



CHEAP LUXURY CLEANERS

\$2.99

CLEANERS

pi

Louisiana Orland

FRESH

ROUSES FOOD MARKET

STOP

NO BAGS DOWN!



planet

fitness

Louisiana Owned

FRESH

ROUSES FOOD MARKET

FRESH

STOP



SPRING LIBRARY

24

Planet



fitness

Louisiana Owned

FRESH

ENTRANCE

ROUSE'S

STOP

456 BCW

Planet



fitness

Louisiana Owned

FRESH

ROUSES MARKET

ENTRANCE

ROUSES MARKET





Louisiana Owned

FRESH

ROUSES FOOD MARKET

FRESH

ENTRANCE

ROUSES MARKET

STOP

STOP



MARKET

FRESH

STOP



ISES

FOOD MARKET

FRESH



STOP

STOP

570

Apollo

Round Diffuser, No Perfex, No Shield Wall Mount Indoor/Outdoor Sconce LED

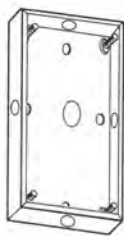


We reserve the right to revise the design or components of any product without notice.

CATALOG #		TYPE
PROJECT/LOCATION		
APPROVED BY		

SPECIFICATIONS

- BACKPLATE — 16 Ga. aluminum (AL).
- BACKBOX — 16 Ga. aluminum (AL) with wire access on four sides and back through 7/8" dia. KO flattened water tight (Optional for surface conduit entry or standard with emergency battery).
- DIFFUSER — White translucent, fully enclosed non-yellowing 100% virgin acrylic, .125 Thick (1/8"). Optional Clear (CTB) top and/or bottom — CTB is Standard with Uplight and/or Downlight; Opaque (OQTB) top and/or bottom; or Open (ONTB) top and/or bottom — Dry Location Only.
- DRIVER — Universal Volt (120-277v) Electronic Driver.
- FASTENERS — Stainless steel tamperproof screws —(2) To secure lens in place.
- FINISH — Corrosion and Weather resistant, extremely durable pre-treated oven baked polyester powder.
- GASKETING — High Temp., non-aging black EPDM and/or neoprene rubber around the entire lens perimeter & rear wire entrance hole to protect against dust, moisture & outside contaminants.
- MOUNTING — Use (4) or (6) 5/16" diameter holes for 1/4" diameter bolts for outdoor or indoor. 7/8" KO in Center for Wire Access. Must derate lamping for horizontal.
- WALL WASH — CTB is Standard with Uplight or/and Downlight. For wall wash patterns specify: UP (Uplight) or DN (Downlight) or UP/DN (Up and Downlight).
- COMPLIANCE — Built to comply with U.S. and Canadian safety standards. Suitable for wet locations.



Shown with Backbox
(side view of Classic XL)



APOLLO
M - XL3

LAMP TYPE/QTY/WATTAGE¹

Visit www.eclipselightinginc.com for available IES files

Fixture Size		M	L	APOLLO XL	APOLLO XL1	XL2	XL3
Dimensions - W x H x D		8 1/4" x 11 1/4" x 4"	8 1/4" x 13 1/4" x 4"	8 1/4" x 16" x 5 1/2"	9 1/4" x 21" x 5 1/2"	12 1/4" x 26 1/4" x 7 1/4"	14" x 41" x 8 1/2"
Light Emitting Diode	LED	10w	15w	APOLLO 15w	APOLLO 15w / APOLLO 30w	40w / 60w	60w
Light Emitting Diode ² Uplight/Downlight Clear Top/Bottom (CTB) Standard with UP/DN	UP/DN	N/A	5w/5w	5w/5w	5w or 10w	5w or 10w or 25w ³	5w or 10w or 25w ³

¹Consult Factory for CFL, Linear Fluorescent, HID, and Induction Lamping

ORDERING GUIDE:

Series	Size	LED Wattage	Color Temp	Voltage	Finish	Options
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

SPEED OF LIGHT QUICK SHIP PROGRAM

- Orders of 20pcs or Less Ship in 2 Weeks
- Options that are highlighted and feature the APOLLO symbol are eligible for the Speed of Light quick ship program

SERIES

APOLLO = Apollo Series

SIZE

- M = 11-1/8"
- L = 13-1/4"
- APOLLO XL = 16"
- APOLLO XL1 = 21"
- XL2 = 26"
- XL3 = 41"

LAMP TYPE/QUANTITY/WATTAGE

Refer to Above Chart

LED COLOR TEMPERATURE

- APOLLO 3K = 3000K Range
- APOLLO 4K = 4000K Range
- APOLLO 5K = 5000K Range

VOLTAGE

- APOLLO 120 = 120 Volts
- APOLLO 277 = 277 Volts
- 347 = 347 Volts
- EBU = Universal Volt (120-277v) Electronic Driver
- 2EBU = Two Universal Drivers

STANDARD PAINTED FINISH

- APOLLO BK = Black Finish
- APOLLO BZ = Bronze Finish — Standard
- APOLLO PNA = Painted Natural Aluminum
- APOLLO SGR = Silver Gray
- APOLLO WH = White Finish

CUSTOM ORDER PAINTED FINISH

- CC = Custom Color (Provide Specs)
- CH = Corvel Chrome
- HBA = Hand Brushed Aluminum w/ Clear Coat

LITEPAK SERIES LNC3	Cat.#		
	Job	Type	
			Approvals

SPECIFICATIONS

Intended Use:

The mid-sized LNC3 is designed for perimeter illumination for safety, security and identity. No uplight and lower glare lens option offer neighbor friendly lighting at typical mounting heights of 8-20'. Units have protective polyester finish for long lasting appearance. Ideal for schools, factories, hospitals, warehouses and retail applications. Energy efficient LEDs provide 70%+ energy savings with little to no maintenance when compared to traditional light sources.

Construction:

Die-cast aluminum housing protects components and provides an architectural appearance. Casting thermally conducts LED heat to optimize performance and long life. Powder paint finish provides durability in outdoor environments. Four 1/2" conduit entries (top, bottom, and sides) provided for surface conduit.

Electrical:

- 120-277, 347 and 480 voltage, 50/60Hz, 0-10V dimming drivers
- Electronic driver
- 10kA surge protection

LED(s) CCT:

- Ambient operating temperature -40°C to 40°C
- 3000K, 4000K and 5000K CCT nominal with 70 CRI
- Available in 2 or 24 LED configuration, see page 2 for electrical and photometric data

Lenses:

- Zero uplight distributions using individual acrylic LED optics provide IES type II, III and IV distributions
- CS - Frosted acrylic diffuser option for reduced glare
- CSU - Frosted acrylic diffuser for inverted "up" mounting applications (lens required)

Lumen Maintenance:

L89 at 60,000 hrs (Projected per IESNA TM-21-11), see table on page 2 for all values

Installation:

Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches by two Allen-head hidden fasteners for tamper resistance. Designed for direct J-box mount or conduit feed on all four sides in single SKU.

Options/Controls:

- Button photocontrol for dusk to dawn energy savings
- 7-pin photo-receptacle available for twist lock photocell and controls by others
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commissioned wireless controls (with or without sensor)
- In addition, LITEPAK can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbelloutdoor.com/sitesync for more details.

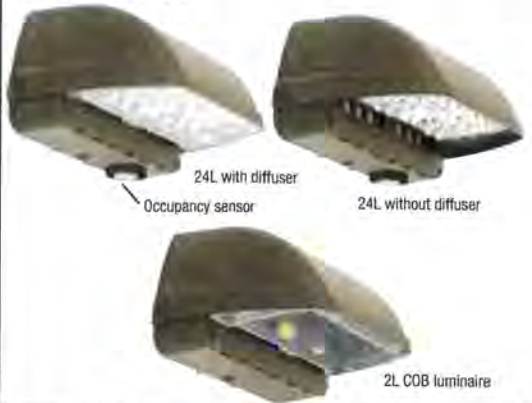
Listings:

- DesignLights Consortium® (DLC) qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org
- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- IP65 Assembly • IDA Approved (3000K configurations)

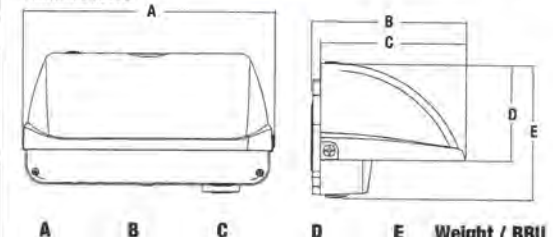
Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

PRODUCT IMAGE(S)



DIMENSIONS



A	B	C	D	E	Weight / BBU
13"	10.5"	9.9"	5.8"	8.3"	18 lbs.
330.2 mm	266.7 mm	251 mm	147.3 mm	210.8 mm	8.2 kg

CERTIFICATIONS/LISTINGS



SHIPPING INFORMATION

Catalog Number	G.W.(kg)/ CTN	Carton Dimensions			Carton Qty. per Master Pack
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)	
LNC3-24L	18.0 (8.2)	15.8 (40)	11.0 (28)	13 (33)	1

ORDERING INFORMATION — ORDERING EXAMPLE: LNC3-24L-3K-105-2-1-DB-7PR-SCP

LNC3	-	-	-	-	-	-	-	-	-
FAMILY	NUMBER OF LEDS	CCT	DRIVE CURRENT	IES DISTRIBUTION	VOLTAGE	FINISH	CONTROL OPTIONS	OPTIONS	
LNC3 Medium Litepak Wallpack	24L 24LEDs	3K 3000K 4K 4000K 5K 5000K	035 350mA 050 500mA 075 750mA 105 1050mA	2 Type II 3 Type III 4 Type IV	U 120v-277v 1 120v' 2 208v' 3 240v' 4 277v' 5 480v' F 347v'	DB Bronze BL Black WH White GR Gray PS Platinum CC Custom Color	PCU Universal Button PC 7PR ⁶ 7pin PCR SCP ^{3,4} Programmable occupancy sensor SWP ^{7,10} SiteSync pre-commissioned SWPM ^{4,7,8,10} SiteSync pre-commissioned w/ occupancy sensor	F ¹ Fusing (must specify voltage per footnote) CS Frosted acrylic diffuser CSU ² Inverted/Up mounting frosted acrylic diffuser (required for up/inverted fixture installations, factory install only see page 3) E ^{1,5} Integral battery backup rated for 0° EH ^{1,5} Integral battery backup with heater rated for -30°C. 2DR ⁹ Dual Drivers	

STOCK ORDERING INFORMATION — 2L COB MODELS

CATALOG NUMBER	DESCRIPTION	DISTRIBUTION	WATTAGE	LUMENS	LPW	VOLTAGE	# OF DRIVERS @ DRIVE CURRENT	WEIGHTS LBS. (KGS)
LNC3-2L4K-075	2 LED - 60W Configuration, 4000K, Dark Bronze	Type IV	62.0	5,857	94.8	120-277	1 @ 750mA	16(7.3)
LNC3-2L4K-105	2 LED - 90W Configuration, 4000K, Dark Bronze		87.4	7,721	86.1		1 @ 1050mA	
LNC3-2L5K-105	2 LED - 90W Configuration, 5000K, Dark Bronze		87.4	7,288	82.0		1 @ 1050mA	
LNC3-2L4K-105-7PR	2 LED - 90W Configuration, 4000K, Dark Bronze, 7-Pin		87.4	7,721	86.1		1 @ 1050mA	
LNC3-2L4K-105-SCP	2 LED - 90W Configuration, 4000K, Dark Bronze, SCP		87.4	7,721	86.1		1 @ 1050mA	



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

CSU – INVERTED MOUNTING OPTION
(Requires Factory Installed lens option)



Inverted mounting capabilities for uplighting applications. Specially designed frosted acrylic diffuser option softens output, improves uniformity and protects LED lenses.

7PR-7-PIN RECEPTACLE
(Photocontrol and Wireless Controls by Others)



Standard NEMA 7-Pin receptacle for twist lock photocell or wireless controls (by others).

SCP - Programmable Occupancy Sensor

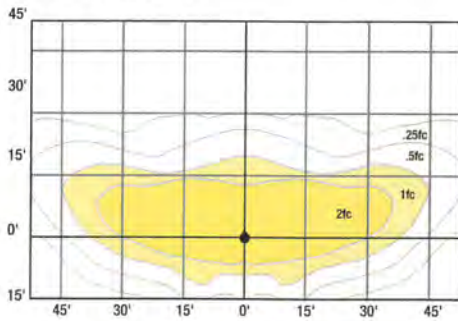


Sensor offers greater control and energy savings with SCP programmable sensor with adjustable delay and dimming levels (Factory default is 10%)

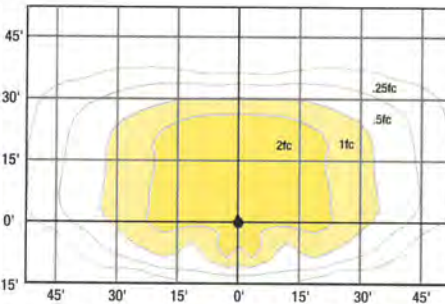
Visit: <http://www.hubbellighting.com/solutions/controls/> for control application information

PHOTOMETRICS

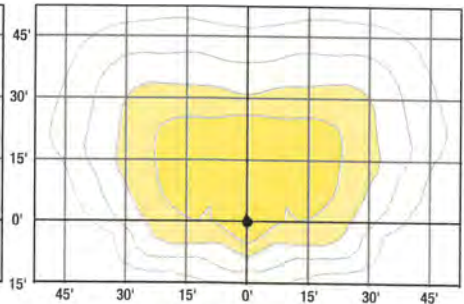
Mounting Height 15ft



TYPE II
LNC3-24L-5K-105-2

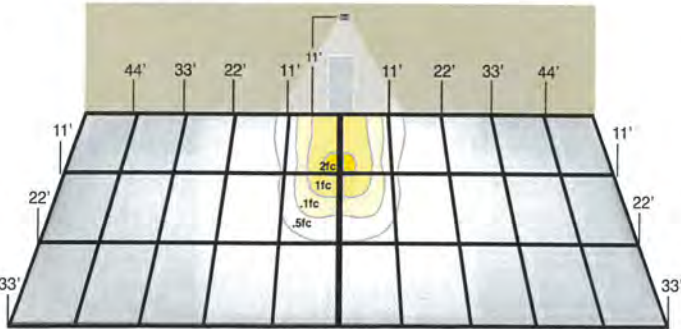


TYPE III
LNC3-24L-5K-105-3



TYPE IV (Forward throw)
LNC3-24L-5K-105-4

PHOTOMETRICS - BATTERY BACK UP



11' Mounting Height

Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C

E & EH EMERGENCY BATTERY BACKUP



24 High Power LEDs generate up to 6,000 lumens in Normal Mode, and use 4 LEDs for up to 700 lumens in emergency.

SWP & SWPM - SiteSync™



SiteSync Lighting Control is available from our most popular brands in a broad range of award-winning product families.

Precommissioned SiteSync Ordering Information:

When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project locations Group information, and Operating schedules. For more detailed information please visit www.HubbellLighting.com/products/sitesync or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture selection of the lens.

Examples: LNC3-24L-4K-075-3-U-BL-SWP
LNC3-24L-4K-075-3-U-BL-SWPM-20F

SiteSync only
SiteSync with Motion Control



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

ASL LED SERIES AREA/SITE/ROAD LIGHTER

Cat.#	
Job	Type



Approvals

SPECIFICATIONS

Construction:

- Stylish vertically finned die-cast and extruded aluminum for maximum heat dissipation
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- EPA:
 - 8L – .50ft²
 - 16L – .62 ft²
 - 24L – .74 ft²

Optics:

- Premium engineered individual acrylic lenses deliver IES Type II, III, IV and V distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- Zero uplight

Electrical:

- Configured with 8, 16, or 24 high current and high output LEDs to replace 150, 250 and 400w HID respectively
- Universal 120-277 VAC input voltage, 50/60 Hz
- Single driver, 2100mA drive current
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 10KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

Controls:

- 0-10V dimming standard photocell, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming leads can be pulled for use with remote control devices, order as special

Installation:

- Tool-less entry to wiring/driver compartment
- Universal mounting block works with #2 drill pattern (See page 4 illustration)
- Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities (See page 4 illustration for dimensions)
- Mast arm fitter accessory or option available for 2-3/8" OD brackets

Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

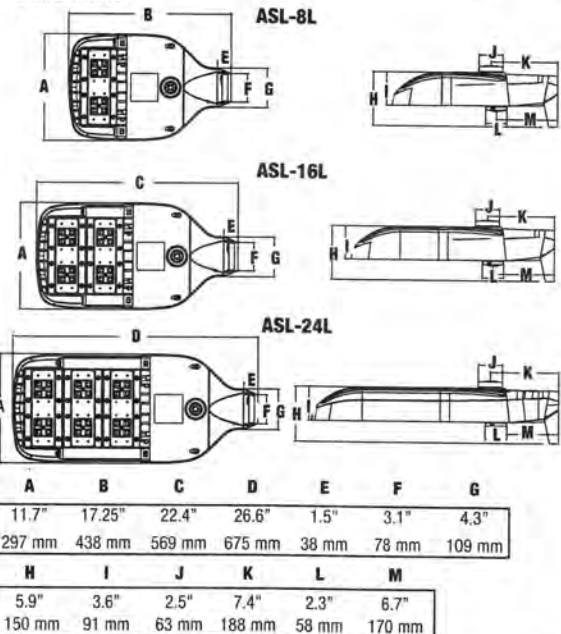
Listings:

- DesignLights Consortium (DLC) qualified, consult DLC website for more details: <http://www.designlights.org/QPL>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- IDA approved

PRODUCT IMAGE(S)



DIMENSIONS



SHIPPING INFORMATION

Catalog Number	G.W(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
ASL-8L	15 (6.8)	20.75 (52.7)	15.125 (38.4)	6.9375 (17.6)
ASL-16L	19 (8.6)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)
ASL-24L	24 (10.8)	25 (63.5)	15.125 (38.4)	6.9375 (17.6)

CERTIFICATIONS/LISTINGS



ORDERING INFORMATION - STOCK CONFIGURATIONS

Catalog Number	Description	Mtg.	Distribution	Wattage	# Drivers Drive Current	Voltage	CCT	Lumens	LPW	Weight lbs. (kg)
ASL-16L-3	Medium size 16 LED configuration, Dark Bronze	Arm	Type III	123	1@2100mA	120V-277V	4000K	11153	91	18 (8.16)
ASL-16L-4	Medium size 16 LED configuration, Dark Bronze	Arm	Type IV	123	1@2100mA	120V-277V	4000K	11417	93	18 (8.16)
ASL-24L-3	Large size 24 LED configuration, Dark Bronze	Arm	Type III	181	1@2100mA	120V-277V	4000K	16364	91	20 (9.07)
ASL-24L-4	Large size 24 LED configuration, Dark Bronze	Arm	Type IV	181	1@2100mA	120V-277V	4000K	16752	93	20 (9.07)

CONFIGURABLE ORDERING INFORMATION NEXT PAGE



Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2016 HUBBELL OUTDOOR LIGHTING, All Rights Reserved • For more information visit our website: www.hubbelloutdoor.com • Printed in USA

ASLLED-SPEC 3/16

ORDERING INFORMATION

ORDERING EXAMPLE: ASL-A-24L4K-210-4-U-DB

ASL	-	-	-	210	-	-	-	-	-
FAMILY	MOUNTING	# LEDS	CCT	DRIVE CURRENT	DISTRIBUTION	VOLTAGE	COLOR	OPTIONS	
ASL Series	A Arm MAF Mast Arm Fitter	8L 8 High brightness LEDs 16L 16 High brightness LEDs 24L 24 High brightness LEDs	3K 3000K, 70 CRI 4K 4000K, 70 CRI 5K 5000K, 70 CRI	210 2100mA	2 IES TYPE II 3 IES TYPE III 4 IES TYPE IV 5 IES TYPE V	U Universal 1 120 2 208 3 240 4 277	BL Black DB Dark Bronze GR Gray PS Platinum Silver WH White CC ¹ Custom Color	F 7PR ² RPA(X) SCPW	Fusing (voltage specified and determined by voltage field) 7-pin ANSI twist-lock photocell receptacle Round pole adapter (Replace X with 3, 4, 5 or 6 indicating pole diameter) Programmable motion sensor with dimming control (line voltage device not for use with 7PR receptacle option and external wireless control devices); A minimum of one SCP-REMOTE accessory remote control required for configuration; Wide lens with motion detection radius equal to 1.3 X luminaire mounting height (approx. distance) Terminal block

1 - Contact factory for minimum order quantities

2 - 7-pin ANSI C136.41—2013 receptacle for use with standard Twist-Lock® photo controls, shorting caps, and ANSI C136.41 external wireless control devices with and without motion/occupancy override

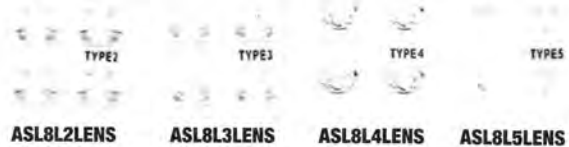
ACCESSORIES - Order Separately

Catalog Number	Description
ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
RATA-XX ¹	Single round arm tenon fits 2 3/8" OD, requires ASL-MAF accessory kit for stocked configurations
SCP-REMOTE	Remote control for SCPW option. Order at least one per project to program and control
CR-RPA(X)-XX ¹	Round pole adapters are available for 3, 4, 5, and 6 inch diameter round poles. Requires universal mounting block option.
WB-CR-XX ¹	Wall bracket. Requires universal mounting block option.
PTL-1	Photocontrol - twist-lock cell (120V) - Requires 7PR option
PTL-8	Photocontrol - twist-lock cell (120-277V) - Requires 7PR option
PSC	Shorting cap - twist-lock - Requires 7PR option
ASL8L2LENS	Type II, 2 lenses included
ASL8L3LENS	Type III, 2 lenses included
ASL8L4LENS	Type IV, 2 lenses included
ASL8L5LENS	Type V, 2 lenses included

1 - Replace XX with color choice, eg.: DB for Dark Bronze

ASL-MAF installed

ASL-MAF - Fits 2-3/8" OD arms



Product	Number of Kits	Number of Lenses
ASL8L	1	2
ASL16L	2	4
ASL24L	3	6

Wall Mount Accessory

WB-CR-XX wall mount bracket designed for building mount applications



SECTION C - ELMWOOD SUBD. FIFTH DISTRICT NEW ORLEANS, LA.

THIS PROPERTY IS ZONED C-1
(GENERAL COMMERCIAL DISTRICT)
WITH AN URBAN CORRIDOR OVERLAY
AS SHOWN IN THE OFFICIAL ZONING DISTRICT MAPS,
CITY OF NEW ORLEANS, AS OF DATE OF THIS SURVEY.

REQUIREMENTS	STANDARDS
Permitted Use	Commercial and Miscellaneous Services
Maximum Height of Building	100 ft.
Minimum Depth of Front Yard	None
Minimum Yard on a Side Street	None
Minimum Interior Side Yard	None
Minimum Interior Side Yard Abutting a Residential District	5 ft.
Minimum Rear Yard	None
Minimum Yard on a Side Street when Rear Yard Abuts a Residential District	10 ft.
Minimum Side or Rear Yard if Any is Provided	3 ft.
Minimum Rear Yard Abutting a Residential District	20 ft.
Maximum Floor Area Ratio	4.0

The property shown on this survey is the same as described in First American Title Insurance Company Commitment File No. 64,762 dated December 29, 2014.

SCHEDULE BII

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records. NOT PLOTTABLE
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the land or that may be asserted by persons in possession of the land. NOT PLOTTABLE
3. Easements, liens or encumbrances, or matters thereof, not shown by the Public Records. NOT PLOTTABLE
4. Any lien for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the Public Records. NOT PLOTTABLE
5. Any encumbrance, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land and not shown by the Public Records. NOT PLOTTABLE
6. Any mineral or mineral rights leased, granted or retained by current or prior owners. NOT PLOTTABLE
7. Any dispute as to the boundaries caused by the change in the location of any water body within or adjacent to the land prior to the Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously, under water. NOT PLOTTABLE
8. Taxes and assessments for the year 2016 and subsequent years, not yet due or payable. NOT PLOTTABLE
9. Right of Way Permit in favor of Louisiana Power & Light Company recorded in the conveyance records of Orleans Parish, Louisiana on January 17, 1989 at COB 931, NAJ 91-1010. PLOTTED
10. Utility Servitude in favor of New Orleans Sewerage and Water Board created pursuant to the Act of Exchange, Rescission and Dedication by and between the City of New Orleans and the Board of Commissioners and Charles Kohn Bodeger, dated June 28, 1991, recorded on July 23, 1991 in the conveyance records of Orleans Parish, Louisiana at CIN 39133, NAJ 91-89772. PLOTTED
11. Terms and conditions of the lease agreement by and between Holiday Square, Limited and Morgan Louisiana Co., Inc. dated November 11, 1991 evidenced by the Memorandum of Lease recorded in the conveyance records of Orleans Parish, Louisiana on December 1, 1991 at CIN 44985, NAJ 91-91396, as affected by the Ratification Agreement by Holiday Square Associates dated August 21, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on October 22, 1992 at CIN 58521, NAJ 92-95369. NOT PLOTTABLE
12. Terms, conditions, restrictions and servitudes set forth in the Act of Establishment of Fredrick Servitude and Building Restrictions by Holiday Square Associates, a Louisiana partnership, dated April 8, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on April 8, 1992 at CIN 50341, NAJ 92-929425, as affected by the Amendment of Building Restrictions by and between Holiday Square Associates, First National Bank of Commerce, Super Fresh/Sov-A-Center, Inc. and Showy's, Inc., dated June 30, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on July 2, 1992 at CIN 54336, NAJ 92-240318, as further affected by the Waiver and Acknowledgment by and between Gulf Coast Restaurants, Inc., Southern Development, Inc., Steak Company and Super Fresh/Sov-A-Center, Inc., dated June 26, 1995, recorded in the conveyance records of Orleans Parish, Louisiana on June 26, 1995 at CIN 106614, NAJ 95-27172. NOT PLOTTABLE
13. Terms and conditions of the lease agreement by and between Holiday Square Limited and Super Fresh/Sov-A-Center, Inc. dated October 24, 1991, evidenced by the Lease recorded in the conveyance records of Orleans Parish, Louisiana on April 9, 1992 at CIN 50342, NAJ 92-929426, as affected by the Lease Modification Agreement by and between Holiday Square Associates and Super Fresh/Sov-A-Center, Inc. dated April 8, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on April 9, 1992 at CIN 50343, NAJ 92-929427. NOT PLOTTABLE
14. Right of Way Permit in favor of Louisiana Power & Light Company dated May 1, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on May 6, 1992 at CIN 51704, NAJ 92-933110. PLOTTED
15. Right of Way Permit in favor of Louisiana Power & Light Company dated July 17, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on July 24, 1992 at CIN 55340, NAJ 92-942822. PLOTTED
16. Right of Way Permit in favor of Louisiana Public Service Inc. dated July 17, 1992, recorded in the conveyance records of Orleans Parish, Louisiana on July 24, 1992 at CIN 55340, NAJ 92-942822. PLOTTED
17. Terms, conditions and obligations, set back requirements, servitudes, public and private rights of way and other matters shown on the following plats of record:
 - a. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated August 22, 1989, revised September 14, 1989, October 1, 1989, October 8, 1989, November 21, 1989 and January 11, 1990, approved by the New Orleans City Planning Commission on September 21, 1990 at CIN 30150, NAJ 87-4747, as further affected by Approve Plans for Administrative Amendment to Zoning Docket 30-89 dated May 26, 1993, recorded in the conveyance records of Orleans Parish, Louisiana on June 1, 1993 at CIN 70406, NAJ 93-24509.
 - b. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated February 19, 1991, revised June 10, 1991, approved by the New Orleans City Planning Commission on June 17, 1991, recorded on July 15, 1991 in the conveyance records of Orleans Parish, Louisiana at CIN 38741, NAJ 91-898297.
 - c. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated July 22, 1991, approved by the New Orleans City Planning Commission on September 19, 1991, recorded on October 2, 1991 in the conveyance records of Orleans Parish, Louisiana at CIN 42921, NAJ 91-898412.
18. Terms, conditions, obligations, set back requirements, servitudes, public and private rights of way and other matters shown on the following plats of record:
 - a. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated August 22, 1989, revised September 14, 1989, October 1, 1989, October 8, 1989, November 21, 1989 and January 11, 1990, approved by the New Orleans City Planning Commission on September 21, 1990 at CIN 30150, NAJ 87-4747, as further affected by Approve Plans for Administrative Amendment to Zoning Docket 30-89 dated May 26, 1993, recorded in the conveyance records of Orleans Parish, Louisiana on June 1, 1993 at CIN 70406, NAJ 93-24509.
 - b. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated February 19, 1991, revised June 10, 1991, approved by the New Orleans City Planning Commission on June 17, 1991, recorded on July 15, 1991 in the conveyance records of Orleans Parish, Louisiana at CIN 38741, NAJ 91-898297.
 - c. Plan of Resubdivision by Wilton J. Dufrene, Land Surveyor, dated July 22, 1991, approved by the New Orleans City Planning Commission on September 19, 1991, recorded on October 2, 1991 in the conveyance records of Orleans Parish, Louisiana at CIN 42921, NAJ 91-898412.

THIS PROPERTY IS LOCATED IN FLOOD ZONE A2
BASE FLOOD ELEVATION = -2.0
AS SHOWN ON FEMA COMMUNITY PANEL NUMBER
225203 0180E DATED MARCH 1, 1984.

CERTAIN FEATURES I.E. FENCES, WALLS, ETC. MAY BE
EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS
SHOW ACTUAL LOCATIONS.

THE SERVITUDES SHOWN HEREON ARE LIMITED TO THOSE
SET FORTH IN THE RECORD DESCRIPTION FURNISHED
US AND THERE IS NO REPRESENTATION THAT ALL
APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN
HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH
OR PUBLIC RECORD SEARCH IN COMPIING THE DATA FOR
THIS SURVEY.

REFERENCE PLANS:

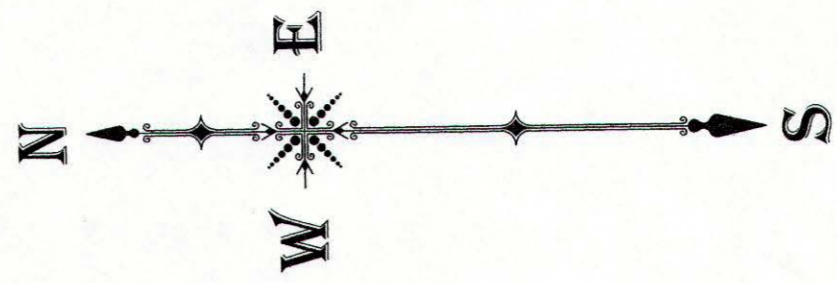
- SURVEY BY F.C. GANDOLFO DATED MAY 15, 1987.
- SURVEY BY WILTON DUFRENE DATED NOV.30, 1987.
- SURVEY BY WILTON DUFRENE DATED DEC 10, 1999.

LEGEND	
	DRAIN MANHOLE
	WATER MANHOLE
	SEWER MANHOLE
	GAS MANHOLE
	UNDERGROUND ELECTRIC & MANHOLE
	OVERHEAD ELECTRIC & POLE
	OVERHEAD TELEPHONE & POLE
	UNDERGROUND TELEPHONE & MANHOLE
	CATV
	WESTERN UNION MH
	CATCH BASIN
	OPEN GRATE DRAINS
	HYDRANT
	PARKING METER
	TRAFFIC LIGHT
	DRAIN CLEANOUT
	SEWER CLEANOUT
	WATER VALVE
	LIGHT STANDARD
	OWM WATER METER
	OGV GAS VALVE
	SIGN
	POWER POLE AND GUY ANCHOR

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE
UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM
DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING
SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE
AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH
RECORDS. WHERE FOUND, THE SURFACE FEATURES OF
LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS
MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD
BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF
ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE
UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON,
INCLUDING PRIOR TO EXCAVATION AND DIGGINGS.

Call before you dig.
1-800-972-5020

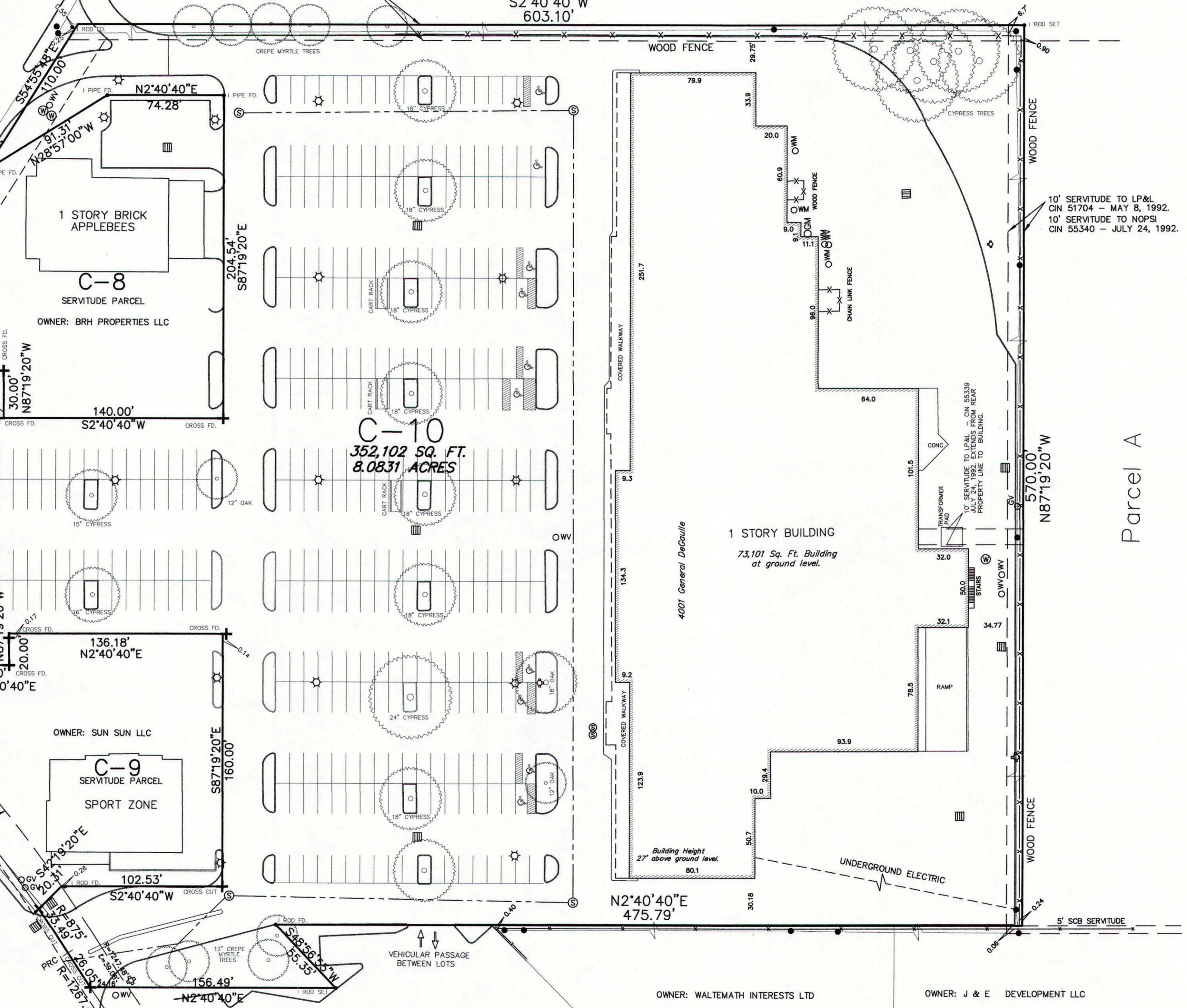
BEARINGS REFER TO LA PLANE LAMBERT GRID,
SOUTH ZONE, NAD '83, BASED ON
GPS OBSERVATIONS.



VICTORY DRIVE (ALGIERS OUTFALL CANAL)

GENERAL DE GAULLE DRIVE
(PUBLIC ROAD)

HOLIDAY DRIVE
(PUBLIC ROAD)



PARKING SUMMARY LOT C-10	
STANDARD SPACES:	357
HANDICAP SPACES:	10
TOTAL:	367

PREDIAL SERVITUDE AGREEMENT RECORDED IN
INSTRUMENT NO. 50341 ON APRIL 9, 1992
(EXCEPTION NUMBER 12) ESTABLISHES
SERVITUDES OF PASSAGE, PARKING SERVITUDES,
UTILITY SERVITUDES, BUILDING RESTRICTIONS AND
USE RESTRICTIONS BETWEEN LOTS C-8, C-9
AND C-10.

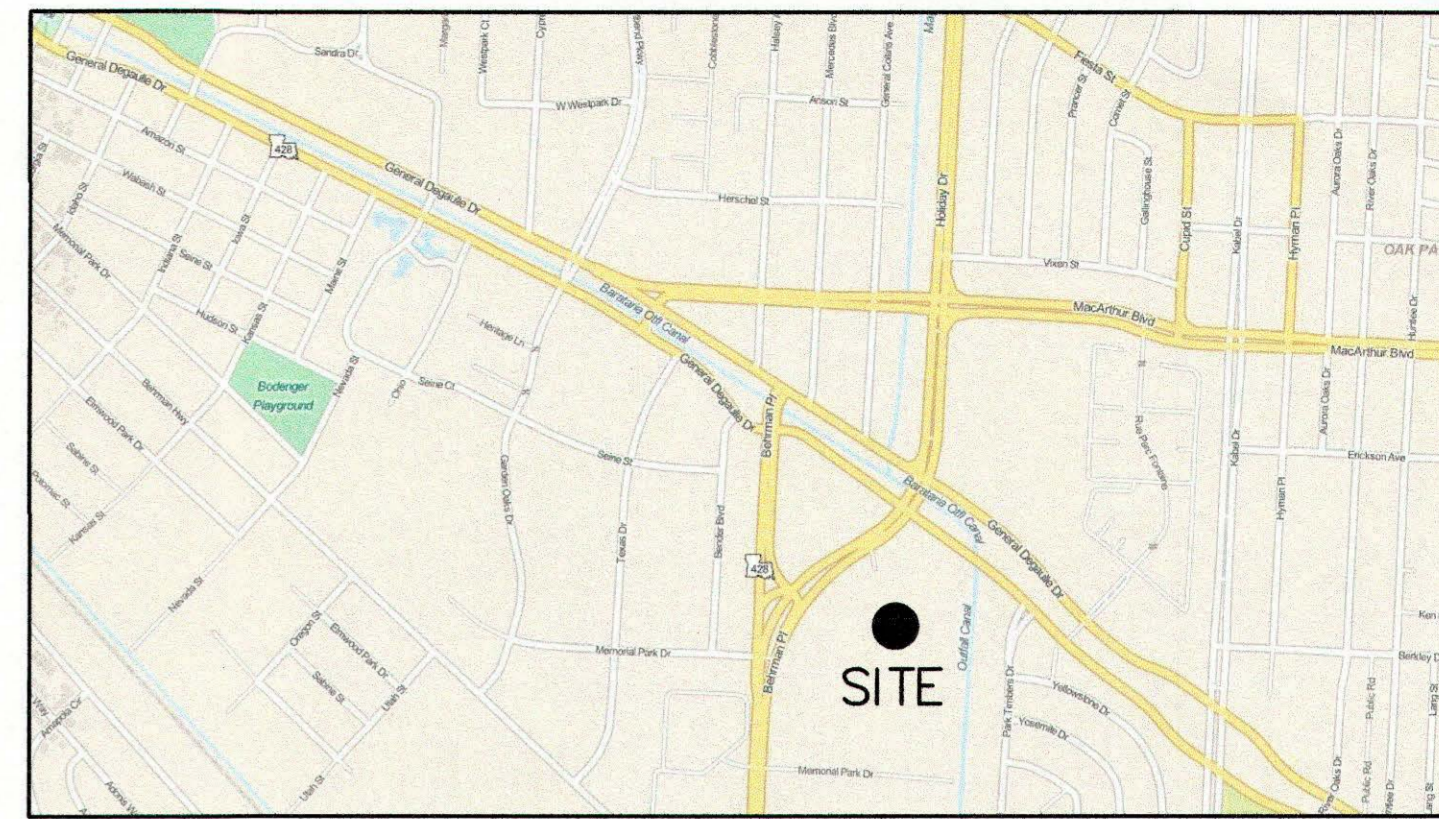
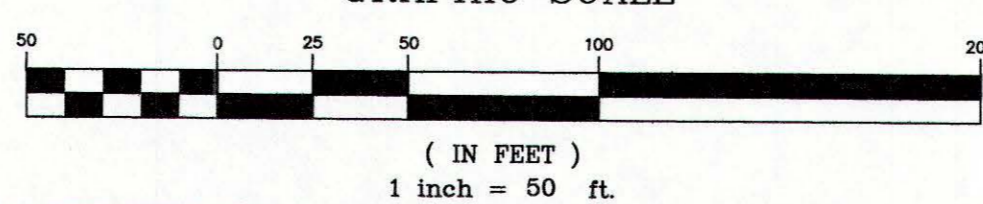
AT THE TIME OF THIS SURVEY THERE WAS:
NO EVIDENCE OF EARTH-MOVING WORK, BUILDING
CONSTRUCTION OR BUILDING ADDITIONS WAS
OBSERVED IN CONDUCTING THIS SURVEY.

NO EVIDENCE OF PROPOSED CHANGES IN
STREET RIGHT-OF-WAY LINES OR OF RECENT
STREET OR SIDEWALK CONSTRUCTION OR
REPAIRS WAS OBSERVED IN CONDUCTING
THIS SURVEY.

NO EVIDENCE OF SOLID WASTE DUMPING,
SLUMP OR SANITARY LANDFILL ACTIVITIES WAS
OBSERVED IN CONDUCTING THIS SURVEY.

NO DELINEATION OF WETLAND AREAS BY
APPROPRIATE AUTHORITIES HAS BEEN REPORTED
TO THE SURVEYOR.

GRAPHIC SCALE



VICINITY MAP (NTS)

A CERTAIN PIECE OR PORTION OF GROUND, situated in the City of New Orleans, Parish of Orleans, State of Louisiana, Fifth District, Section C of Elmwood Subdivision and designated as Lot C-10 on a Plan of Resubdivision by Wilton J. Dufrene, dated July 22, 1991, approved by the City Planning Commission on September 19, 1991, Subdivision Docket 4391, registered on October 2, 1991 under N.A. No. 906242, COI No. 42287, according to which said Lot C-10 is more particularly described as follows:

- Commence from the intersection of the southerly right of way line of General De Gaulle Drive and the southerly right of way line of Holiday Drive, said point being the POINT OF BEGINNING.
- Thence go South 54 degrees 55 minutes 48 seconds East along the southerly right of way line of General De Gaulle Drive a distance of 159.68 feet;
 - Thence go South 02 degrees 40 minutes 40 seconds West a distance of 92.38 feet;
 - Thence go North 87 degrees 19 minutes 20 seconds East a distance of 30 feet;
 - Thence go South 02 degrees 40 minutes 40 seconds West a distance of 140.00 feet;
 - Thence go South 87 degrees 19 minutes 20 seconds East a distance of 204.54 feet;
 - Thence go North 02 degrees 40 minutes 40 seconds East a distance of 74.28 feet;
 - Thence go North 28 degrees 57 minutes 00 seconds West a distance of 91.31 feet to the southerly right of way line of General De Gaulle Drive;
 - Thence go South 54 degrees 55 minutes 48 seconds East along the southerly right of way line of General De Gaulle Drive a distance of 110.00 feet to the westerly right of way line of Victory Drive;
 - Thence go South 02 degrees 40 minutes 40 seconds West along the westerly right of way line of Victory Drive a distance of 603.10 feet;
 - Thence go North 87 degrees 19 minutes 20 seconds West along the northerly side of Parcel A a distance of 475.79 feet;
 - Thence go North 02 degrees 40 minutes 40 seconds East along the easterly line of Parcel C-7 a distance of 475.79 feet;
 - Thence go South 48 degrees 56 minutes 55 seconds West a distance of 55.35 feet;
 - Thence go North 02 degrees 40 minutes 40 seconds East a distance of 156.49 feet to the southerly right of way line of Holiday Drive;
 - Thence continue in a northeasterly direction along the southerly right of way line of Holiday Drive along a curve to the left having a radius of 875.00 feet and an arc length of 33.49 feet to the southwest corner of Parcel C-9;
 - Thence go South 42 degrees 19 minutes 20 seconds East a distance of 20.31 feet;
 - Thence go South 02 degrees 40 minutes 40 seconds West a distance of 102.53 feet;
 - Thence go North 87 degrees 19 minutes 20 seconds East a distance of 160.00 feet;
 - Thence go North 02 degrees 40 minutes 40 seconds East a distance of 136.18 feet;
 - Thence go North 87 degrees 19 minutes 20 seconds West a distance of 20.00 feet;
 - Thence go North 02 degrees 40 minutes 40 seconds East a distance of 30.00 feet;
 - Thence go North 42 degrees 19 minutes 20 seconds West a distance of 60.63 feet to the southerly right of way line of Holiday Drive;
 - Thence go in a northeasterly direction along a curve to the left having a radius of 875.00 feet and an arc length of 144.33 feet to the POINT OF BEGINNING.

The non-exclusive rights of ingress and egress over and use of contiguous Parcels C-8 and C-9 established by an Act of Establishment of Predial Servitude and Building Restrictions dated April 8, 1992 registered under CIN 50341, Notarial Archives No. 92-929425, as affected by Amendment of Building Restrictions dated June 30, 1992 registered under CIN 54336, Notarial Archives No. 92-240318, as further affected by Waiver and Acknowledgment dated June 26, 1995 registered under CIN 106614, Notarial Archives No. 95-27172.

ALTA/ACSM Land Title Survey made for
Morgan Stanley Bank, N.A. at request
of Stone Pigman Walther Wittmann L.L.C.
New Orleans, La. January 29, 2015

To: Sterik Holiday Square, LP,
Morgan Stanley Bank, N.A. and its successors and assigns
and First American Title Insurance Company of Louisiana

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11(a), 13, 16, 17, 18, 19, 20(a), and 21 of Table A thereof. The field work was completed on January 27, 2015. New Orleans, La. January 29, 2015



Paul J. Kocke, Sr., PLS
La. License No. 4628

GANDOLFO KUHN, L.L.C.
PROFESSIONAL LAND SURVEYORS
8320 SEVERN AVENUE
METairie, LA 70001
e-mail: surveys@gandolfokuhn.com
PHONE 504-818-2810

NOTE:
SKIMCOAT EIFS AND PAINT
PORTION OF EAST WALL.
REFER TO ELEVATIONS,
WORK SCHEDULE AND
COLOR/MATERIAL
SCHEDULE COLORS P-1, P-2
AND P-4

SIDEWALK PLAN - PART "A"
SCALE: 1/8" = 1'-0"

SIDEWALK PLAN - PART "B"
SCALE: 1/8" = 1'-0"

SIDEWALK PLAN - PART "C"
SCALE: 1/8" = 1'-0"

NOTE:
PAINT PORTION OF WEST WALL.
REFER TO WORK SCHEDULE
AND COLOR/MATERIAL
SCHEDULE COLOR P-1

REFLECTED CEILING PLAN - PART "A"
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN - PART "B"
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN - PART "C"
SCALE: 1/8" = 1'-0"

TYPICAL SOFFIT ACCESS PANEL
SCALE: 1/2" = 1'-0"

ALTERNATE NO. 1

THE GENERAL CONTRACTOR SHALL FURNISH AN ALTERNATE PRICE (ALTERNATE NO. 1) TO FURNISH ALL LABOR AND MATERIAL TO INSTALL A COMPLETE FIRE PROTECTION SYSTEM IN EXISTING CANOPY INCLUDING CONCEALED ATTIC SPACE AND BELOW CANOPY IN ACCORDANCE W/ NFPA 13. PROVIDE SHOP DRAWINGS DESIGNED BY A LOUISIANA REGISTERED ENGINEER FOR ARCHITECT REVIEW.

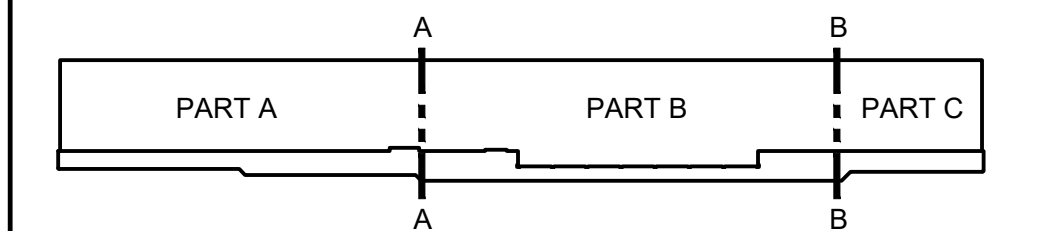
GENERAL NOTES

- DRAWINGS AND SPECIFICATIONS OF ALL DISCIPLINES INCLUDED HEREIN ARE GRAPHIC AND TEXT REPRESENTATIONS INTENDED TO ESTABLISH THE FULL SCOPE OF THIS PROJECT AND THE FULL CONTRACTUAL OBLIGATION OF THE GENERAL CONTRACTOR TO COMPLETE ALL WORK SHOWN, IMPLIED AND SPECIFIED. IT SHALL BE THE ULTIMATE RESPONSIBILITY TO COORDINATE THE PROPOSALS AND WORK OF ALL TRADES TO ENSURE ALL MATERIALS AND WORK REQUIRED BY THE CONTRACT DOCUMENT ARE INCLUDED.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS, PROCEDURES OR METHODS OF CONSTRUCTION. SHOULD ANY OMISSION, DISCREPANCY AMBIGUITY OR ERROR IN THE DOCUMENTS BE DISCOVERED, REPORT SUCH FINDINGS TO THE ARCHITECT IN WRITING WITH REASONABLE RESPONSE TIME.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE INTENT OF NEW WORK SHOWN PRIOR TO BEGINNING CONSTRUCTION. SHOULD ANY OMISSION, DISCREPANCY AMBIGUITY OR ERROR IN THE DOCUMENTS BE DISCOVERED, REPORT SUCH FINDINGS TO THE ARCHITECT IN WRITING WITH REASONABLE RESPONSE TIME.
- REFER TO DEMOLITION SHEETS FOR SCOPE OF DEMOLITION WORK REQUIRED TO EXECUTE THE INTENT OF THE CONSTRUCTION DOCUMENTS. IF DURING THE COURSE OF CONSTRUCTION CONFLICTS ARE DISCOVERED BETWEEN DEMOLITION REQUIREMENTS AND NEW CONSTRUCTION THE ARCHITECT WILL INTERPRET THE DRAWINGS SO AS TO SECURE THE MOST SUBSTANTIAL AND COMPLETE PERFORMANCE OF THE WORK.
- IT IS THE INTENT OF THESE DOCUMENTS TO INDICATE PAINTING OF ALL EXTERIOR EXPOSED SURFACES.
- PRIOR TO APPLICATION OF ANY EXTERIOR COATING A PRE-PAINTING WALK THROUGH WILL BE HELD W/ OWNER REP / G.C. / ARCHITECT FOR REVIEW AND CONFIRMATION OF ALL COATINGS.
- PROTECT EXISTING STOREFRONT GLAZING SYSTEM DURING CONSTRUCTION. CLEAN GLAZING AND ALUMINUM STOREFRONT SYSTEM AFTER NEW CONSTRUCTION.

WORK SCHEDULE

- FOLLOWING ALL NEW CONSTRUCTION PRESSURE WASH AND CLEAN EXISTING CONCRETE WALK WAY.
- PRIOR TO NEW CONSTRUCTION PRESSURE WASH AND CLEAN EXISTING MASONRY. PAINT EXISTING MASONRY IN ITS ENTIRETY WITH MIN - (2) COATS ELASTOMERIC COATING COLOR P-1.
- FURNISH AND INSTALL NEW PRE-FINISHED HORIZONTAL METAL PANEL MATERIAL SP-2.
- FURNISH AND INSTALL NEW COMPOSITE WOOD FIXED SHUTTERS. SEE DETAIL B/A2.1
- FURNISH AND INSTALL NEW 42" HIGH PRE-FINISHED (BLACK) ALUMINUM RAILING SYSTEM. MANUFACTURER "SPECIAL" SEE SECTION 1/A4.1
- FURNISH AND INSTALL NEW TPO ROOF MEMBRANE OVER NEW FRT PLYWOOD AND TAPERED POLYISO INSULATION AS REQD.
- FURNISH AND INSTALL MINIMUM 1" EIFS OVER 1/2" FIBER REINFORCED GYPSUM BOARD SHEATHING ON METAL STUD FRAMING SEE WALL SECTIONS, ELEVATIONS, AND COLOR/MATERIAL SCHEDULE.
- FOLLOWING ALL NEW CONSTRUCTION CLEAN ALL EXISTING ALUMINUM STOREFRONT AND GLAZING TYPICAL.
- FURNISH AND INSTALL NEW FRENCH MARKET COLUMN CAPITAL (9), TYPICAL BY ROBINSON IRON AT ALL EXISTING PIPE COLUMNS, TYP. #800 824 2157
- NEW 8" RECESSED LIGHT FIXTURE FURNISHED BY OWNER INSTALLED BY ELECTRICAL SUBCONTRACTOR. SEE ELECTRICAL NOTES, NOTE NO.1 AND LEGEND SHEET C1.0.
- NEW DECORATIVE LIGHT FIXTURE FURNISHED BY OWNER INSTALLED BY ELECTRICAL SUBCONTRACTOR. SEE ELECTRICAL NOTES, NOTE NO.4, SHEET C1.0.
- NEW ROUSES MARKET SIGNAGE IS FURNISHED AND INSTALLED BY ROUSES. CONTRACTOR TO PROVIDE FINAL ELECTRICAL CONNECTIONS AFTER SIGNAGE INSTALLATION BY ROUSES AND INSTALL TEMPORARY BANNER FURNISHED BY ROUSES. SEE SHEET C1.0, ELECTRICAL NOTES, NOTE #7
- PATCH / REPAIR / RESTORE ANY ROOFING SYSTEM DAMAGE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. MAINTAIN "WEATHERTIGHT" BUILDING DURING ALL CONSTRUCTION ACTIVITIES.
- FURNISH AND INSTALL 24"X24" STEEL ACCESS PANEL PAINT TO MATCH SOFFIT SEE DETAIL 1/A1.0. COORDINATE LOCATION W/ EXISTING STRUCTURE.
- FURNISH AND INSTALL NEW PRE-CAST SYNTHETIC STONE VENEER ON SETTING BED AND 1/2" FIBER REINFORCED SHEATHING AT EXISTING CMU COLUMNS. SEE PLAN DETAILS SHEET A3.1
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM TRIM OVER NEW METAL FRAMING AND TAPERED INSULATION. TRIM COLOR PETERSON ALUM. PAC-CLAD "BURNISHED SLATE"
- FURNISH AND INSTALL NEW STANDING SEAM METAL ROOF ON ICE AND WATER SHIELD OVER 1/2" FRT PLYWOOD DECK. MATERIAL SS-1
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM PARAPET CAP OVER NEW PT. WOOD BLOCKING. SEE DETAIL A/A4.1.
- PREP AND PAINT EXISTING CONCRETE CURB AT DRIVE AISLE (RED) TO MATCH EXISTING. VERIFY FIRE LANE REQUIREMENTS WITH LOCAL CODE AUTHORITY HAVING JURISDICTION.
- FURNISH AND INSTALL STANDING SEAM METAL ROOF CANOPIES. SEE DETAIL C/A2.1. MATERIAL SS-2
- SKIMCOAT EXISTING EIFS FINISH AS REQUIRED. SCORE AS INDICATED AND PAINT W/ (2) COATS ELASTOMERIC COATINGS.
- FURNISH AND INSTALL NEW FULLY ADHERED TPO ROOF MEMBRANE AND PRE-FINISHED ALUMINUM PARAPET CAP OVER NEW METAL STUD PARAPET. PRE-FINISHED ALUMINUM SHALL BE COLOR P-3
- SAND, PREP, PRIME AND PAINT EXISTING PIPE COLUMNS AND STEEL TUBE BEAMS TYPICAL.
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM SOFFIT PANELS ON 3/4" CARRIER CHANNELS BY PANEL MANUFACTURER PROVIDE VENTED PANELS AS INDICATED. MATERIAL SP-1
- FURNISH AND INSTALL NEW 6" RUBBED CONCRETE CURB, DOWEL INTO EXISTING CONCRETE SLAB. SEE CURB DETAIL B/A3.1
- PREP AND PAINT ALL EXISTING CONCRETE CURBS LOCATED ALONG THE CMU WALLS AT THE ROUSES MARKET SPACE (BLACK)
- FURNISH AND INSTALL NEW 6" PRE-FINISHED (.040) ALUMINUM GUTTERS AND DOWNSPOUTS.
- FURNISH AND INSTALL NEW PAINTED DECORATIVE STEEL BRACKET. SEE DETAIL MATCH COLOR TO CANOPY.
- FURNISH AND INSTALL NEW PRE-CAST CONCRETE SPLASHBLOCK AT ALL NEW ROOF TOP DOWNSPOUTS. INSTALL SACRIFICIAL ROOF MEMBRANE UNDER EACH SPLASHBLOCK TO PROTECT ROOF SYSTEM.
- REINSTALL AND PROVIDE FINAL ELECTRICAL CONNECTIONS TO ALL TENANT SALVAGED SIGNAGE. PRIOR TO INSTALLATION VERIFY LOCATION WITH TENANT AND AT COMPLETION TENANT SIGNAGE SHALL BE OPERATIONAL.
- FURNISH AND INSTALL NEW PRE-FINISHED, PRE-ENGINEERED (BLACK) ALUMINUM CANOPY WITH INTEGRAL GUTTER AND SCUPPERS.

KEY PLAN



COLOR/MATERIAL SCHEDULE

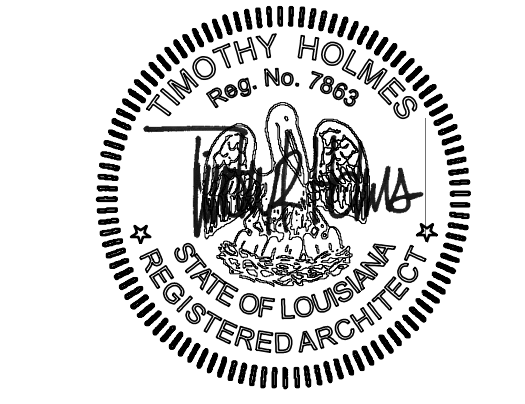
KEY	MANUFACTURE	COLOR / FINISH	MANUF. NO.
(P-1)	SHERWIN WILLIAMS	VIRTUAL TAUPE	SW 7039
(P-2)	SHERWIN WILLIAMS	BALANCED BEIGE	SW 7037
(P-3)	SHERWIN WILLIAMS	NATURAL CHOICE	SW 7011
(P-4)	SHERWIN WILLIAMS	ACCESSIBLE BEIGE	SW 7036
(P-5)	SHERWIN WILLIAMS	CAST IRON	SW 6202
(P-6)	SHERWIN WILLIAMS	IRON ORE	SW 7069
(SS-1)	PETERSON ALUM.	GRANITE	TILE LOC PLUS
(SS-2)	PETERSON ALUM.	COPPER PENNY	PAC-150
(SP-1)	PETERSON ALUM.	SANDSTONE	PAC-750
(WP-1)	PETERSON ALUM.	BURNISHED SLATE	PRECISION SERIES HWP PROFILE

- NOTE:
- ALL COLOR / MATERIAL SELECTIONS SUBJECT TO FINAL REVIEW AND APPROVAL BY OWNER / ARCHITECT. VERIFY ALL COLORS W/ OWNER / ARCHITECT PRIOR TO MATERIAL ORDER AND PROCUREMENT.
 - SUBMIT ALL COLOR / MATERIAL SELECTIONS IN ONE (1) GROUP OF SUBMITTALS FOR OWNER / ARCHITECT REVIEW AND APPROVAL. SINGULAR SUBMITTALS WILL NOT BE CONSIDERED.
 - WHERE COLOR / FINISH IS DESIGNATED TO "MATCH EXISTING", CONFIRM COLOR AND MATERIAL WITH EXISTING BUILDINGS AND FORWARD TO ARCHITECT FOR REVIEW / CONFIRMATION.

JMR+H
Architecture, P.C.

445 Dexter Avenue
Suite 5050
Montgomery, AL 36104
Phone: (334) 420-5672
Fax: (334) 420-5692

TIMOTHY R. HOLMES, AIA
ARCHITECT



TIMOTHY R. HOLMES
REG. NO. 7863

**ALTERATIONS
TO
ROUSES
MARKET
STORE NO. 36
CANOPY &
SHOPS FACADE**

4001 GENERAL DEGAULLE DRIVE
NEW ORLEANS, LOUISIANA

**ROUSES
MARKETS**

**CONSTRUCTION
DOCUMENTS**

Project Number: 19-856

Date: 30 JANUARY 2020

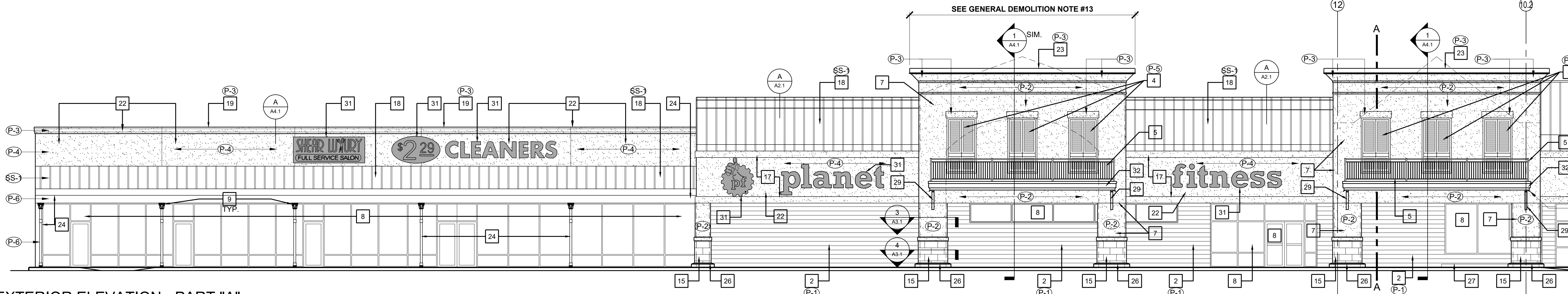
Revisions:

Sheet Description
**SIDEWALK
PLAN,
REFLECTED
CEILING PLAN
AND NOTES**

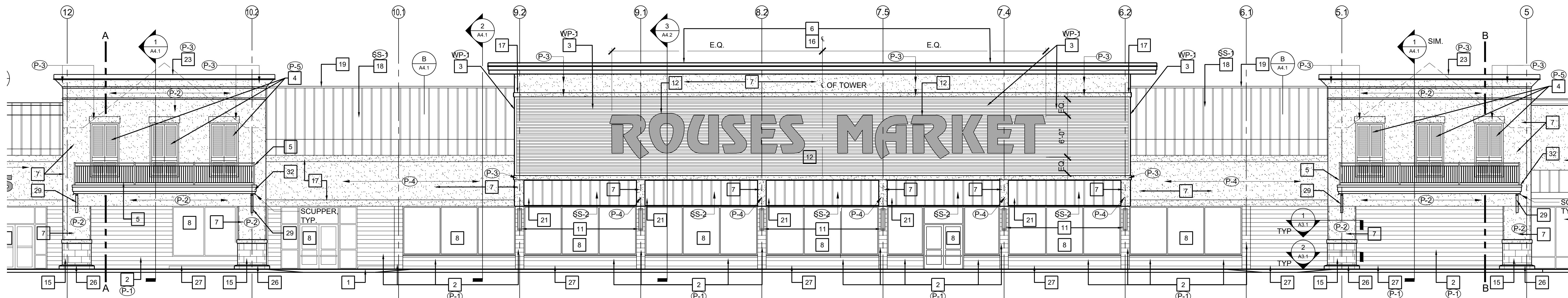
Sheet Number

A1.1

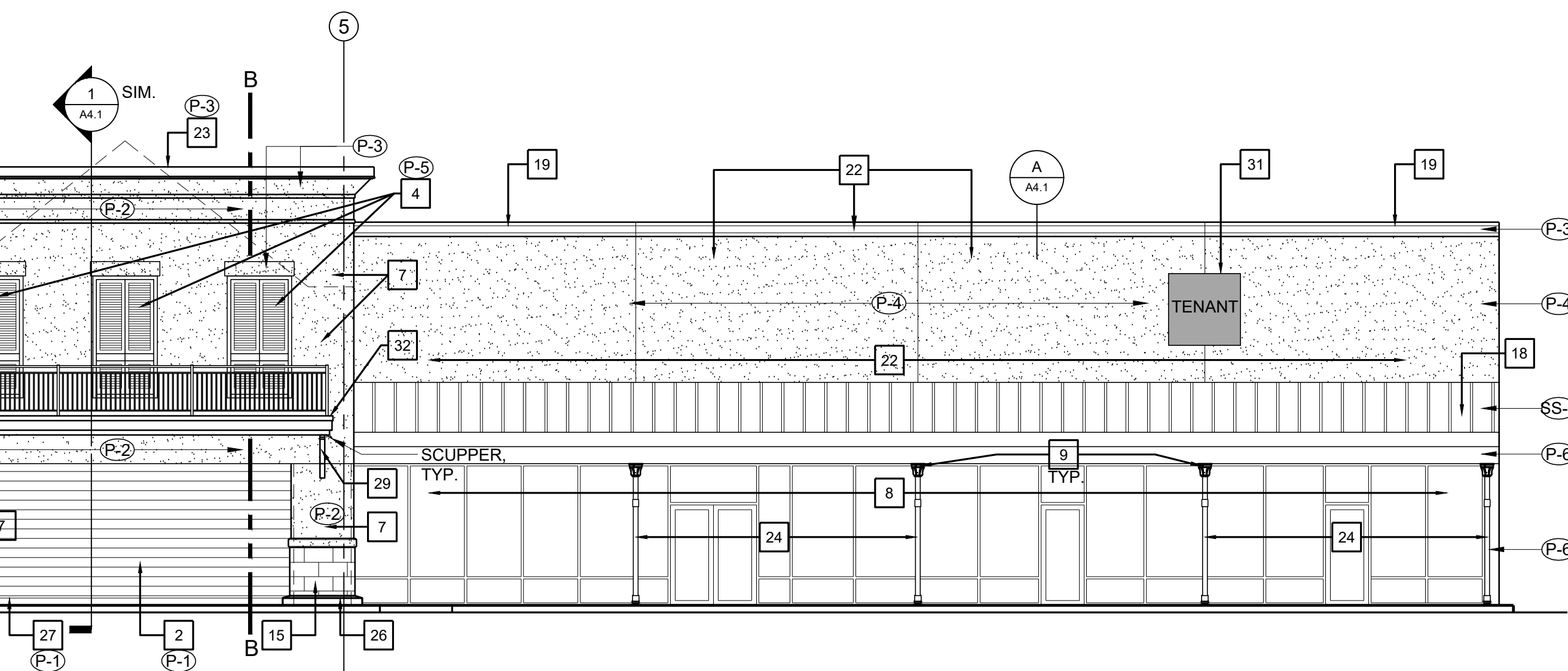
PRINTED: 1/31/2020 @ 12:10PM
 FILE NAME: W:\JMRH Projects 2019\19-856 Rouses Market New Orleans, LA - 3635-A1.1 New Sidewalk Plan.dwg



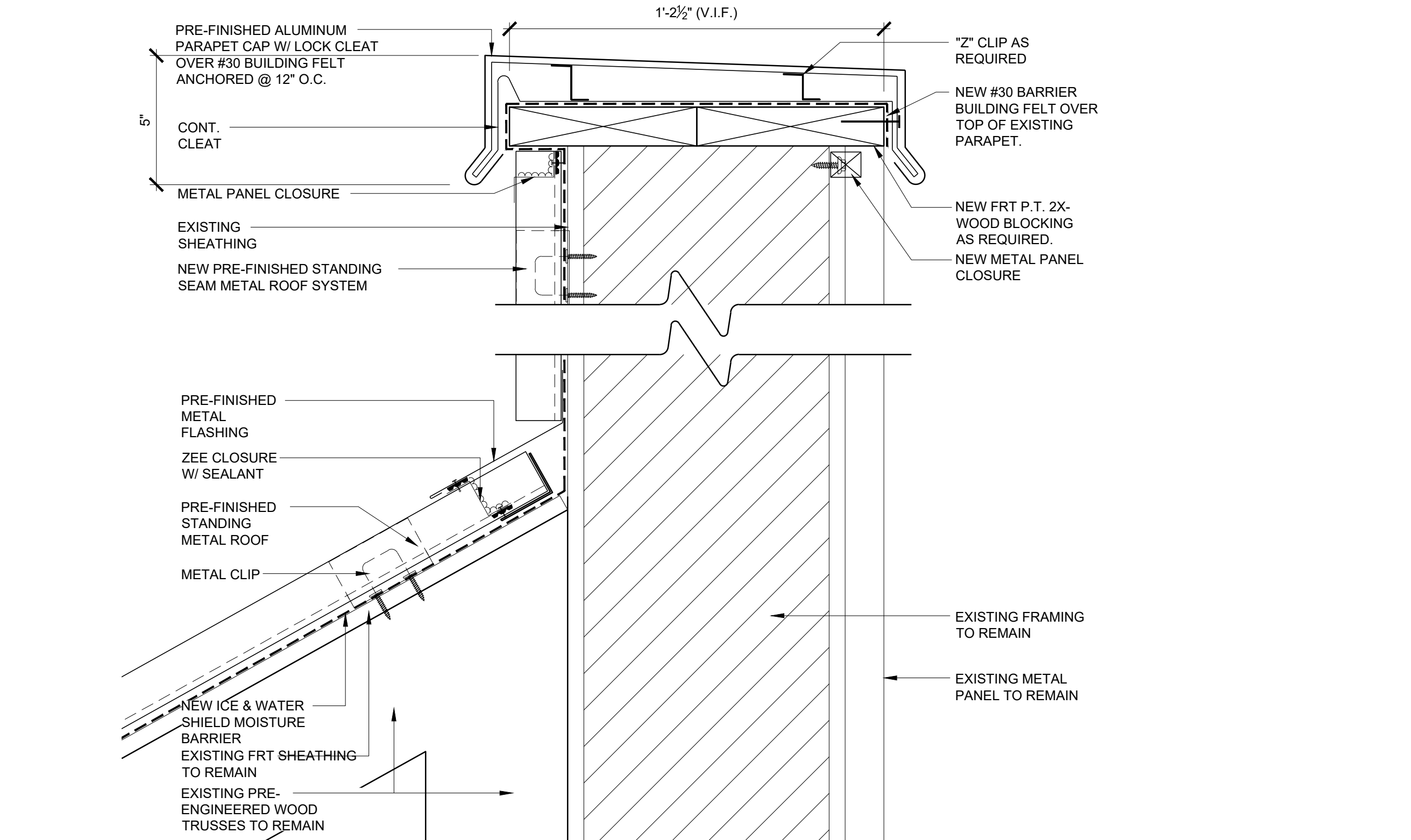
EXTERIOR ELEVATION - PART "A"
SCALE: 1/8" = 1'-0"



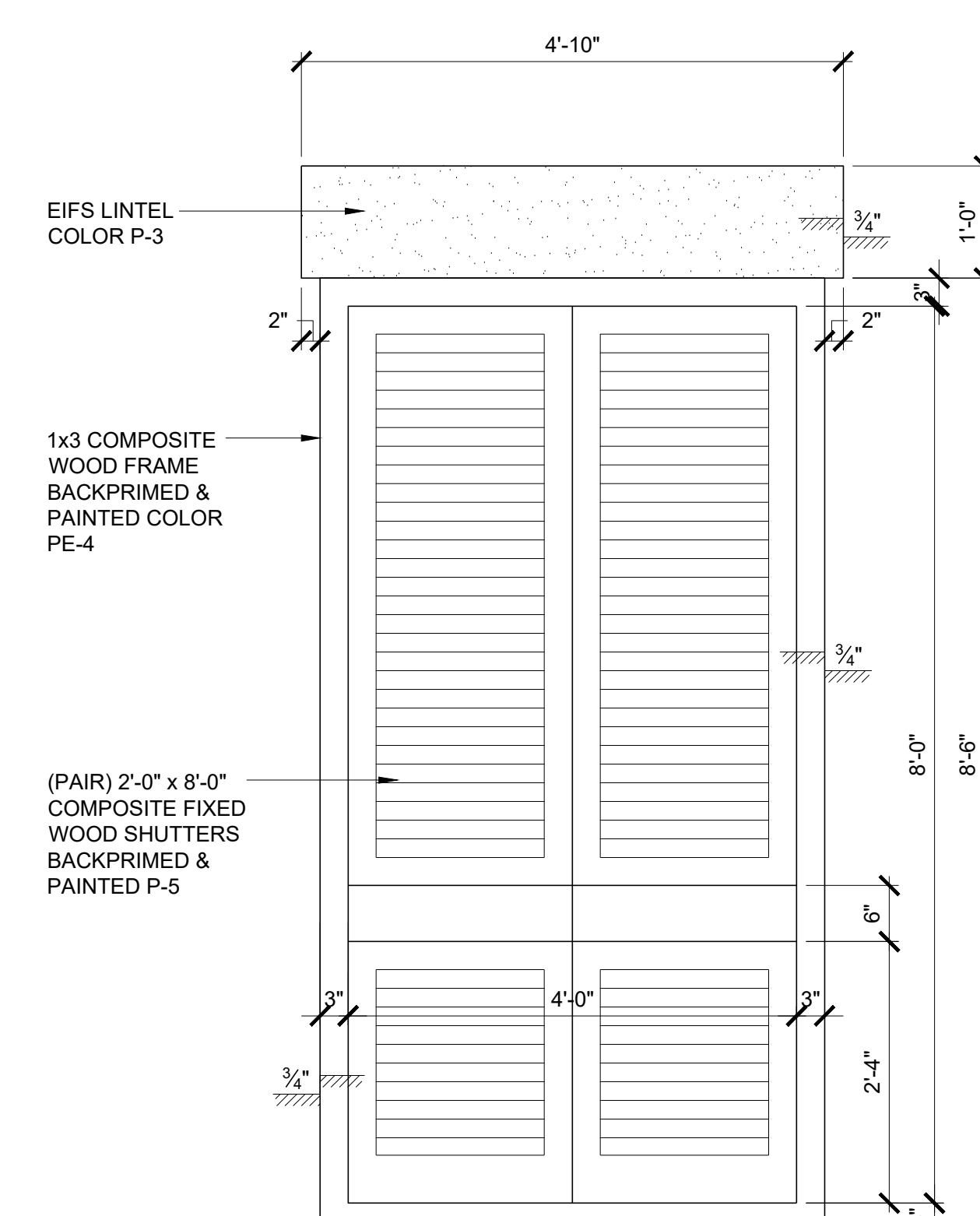
EXTERIOR ELEVATION - PART "B"
SCALE: 1/8" = 1'-0"



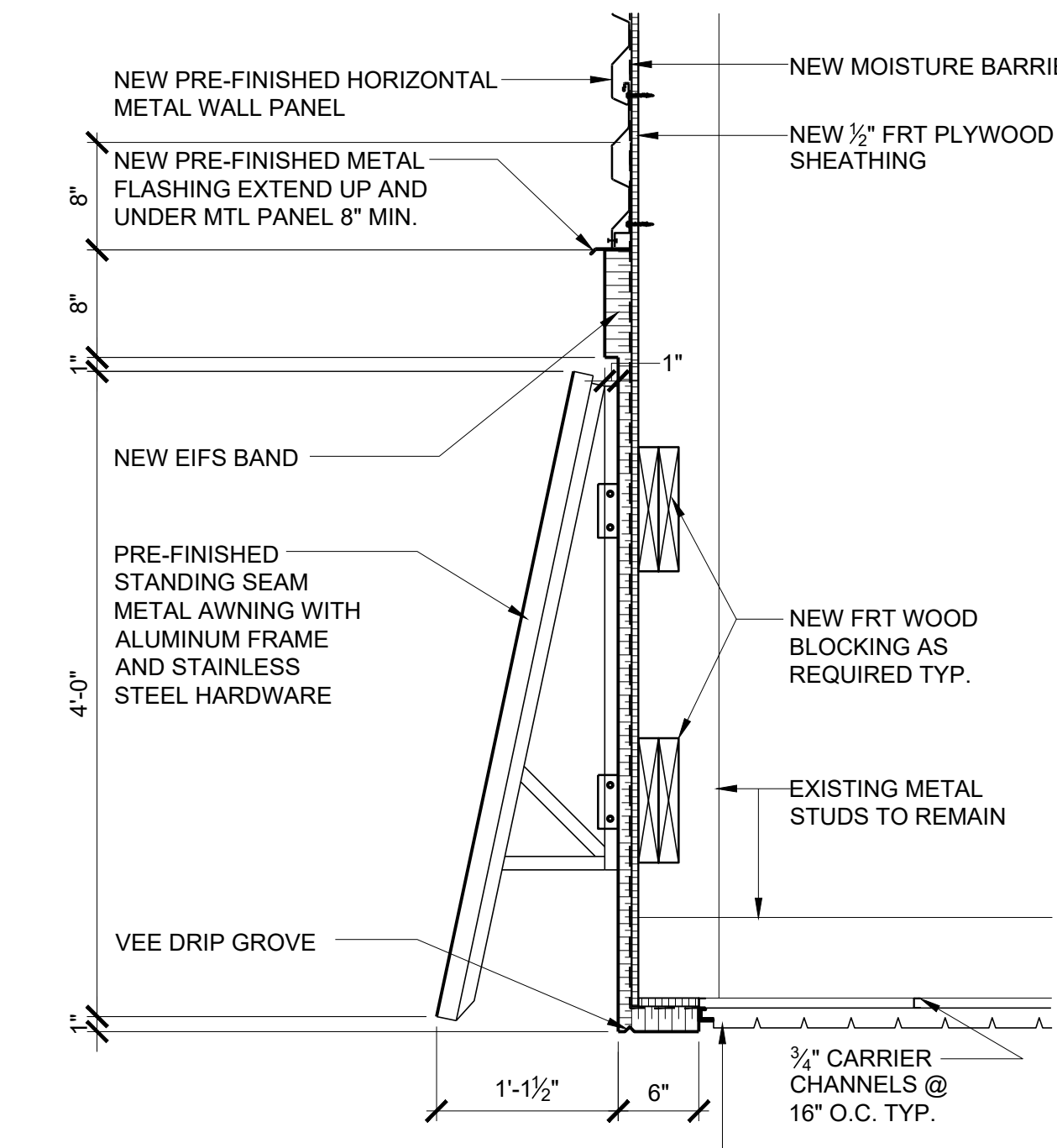
EXTERIOR ELEVATION - PART "C"
SCALE: 1/8" = 1'-0"



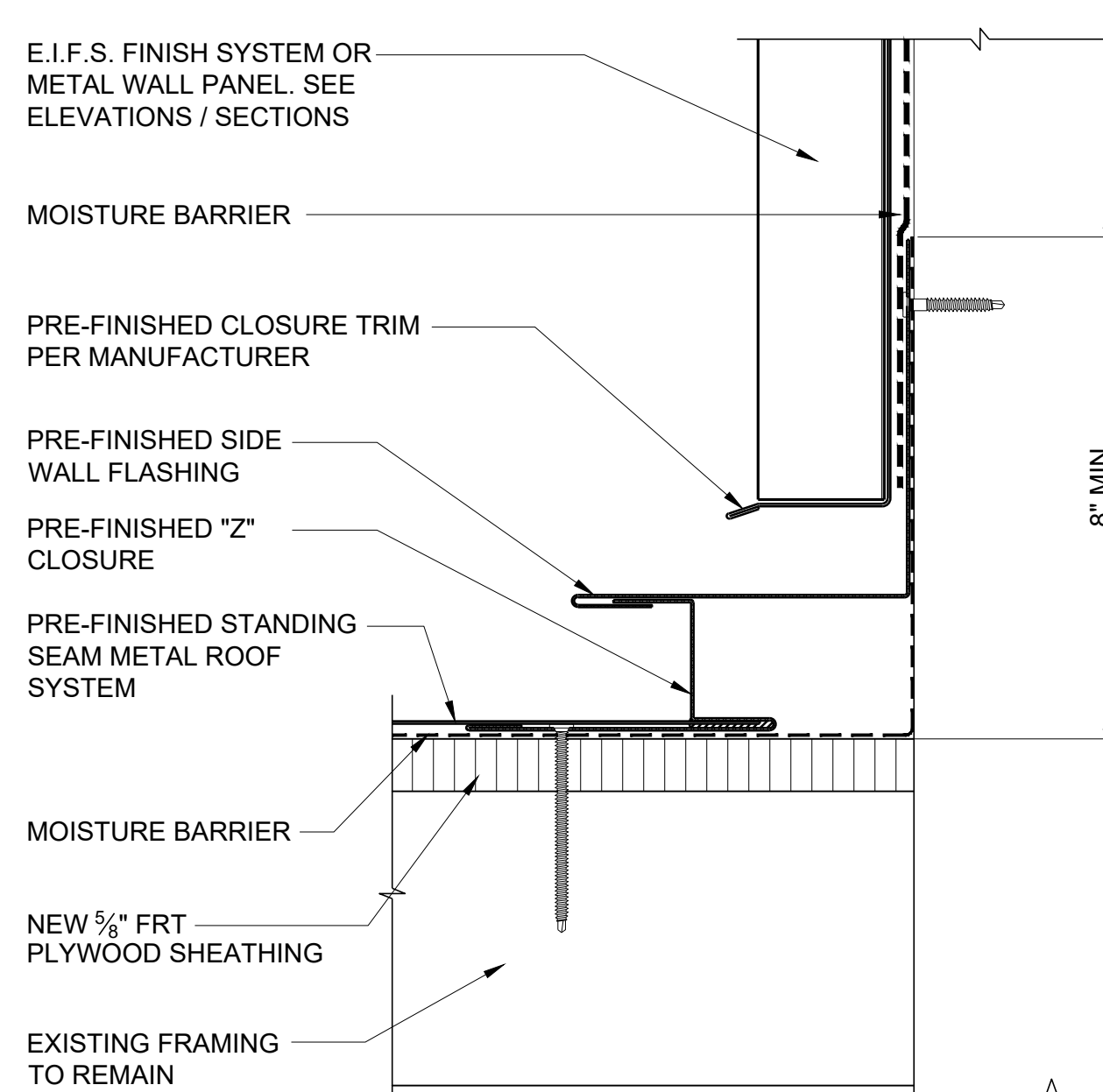
PARAPET DETAIL
SCALE: 3" = 1'-0"



SHUTTER DETAIL
SCALE: 3/4" = 1'-0"



AWNING DETAIL
SCALE: 1" = 1'-0"



SIDE WALL FLASHING DETAIL
SCALE: 6" = 1'-0"

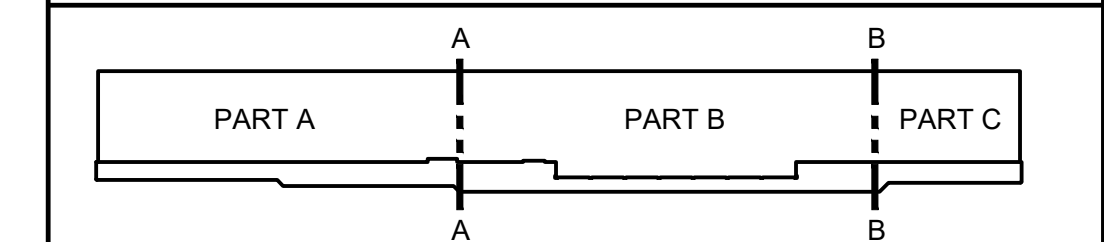
GENERAL NOTES

- DRAWINGS AND SPECIFICATIONS OF ALL DISCIPLINES INCLUDED HEREIN ARE GRAPHIC AND TEXT REPRESENTATIONS INTENDED TO ESTABLISH THE FULL SCOPE OF THIS PROJECT AND THE FULL CONTRACTUAL OBLIGATION OF THE GENERAL CONTRACTOR TO COMPLETE ALL WORK SHOWN, IMPLIED AND SPECIFIED. IT SHALL BE THE ULTIMATE RESPONSIBILITY TO COORDINATE THE PROPOSALS AND WORK OF ALL TRADES TO ENSURE ALL MATERIALS AND WORK REQUIRED BY THE CONTRACT DOCUMENT ARE INCLUDED.
- THESE DRAWINGS ARE SCHEMATIC IN NATURE AND NOT INTENDED TO SHOW ALL POSSIBLE CONDITIONS, PROCEDURES OR METHODS OF CONSTRUCTION. SHOULD ANY OMISSION, DISCREPANCY AMBIGUITY OR ERROR IN THE DOCUMENTS BE DISCOVERED, REPORT SUCH FINDINGS TO THE ARCHITECT IN WRITING WITH REASONABLE RESPONSE TIME.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS THEY RELATE TO THE INTENT OF NEW WORK SHOWN PRIOR TO BEGINNING DEMOLITION AND/OR CONSTRUCTION. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REPRESENTED IN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- REFER TO DEMOLITION SHEETS FOR SCOPE OF DEMOLITION WORK REQUIRED TO EXECUTE THE INTENT OF THE CONSTRUCTION DOCUMENTS. IF DURING THE COURSE OF CONSTRUCTION CONFLICTS ARE DISCOVERED BETWEEN DEMOLITION REQUIREMENTS AND NEW CONSTRUCTION THE ARCHITECT WILL INTERPRET THE DRAWINGS SO AS TO SECURE THE MOST SUBSTANTIAL AND COMPLETE PERFORMANCE OF THE WORK.
- IT IS THE INTENT OF THESE DOCUMENTS TO INDICATE PAINTING OF ALL EXTERIOR EXPOSED SURFACES.
- PRIOR TO APPLICATION OF ANY EXTERIOR COATING A PRE-PAINTING WALK THROUGH WILL BE HELD W/ OWNER REP / G.C. / ARCHITECT FOR REVIEW AND CONFIRMATION OF ALL COATINGS.
- PROTECT EXISTING STOREFRONT GLAZING SYSTEM DURING CONSTRUCTION. CLEAN GLAZING AND ALUMINUM STOREFRONT SYSTEM AFTER NEW CONSTRUCTION.

WORK SCHEDULE

- FOLLOWING ALL NEW CONSTRUCTION PRESSURE WASH AND CLEAN EXISTING CONCRETE WALK WAY
- PRIOR TO NEW CONSTRUCTION PRESSURE WASH AND CLEAN EXISTING MASONRY. PAINT EXISTING MASONRY IN ITS ENTIRETY WITH MIN - (2) COATS ELASTOMERIC COATING COLOR P-1.
- FURNISH AND INSTALL NEW PRE-FINISHED HORIZONTAL METAL PANEL MATERIAL WP-1.
- FURNISH AND INSTALL NEW COMPOSITE WOOD FIXED SHUTTERS. SEE DETAIL B/A2.1
- FURNISH AND INSTALL NEW 42" HIGH PRE-FINISHED (BLACK) ALUMINUM RAILING SYSTEM. MANUFACTURER "SPECIAL" SEE SECTION 1/4A.1
- FURNISH AND INSTALL NEW TPO ROOF MEMBRANE OVER NEW FRT FLYWOOD AND TAPERED POLYISO INSULATION AS REQ'D.
- FURNISH AND INSTALL MINIMUM 1" EIFS OVER 1/2" FIBER REINFORCED GYPSUM BOARD SHEATHING ON METAL STUD FRAMING SEE WALL SECTIONS, ELEVATIONS, AND COLOR MATERIAL SCHEDULE.
- FOLLOWING ALL NEW CONSTRUCTION CLEAN ALL EXISTING ALUMINUM STOREFRONT AND GLAZING TYPICAL.
- FURNISH AND INSTALL NEW FRENCH MARKET COLUMN CAPITAL (9), TYPICAL BY ROBINSON IRON AT ALL EXISTING PIPE COLUMNS, TYP. #800 824 2157
- NEW 9" RECESSED LIGHT FIXTURE FURNISHED BY OWNER INSTALLED BY ELECTRICAL SUBCONTRACTOR. SEE ELECTRICAL NOTES, NOTE NO.1 AND LEGEND SHEET C1.0.
- NEW DECORATIVE LIGHT FIXTURE FURNISHED BY OWNER INSTALLED BY ELECTRICAL SUBCONTRACTOR. SEE ELECTRICAL NOTES, NOTE NO.4, SHEET C1.0.
- NEW ROUSES MARKET SIGNAGE IS FURNISHED AND INSTALLED BY ROUSES. CONTRACTOR TO PROVIDE FINAL ELECTRICAL CONNECTIONS AFTER SIGNAGE INSTALLATION BY ROUSES AND INSTALL TEMPORARY BANNER FURNISHED BY ROUSES. SEE SHEET C1.0, ELECTRICAL NOTES, NOTE #7
- PATCH / REPAIR / RESTORE ANY ROOFING SYSTEM DAMAGE AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. MAINTAIN "WEATHERTIGHT" BUILDING DURING ALL CONSTRUCTION ACTIVITIES.
- FURNISH AND INSTALL 24"x24" STEEL ACCESS PANEL PAINT TO MATCH SOFFIT SEE DETAIL 1/4A.0. COORDINATE LOCATION W/ EXISTING STRUCTURE.
- FURNISH AND INSTALL NEW PRE-CAST SYNTHETIC STONE VENEER ON SETTING BED AND 1/2" FIBER REINFORCED SHEATHING AT EXISTING CMU COLUMNS. SEE PLAN DETAILS SHEET A3.1
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM TRIM OVER NEW METAL FRAMING AND TAPERED INSULATION. TRIM COLOR PETERSON ALUM. PAC-CLAD "BURNISHED SLATE"
- FURNISH AND INSTALL NEW STANDING SEAM METAL ROOF ON ICE AND WATER SHIELD OVER 1/2" FRT PLYWOOD DECK. MATERIAL SS-1
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM PARAPET CAP OVER NEW PT. WOOD BLOCKING. SEE DETAIL A/A.1.
- PREP AND PAINT EXISTING CONCRETE CURB AT DRIVE AISLE (RED) TO MATCH EXISTING. VERIFY FIRE LANE REQUIREMENTS WITH LOCAL CODE AUTHORITY HAVING JURISDICTION.
- FURNISH AND INSTALL STANDING SEAM METAL ROOF CANOPIES. SEE DETAIL C/A2.1. MATERIAL SS-2
- SKIMCOAT EXISTING EIFS FINISH AS REQUIRED. SCORE AS INDICATED AND PAINT W/ (2) COATS ELASTOMERIC COATINGS
- FURNISH AND INSTALL NEW FULLY ADHERED TPO ROOF MEMBRANE AND PRE-FINISHED ALUMINUM PARAPET CAP OVER NEW METAL STUD PARAPET. PRE-FINISHED ALUMINUM SHALL BE COLOR P-3
- SAND, PREP, PRIME AND PAINT EXISTING PIPE COLUMNS AND STEEL TUBE BEAMS TYPICAL.
- FURNISH AND INSTALL NEW PRE-FINISHED ALUMINUM SOFFIT PANELS ON 3/4" CARRIER CHANNELS BY PANEL MANUFACTURER PROVIDE VENTED PANELS AS INDICATED. MATERIAL SP-1
- FURNISH AND INSTALL NEW 6" RUBBED CONCRETE CURB. DOWEL INTO EXISTING CONCRETE SLAB. SEE CURB DETAIL B/A3.1.
- PREP AND PAINT ALL EXISTING CONCRETE CURBS LOCATED ALONG THE CMU WALLS AT THE ROUSES MARKET SPACE (BLACK)
- FURNISH AND INSTALL NEW 6" PRE-FINISHED (.040) ALUMINUM GUTTERS AND DOWNSPOUTS.
- FURNISH AND INSTALL NEW PAINTED DECORATIVE STEEL BRACKET. SEE DETAIL. MATCH COLOR TO CANOPY.
- FURNISH AND INSTALL NEW PRE-CAST CONCRETE SPLASHBLOCK AT ALL NEW ROOF TOP DOWNSPOUTS. INSTALL SACRIFICIAL ROOF MEMBRANE UNDER EACH SPLASHBLOCK TO PROTECT ROOF SYSTEM.
- REINSTALL AND PROVIDE FINAL ELECTRICAL CONNECTIONS TO ALL TENANT SALVAGED SIGNAGE. PRIOR TO INSTALLATION VERIFY LOCATION WITH TENANT AND AT COMPLETION TENANT SIGNAGE SHALL BE OPERATIONAL.
- FURNISH AND INSTALL NEW PRE-FINISHED, PRE-ENGINEERED (BLACK) ALUMINUM CANOPY WITH INTEGRAL GUTTER AND SCUPPERS.

KEY PLAN



COLOR / MATERIAL SCHEDULE

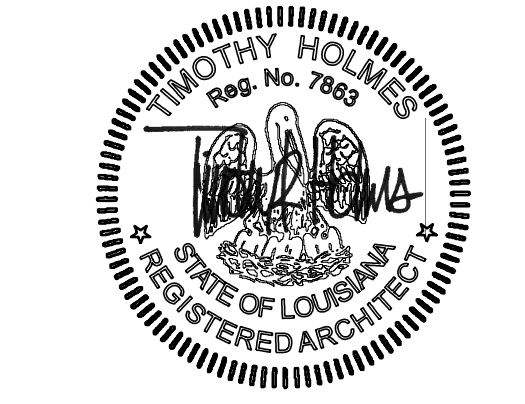
KEY	MANUFACTURE	COLOR / FINISH	MANUF. NO.
(P-1)	SHERWIN WILLIAMS	VIRTUAL TAUPE	SW 7039
(P-2)	SHERWIN WILLIAMS	BALANCED BEIGE	SW 7037
(P-3)	SHERWIN WILLIAMS	NATURAL CHOICE	SW 7011
(P-4)	SHERWIN WILLIAMS	ACCESSIBLE BEIGE	SW 7036
(P-5)	SHERWIN WILLIAMS	CAST IRON	SW 6202
(P-6)	SHERWIN WILLIAMS	IRON ORE	SW 7069
(SS-1)	PETERSON ALUM.	GRANITE	TILE LOC PLUS
(SS-2)	PETERSON ALUM.	COPPER PENNY	PAC-150
(SP-1)	PETERSON ALUM.	SANDSTONE	PAC-750
(WP-3)	PETERSON ALUM.	BURNISHED SLATE	PRECISION SERIES HWP PROFILE

- NOTE:
- ALL COLOR / MATERIAL SELECTIONS SUBJECT TO FINAL REVIEW AND APPROVAL BY OWNER / ARCHITECT. VERIFY ALL COLORS W/ OWNER / ARCHITECT PRIOR TO MATERIAL ORDER AND PROCUREMENT.
 - SUBMIT ALL COLOR / MATERIAL SELECTIONS IN ONE (1) GROUP OF SUBMITTALS FOR OWNER / ARCHITECT REVIEW AND APPROVAL. SINGULAR SUBMITTALS WILL NOT BE CONSIDERED.
 - WHERE COLOR / FINISH IS DESIGNATED TO "MATCH EXISTING", CONFIRM COLOR AND MATERIAL WITH EXISTING BUILDINGS AND FORWARD TO ARCHITECT FOR REVIEW / CONFIRMATION.

JMR+H
Architecture, P.C.

445 Dexter Avenue
Suite 5050
Montgomery, AL 36104
Phone: (334) 420-5672
Fax: (334) 420-5692

TIMOTHY R. HOLMES, AIA
ARCHITECT



TIMOTHY R. HOLMES
REG. NO. 7863

ALTERATIONS
TO
ROUSES
MARKET
STORE NO. 36
CANOPY &
SHOPS FACADE

4001 GENERAL DEGAULLE DRIVE
NEW ORLEANS, LOUISIANA

ROUSES
MARKETS

CONSTRUCTION
DOCUMENTS

Project Number: 19-856

Date: 30 JANUARY 2020

Revisions:

Sheet Description
EXTERIOR
ELEVATIONS,
NOTES AND
DETAILS

Sheet Number

A2.1

FILE NAME: W:\JMRH Projects 2019\19-856 Rouses Market New Orleans, LA - 3635-A2.1 New Elevations.dwg
PRINTED: 1/31/2020 @ 2:24PM

**ALTERATIONS
TO
ROUSES
MARKET
STORE NO. 36
CANOPY &
SHOPS FACADE**

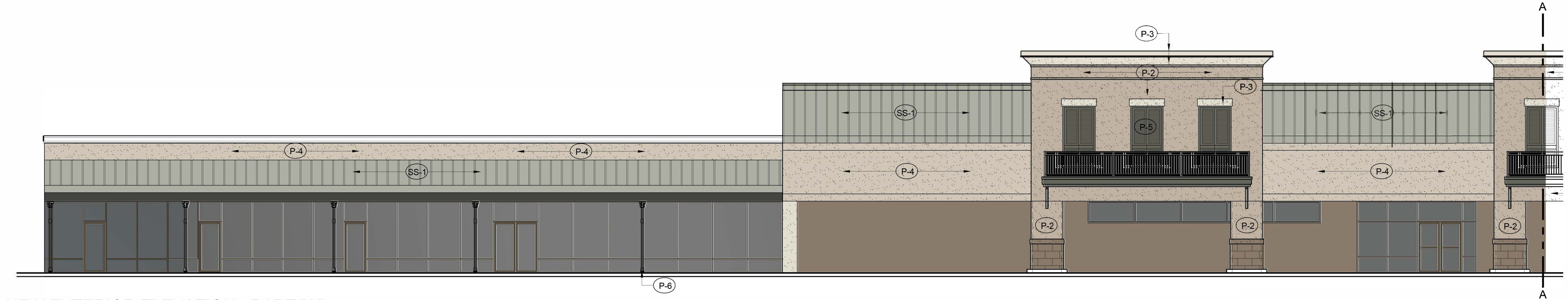
4001 GENERAL DEGAULLE DRIVE
NEW ORLEANS, LOUISIANA

**ROUSES
MARKETS**

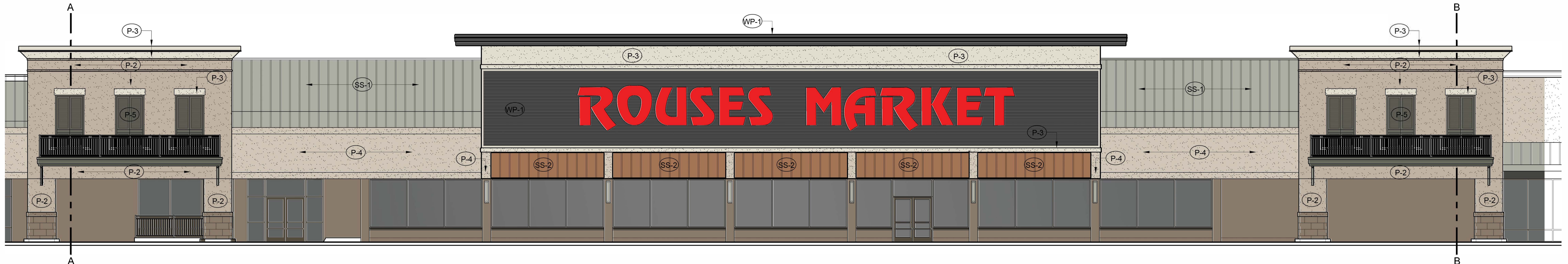
Project Number: 19-856
Date: 3 SEPTEMBER 2019
Revisions:

Sheet Description

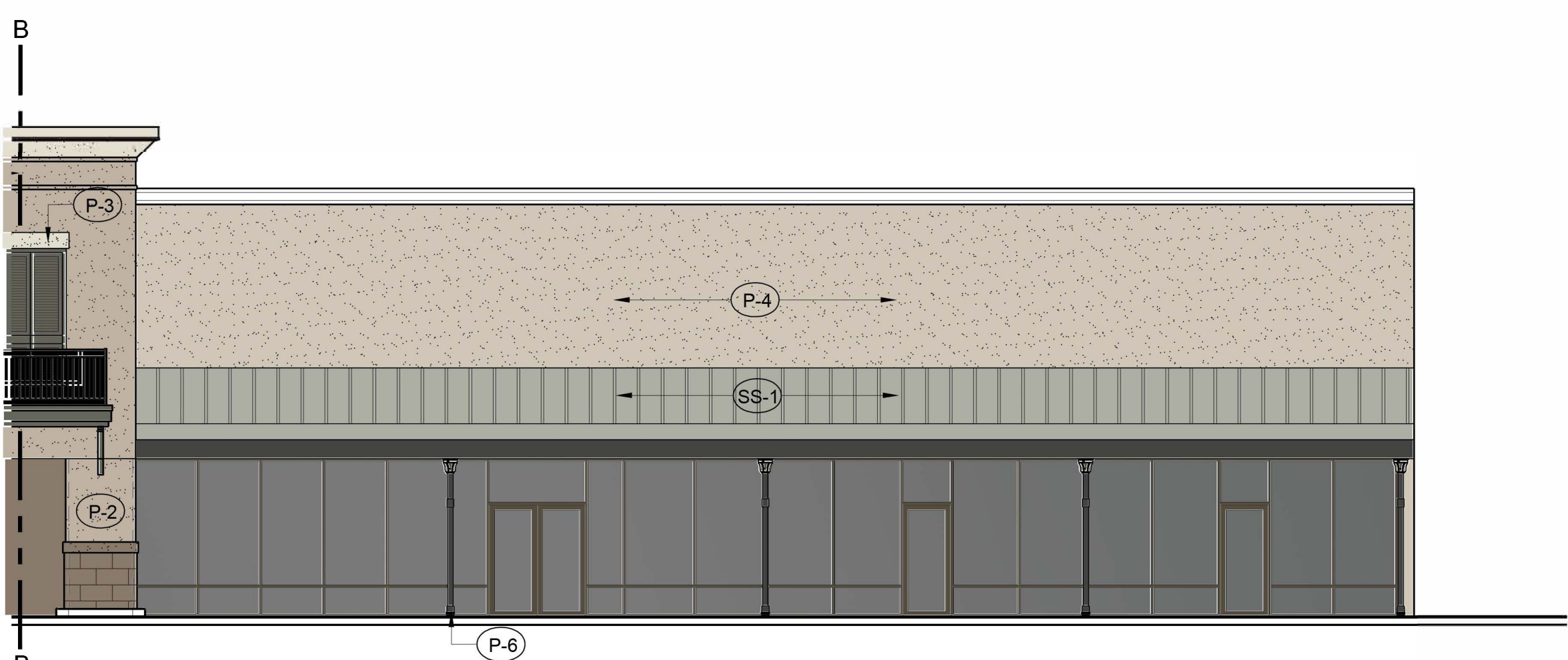
Sheet Number



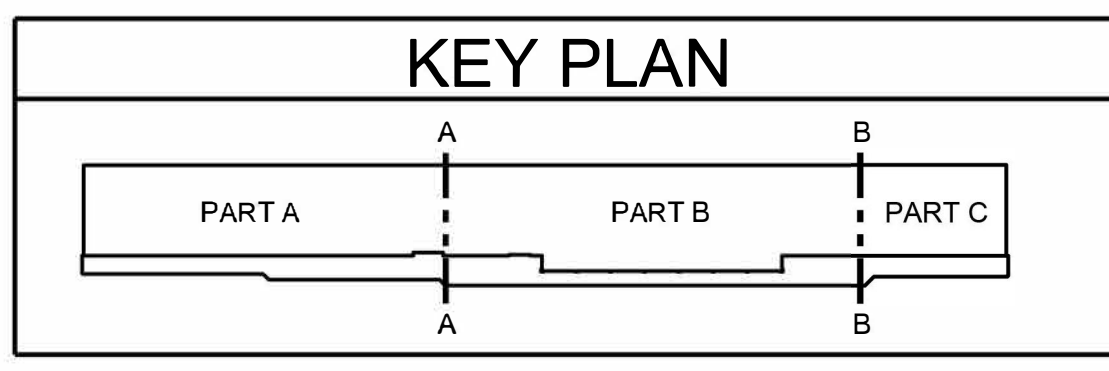
NEW EXTERIOR ELEVATION - PART "A"
SCALE: 1/8" = 1'-0"



NEW EXTERIOR ELEVATION - PART "B"
SCALE: 1/8" = 1'-0"



NEW EXTERIOR ELEVATION - PART "C"
SCALE: 1/8" = 1'-0"



KEY	MANUFACTURE	COLOR / FINISH	MANUF. NO.
(P-1)	SHERWIN WILLIAMS	VIRTUAL TAUPE	SW 7039
(P-2)	SHERWIN WILLIAMS	BALANCED BEIGE	SW 7037
(P-3)	SHERWIN WILLIAMS	NATURAL CHOICE	SW 7011
(P-4)	SHERWIN WILLIAMS	ACCESSIBLE BEIGE	SW 7036
(P-5)	SHERWIN WILLIAMS	CAST IRON	SW 6202
(P-6)	SHERWIN WILLIAMS	IRON ORE	SW 7069
(SS-1)	PETERSON ALUM. PAC-CLAD	GRANITE	TILE LOC PLUS
(SS-2)	PETERSON ALUM. PAC-CLAD	COPPER PENNY	PAC-150
(WP-1)	PETERSON ALUM. PAC-CLAD	BURNISHED SLATE	PRECISION SERIES HWP PROFILE

NOTE:
1. ALL COLOR / MATERIAL SELECTIONS SUBJECT TO FINAL REVIEW AND APPROVAL BY OWNER / ARCHITECT. VERIFY ALL COLORS W/ OWNER / ARCHITECT PRIOR TO MATERIAL ORDER AND PROCUREMENT.
2. SUBMIT ALL COLOR / MATERIAL SELECTIONS IN ONE (1) GROUP OF SUBMITTALS FOR OWNER / ARCHITECT REVIEW AND APPROVAL. SINGULAR SUBMITTALS WILL NOT BE CONSIDERED.
3. WHERE COLOR / FINISH IS DESIGNATED TO "MATCH EXISTING", CONFIRM COLOR AND MATERIAL WITH EXISTING BUILDINGS AND FORWARD TO ARCHITECT FOR REVIEW / CONFIRMATION.

FILE NAME: X:\Project Documents 2019\19-856 Rouses Holiday Square New Orleans - 36\RENDERING\36-A2.1 New Elevations REV.BRINTED: 1/13/2020 @ 9:21AM