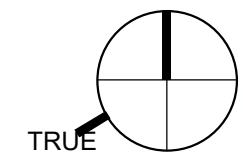
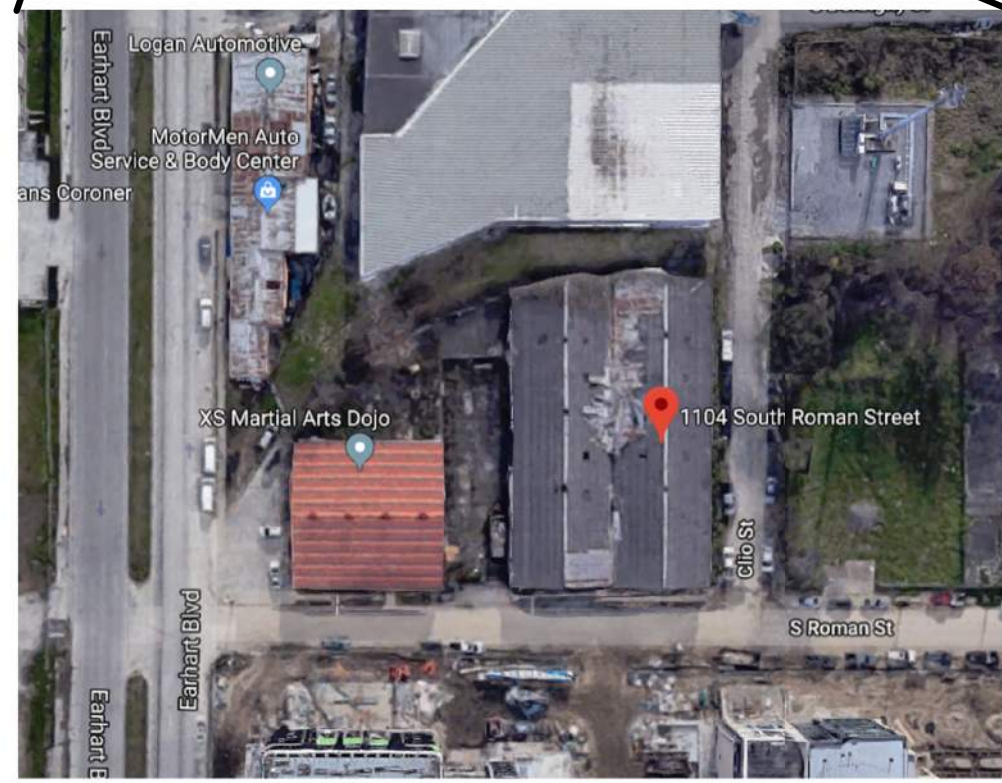
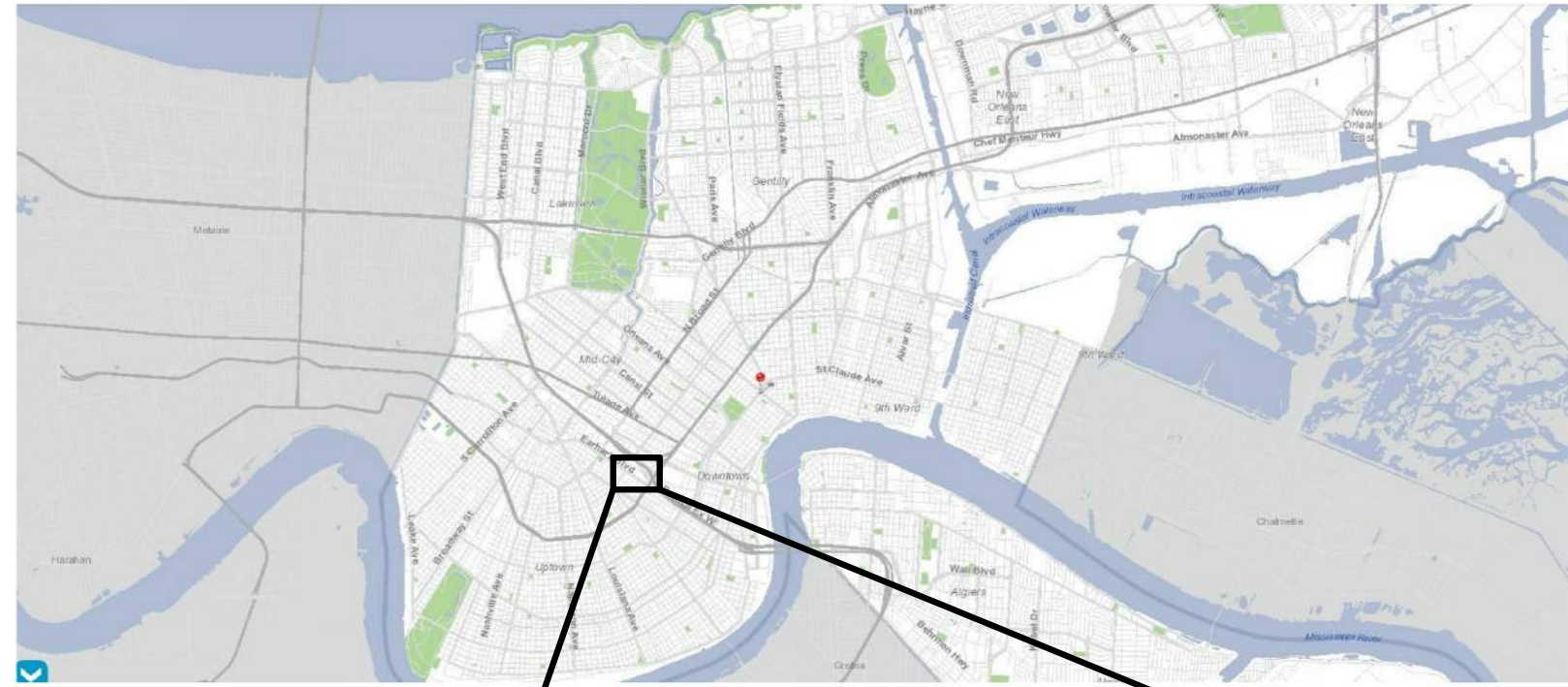


CONSTRUCTION DOCUMENTS

1104 S ROMAN ST LLC - KREWE OF IRIS FLOAT DEN
 2028 EARHART BLVD
 NEW ORLEANS, LA 70125

VICINITY MAP:



PROPERTY DESCRIPTION
 SQ 482 LOT 2 EARHART 134' 9" OVER 169' 7" X 41' 2" OVER 186 SALW
 1104 S.ROMAN

PROJECT DESCRIPTION
 NEW CONSTRUCTION OF A PRE-ENGINEERED METAL BUILDING

ZONING DISTRICT: C-2
USE TYPE: MARDI GRAS DEN - PERMITTED

PROPERTY SQUARE FOOTAGE: 39,703 SQ. FT.

PROPOSED DEVELOPMENT:
 BUILDING SQUARE FOOTAGE (TOTAL): 30,458 SQ. FT.

NO. OF STORIES: 1
BUILDING HEIGHT: 39'-0" TO MID-SPAN OF SLOPED ROOF
SPRINKLERED: YES
FIRE ALARM: NO

CONSTRUCTION TYP:
 IBC: IIB
 NFPA: II (000)

OCCUPANCY TYPE:
 IBC: S-2
 NFPA: STORAGE S-2 EXTRA HAZARD GROUP 1

APPLICABLE CODES:
 2015 IBC
 2012 NFPA
 2006 INTERNATIONAL MECHANICAL CODE
 2009 INTERNATIONAL FUEL GAS CODE
 2013 LOUISIANA STATE PLUMBING CODE
 2011 NATIONAL ELECTRIC CODE
 2010 ADDA/ADA

ARCHITECT:
 M3 DESIGN GROUP LLC
 3328 BANKS ST.
 NEW ORLEANS, LA 70119
 MYLES M MARTIN LIC# 7597
 MYLES@M3-DESIGN-GROUP.COM
 504-345-8950

MECHANICAL/PLUMBING ENGINEER:
 EMB LLC
 6501 SPANISH FORT BLVD
 NEW ORLEANS, LA 70124
 FLETCHER LUKE
 FLETCHERLUKE@EMBLCC.NET

ELECTRICAL ENGINEER:
 EDS LLC
 3328 BANKS ST.
 NEW ORLEANS, LA 70119
 RAUL VALDEZ
 RAUL@EWITHD.COM

STRUCTURAL/CIVIL ENGINEER:
 PACE GROUP LLC
 400 S JEFF PARKWAY
 NEW ORLEANS, LA 70119
 JOHANN PALACIOS
 JOHANN@PACEGROUPPLLC.COM

PROJECT INFORMATION

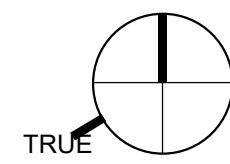
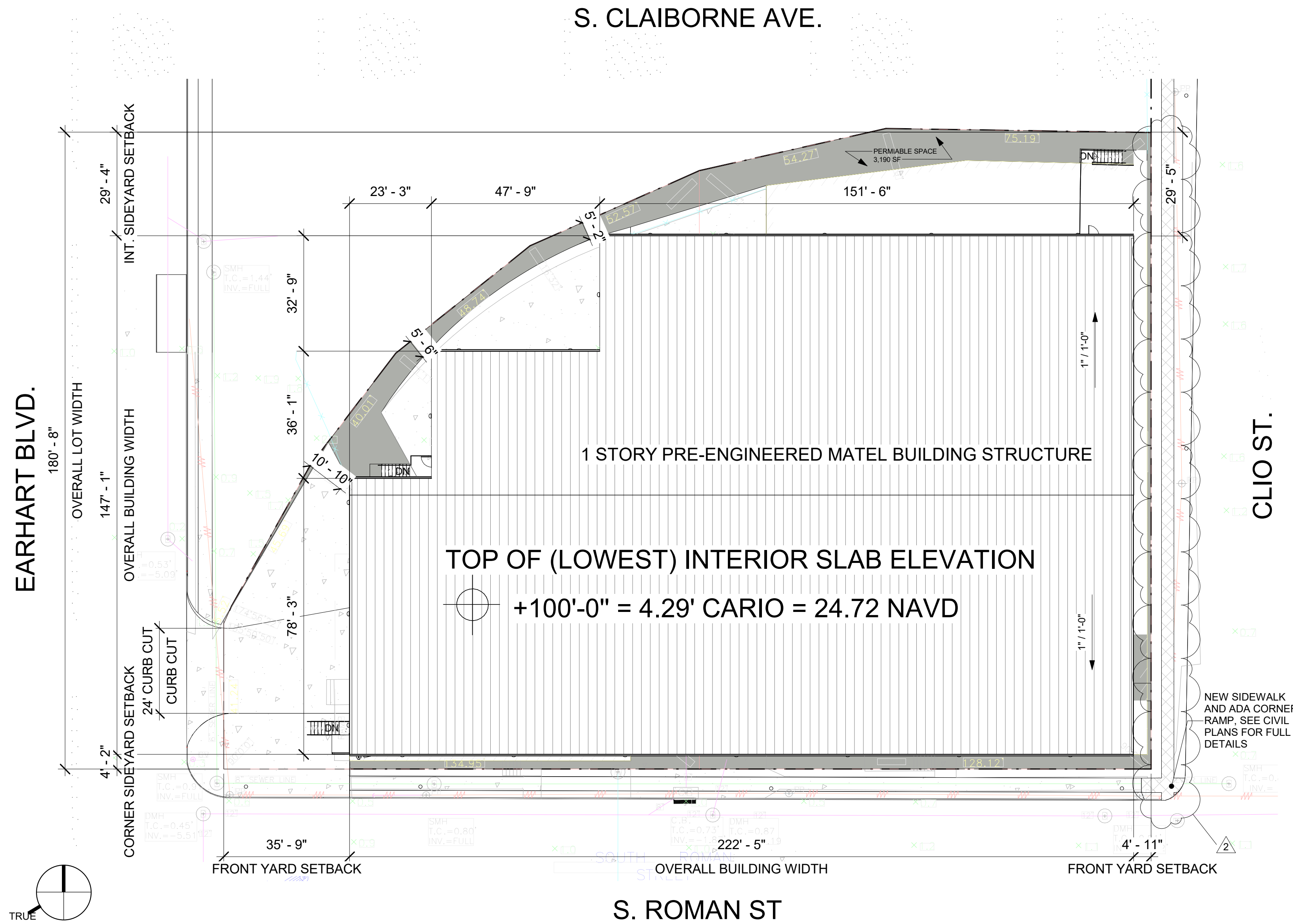
ZONING TABULATION CHART FOR C-2 TABLE 15.2

ITEM	REQUIRED	EXISTING/PROVIDED	VARIANCE
USE TYPE	MARDI GRAS DEN - PERMITTED	MARDI GRAS DEN - PERMITTED	NO
MIN LOT AREA	5,000 SF	47,602 SF	NO
MAX BUILDING HEIGHT	56'	39' TO MIDSPAN OF SLOPED ROOF	NO
MIN PERMEABLE OPEN SPACE	20% OF LOT AREA = 9,520 SF REQ.	3,150	YES
INTERIOR SIDE YARD	5' OR AVG OF SURROUNDING BLOCK*	VARIES, 5' MIN.	NO
CORNER SIDE YARD	10' OR AVG OF SURROUND BLOCK*	4" (EXISTING BUILDING SLAB)	NO
FRONT YARD SETBACK	MAX 20'	35'9" (EXISTING BUILDING SLAB) & 4'11" (EXISTING BUILDING SLAB)	YES
REQUIRED PARKING	1PER 10,000 GSF OF WAREHOUSE = 4	4	NO
LOADING SPACES	10,001 - 40,000sf GFA = 2 REQUIRED	2	NO
CURB CUT	MAX 24'	24'	NO

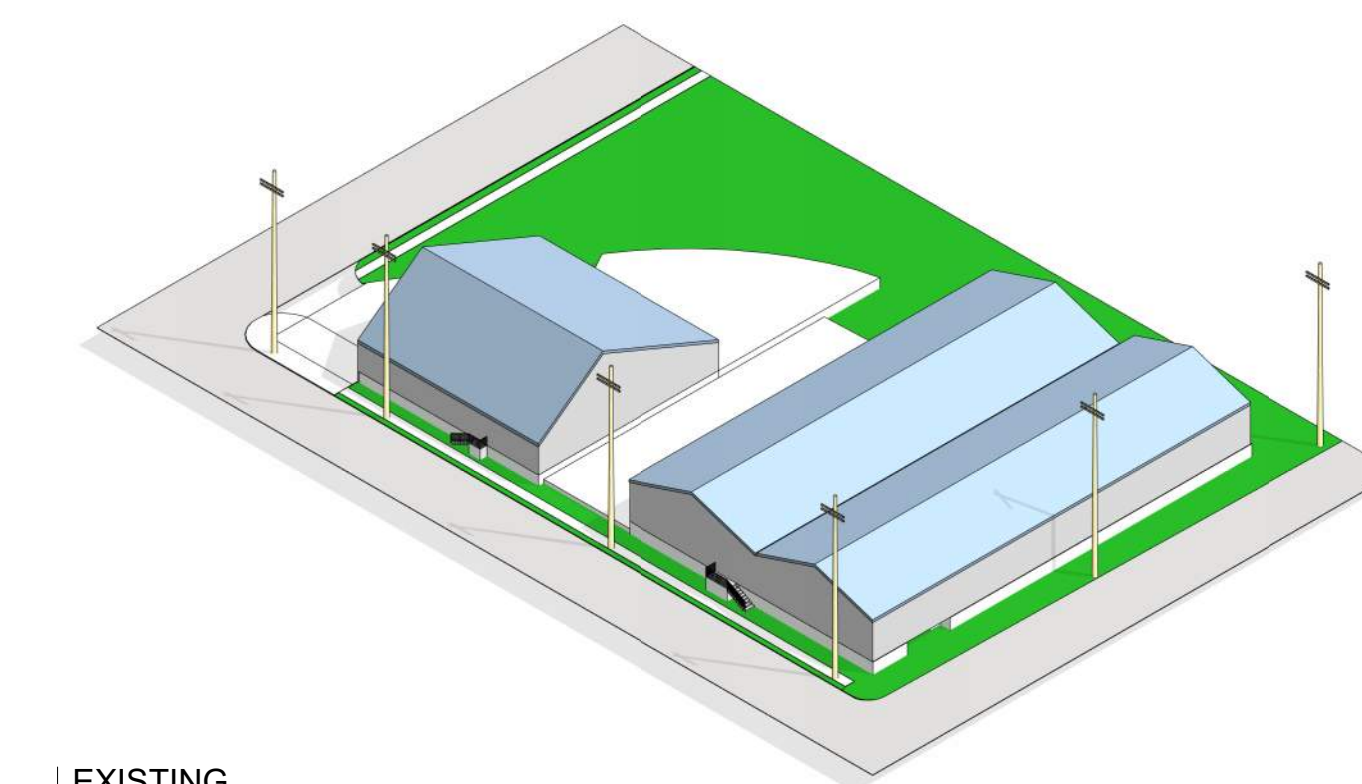
*15.3.A.2 FRONT YARD BUILD-TO-LINE REQUIREMENT
 III. THE AVERAGE OF THE FRONT YARD OF THE ADJACENT LOTS ON EITHER SIDE MAY BE USED TO ESTABLISH THE REQUIRED FRONT YARD BUILD-TO-LINE. AVERAGING IS BASED ON THE TWO (2) ADJACENT LOTS OR, IN THE CASE OF A CORNER LOT, TWO (2) NEIGHBORING LOTS ON THE SAME BLOCKFACE. IN THE CASE OF A LOT CONFIGURATION WHERE ONLY ONE (1) LOT IS AVAILABLE FOR AVERAGING, THE FRONT YARD BUILD-TO-LINE IS THAT OF THE ADJACENT LOT. (SEE FIGURE 15-1: FRONT YARD AVERAGING)

GENERAL NOTES:

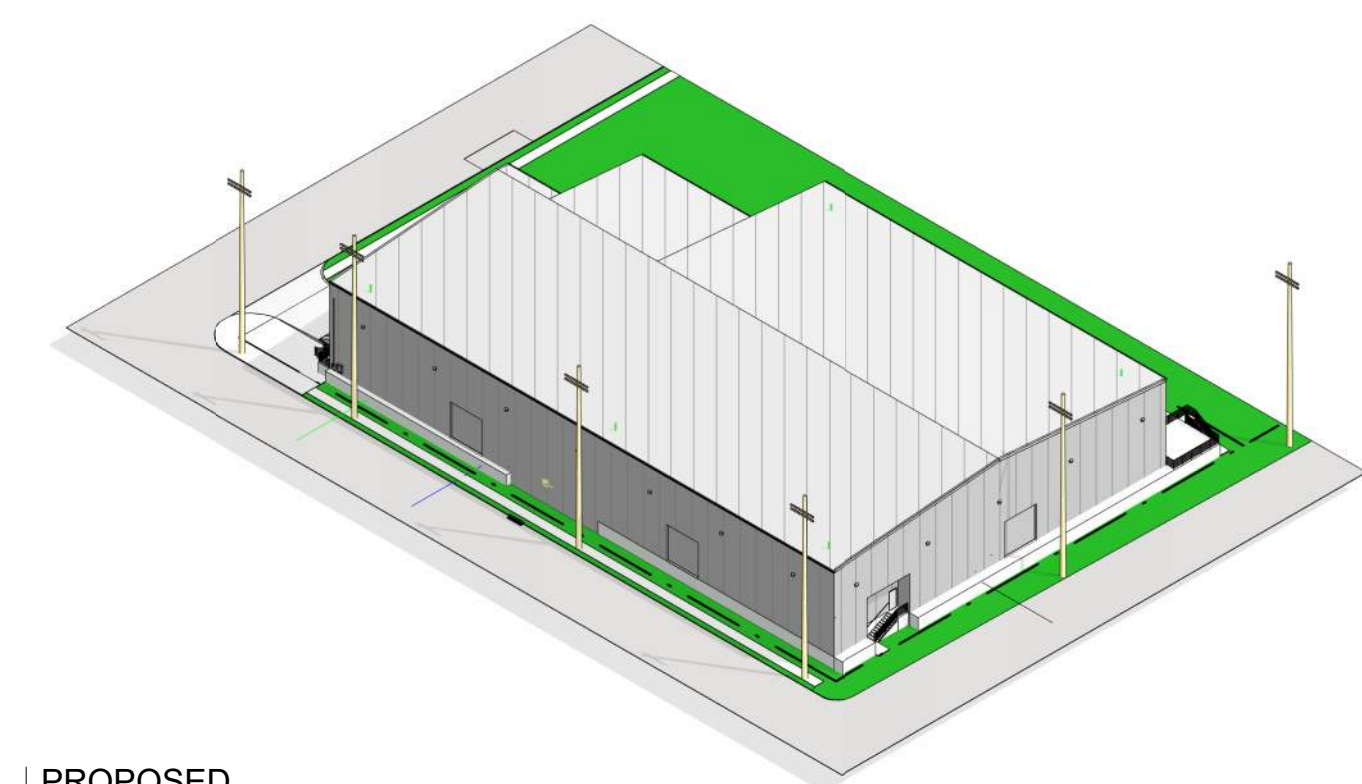
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO SUPPLY ALL SUBCONTRACTORS WITH CONSTRUCTION DRAWINGS AND SPECIFICATIONS NECESSARY TO BID AND/OR CONSTRUCT THIS PROJECT.
- TO THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS: ALL CONTRACTORS ARE RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO MAKING ANY CHANGES TO THE CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS ON THE FLOOR PLANS, UNLESS OTHERWISE NOTED, ARE TAKEN FROM INSIDE FACE OF STUDS OF EXTERIOR WALLS, INSIDE FACE OF STUDS OF NEW INTERIOR PARTITIONS, FACES OR CENTERLINE OF STRUCTURAL COLUMNS, AND FACES OF EXISTING WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE GENERAL CONTRACTOR FOR ALL WALL HUNG ITEMS TO BE INSTALLED THAT ARE NOT ON THE DRAWINGS.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING OR DEMOLISHING EXISTING CONSTRUCTION (INCLUDING UTILITIES) WHICH WILL INTERFERE WITH NEW WORK.
- PRIOR TO THE SHUT-DOWN OF TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH OWNER'S REPRESENTATIVE LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE.
- THE CONSTRUCTION DRAWINGS CONTAIN INFORMATION FOR MULTIPLE CONTRACTORS. OWNER PROVIDED AND INSTALLED ITEMS ARE SHOWN FOR INFORMATIVE PURPOSES. THE GENERAL CONTRACTOR SHALL VERIFY OWNER PROVIDED AND INSTALLED ITEMS AND COORDINATE INSTALLATION WITH OWNER'S REPRESENTATIVE TO AVOID CONFLICTS OR DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES.
- ALL PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL UTILITY DEPOSITS, IMPACT FEES AND CONNECTION FEES REQUIRED.
- CONTRACTOR SHALL DOCUMENT ALL ADJACENT PROPERTIES, STRUCTURE, IMPROVEMENTS, ETC. PRIOR TO CONSTRUCTION WITHIN 500' OF ANY CONSTRUCTION ACTIVITY BY MEANS OF PHOTOGRAPHS, VIDEO, ETC.



1 SITE PLAN
 3/64" = 1'-0"



2 EXISTING



3 PROPOSED

SYMBOL	DESCRIPTION
(Solid line)	NEW WALL
(Dashed line)	EXISTING WALL
(Line with '0')	COLUMN LINE & TAG
(Line with 'X/AXX')	INTERIOR ELEVATION TAG
(Line with 'D')	DOOR TAG
(Line with 'PT')	PARTITION TAG
(Line with '#')	SPECIFIC NOTE
(Line with '11')	WINDOW TAG
(Line with 'ROOM NAME 101')	ROOM TAG
(Line with '1/AXX')	DETAIL TAG
(Line with '1/A1.0')	SECTION TAG

LEGEND - PLAN

GENERAL NOTES

19_029

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

DATE

5-26-20

TYPE

PERMIT UPDATES

#

2

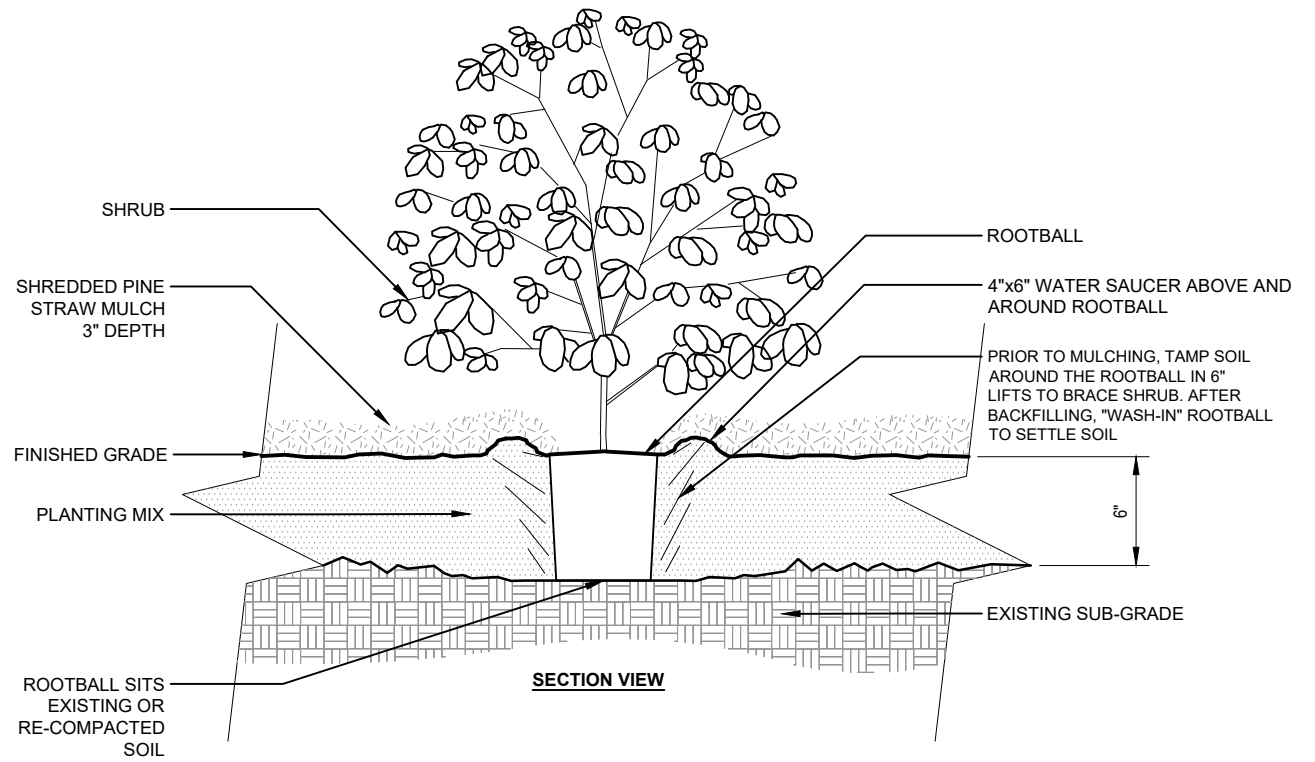
GENERAL PLANTING NOTES:

- CONTRACTOR SHALL REFERENCE "SECTION 32 90 00 - PLANTING" PREPARED BY THE CITY OF NEW ORLEANS PARKS & PARKWAYS DEPARTMENT FOR ESTABLISHMENT AND MAINTENANCE INSTRUCTIONS FOR LANDSCAPE PLANTING WITHIN THE RIGHT-OF-WAY.
- AT THE END OF THE (1) YEAR GUARANTEE PERIOD, CONTRACTOR SHALL REMOVE ALL TREE GUYING FOR TREES PLANTED UNDER THIS CONTRACT.
- ALL PLANTING SHALL CONFORM WITH LOCAL CODES AND ORDINANCES.
- QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE PROVIDED FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR SHALL BEAR RESPONSIBILITY TO VERIFY AND INSTALL PLANT QUANTITIES AS DRAWN ON PLAN.
- FINAL LOCATION OF ALL TREES SHALL BE VERIFIED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO EXCAVATION OF PLANTING PITS.
- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANTING AREAS PRIOR TO THE INSTALLATION OF ANY MATERIALS. THE LANDSCAPE CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL IN THE FIELD PER THE PLANTING PLANS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT. SECURE APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PLANT PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PROMPTLY SHOULD PLANT MATERIAL NOT BE AVAILABLE. LANDSCAPE CONTRACTOR SHALL PROPOSE SUBSTITUTION IN SIMILAR SIZE AND GROWTH HABITS AS PREVIOUSLY SPECIFIED PLANT MATERIAL. ONLY UPON APPROVAL FROM LANDSCAPE ARCHITECT SHALL THE SUBSTITUTION BE ACCEPTABLE.
- TREE PLANTING PITS SHALL BE DUG PER THE PLANTING DETAILS. COMPACTED SOIL AT SIDES AND BOTTOMS SHALL BE LOOSENEED BY SCARIFYING OR OTHER APPROVED METHOD. PITS SHALL BE BACKFILLED WITH "PLANTING MIX" AS DESCRIBED BELOW. "PLANTING MIX" SHALL BE THOROUGHLY BACKFILLED AND WASHED IN BY WATER APPLICATION.
- PLANTING MIX COMPOSITION:
 COARSE SHARP SAND 50% BY VOLUME
 PINE BARK FINES 40% BY VOLUME
 PEAT HUMUS 10% BY VOLUME

 WATER MANAGEMENT GEL AS RECOMM'D BY MANUF.
 MYCORRHIZAL INNOCULANT AS RECOMM'D BY MANUF.
- SET PLANTS IN CENTER OF PIT, IN A VERTICAL POSITION, SO THAT THE CROWN OF THE ROOTBALL WILL BE LEVEL WITH FINISH GRADE AFTER SETTLING AND SHALL BEAR THE SAME RELATIONSHIP TO THE FINISH GRADE THAT IT DID TO THE CONTAINER SOIL SURFACE.

GENERAL LANDSCAPE MAINTENANCE NOTE:

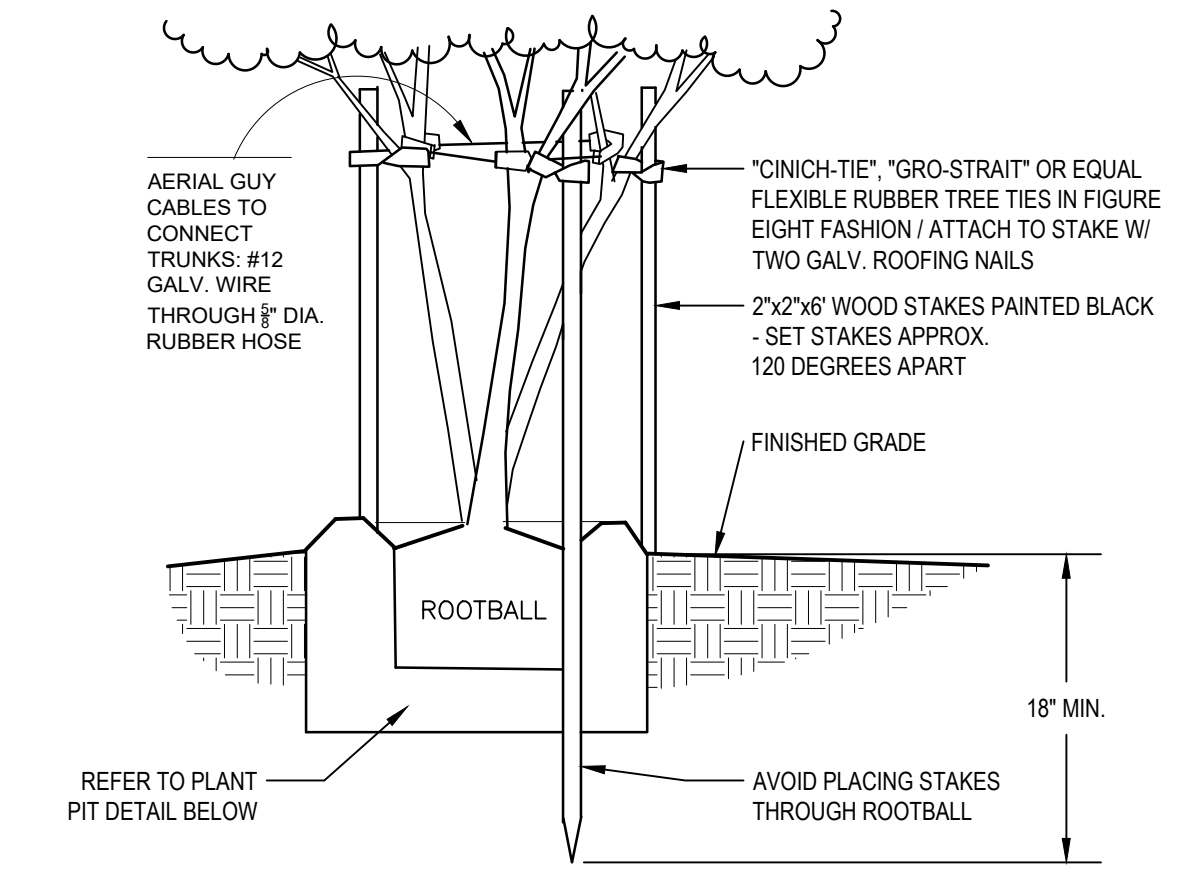
- ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED IN GOOD CONDITION, PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE, AND KEPT FREE OF WEEDS, REFUSE, AND DEBRIS. ANY DEAD, UNHEALTHY, OR MISSING PLANTS SHALL BE REPLACED WITHIN SIX (6) MONTHS OF NOTIFICATION BY THE CITY. FENCES, STEPS, RETAINING WALLS, AND SIMILAR LANDSCAPE ELEMENTS SHALL BE MAINTAINED IN GOOD REPAIR. THE OWNER OF THE PREMISES IS RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL LANDSCAPE MATERIALS, FENCES, STEPS, RETAINING WALLS, AND SIMILAR LANDSCAPE ELEMENTS, AND ALL REFUSE DISPOSAL AREAS.



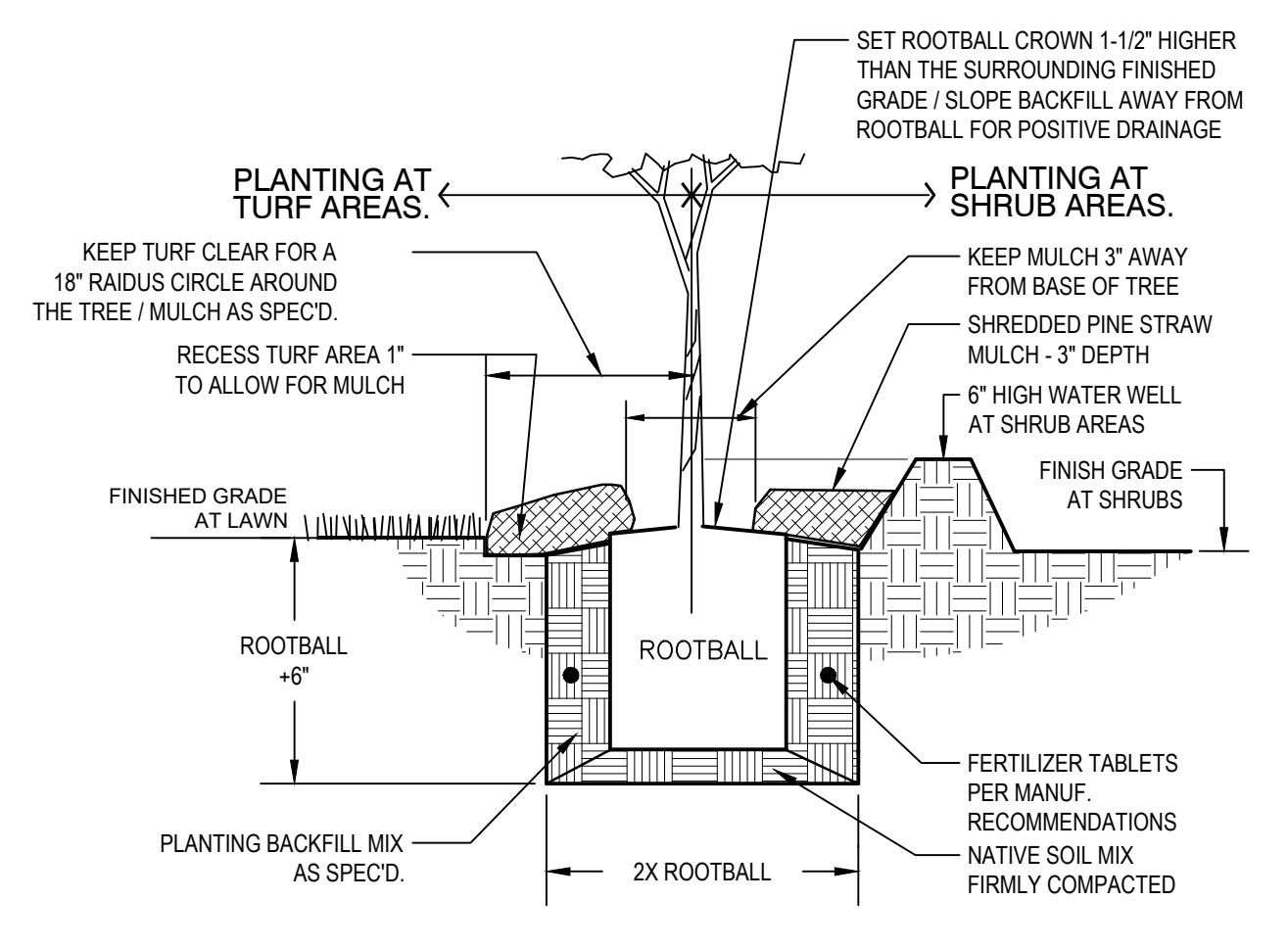
PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CAL.	HT.	SPD.	NOTES
	LAG IND	8	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle	Container or B&B		12-14' Ht.	6-8' Spd.	*** SINGLE TRUNK VERSION ***
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HT.	SPD.	NOTES	
	MIS SIN	34	Miscanthus sinensis 'Adagio' / Adagio Maiden Grass	3-Gal	18-24" Ht.	9-12" Spd.		
	TER GYM	66	Ternstroemia gymnanthera / Cleystera	7-Gal	30-36" ht.	15-18" Spd.	Full to Ground	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE				
	CYN HYB	5,137 sf	Cynodon dactylon '419 Hybrid' / Bermuda Grass	SOD				

1 SHRUB PLANTING - TYP.
N.T.S.



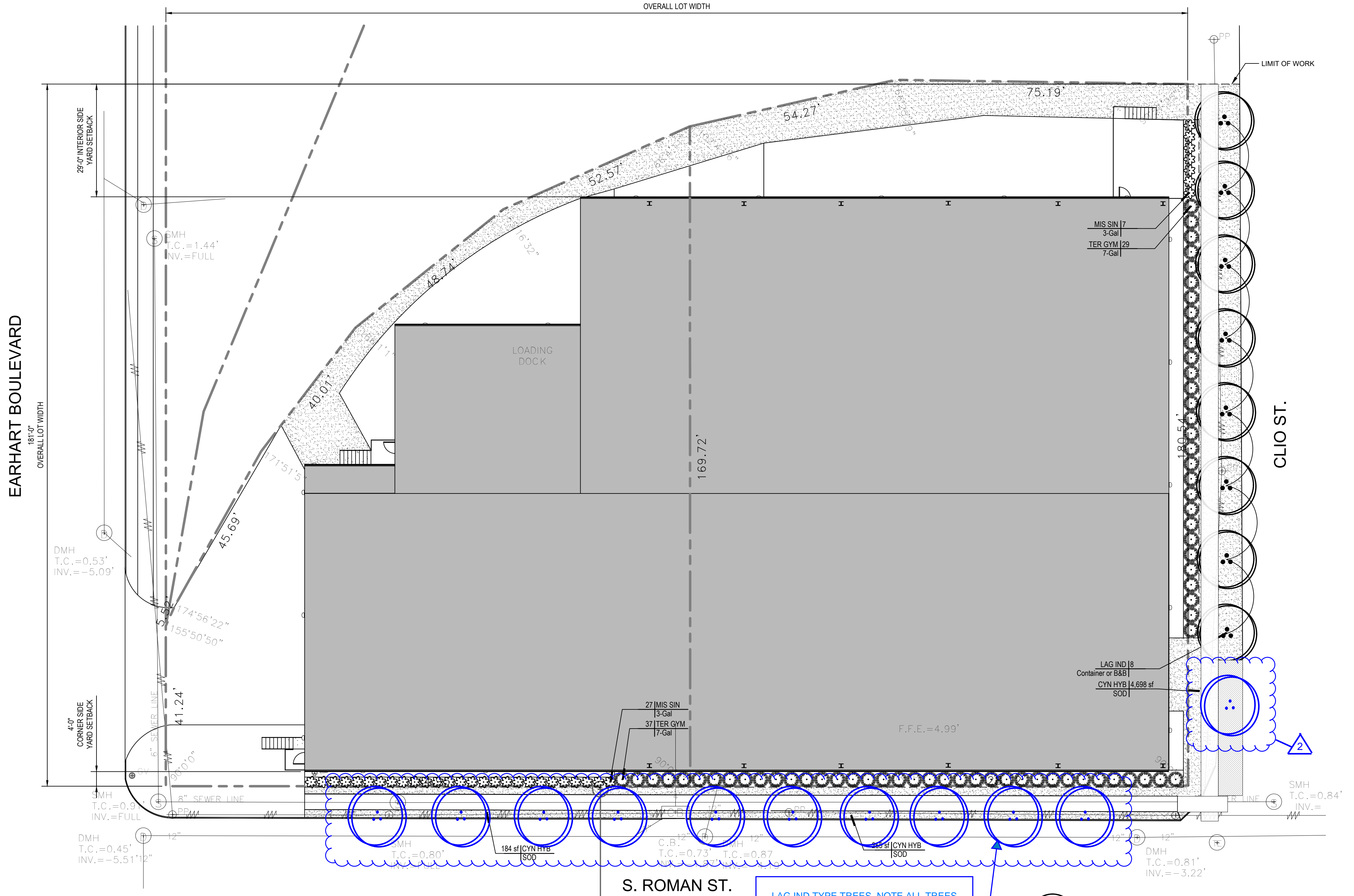
STAKING DETAIL



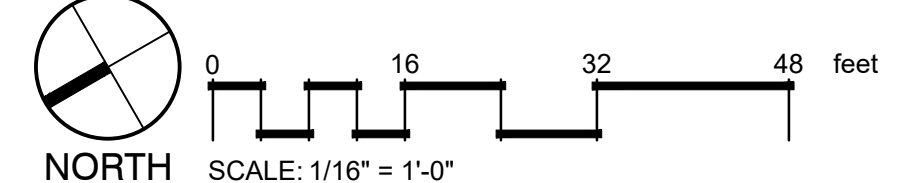
PLANT PIT DETAIL

2 MULTI-TRUNK TREE PLANTING - TYP.
N.T.S.

S. DERBIGNY ST. (SIDE)



LAG IND TYPE TREES. NOTE ALL TREES SHOWN IN BLUE ADDED BY ARCHITECT AT THE REQUEST OF PARKS AND PARKWAYS



Project Number

DATE
5-26-20

REVISION
2 PERMIT UPDATES



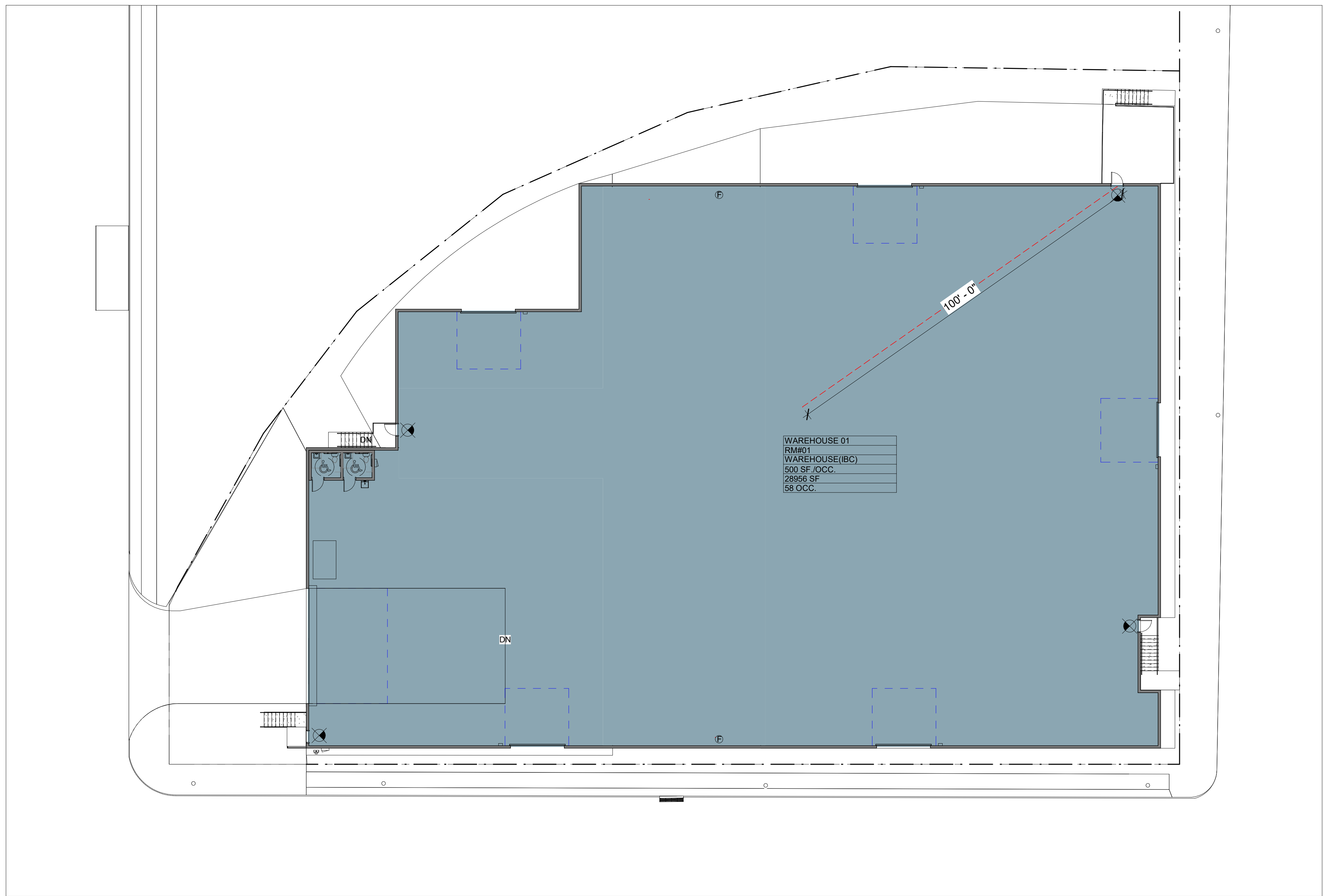
M3 DESIGN GROUP
3328 BANKS ST | NO. LA 70019 | (504)345-8950
WWW.M3-DESIGN-GROUP.COM

CD - PERMIT SET
ISSUED 11/4/19

LP1.0
LANDSCAPE PLANTING PLAN

1104 S ROMAN ST LLC - KREW OF IRIS FLOAT DEN

1104 S ROMAN ST
NEW ORLEANS, LA



WAREHOUSE 01
 RM#01
 WAREHOUSE(IBC)
 500 SF/OCC.
 28956 SF
 58 OCC.

1 1ST FLOOR - LIFE SAFETY PLAN
 1/16" = 1'-0"

LS ROOM SCHEDULE				
Level	NUMBER	NAME	Area	Occupancy
1ST FLOOR	01	WAREHOUSE 01	28956 SF	WAREHOUSE(I BC)
			28956 SF	

Department Legend

■ WAREHOUSE(IBC)

NFPA LEGEND

⊗ EMERGENCY DIRECTIONAL LIGHT.
RE: ELECTRICAL DRAWINGS

⊕ FIRE EXTINGUISHER.
RE: SPECIFICATIONS

--- TRAVEL DISTANCE

OCCUPANT CALCS

NAME OF ROOM OR SPACE	RM. NAME
ROOM NUMBER	RM. #
AREA CLASSIFICATION	OCCUPANCY
ALLOWED SF PER OCCUPANT	SF PER OCC
SF OF ROOM	RM SF.
TOTAL OCCUPANTS OF ROOM	# OF OCC.

GENERAL NOTES

- AN APPROVED SUPERVISED AUTOMATIC SPRINKLER SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH NFPA 101:18.3.5 QUICK RESPONSE HEADS.
- DIRECTIONAL EXIT SIGNAGE TO BE CONNECTED TO EMERGENCY POWER.
- U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC 2012 AND NFPA 10 (LAC 17.4.4.5). (MIN. 2A-10B-C).
- INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC 2012 SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (Q-450).
- INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC 2012 SECTION 804.1, 804.4.1, AND 804.2.
- DIRECTIONAL EXIT MARKINGS TO BE INSTALLED IN ACCORDANCE WITH IBC 2012 SECTION 1011.
- FIRE ALARM SYSTEM TO BE IN ACCORDANCE WITH NFPA 101:18.3.4 (SYSTEM IS REMOTELY MONITORED FOR EMERGENCY FORCES NOTIFICATION).
- FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.

LEGEND - LS
 1/8" = 1'-0"

19_029

1104 S ROMAN ST LLC - KREWE OF IRIS FLOAT DEN

2028 EARHART BLVD
 NEW ORLEANS, LA 70125

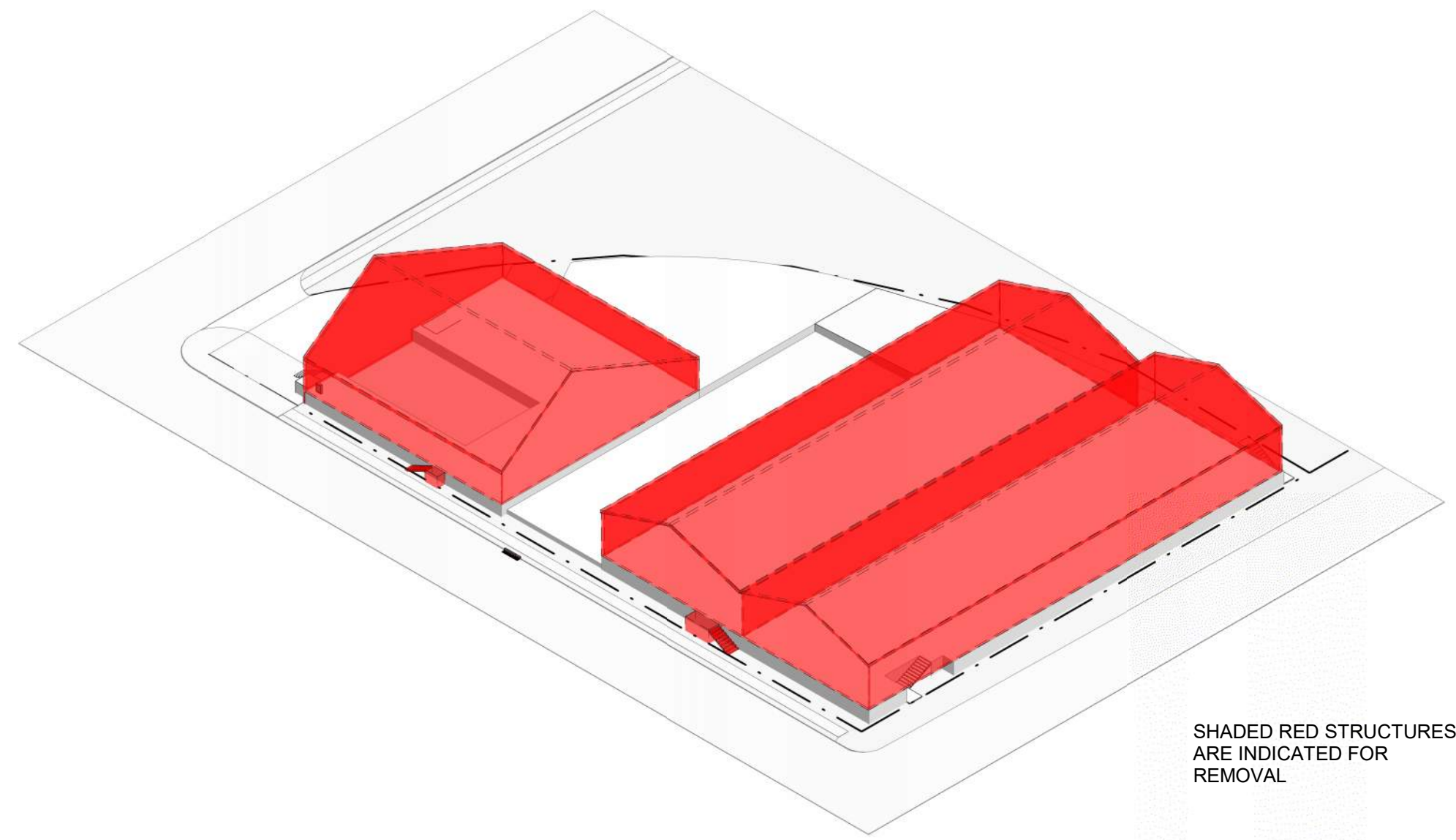
NO	REVISION	DATE



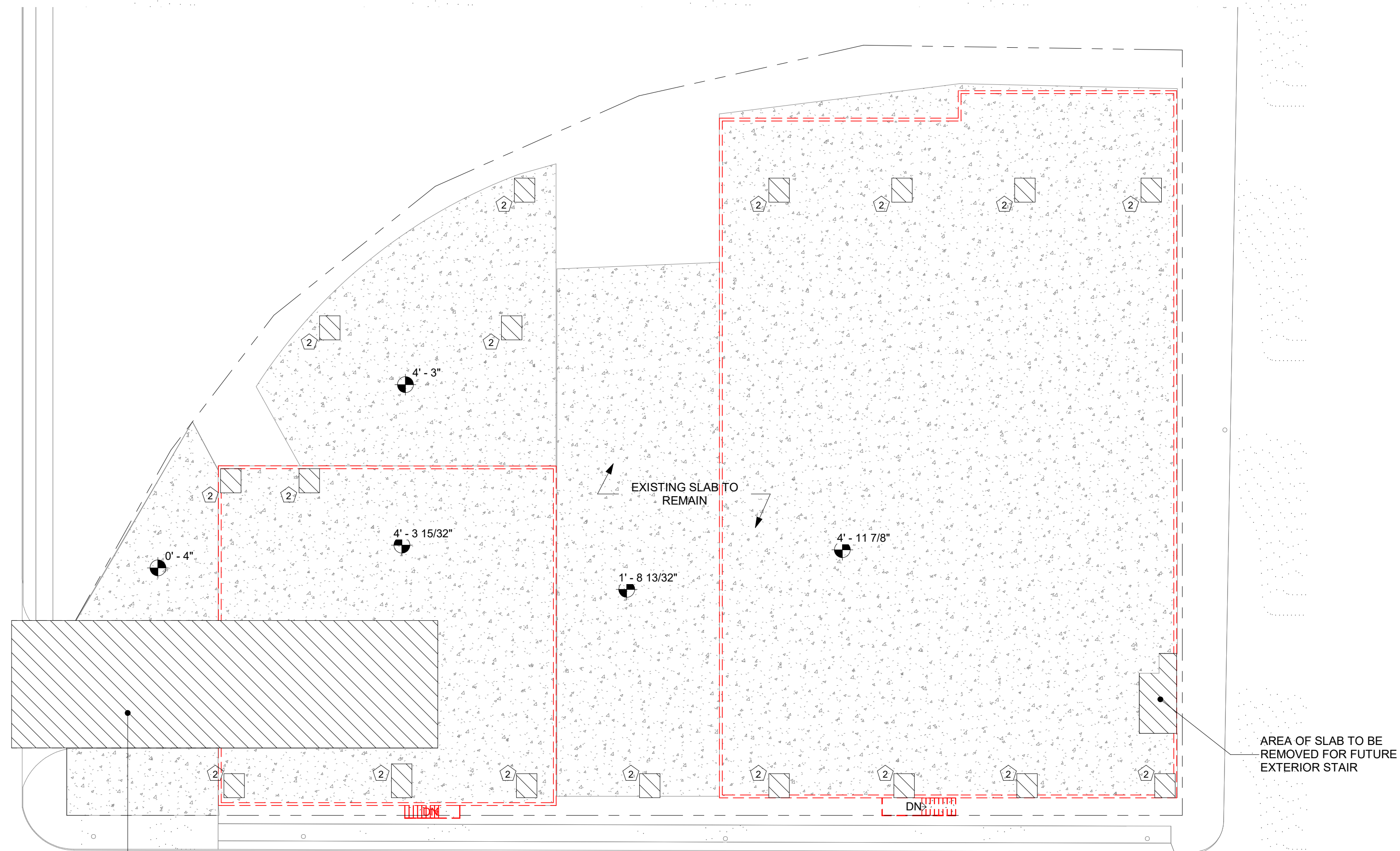
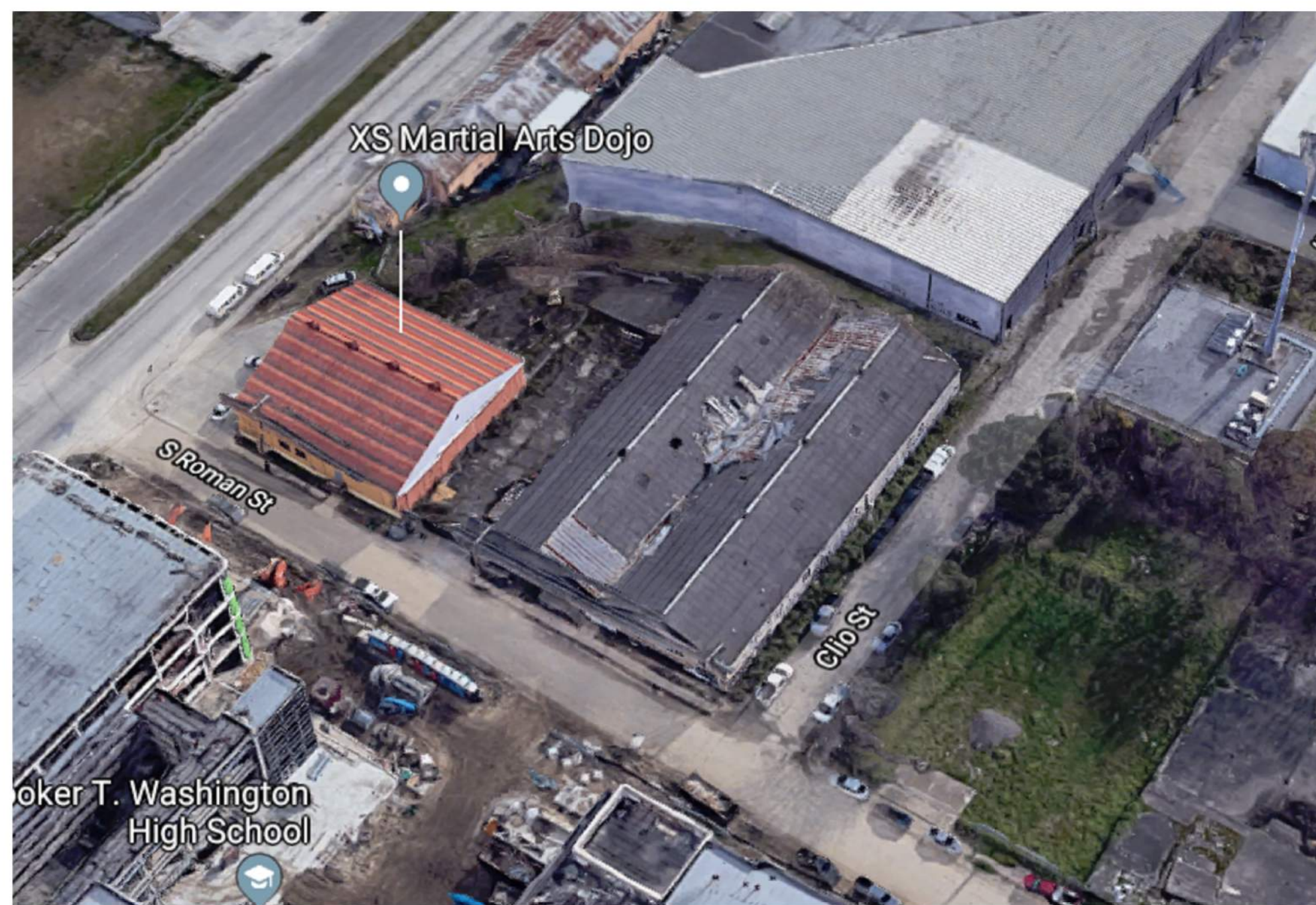
CD - PERMIT SET
 ISSUED 08/30/19

A1.2
 LIFE SAFETY

5/26/2020 2:18:47 PM



2 3D AXON EXISTING



1 1ST FLOOR DEMO
1/8" = 1'-0"

1. - NOT USED -
2. SAWCUT AND REMOVE ALL CONCRETE AT NEW COLUMN LOCATIONS & INSLAB BASE TO BASE CONNECTION PATHS AS REQUIRED, COORDINATE WITH STRUCTURAL PACKAGE SIZE AND DETAILS OF OPENING REQUIRED TO ACCEPT NEW ELEMENTS.

DEMO NOTES - SPECIFIC
1/8" = 1'-0"

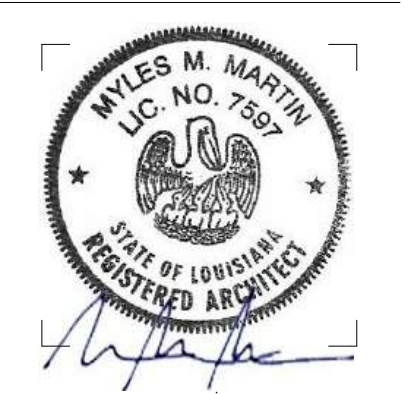
1. CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD, CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL WALLS & ASSOCIATED MATERIALS.
3. WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
4. EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
5. CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER.
6. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
7. CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.

- GENERAL NOTES - DEMO**
1/8" = 1'-0"
8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

- EXISTING STRUCTURE AND RELATED BUILDING ELEMENTS TO BE RAZED. SLAB TO REMAIN.
- SELECTIVE DEMO FOR INSTALLATION OF NEW WORK
- DEMOLITION TAG, RE: SPECIFIC DEMOLITION NOTES.

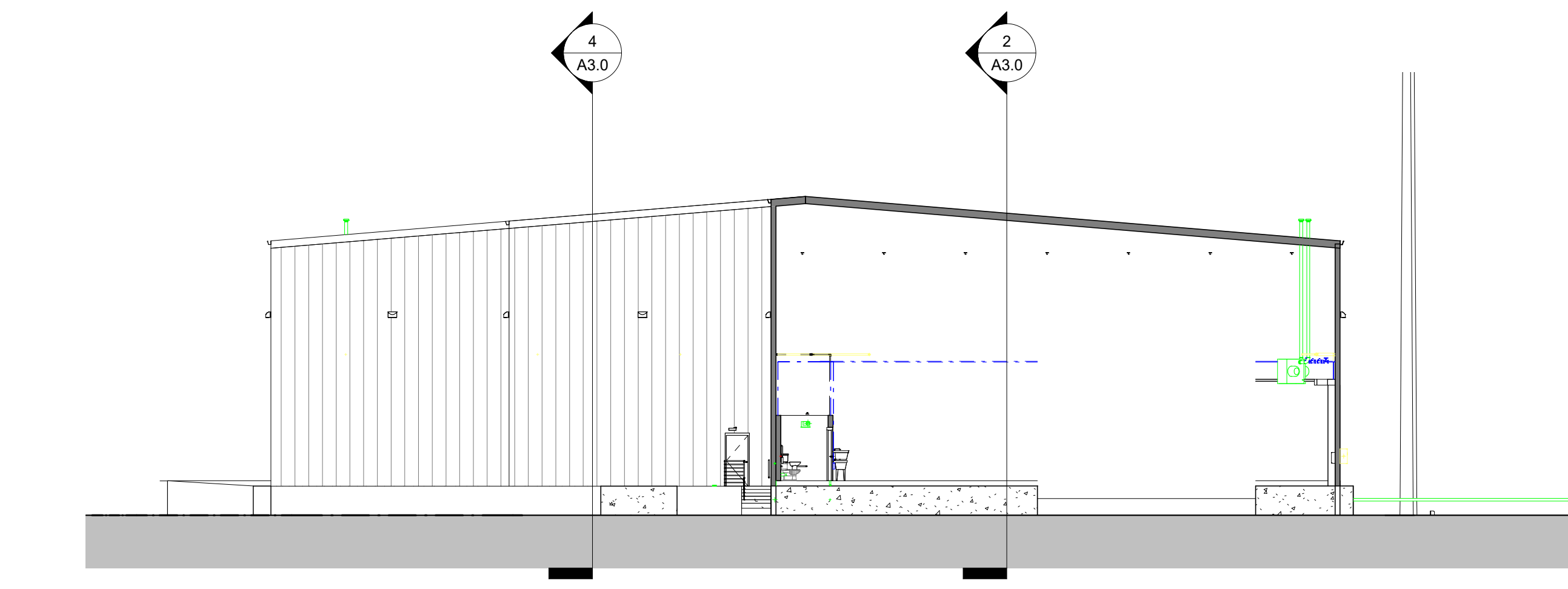
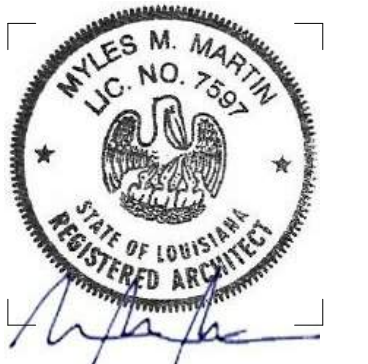
LEGEND - DEMO
1/4" = 1'-0"

NO	REVISION	DATE

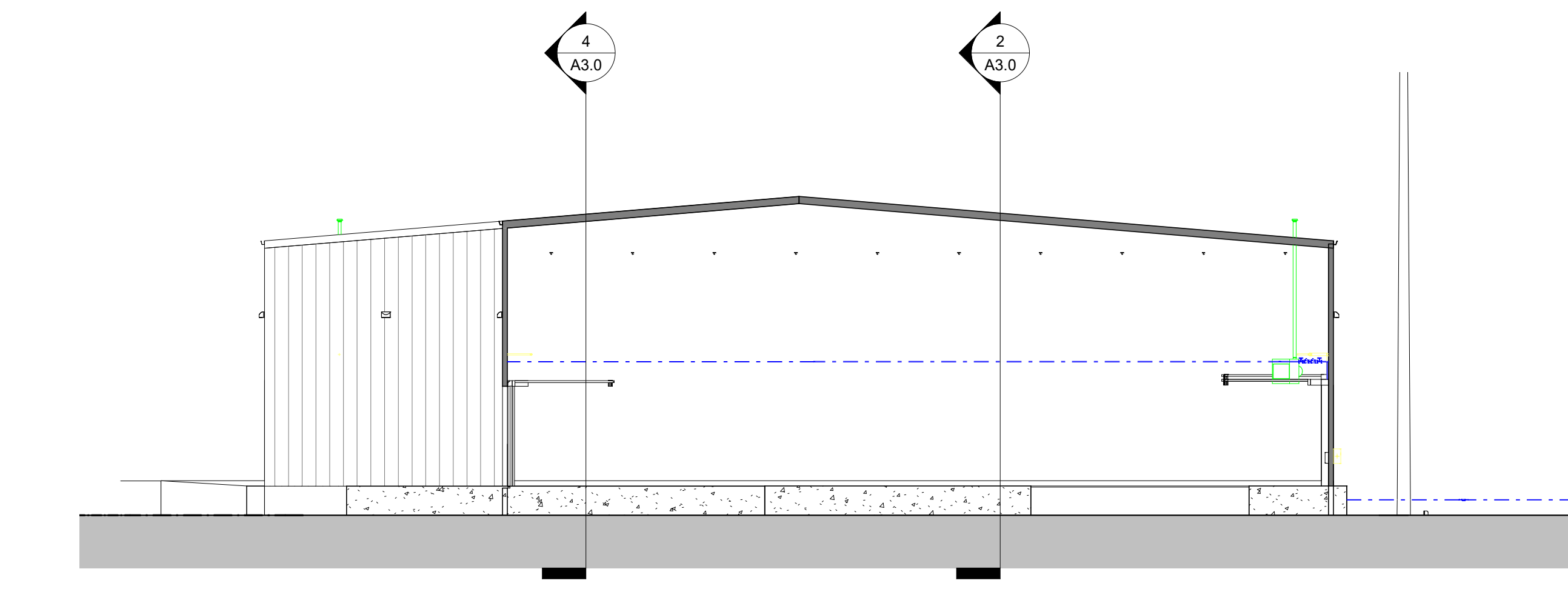


CD - PERMIT SET
ISSUED 08/30/19

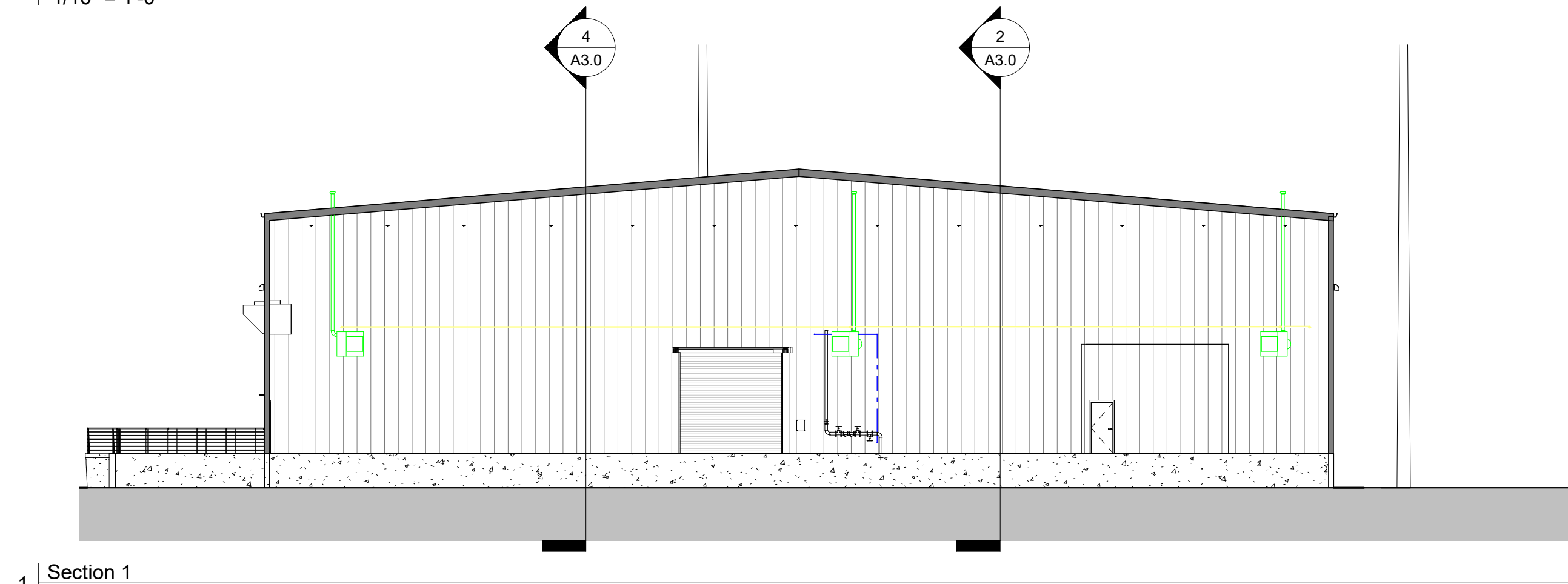
A1.3
DEMO PLAN



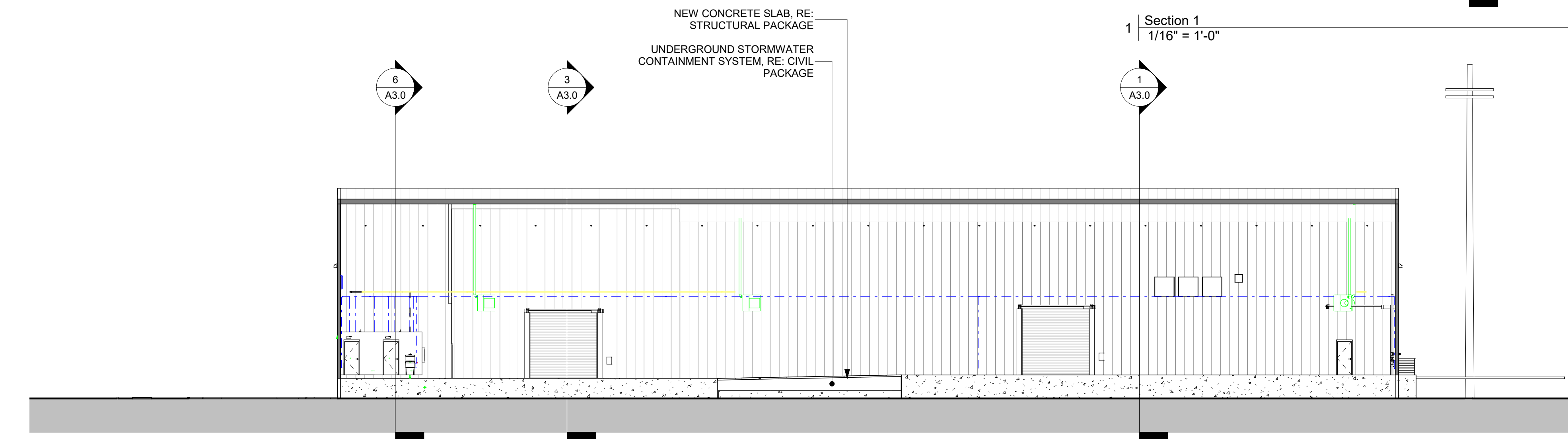
6 Section 5
1/16" = 1'-0"



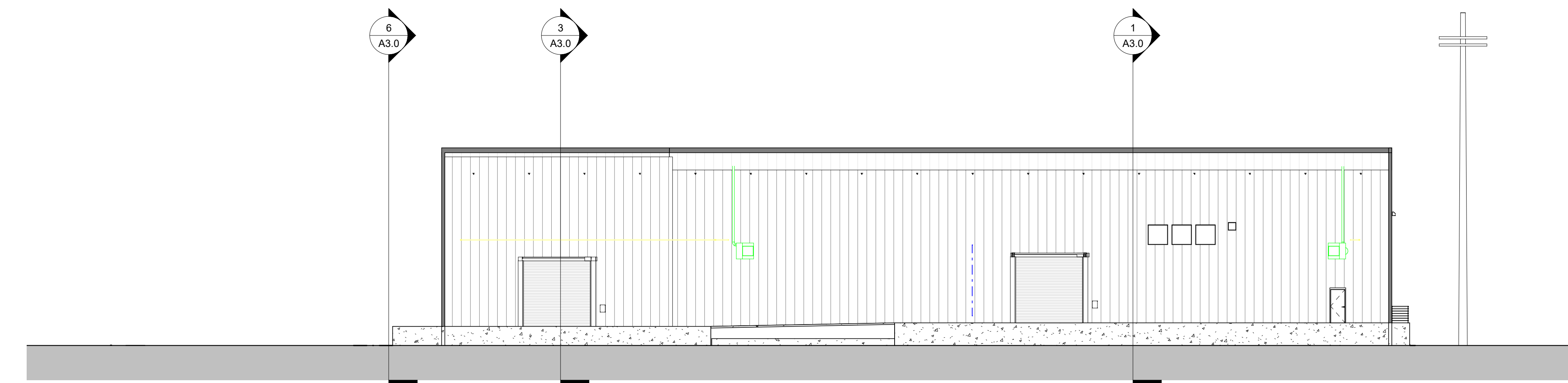
3 Section 3
1/16" = 1'-0"



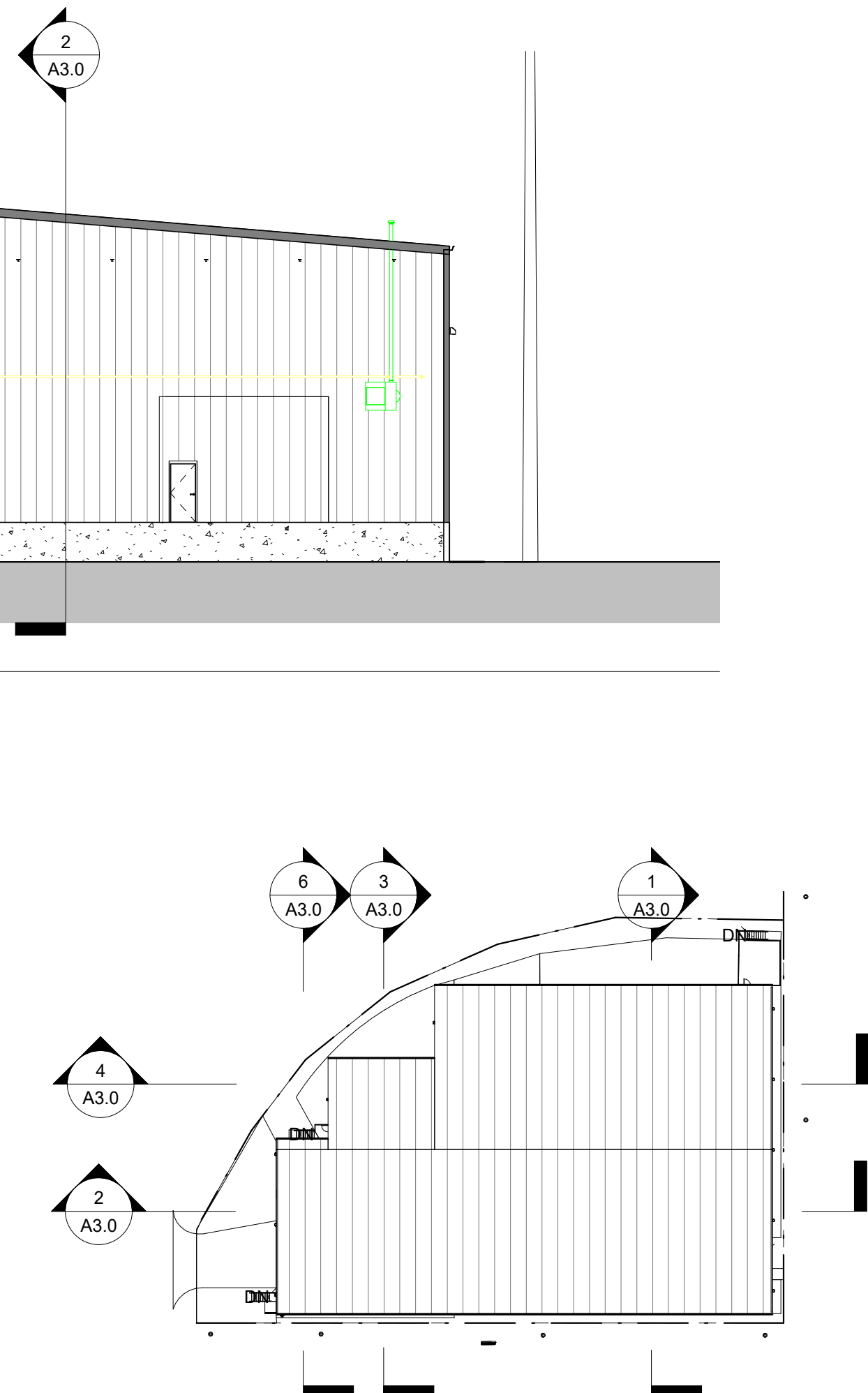
1 Section 1
1/16" = 1'-0"



2 Section 2
1/16" = 1'-0"



4 Section 4
1/16" = 1'-0"



5 KEY PLAN - SECTIONS
1" = 60'-0"

- NEW WALL
- EXISTING WALL
- COLUMN LINE & TAG
- INTERIOR ELEVATION TAG
- DOOR TAG
- PARTITION TAG
- SPECIFIC NOTE
- WINDOW TAG
- ROOM TAG
- DETAIL TAG
- SECTION TAG

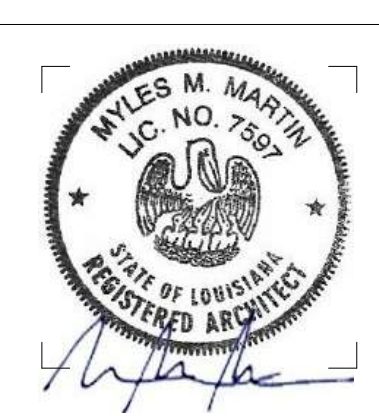
LEGEND - PLAN
1/4" = 1'-0"

19_029

DATE

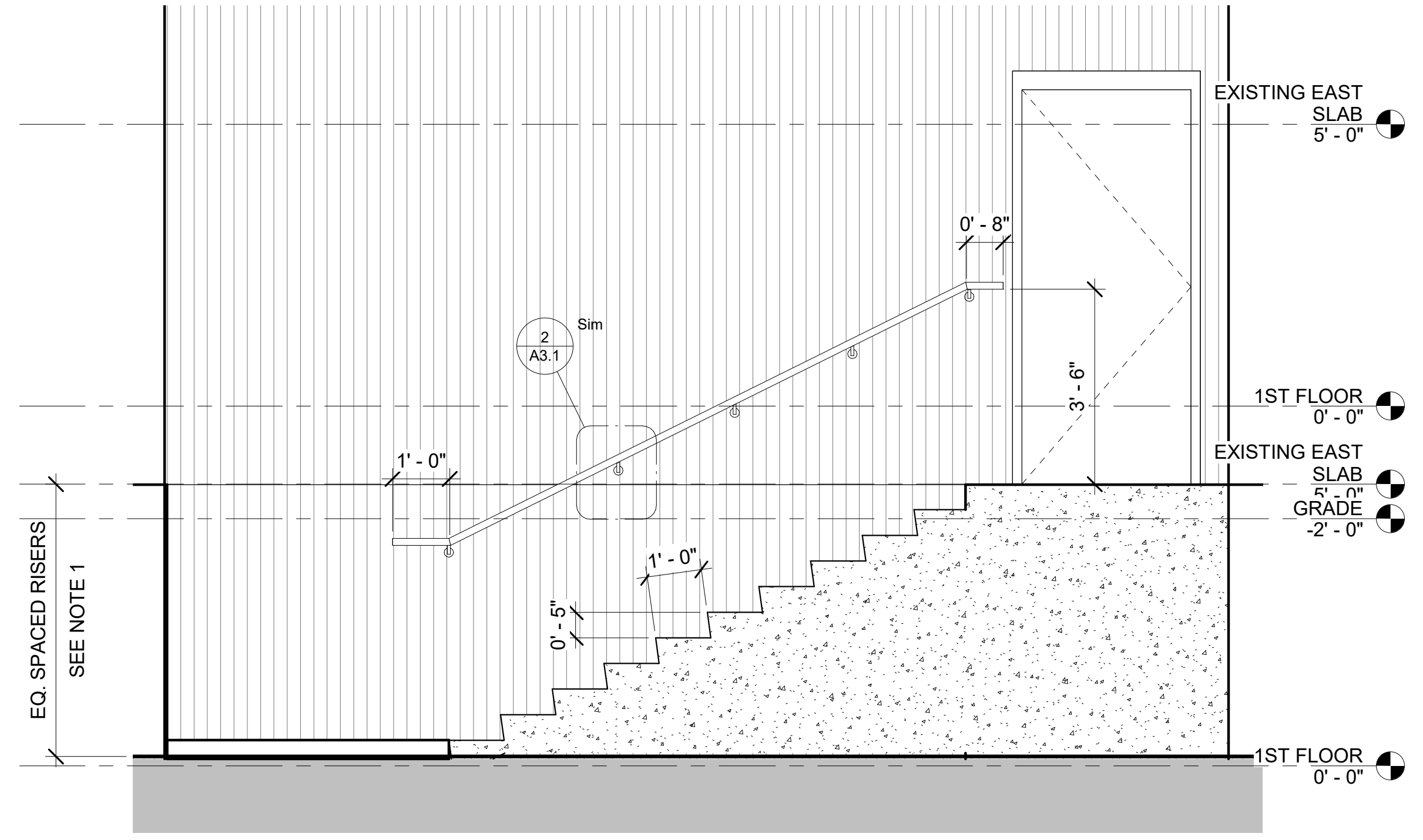
REVISION

NO

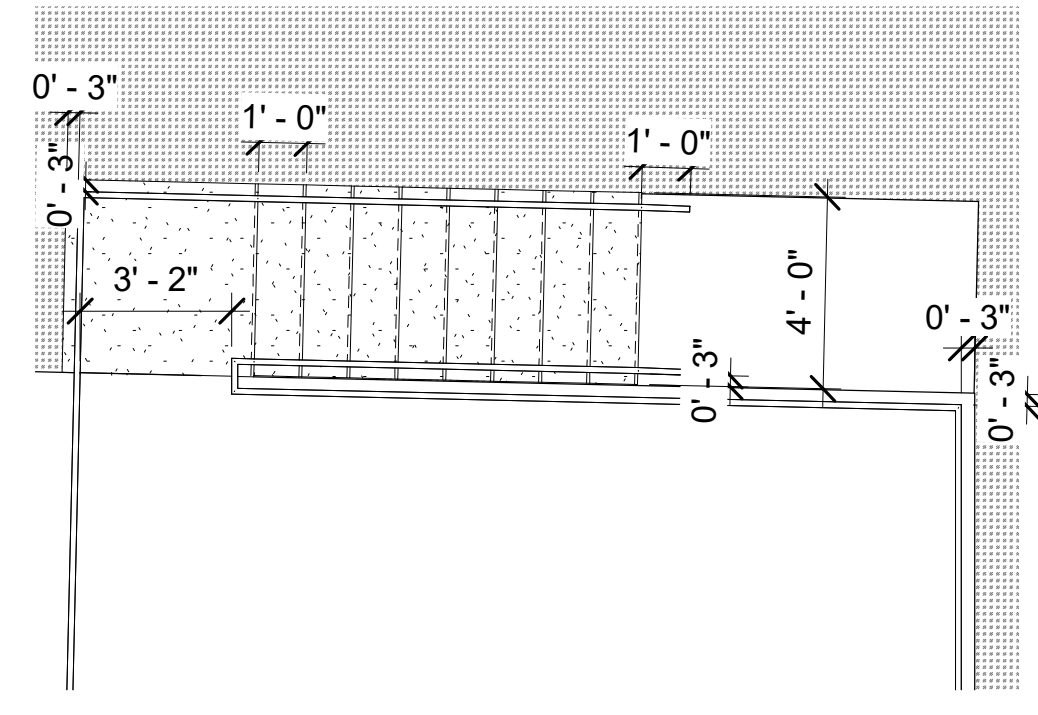


CD - PERMIT SET
 ISSUED 11/15/19

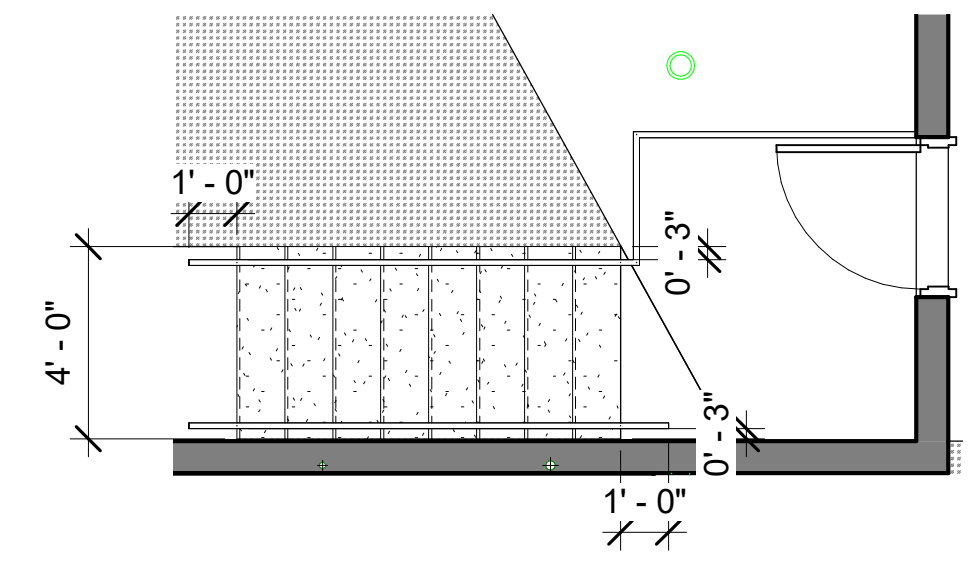
A3.1
 STAIR DETAILS



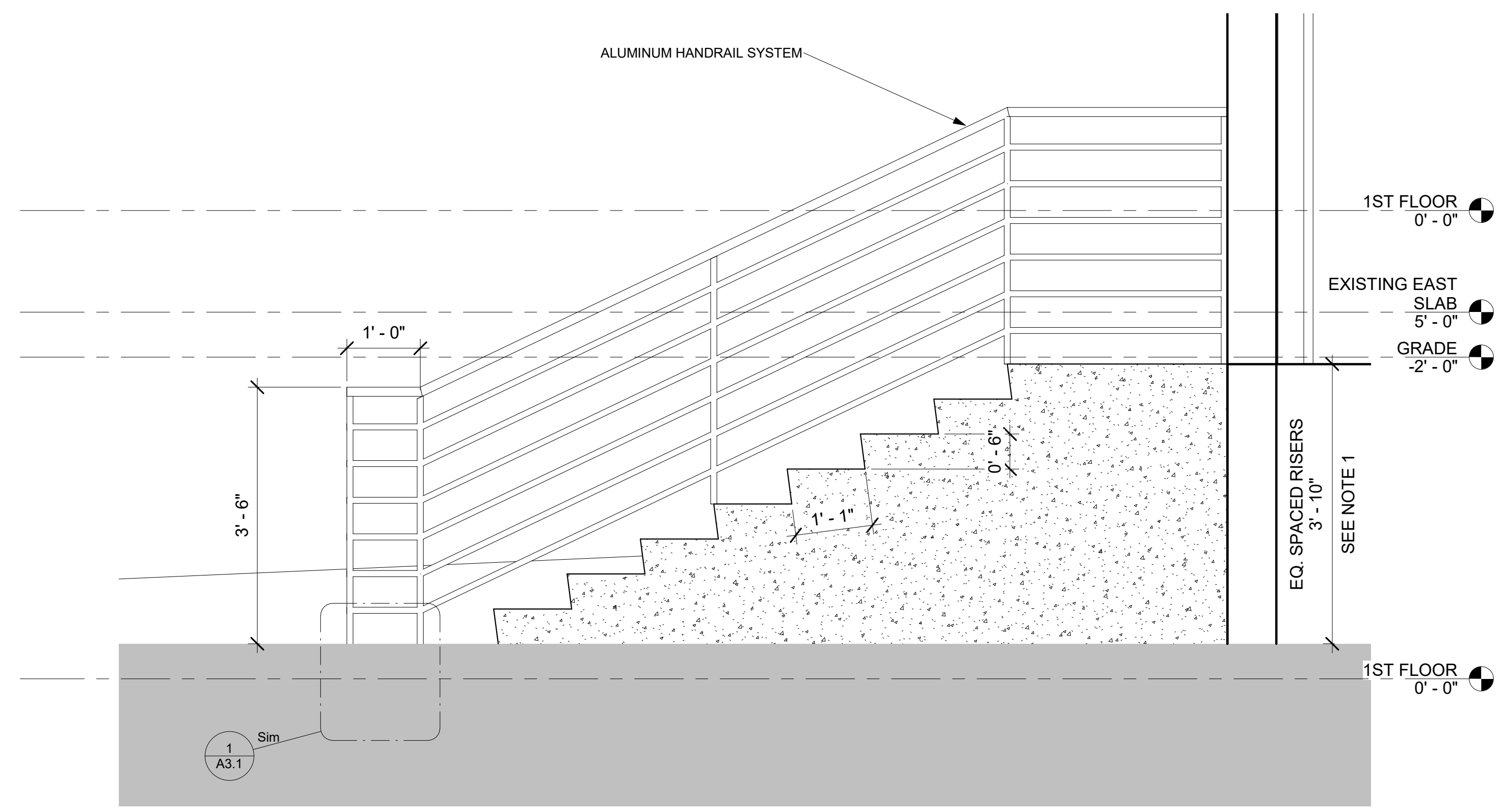
5 ENLARGED STAIR DETAIL SECTION 2
 1/2" = 1'-0"



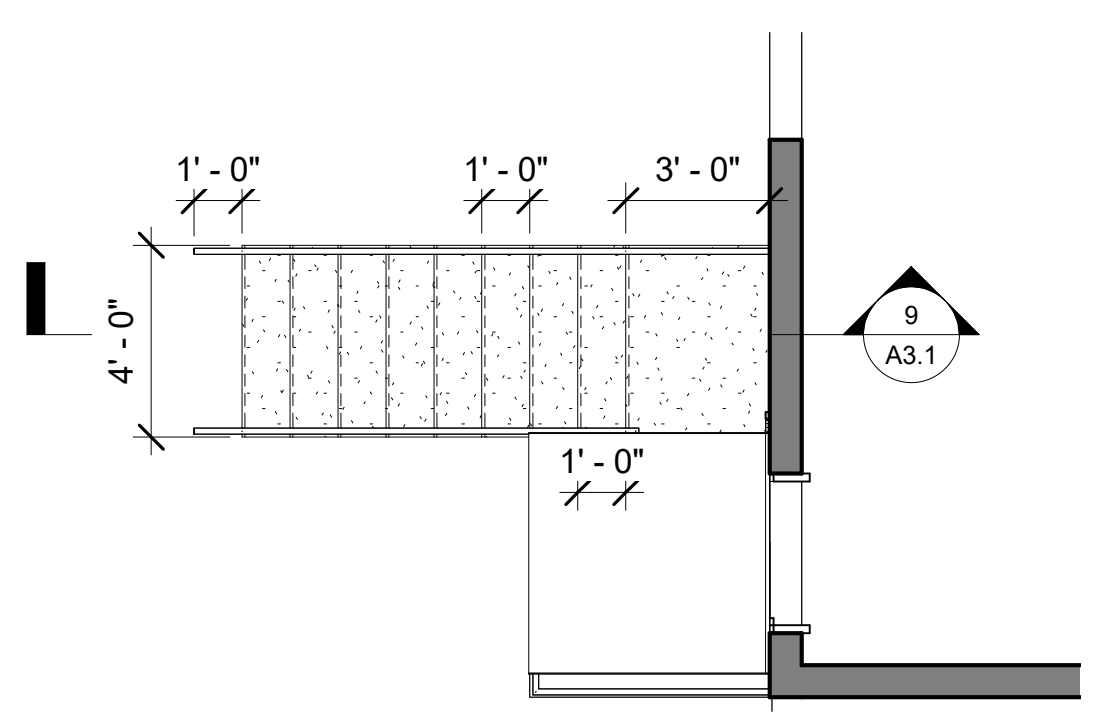
6 ENLARGED STAIR DETAIL 3
 1/4" = 1'-0"



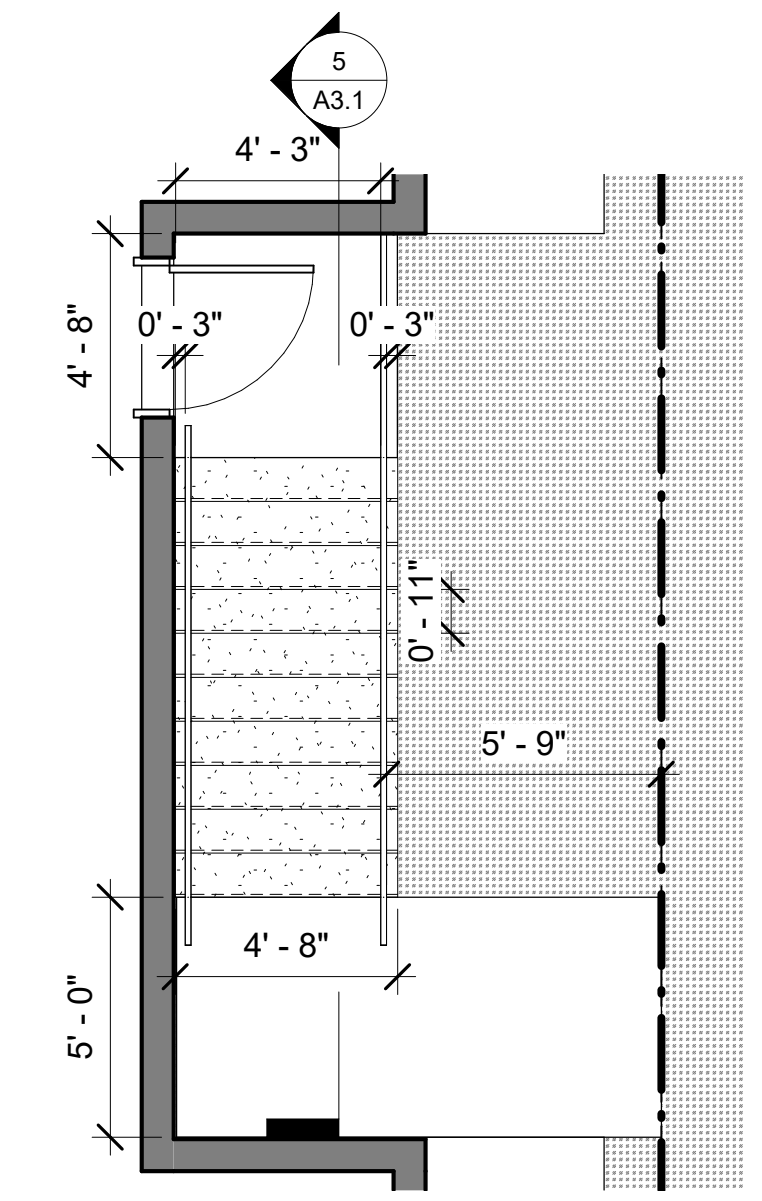
7 ENLARGED STAIR DETAIL 4
 1/4" = 1'-0"



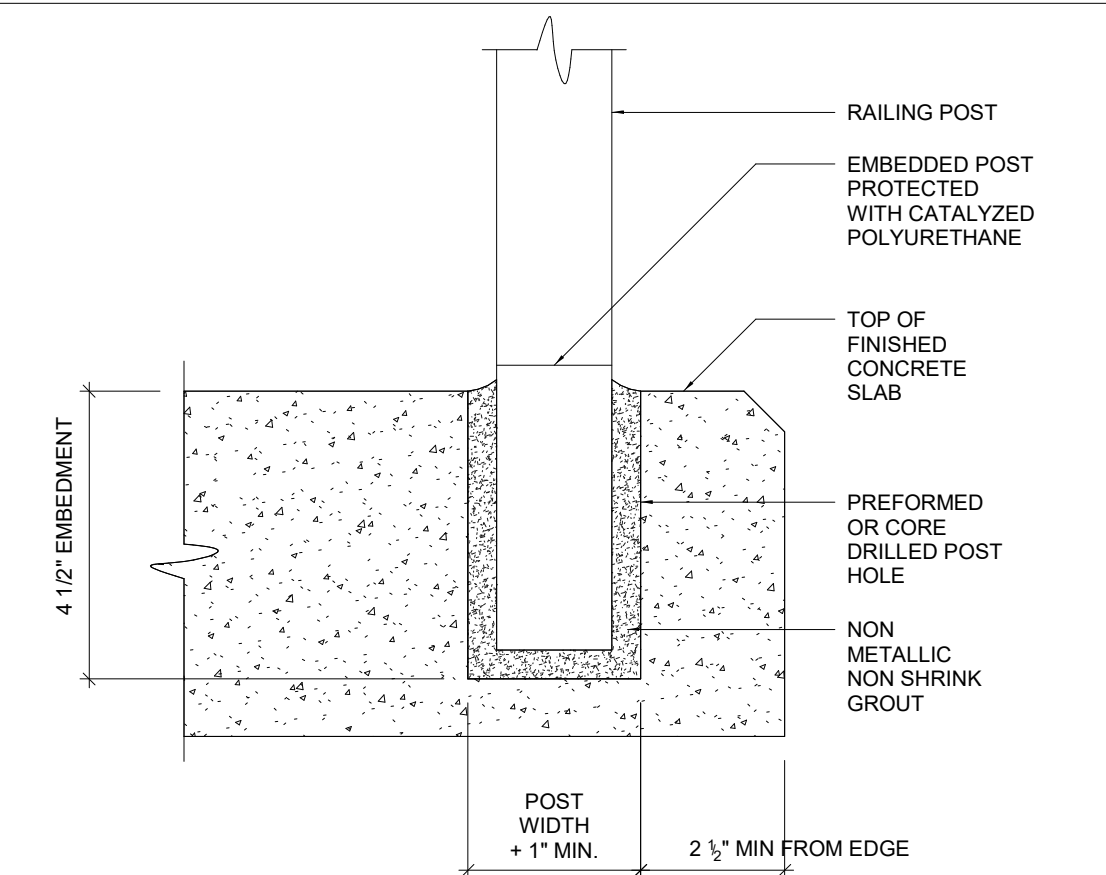
9 ENLARGED STAIR DETAIL SECTION 1
 3/4" = 1'-0"



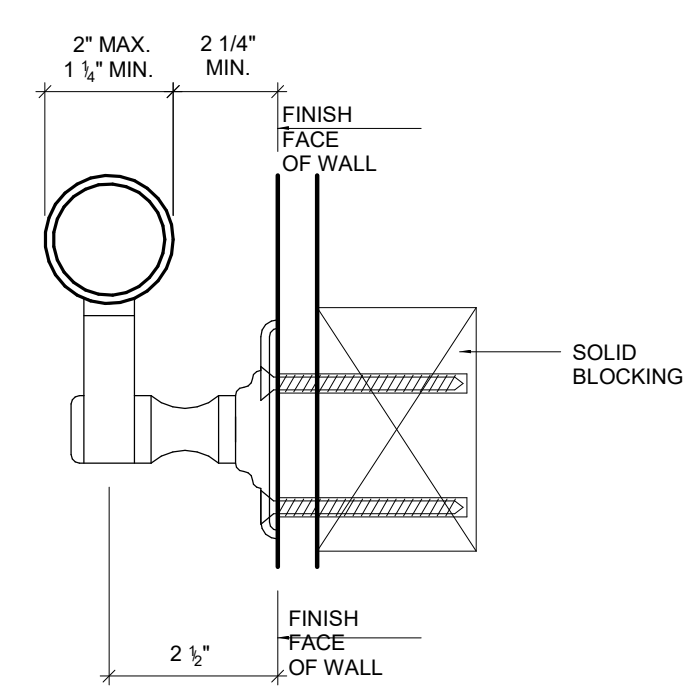
3 ENLARGED STAIR DETAIL 2
 1/4" = 1'-0"



4 ENLARGED STAIR DETAIL 5
 1/4" = 1'-0"

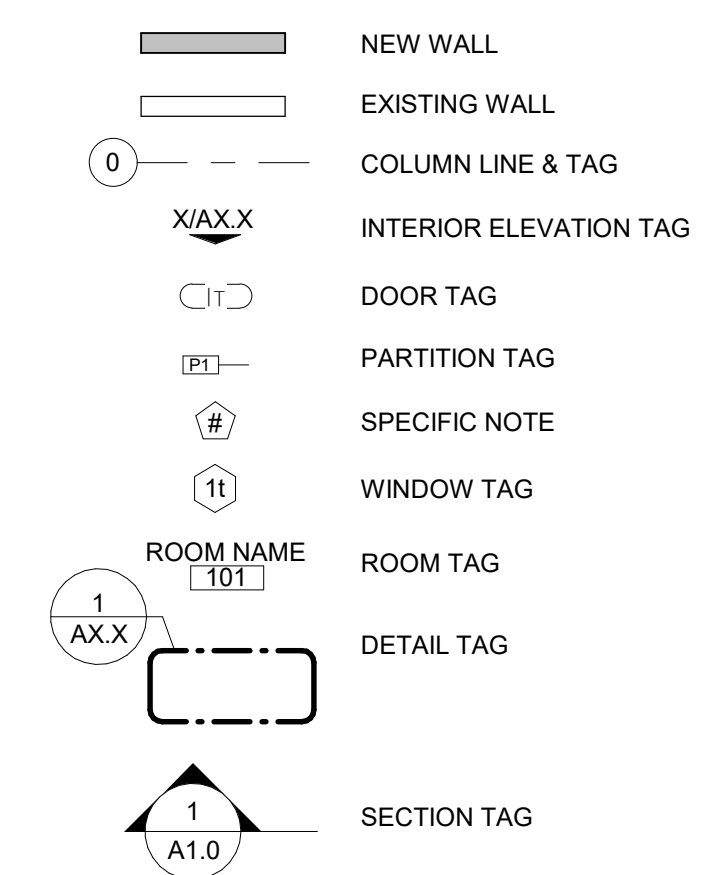


1 RAILING SYSTEM POST MOUNT DETAIL
 1 1/2" = 1'-0"



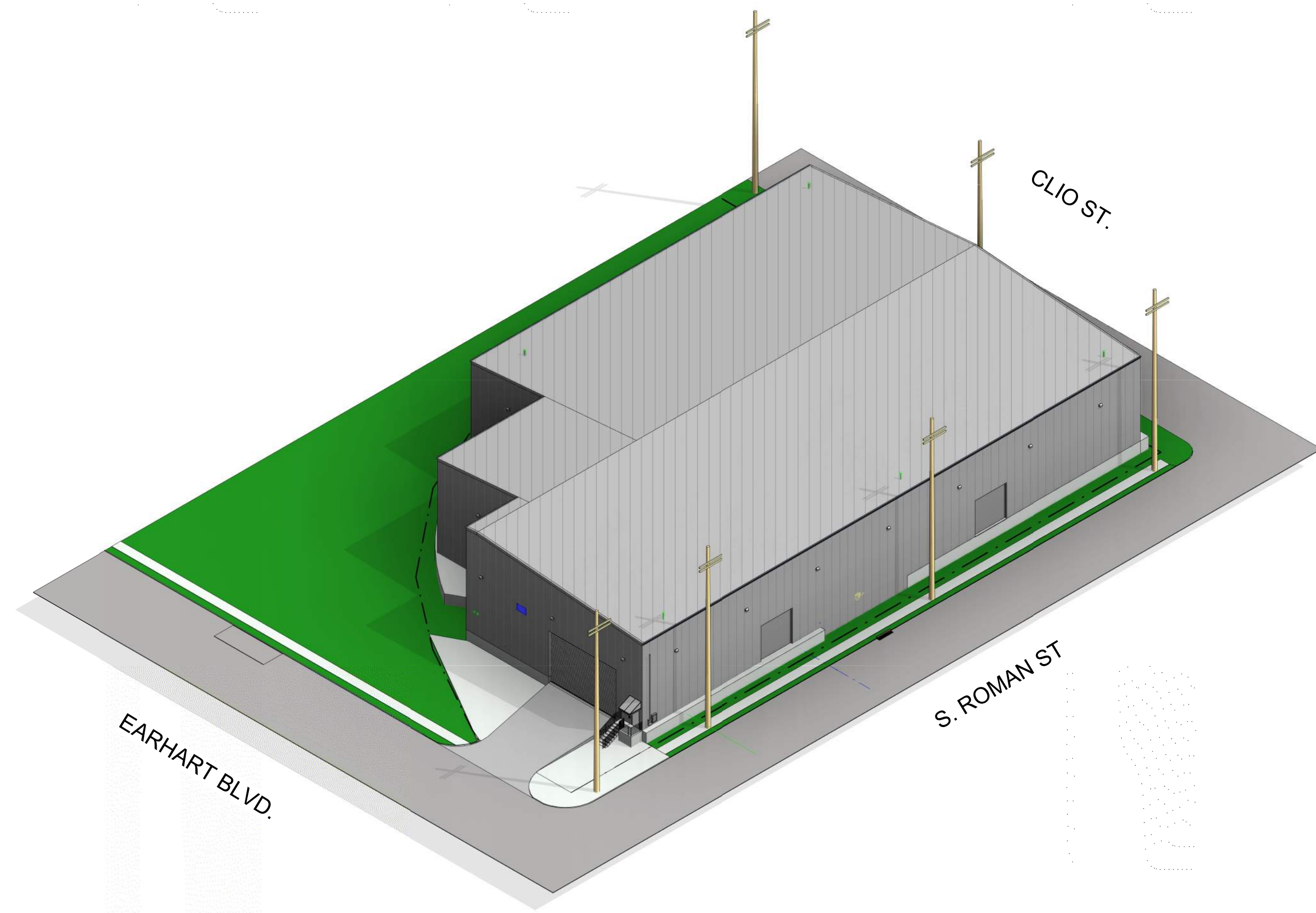
2 TYP. RAILING WALL MOUNT DETAILS
 1 1/2" = 1'-0"

- GENERAL NOTES - STAIRS**
 3" = 1'-0"
1. STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS.
 2. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH.
 3. NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD.
 4. REQUIRED RAILING SYSTEM SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.

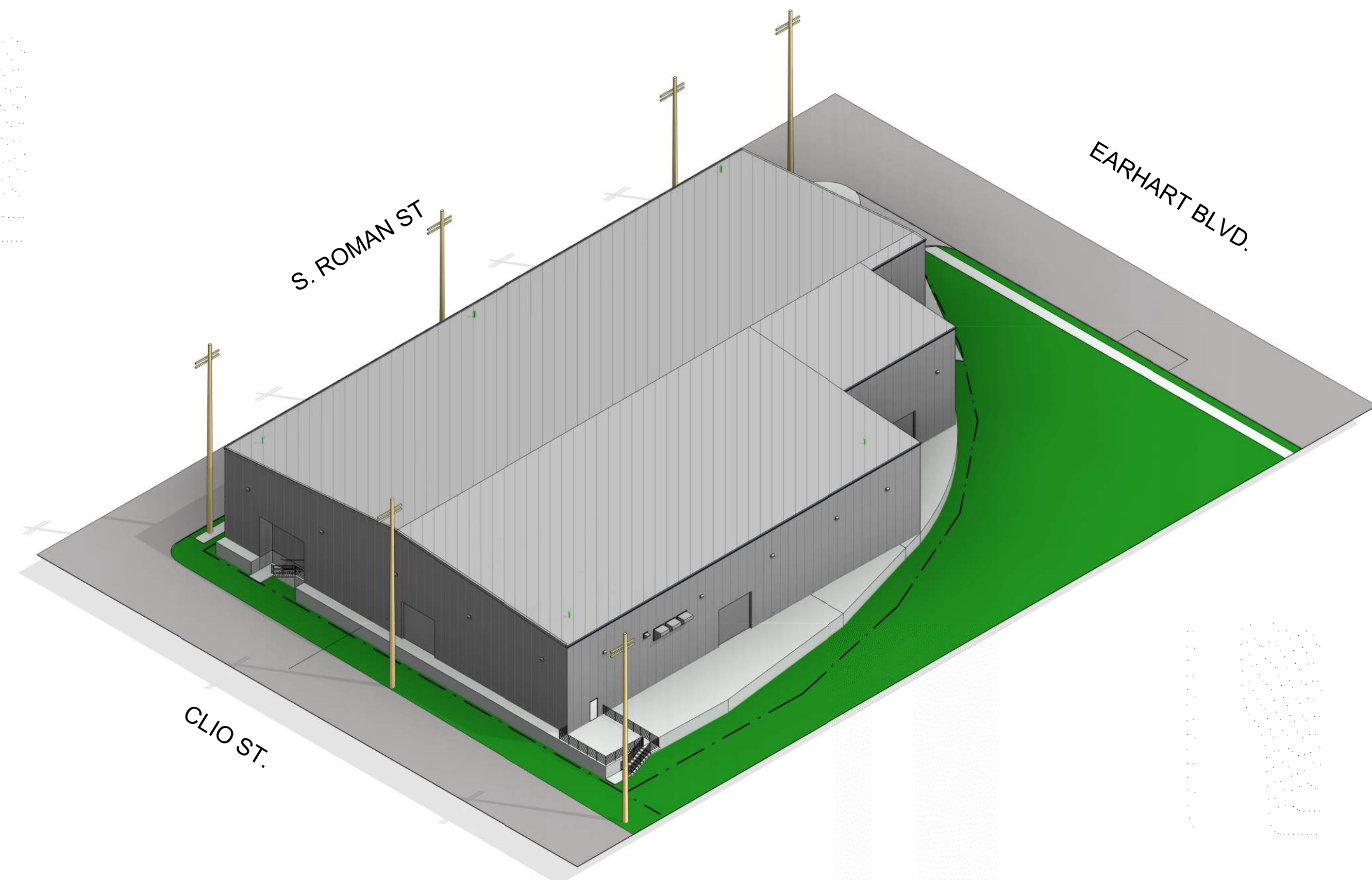


LEGEND - PLAN
 1/4" = 1'-0"

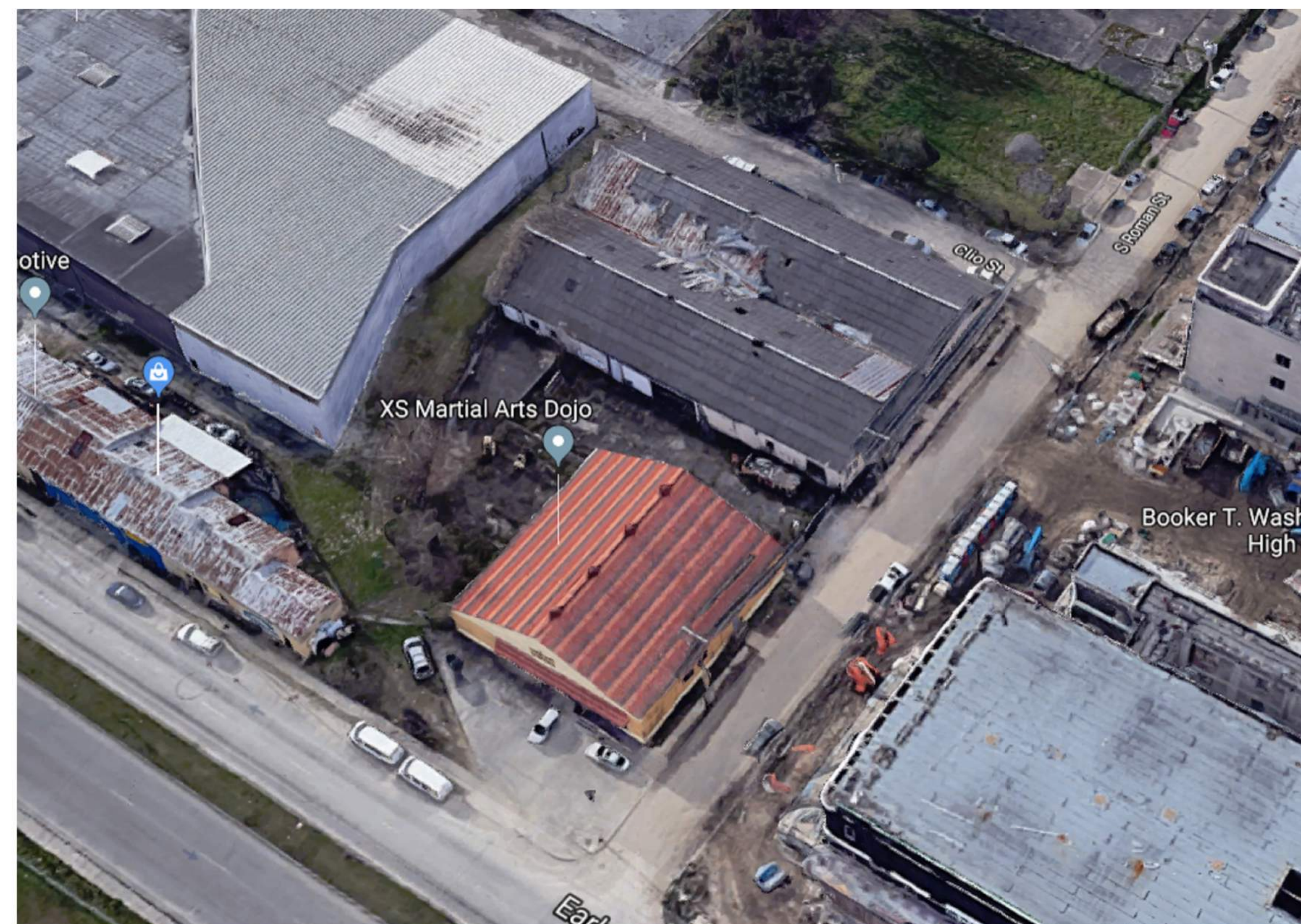
5/26/2020 2:19:03 PM



1 WAREHOUSE 01



2 WAREHOUSE 01 Copy 1



1104 S ROMAN ST LLC - KREWE OF IRIS FLOAT DEN

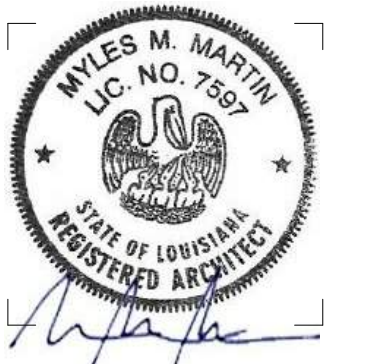
2028 EARHART BLVD
NEW ORLEANS, LA 70125

19_029

DATE

REVISION

NO



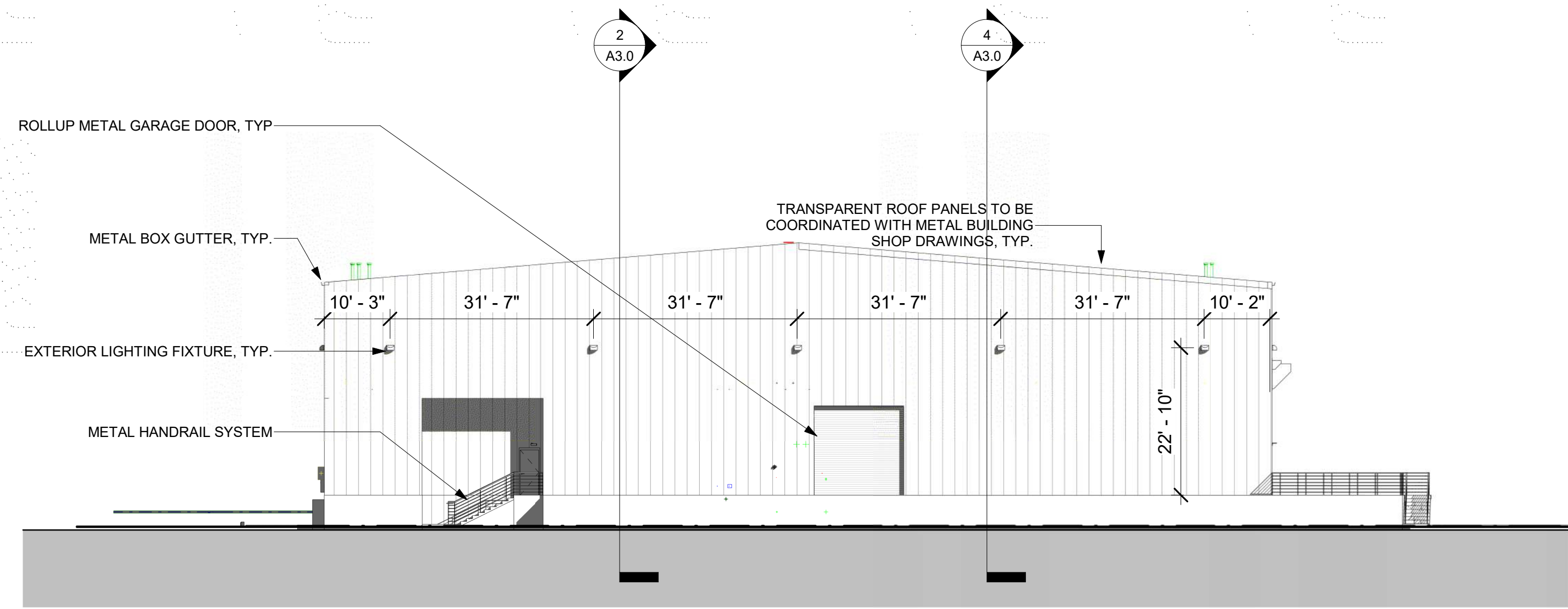
M3 DESIGN GROUP
3328 BANKS ST | NO. LA 70319 | (504) 345-8950
WWW.M3-DESIGN-GROUP.COM

CD - PERMIT SET

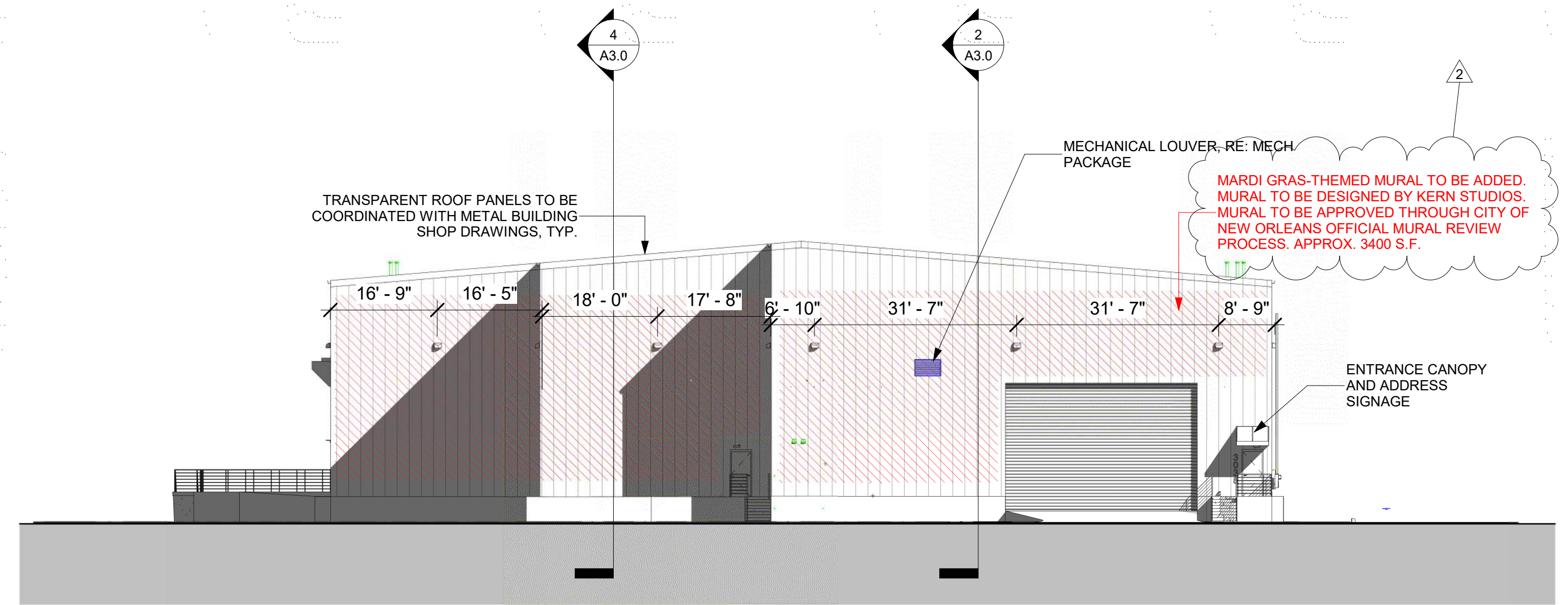
ISSUED 10/22/19

A4.0
EXTERIOR
AXONOMETRICS

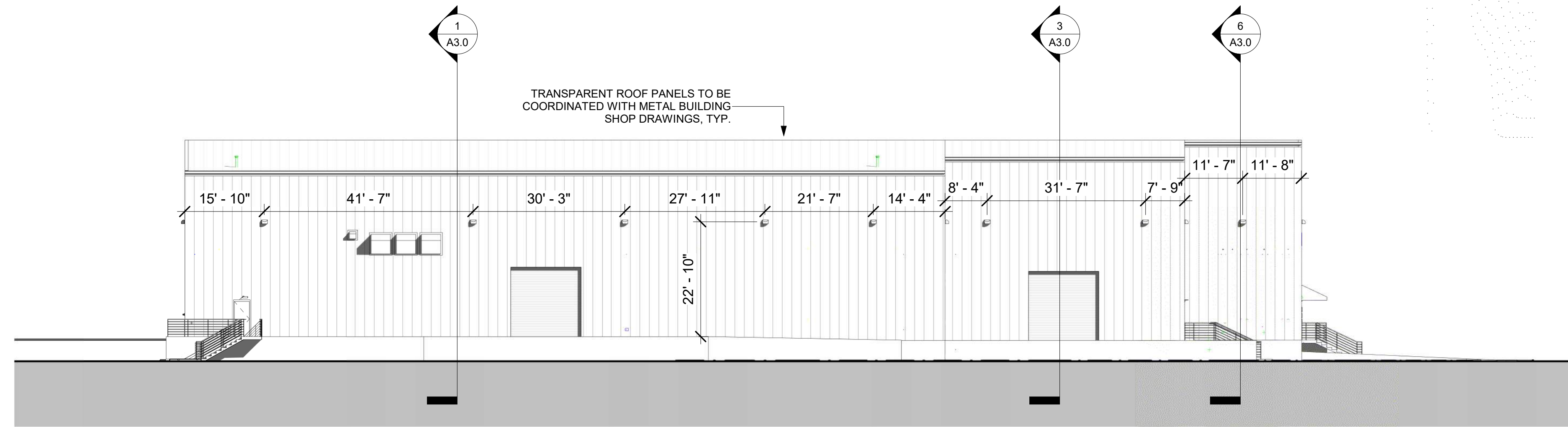
5/26/2020 2:19:16 PM



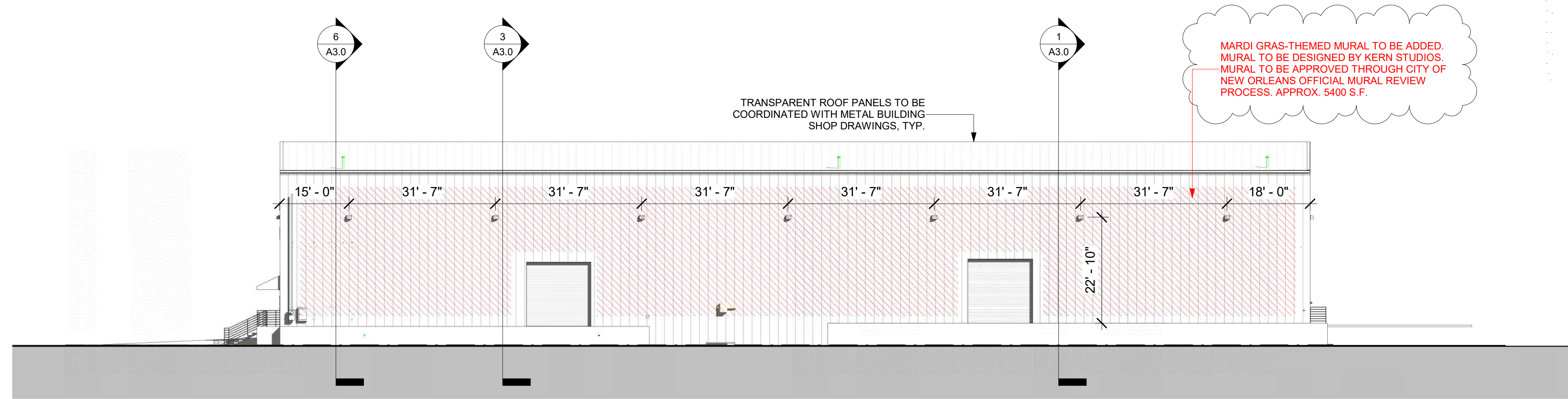
1 EAST ELEVATION
1/16" = 1'-0"



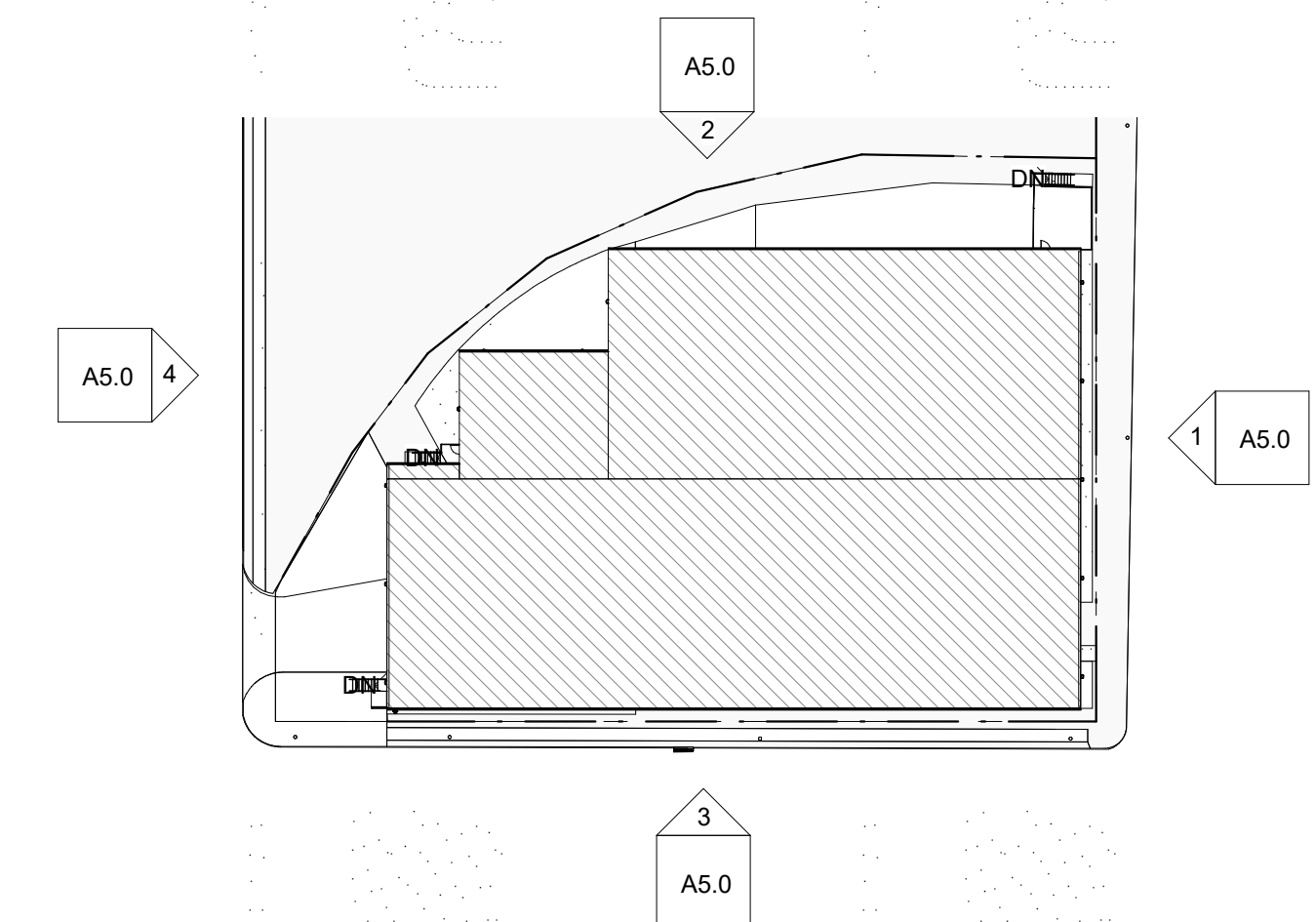
4 WEST ELEVATION
1/16" = 1'-0"



2 NORTH ELEVATION
1/16" = 1'-0"



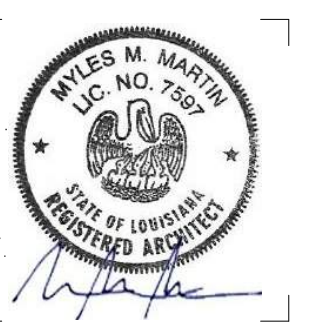
3 SOUTH ELEVATION
1/16" = 1'-0"



5 KEY PLAN - ELEVATION
1" = 60'-0"

1104 S ROMAN ST LLC - KREWE OF IRIS FLOAT DEN
 2028 EARHART BLVD
 NEW ORLEANS, LA 70125

#	TYPE	PERMIT UPDATES	DATE
2	PERMIT		5-26-20



M3 DESIGN GROUP
3328 BAINS ST | NO. LA 70319 | (504) 445-8950
WWW.M3-DESIGN-GROUP.COM

CD - PERMIT SET
ISSUED 10/22/19

A5.0
EXTERIOR ELEVATIONS

5/26/2020 2:19:22 PM