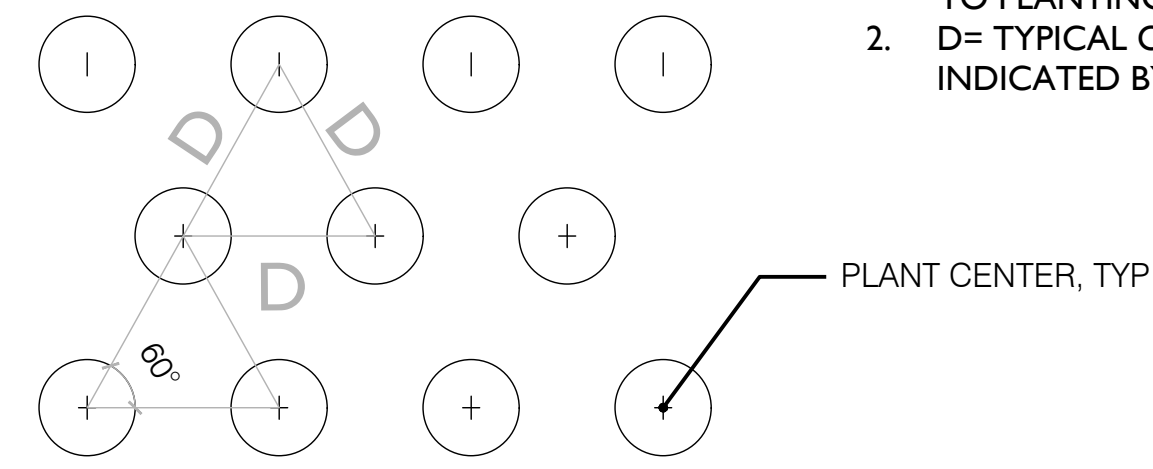
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PLANT SCHEDULE

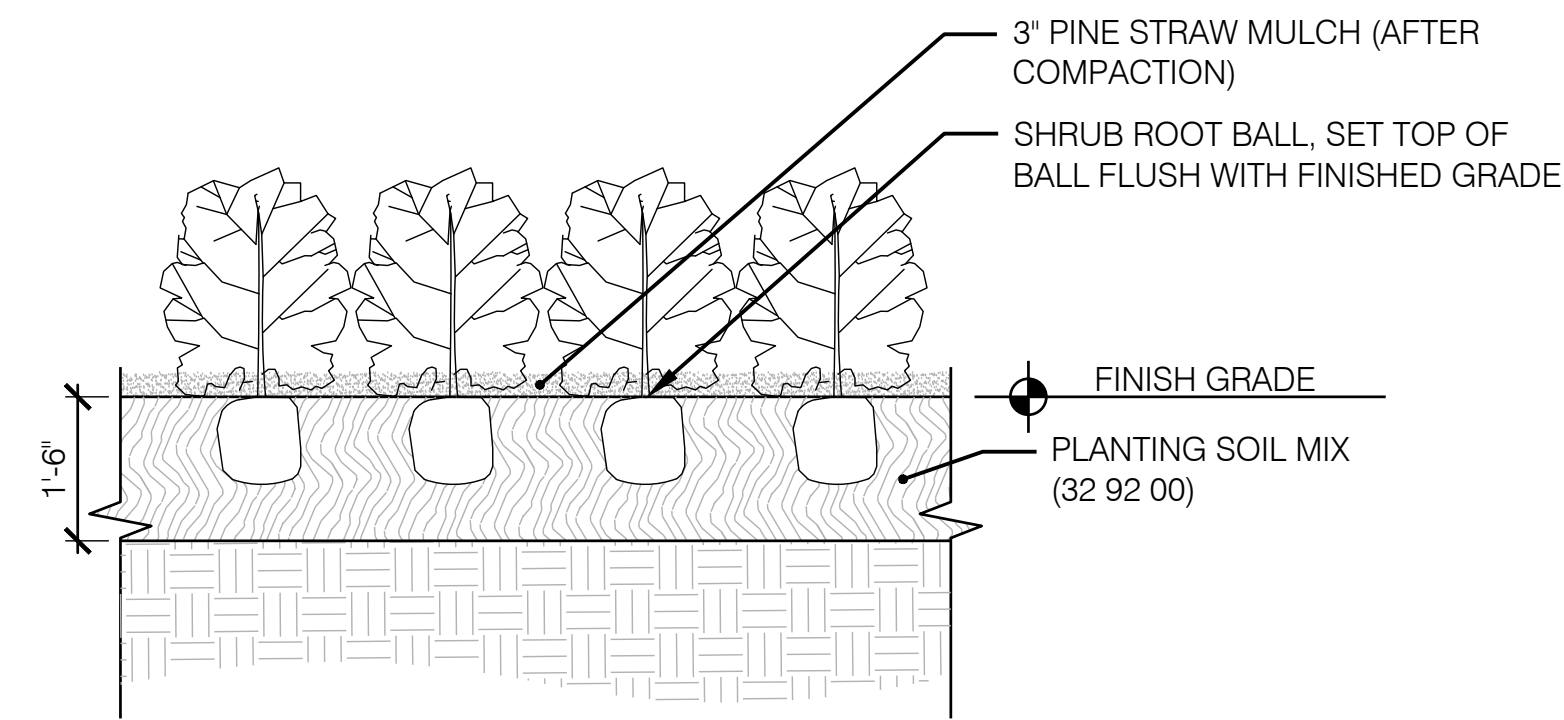
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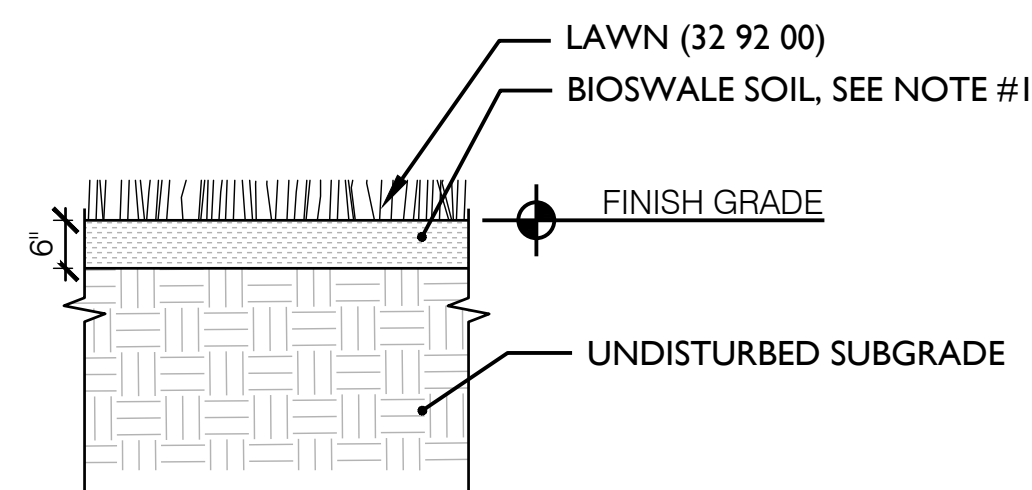
1 TREE PLANTING, TYP. 1/2" = 1'-0" DETAIL



PLAN VIEW



2 PLANT BED, TYP. 1/2" = 1'-0" DETAIL



3 LAWN, TYP. 1/2" = 1'-0" DETAIL

NOTES

- BIOSWALE SOIL (32 93 00) CONSISTS OF:
40% MANUFACTURED TOPSOIL
20% BLACK BARK MULCH
40% COURSE SAND
WEIGHT OF 8-8-8 SLOW-RELEASE FERTILIZER PER 1,000 SF: 8 LBS.
- PERMEABILITY SHALL CONFORM TO STANDARDS SET FORTH IN ANSI C1701. ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

NOTES:

- REMOVE ALL WIRE, PLASTIC, TAGS AND/OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING
- D= TYPICAL ON CENTER (O.C) SPACE AS INDICATED BY THE PLANT SCHEDULE

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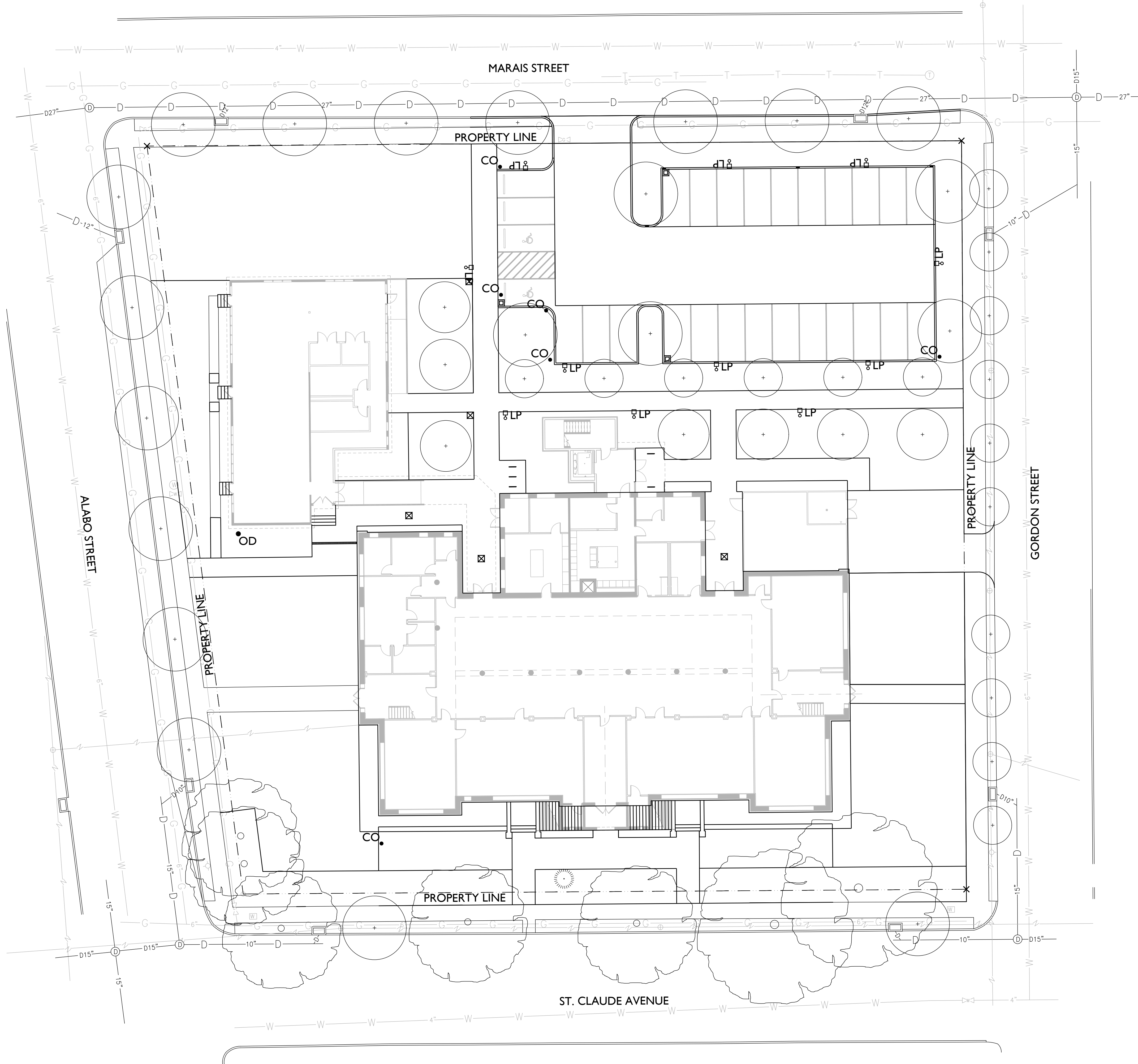
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L590



LEGEND

⊗ LP LAND-ADD ALT #6: LIGHT POLE, SEE ELECTRICAL

NOTES

I. SEE ELECTRICAL FOR DETAILS.

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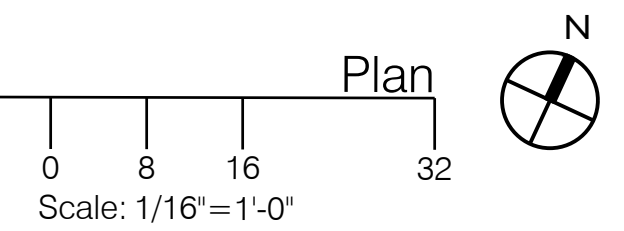
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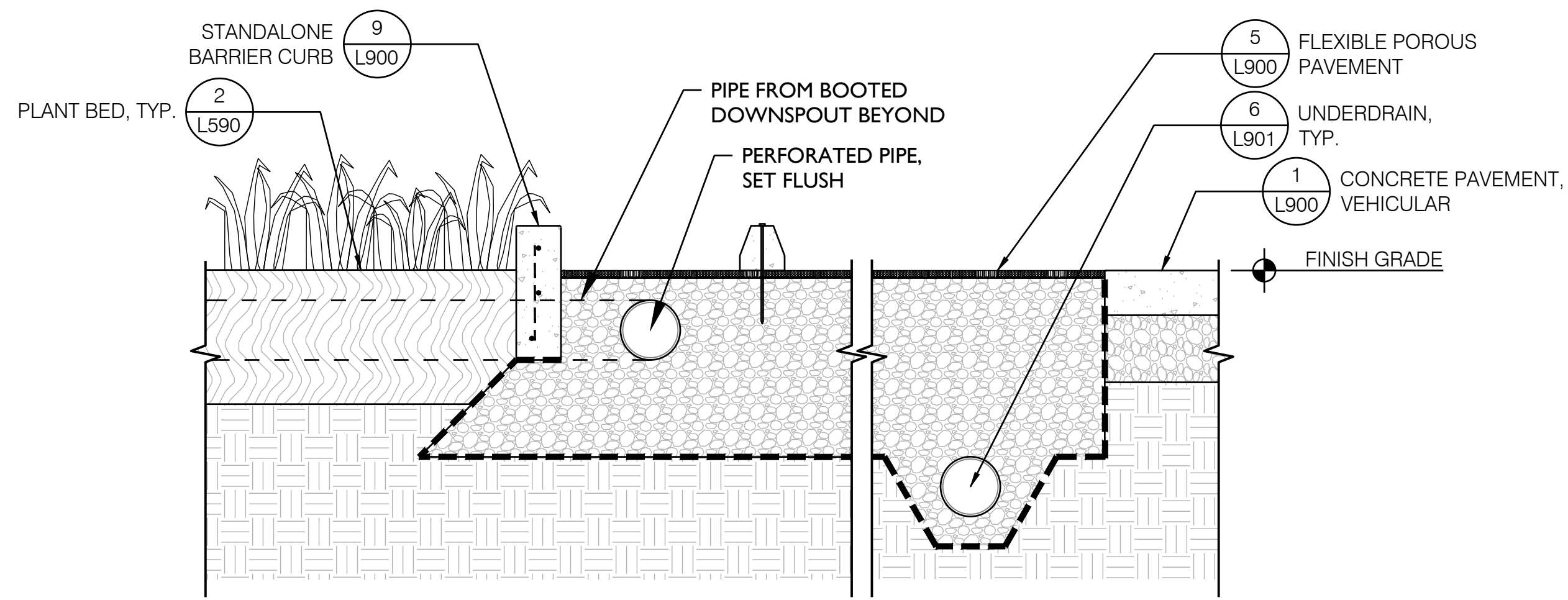
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 LIGHTING PLAN -
 LAND-ADD ALT #6

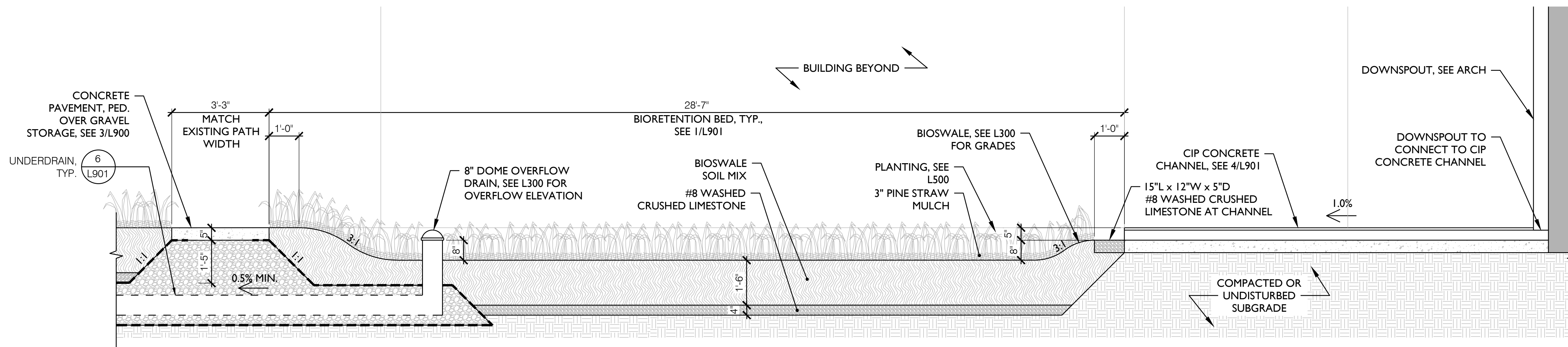
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1 LIGHTING PLAN - LAND-ADD ALT #6





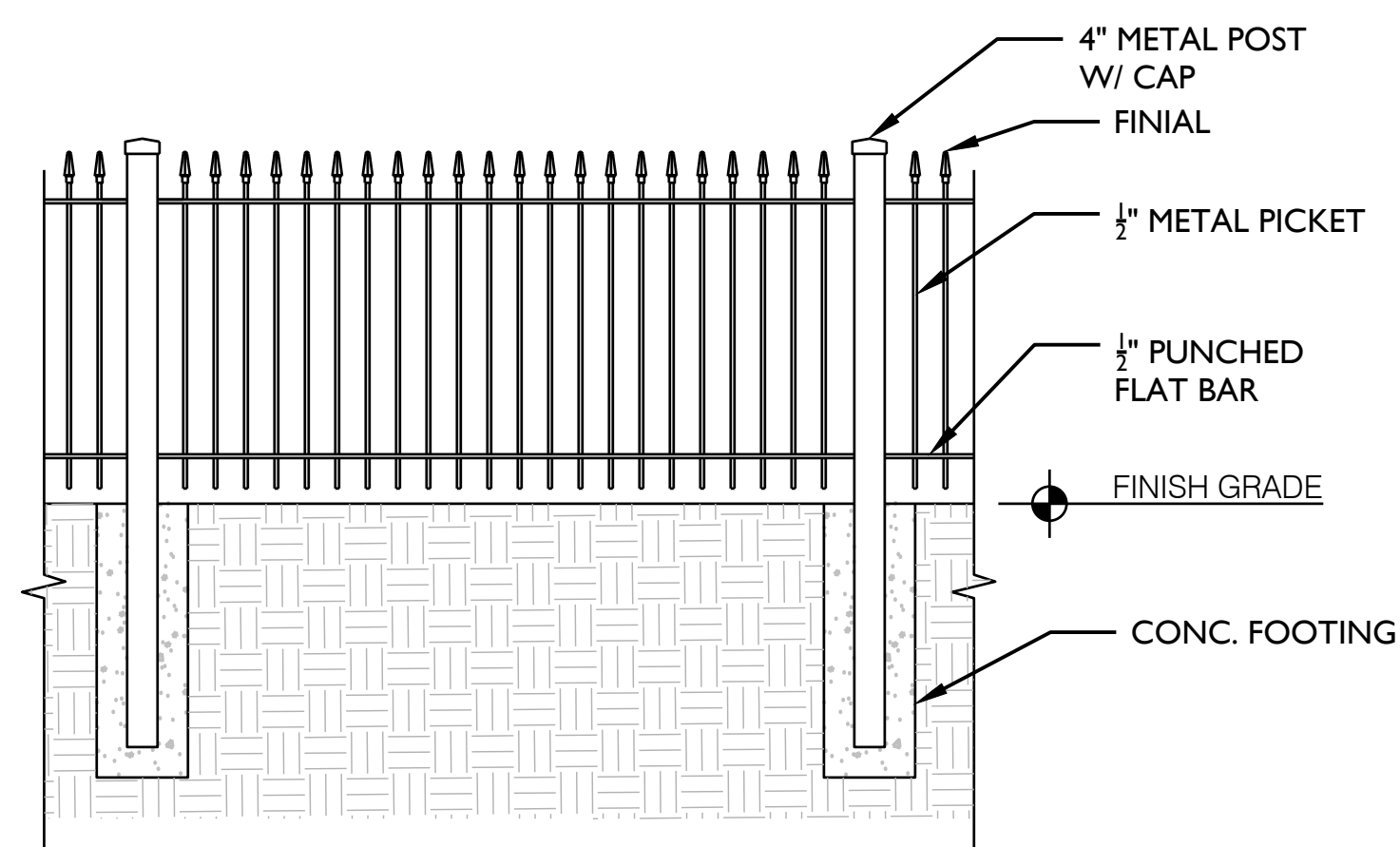
1 SECTION THROUGH FLEXIBLE POROUS PAVEMENT AT PLANT BED
3/4" = 1'-0" SECTION



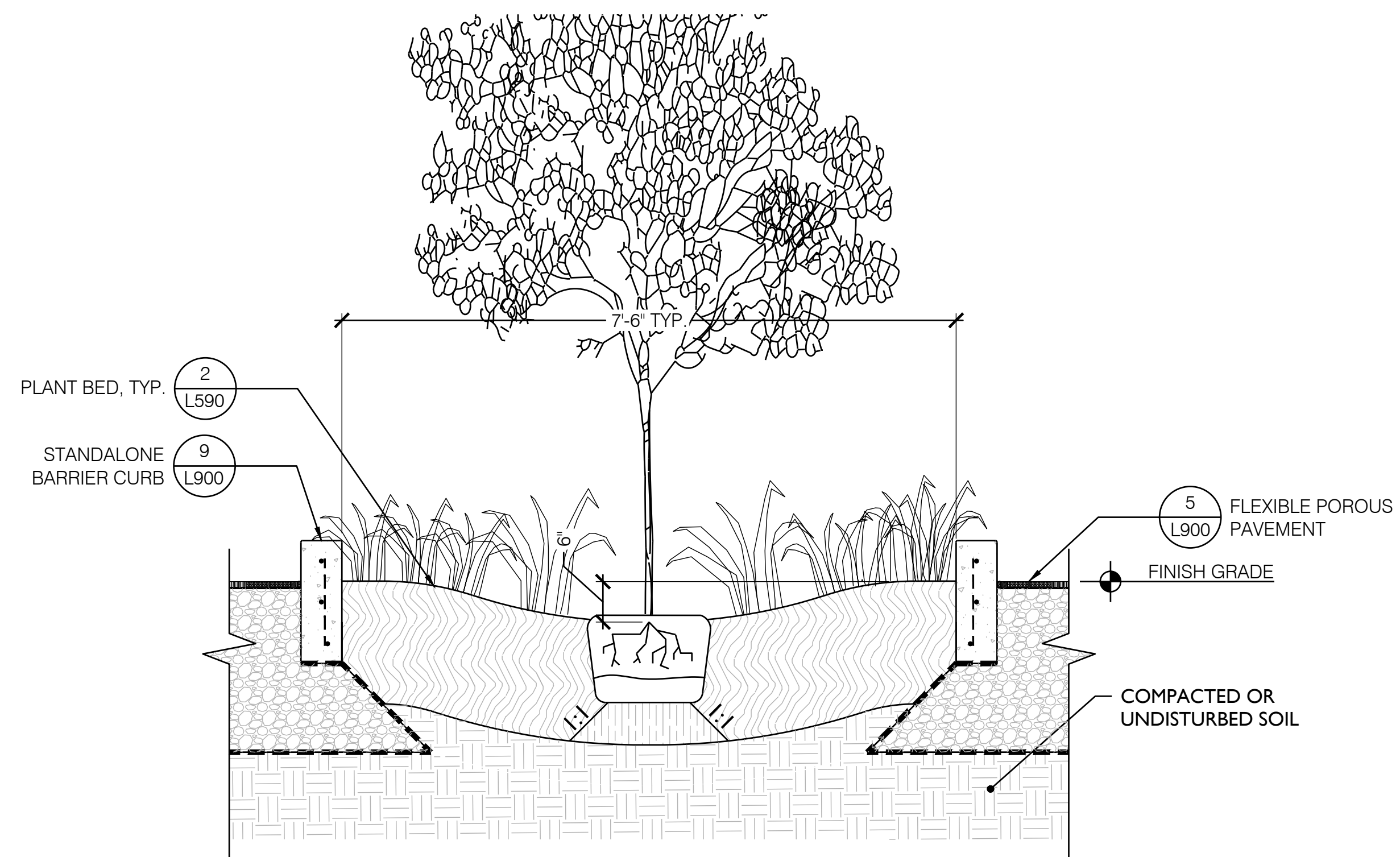
2 BIOSWALE AT CONCRETE PAVEMENT PEDESTRIAN OVER GRAVEL STORAGE
1/2" = 1'-0" SECTION

NOTES

- BIOSWALE SOIL (32 93 00) CONSISTS OF:
40% MANUFACTURED TOPSOIL
20% BLACK BARK MULCH
40% COURSE SAND
WEIGHT OF 8-8 SLOW-RELEASE FERTILIZER PER 1,000 SF: 8 LBS.
- PERMEABILITY SHALL CONFORM TO STANDARDS SET FORTH IN ANSI C1701. ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.



3 4' METAL FENCE, TYP.
1/2" = 1'-0" ELEVATION



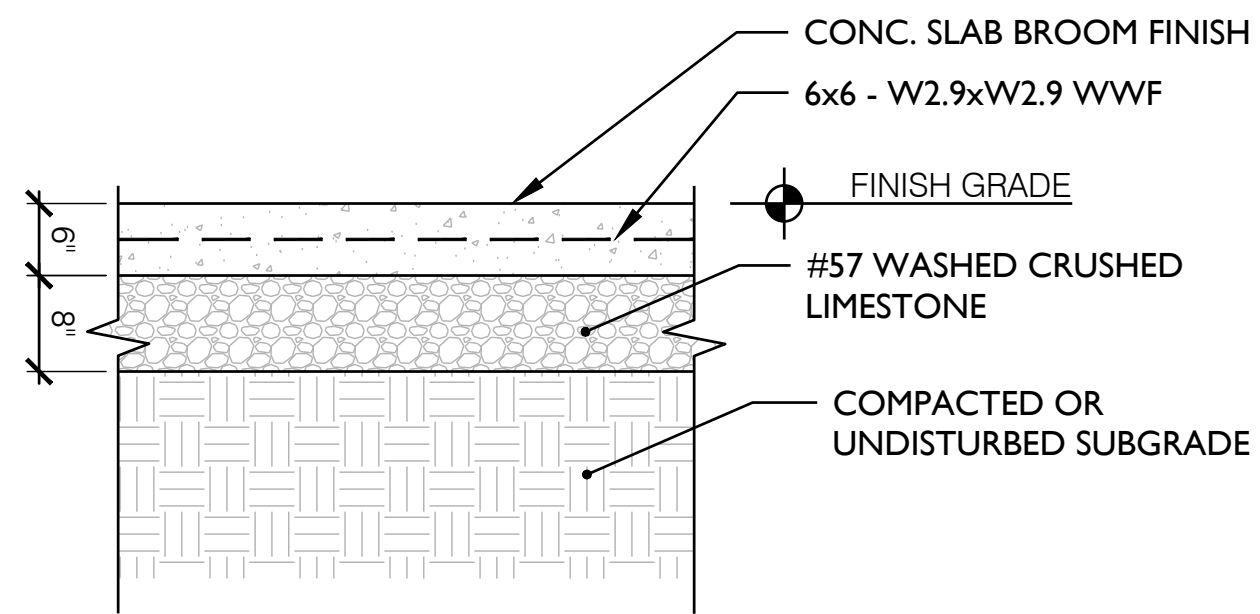
4 PARKING LOT ISLAND, TYP.
3/4" = 1'-0" ELEVATION

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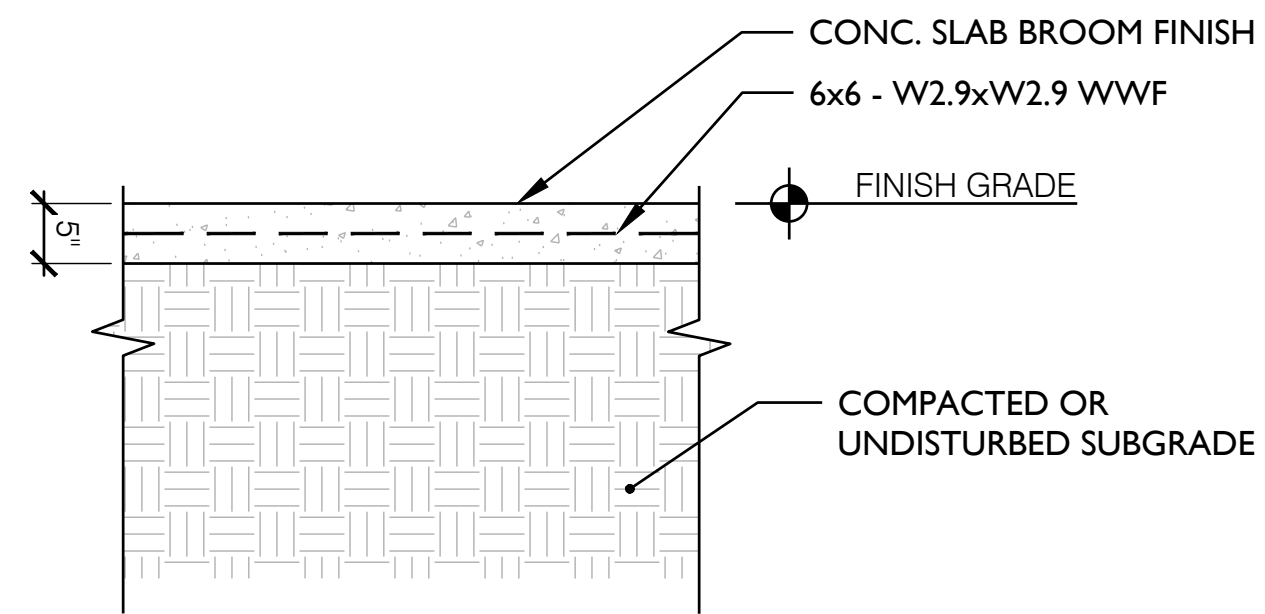
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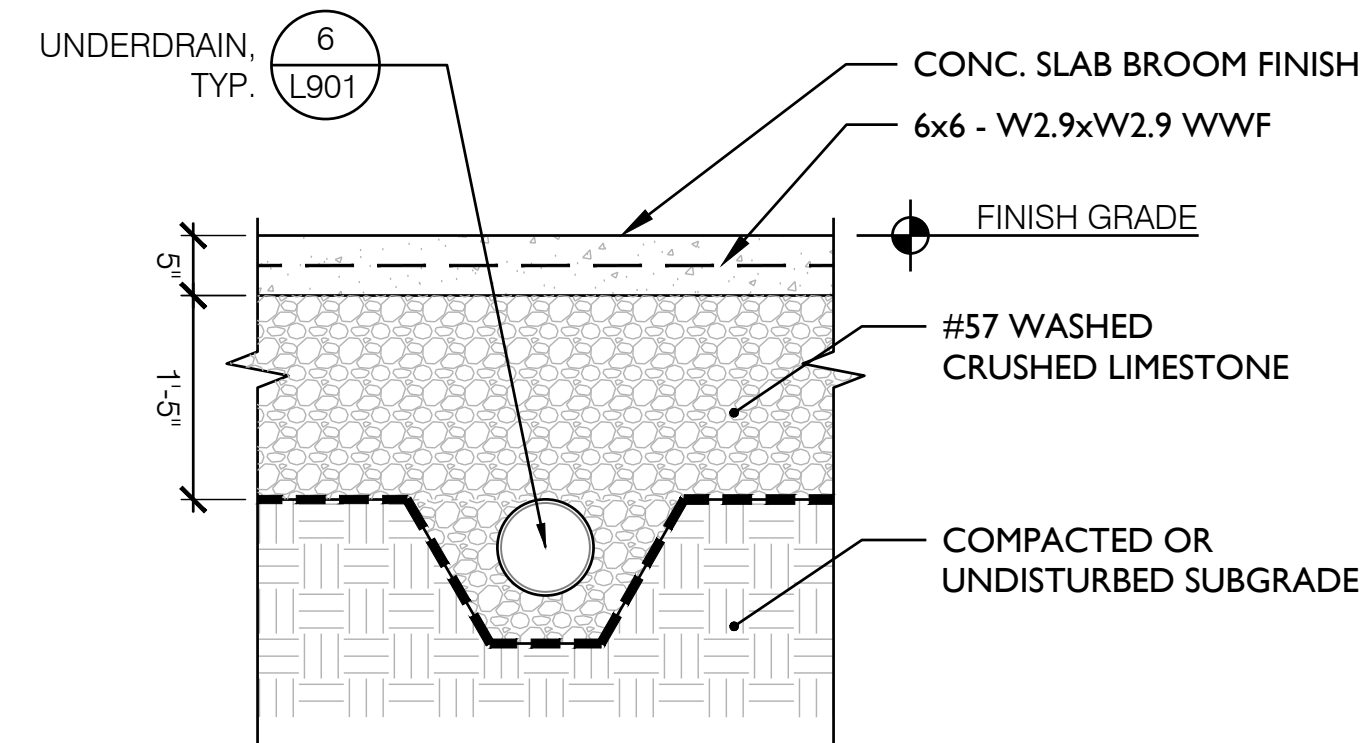
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SITE SECTIONS



1 CONCRETE PAVEMENT, VEHICULAR
3/4" = 1'-0" DETAIL



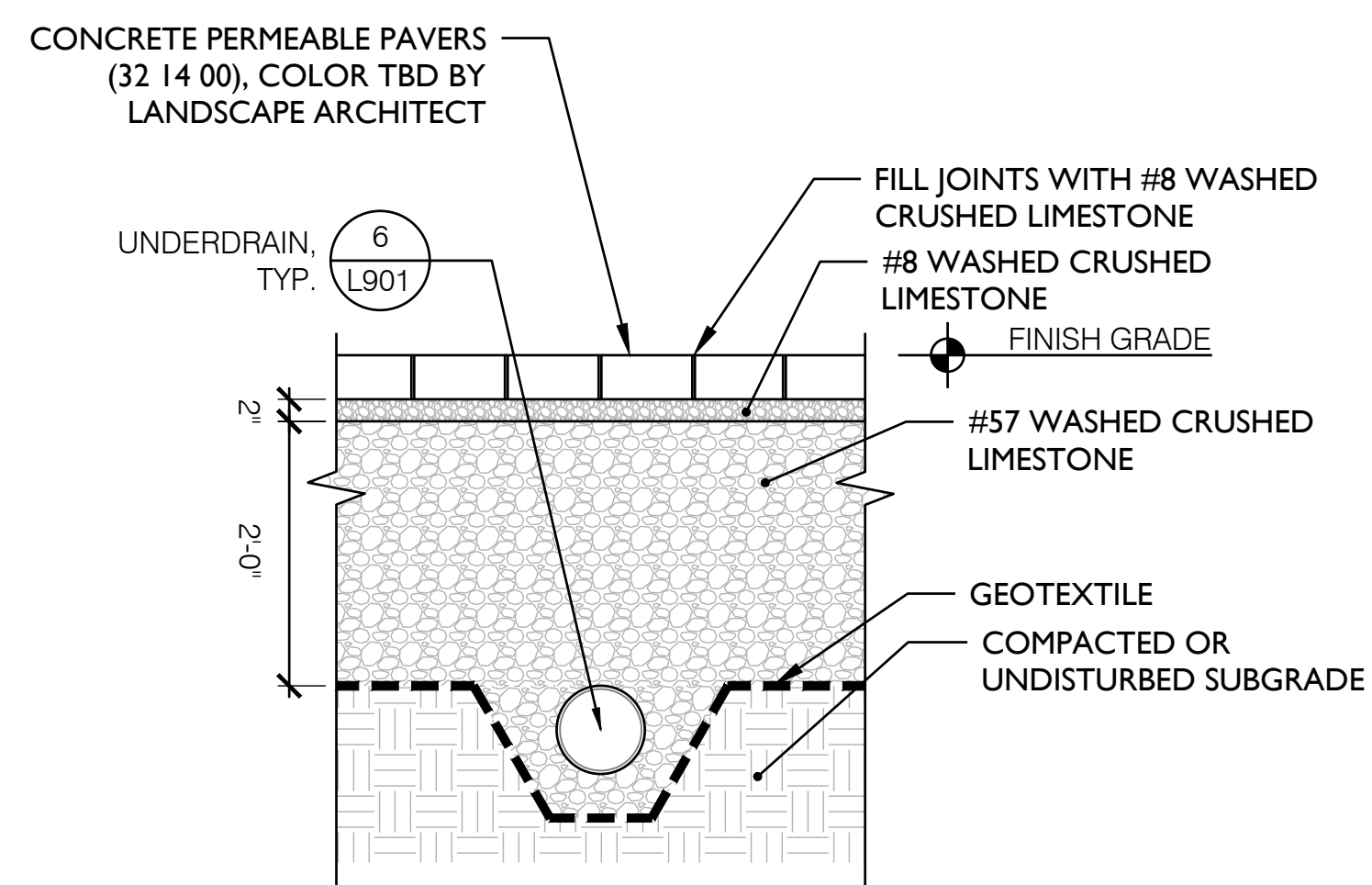
2 CONCRETE PAVEMENT, PEDESTRIAN
3/4" = 1'-0" DETAIL



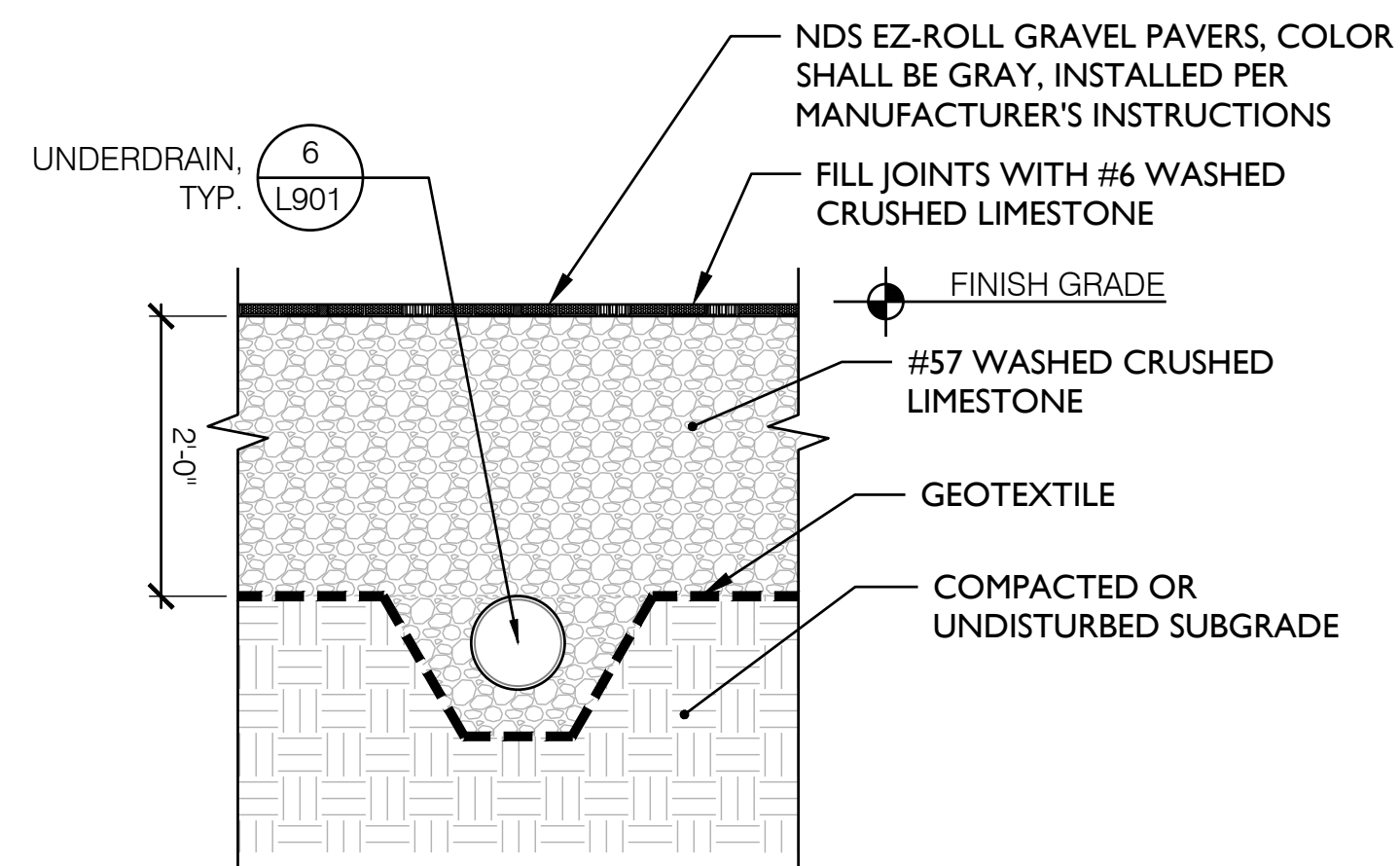
3 CONCRETE PAVEMENT, PEDESTRIAN OVER GRAVEL STORAGE
3/4" = 1'-0" DETAIL

NOTES

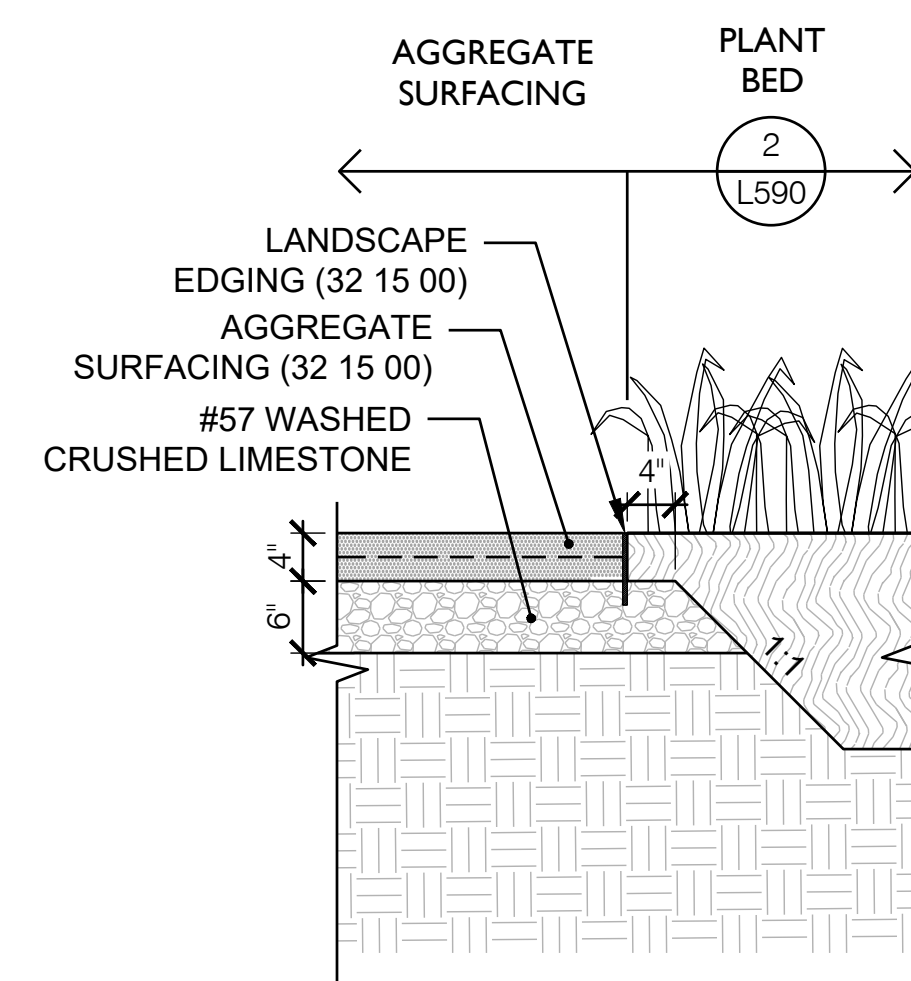
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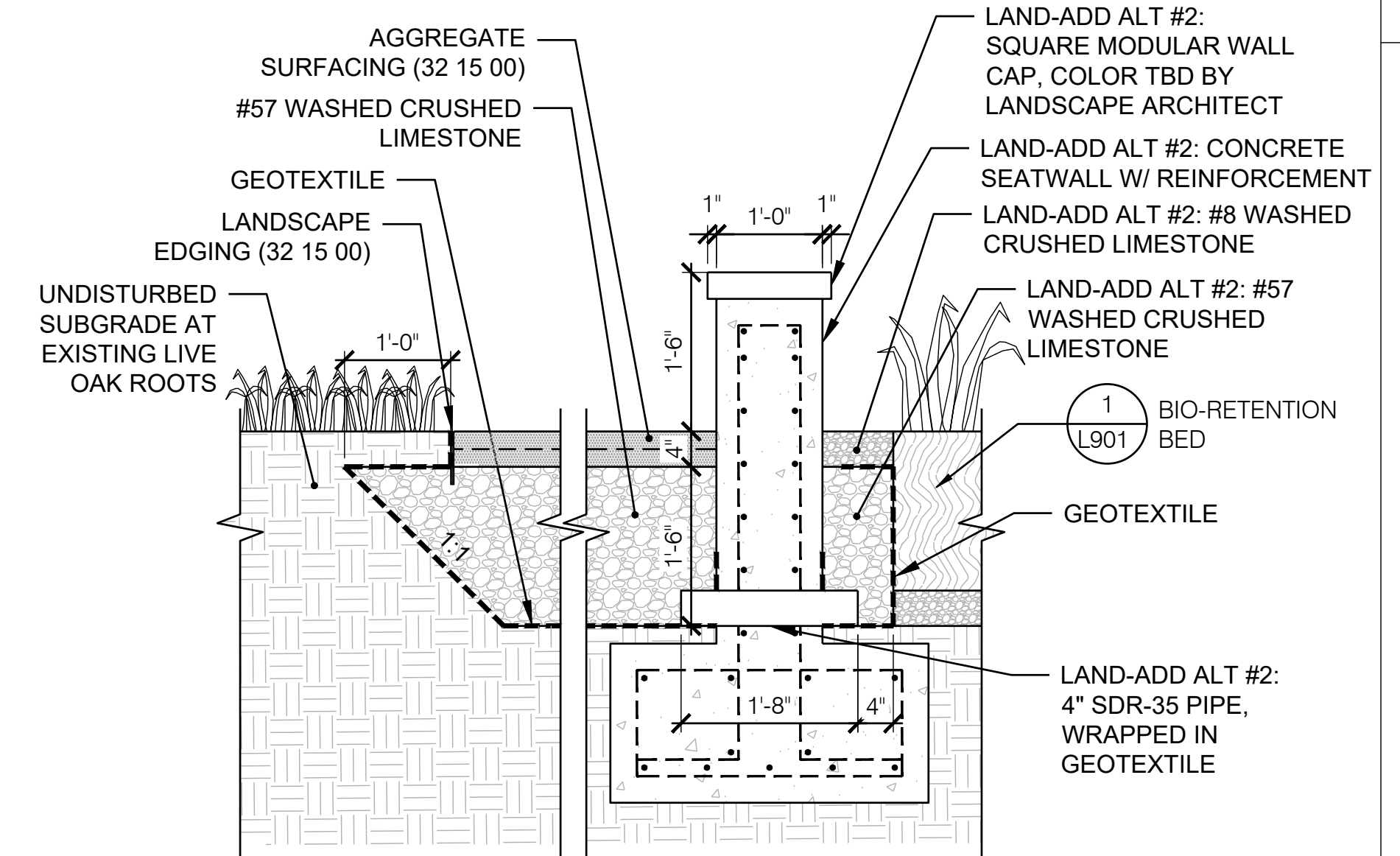
4 LAND-ADD ALT #1: CONCRETE PERMEABLE PAVERS
3/4" = 1'-0" DETAIL



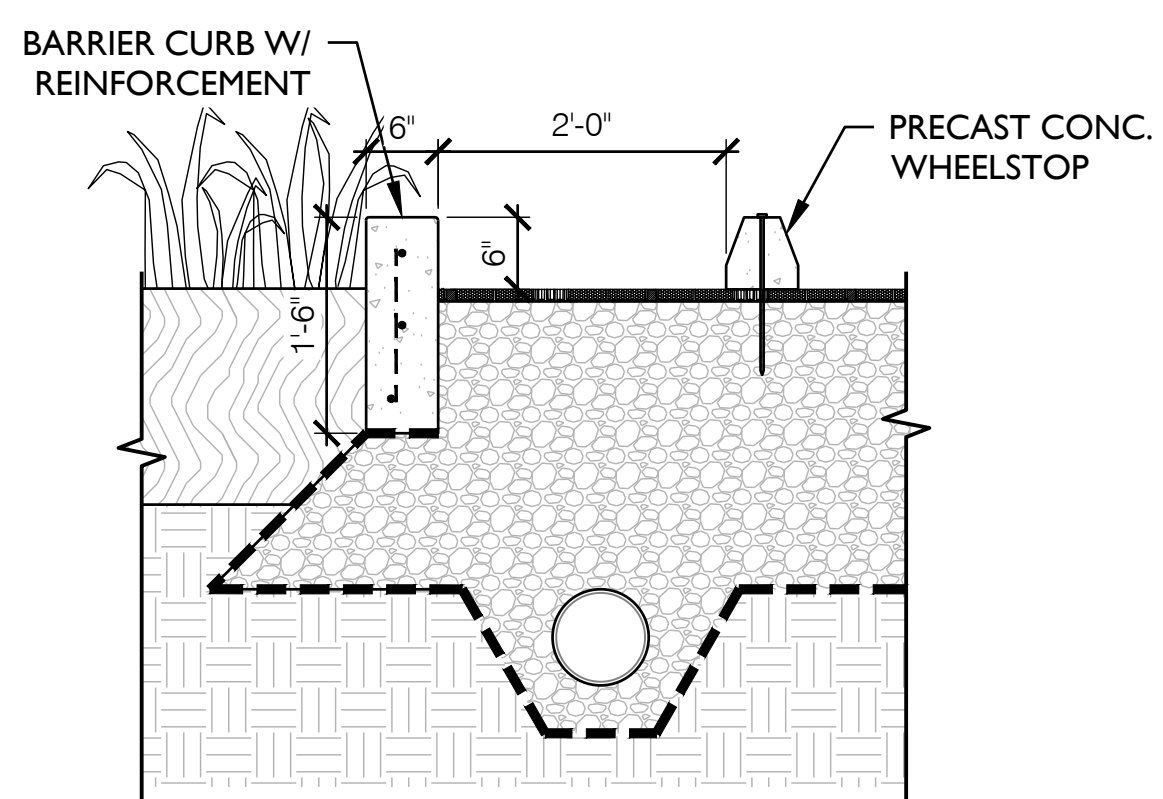
5 BASE BID: FLEXIBLE POROUS PAVEMENT
3/4" = 1'-0" DETAIL



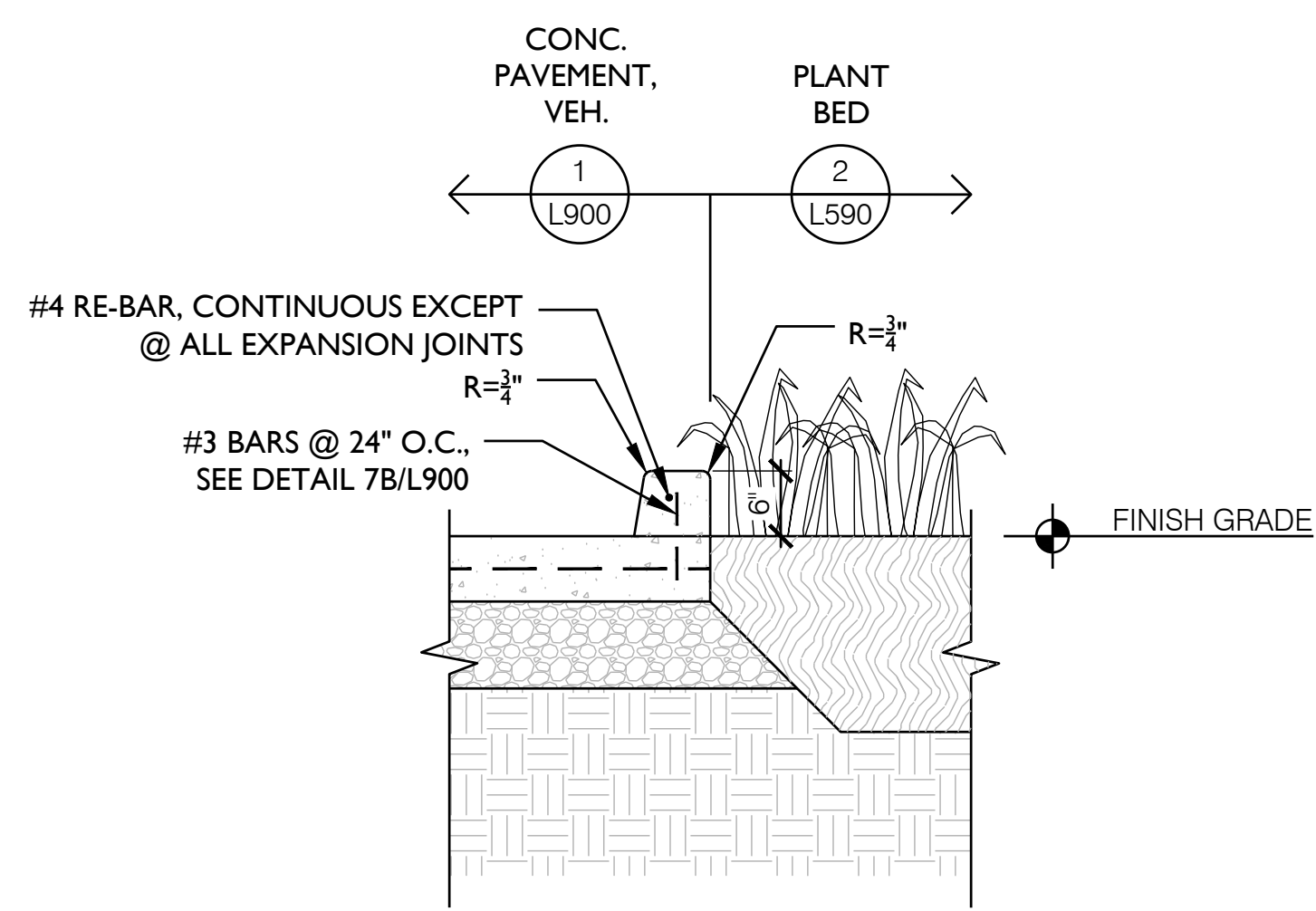
6 DECOMPOSED GRANITE, TYP.
3/4" = 1'-0" DETAIL



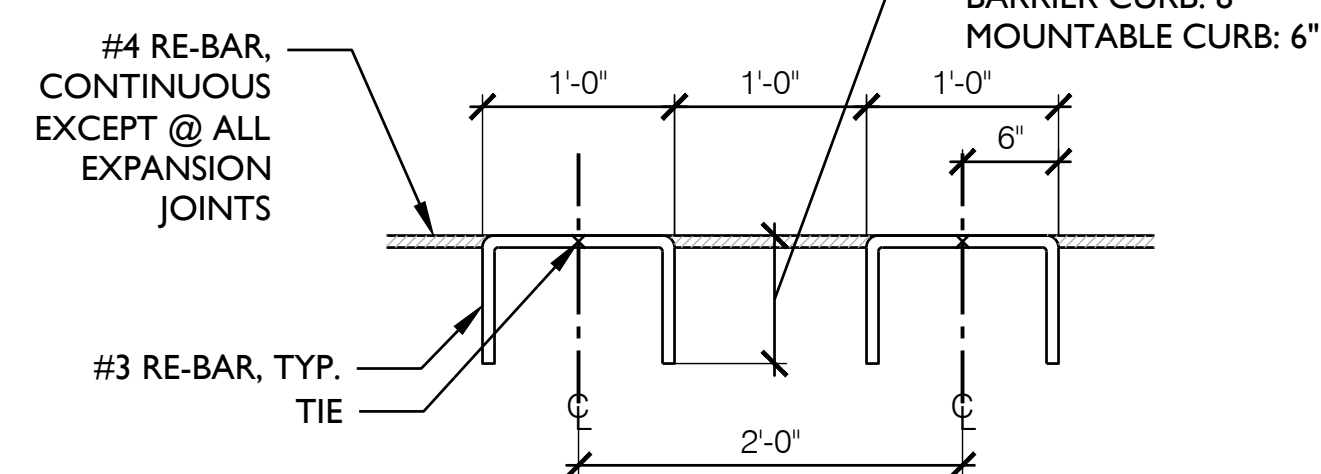
7 DECOMPOSED GRANITE AT CONCRETE SEATWALL
3/4" = 1'-0" DETAIL



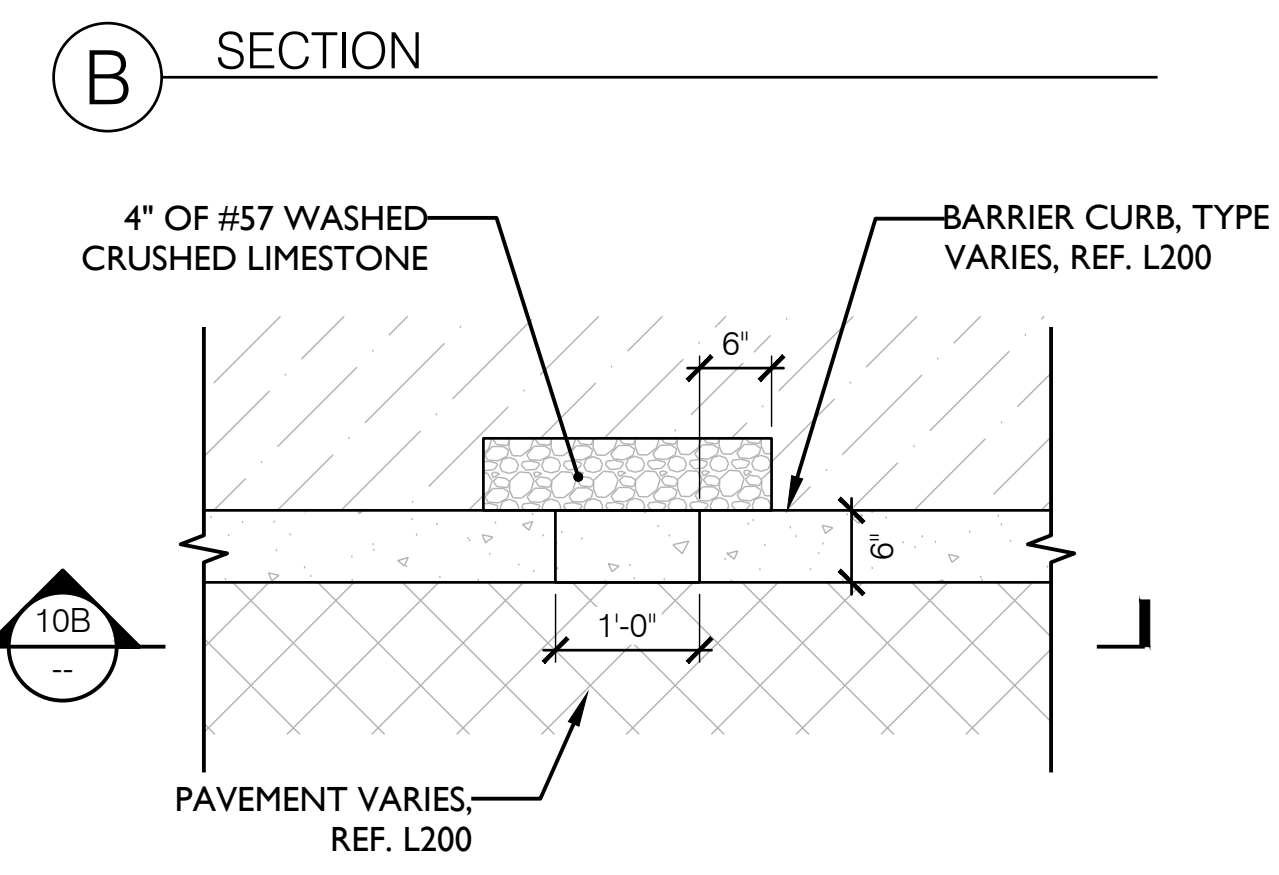
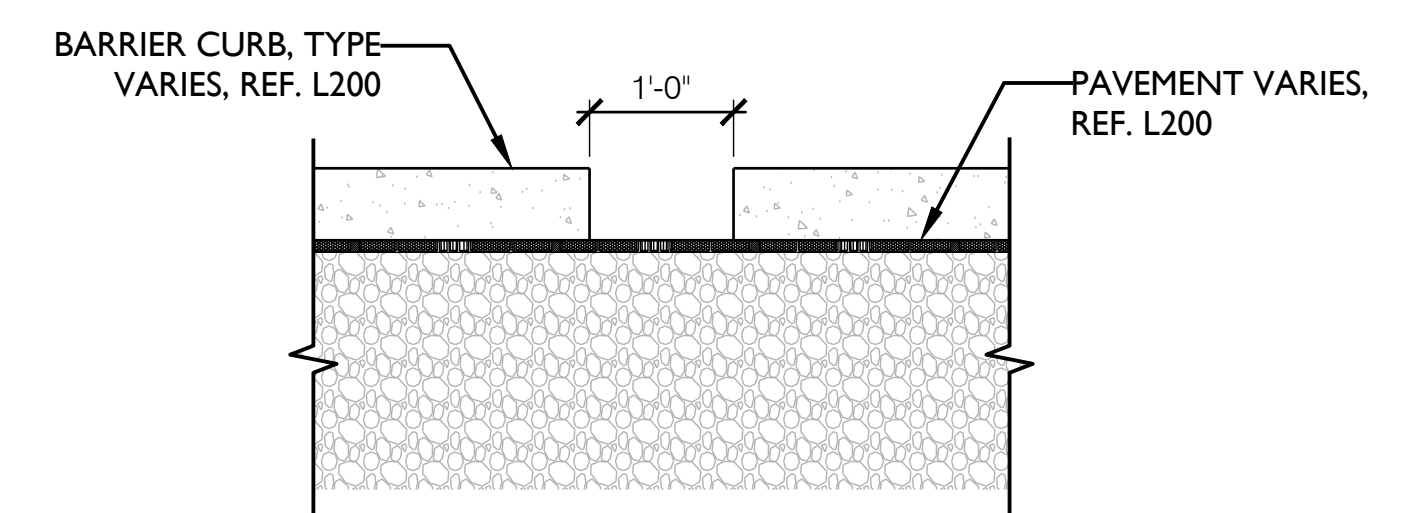
8 STANDALONE BARRIER CURB
3/4" = 1'-0" DETAIL



9 DOWELLED BARRIER CURB - NEW ORLEANS CITY STANDARD
3/4" = 1'-0" DETAIL



10 CURB CUT, TYP.
3/4" = 1'-0" DETAIL



A PLAN

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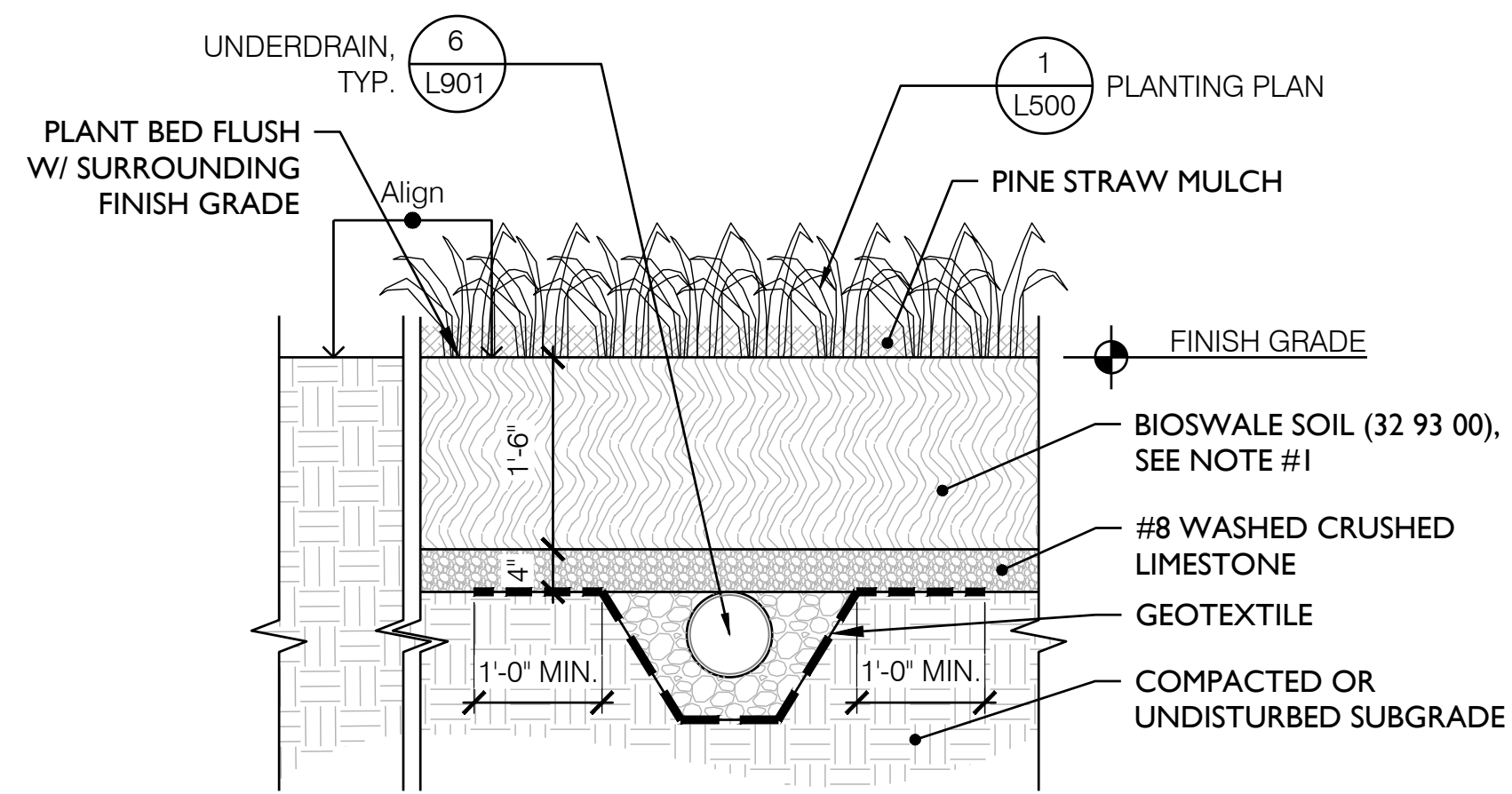
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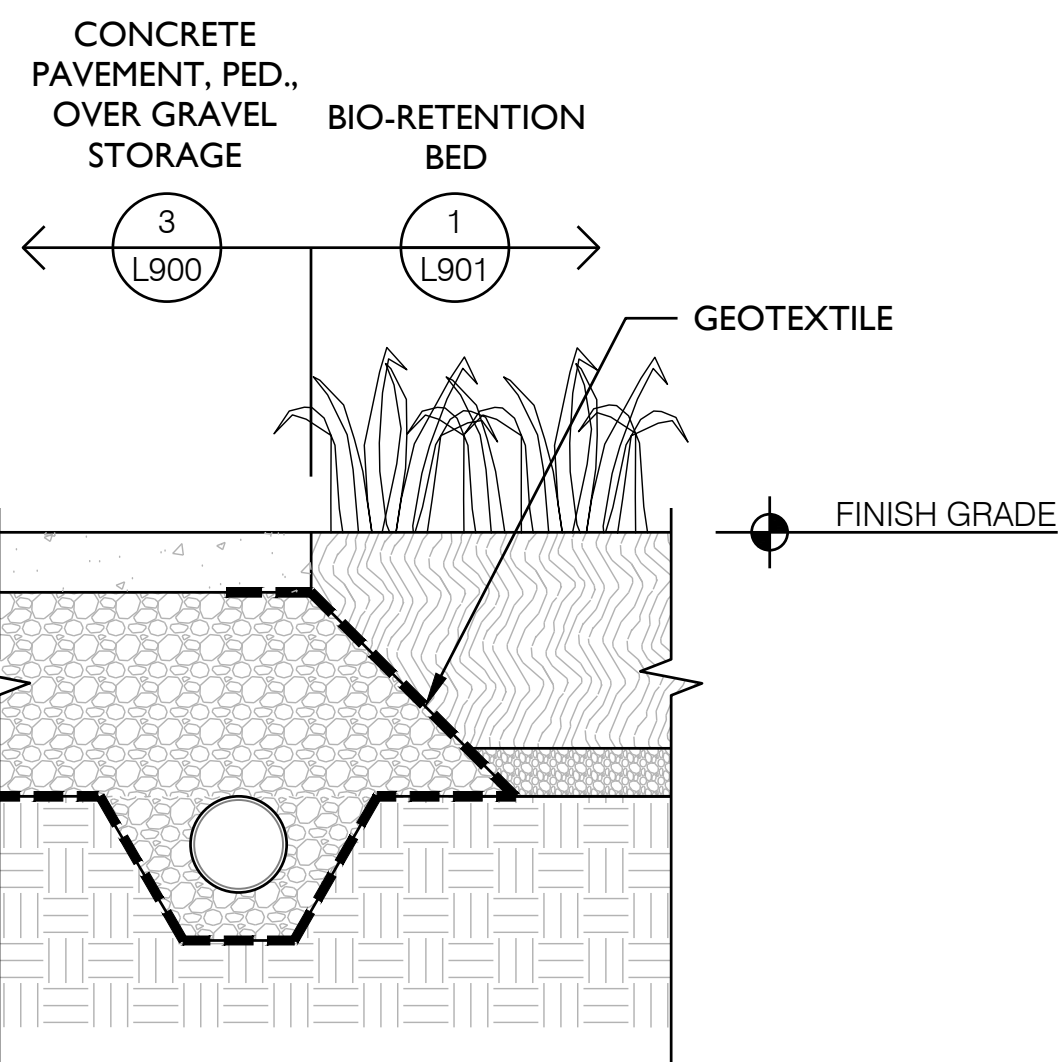
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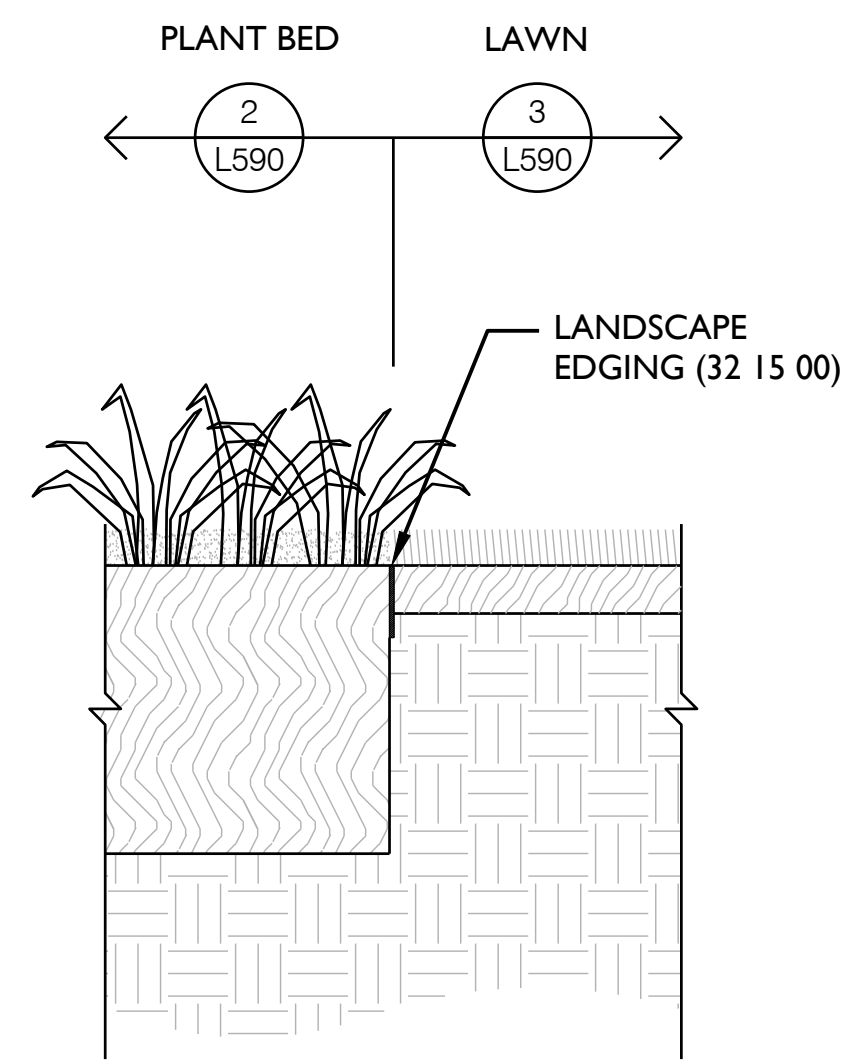
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1 BIO-RETENTION BED
3/4" = 1'-0" DETAIL



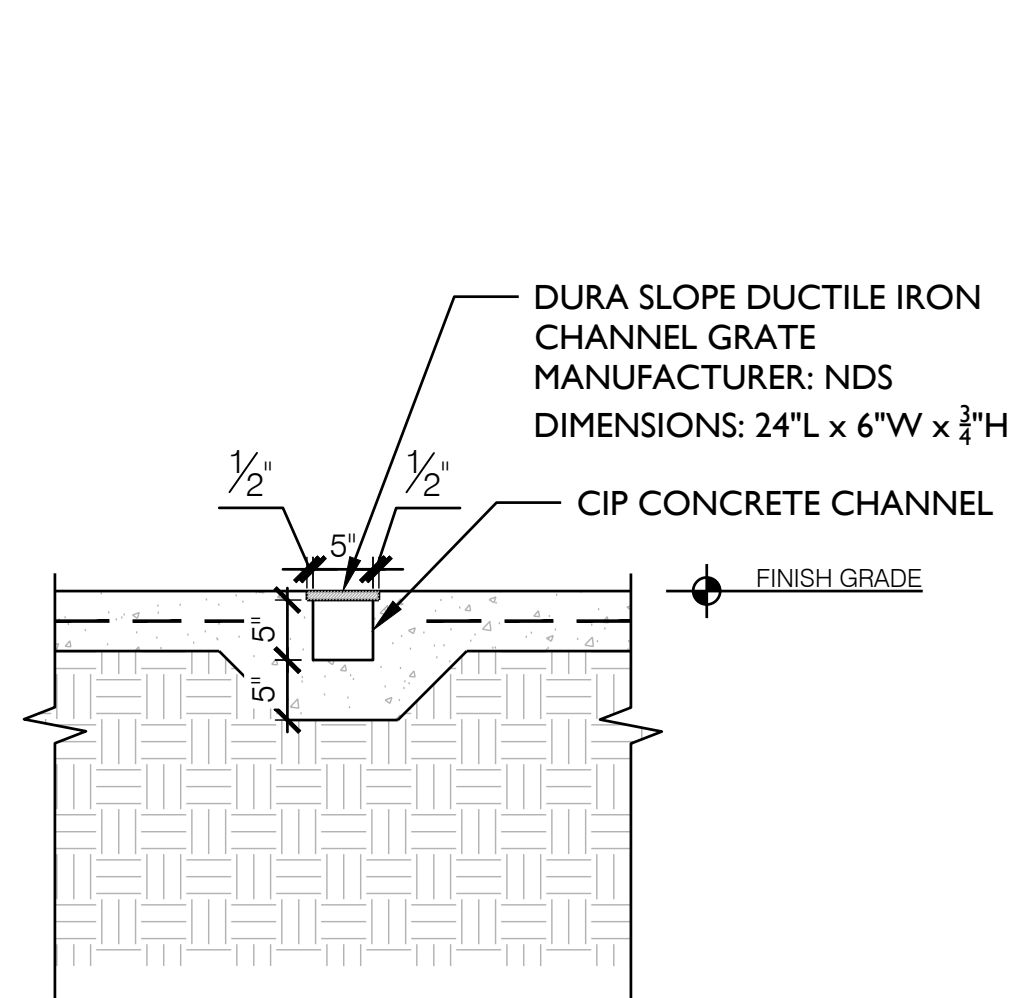
2 CONCRETE PATH AT BIO-RETENTION BED
3/4" = 1'-0" DETAIL



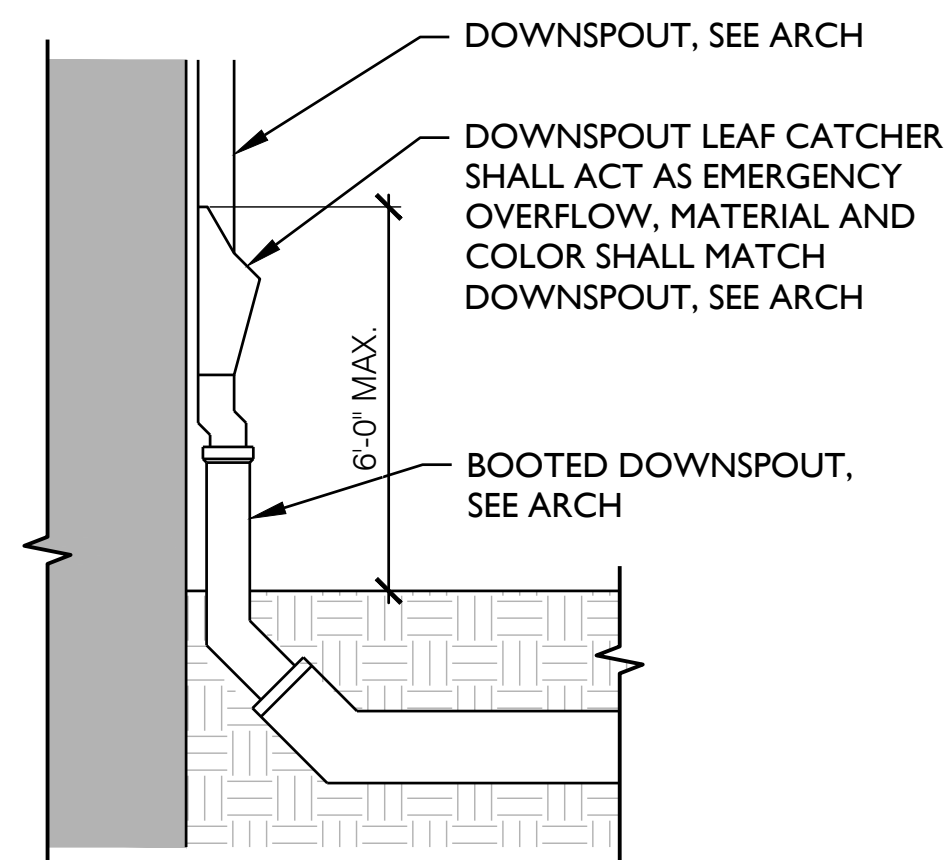
3 LANDSCAPE EDGING
3/4" = 1'-0" DETAIL

NOTES

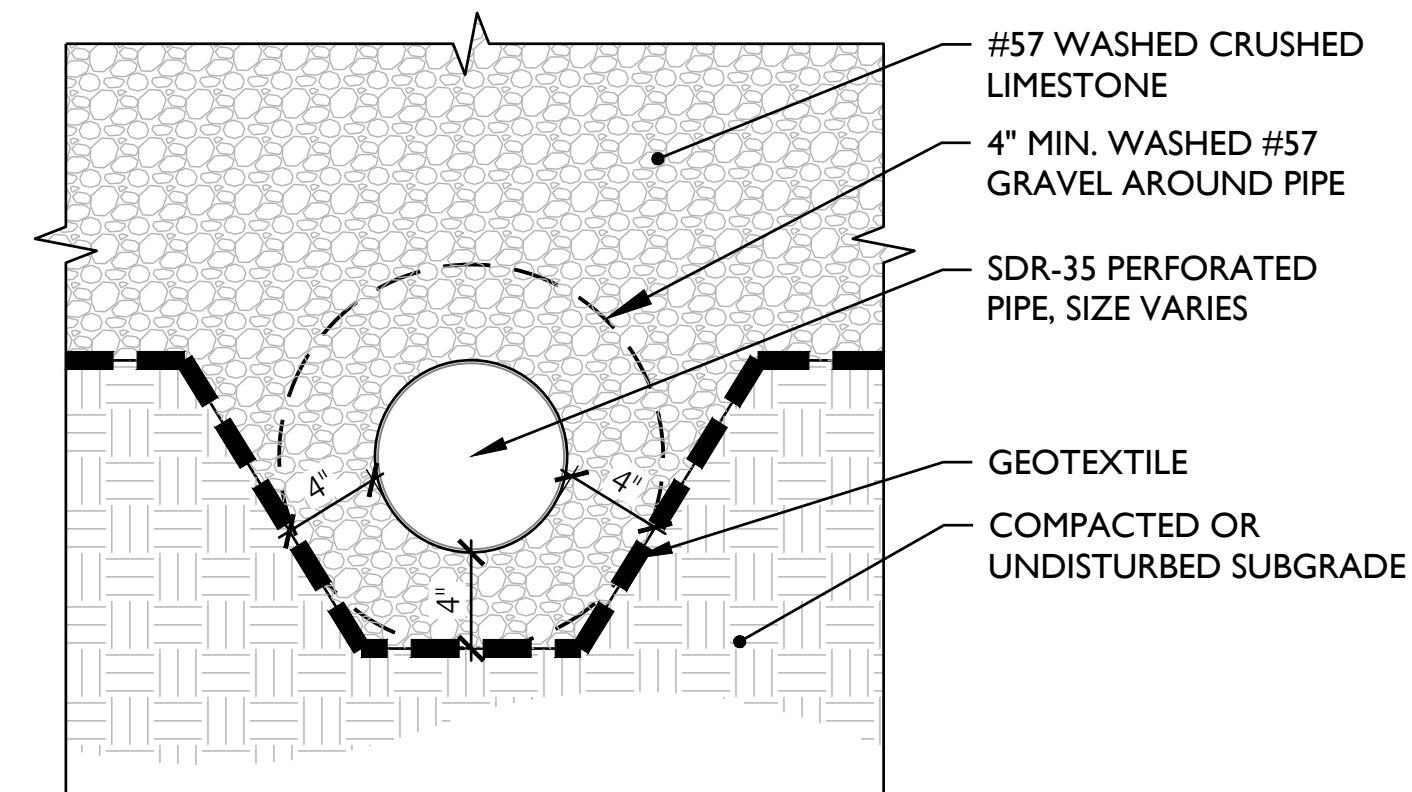
- BIOSWALE SOIL (32 93 00) CONSISTS OF:
40% MANUFACTURED TOPSOIL
20% BLACK BARK MULCH
40% COURSE SAND
WEIGHT OF 8-8-8 SLOW-RELEASE FERTILIZER PER 1,000 SF: 8 LBS.
- PERMEABILITY SHALL CONFORM TO STANDARDS SET FORTH IN ANSI C1701. ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO ASTM INTERNATIONAL C1701 OR C1781 STANDARDS, AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.



4 CIP CONCRETE CHANNEL
3/4" = 1'-0" DETAIL



5 DOWNSPOUT LEAF CATCHER
3/4" = 1'-0" DETAIL



6 UNDERDRAIN, TYP.
1-1/2" = 1'-0" DETAIL

MCDONOUGH 19 MIXED USE

5909 ST CLAUDE AVE
NEW ORLEANS, LA 70117

DRAWING ISSUE

DATE	ISSUED FOR
06/11/2019	50% DD
10/14/2019	90% DD
01/24/2020	PERMIT SET
05/22/2020	SW PERMIT REVISIONS

REVISIONS

DATE	ISSUED FOR
05/06/2020	ASI #001



05/22/20

100% CONSTRUCTION DOCUMENTS

MA Project No: 16075

Drawn By: SMM

Checked By: SMM

Sheet Name:
LANDSCAPE DETAILS

Sheet No:

L901