

AREAL PHOTO OF EXISTING SITE NTS

- GENERAL NOTES
1. ALL NEW INTERIOR PARTITIONS ARE NON-LOADBEARING
 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD.

THIS WORK CONSIST OF TENANT IMPROVEMENTS ONLY WITHIN AN EXIST. BLDG.

SPECIAL CONDITIONS

1. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND SECURE FROM THE ARCHITECT ADDITIONAL INFORMATION, IF NECESSARY, AND THAT MAY BE REQUISITE TO A CLEAN AND FULL UNDERSTANDING OF THE WORK BEFORE PLACING HIS PROPOSAL.
2. ANY WORK OR MATERIAL WHICH IS NOT DIRECTLY OR INDIRECTLY NOTED IN THE SPECIFICATIONS AND DRAWINGS, BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR IN HIS PROPOSAL AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED.
3. DURING THE BIDDING PERIOD, ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF SUCH MATTERS. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS. IT SHALL BE HELD THAT ALL BIDDERS HAVE EXAMINED ALL DOCUMENTS FOR PROPER COMPREHENSION IN THE DIVISION OF THE WORK, AND THEIR RELATIONSHIP TO OTHER CONTRACTORS OR SECTIONS OF THE WORK. NO ALLOWANCE SHALL BE MADE, AFTER THE BID OPENING, FOR MISUNDERSTANDING ON THE PART OF THE CONTRACTOR.
4. EXAMINATION OF SITE BEFORE SUBMITTING PROPOSALS FOR ANY WORK, EACH BIDDER IS REQUIRED TO EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO WORK AND THAT WILL IN ANY MANNER EFFECT THE WORK UNDER HIS CONTRACT. NO ALLOWANCE SHALL BE MADE SUBSEQUENTLY IN THIS CONNECTION IN BEHALF OF THE CONTRACTOR FOR ANY.
5. BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

FIRE PROTECTION NOTES

1. ALL MAJOR EXIT DOORS TO HAVE PANIC HARDWARE
1. VERIFY DIMENSION IN FIELD
2. VERIFY THAT ALL PENETRATION ON RATED WALLS AND FLOORS SHALL BE SEALED BY FIRE BARRIER SYSTEM TO MEET THE REQUIRED FIRE RATING
3. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450.
4. EVERY TENANT SHALL HAVE ON CLASS ABC FIRE EXTINGUISHER EVERY 2500 SQ. FT. OF INTERIOR FLOOR.

MECHANICAL NOTES

1. ALL DUCTWORK TO MEET NFPA 90 REQUIREMENTS, UL LABEL 181 @qbasi& SMACHA STANDARDS
2. ALL CONDENSATE DRAINS SHALL HAVE 2" GAP BETWEEN CONDENSATE LINE & FLOOR DRAINS.

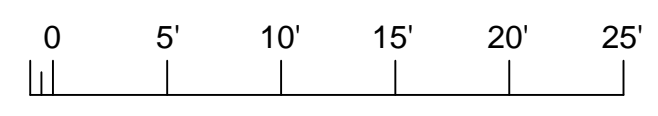
ELECTRICAL NOTES

1. ALL WORK SHALL BE DONE IN STRICT CONFORMITY WITH THE LATEST EDITION OF NATIONAL

MECHANICAL WORK LESS THAN \$15,000.00
ELECTRICAL WORK LESS THAN \$15,000.00

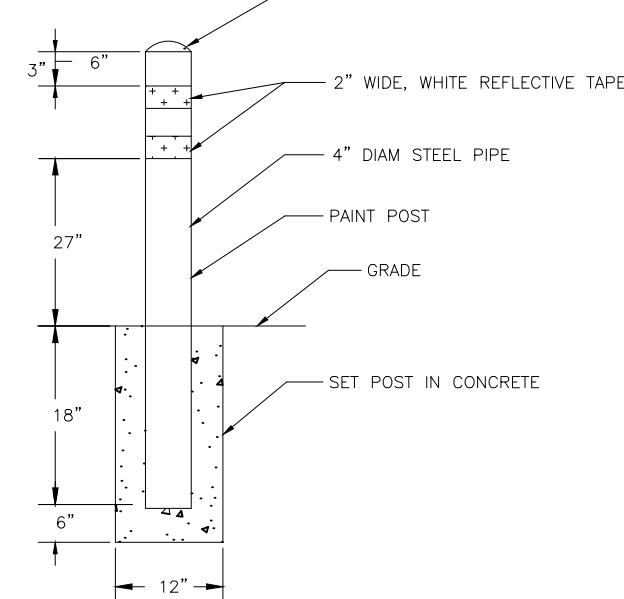
PARTIAL SITE PLAN

SCALE: 1/8" = 1'-0"



2 REVISION

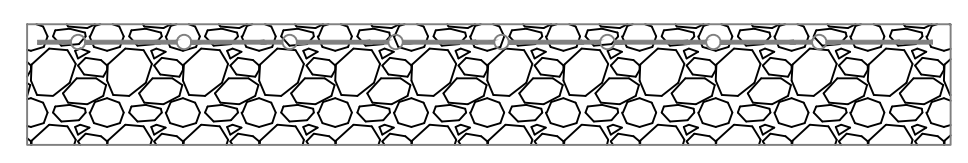
PROPERTY LINE DELACHAISE ST (SIDE)



TYPICAL BOLLARD DETAIL

SECTION

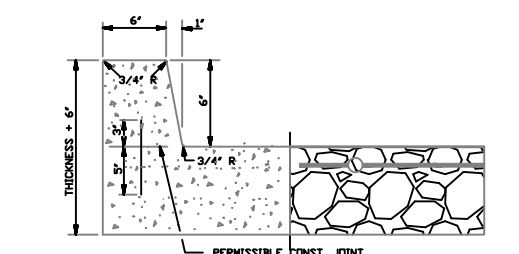
2 A.1



NEW GEO TEC FABRIC GRAVEL

SECTION

B A.1



6" BARRIER TYPE CONCRETE CURB (CONCRETE PAVEMENT ROADWAY)

CURB CUT SECTION

A A.1

LEGEND SYMBOL DESCRIPTION

	EXISTING CONCRETE
	NEW PEDESTRIAN WALKWAY
	EXISTING GRAVEL
	NEW GEO TEC FABRIC GRAVEL

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES. VISITING THE SITE DURING CONSTRUCTION.

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.

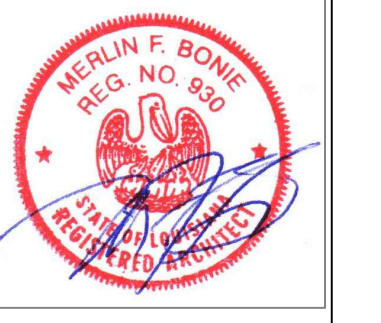
THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN RELIEVES THE ARCHITECT OF ANY LIABILITY OF THE CONSTRUCTION OF THIS PROJECT DURING AND AFTER CONSTRUCTION AND HOLDS THE ARCHITECT HARMLESS OF ANY AND ALL LAWSUITS ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.

MERLIN F. BONIE ARCHITECT INC.
LOUISIANA LICENSE # 930

MERLIN F. BONIE ARCHITECT INC.
A PROFESSIONAL CORPORATION
34 CRANE STREET NEW ORLEANS, LOUISIANA 70124
504-234-4058 Tel. jmbonie@cox.net Email

DRAWN: MFB
CHECKED: MFB
SCALE: AS SHOWN
DATE: 2019
APPROVED: MFB
CAD FILE:

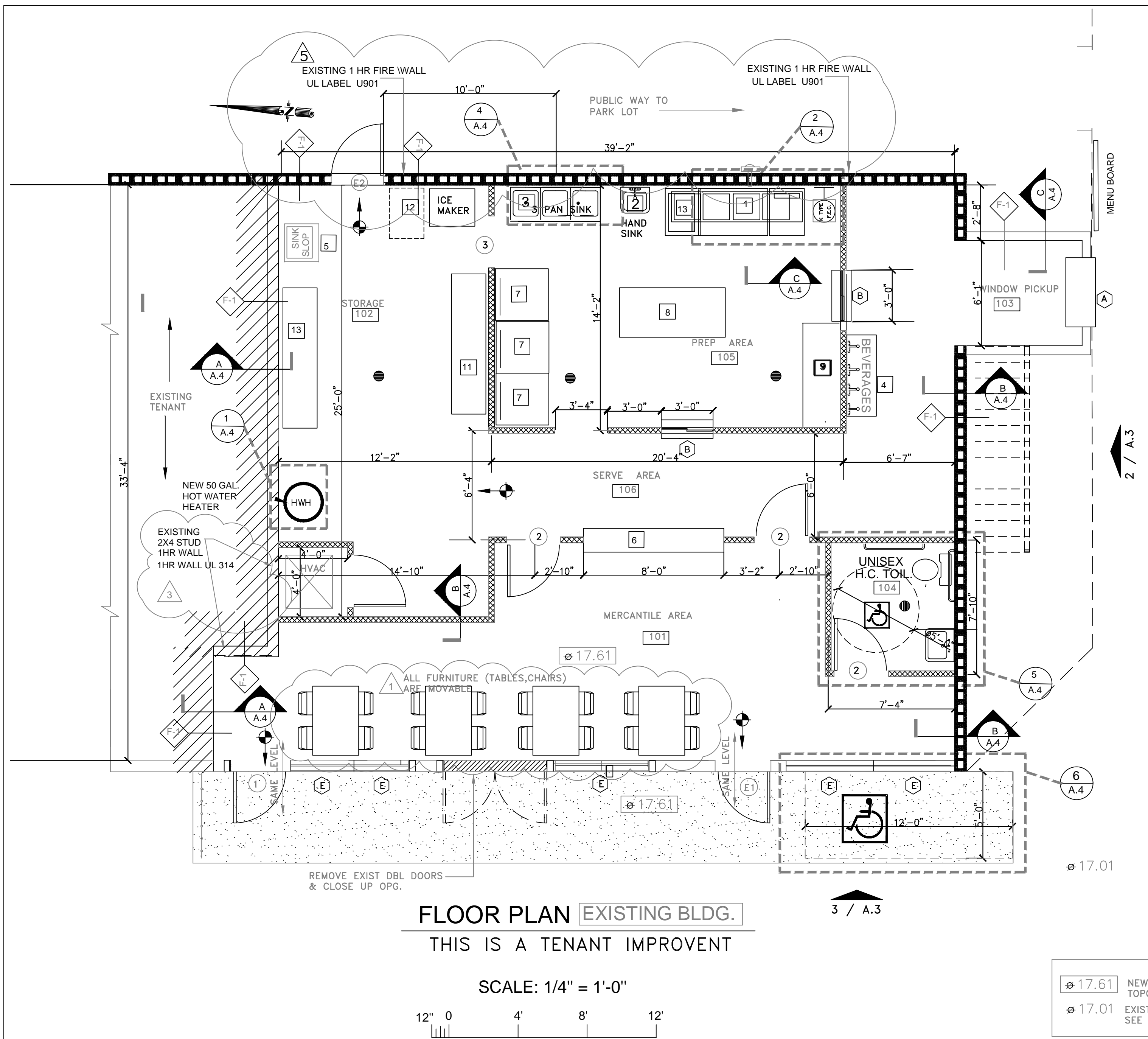
PARTIAL SITE PLAN
A DAQUIRI SHOP
A TENANT IMPROVEMENT
AT
3400 S. CLAIBORNE AVE
NEW ORLEANS, LA



APP'D MARK	REVISION	BY	DATE
MFB			
MFB			
MFB			
MFB			
MFB			

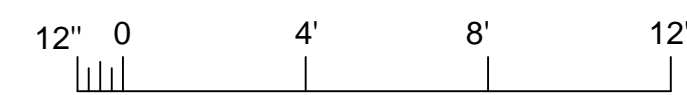
PROJECT NUMBER:
103-COM-2020

SHEET NUMBER
A.1
OF SHEETS



FLOOR PLAN EXISTING BLDG.
 THIS IS A TENANT IMPROVEMENT

SCALE: 1/4" = 1'-0"



• 17.61 NEW APPROX TOPO ELEV.
 • 17.01 EXIST TOPO ELEV. SEE SURVEY SHET A-7

LEGEND

- ▲ BUILDING SECTION CUT KEY
- X WALL SECTION CUT KEY
- X/X.X DETAIL SECTION CUT KEY
- △ ELEVATION KEY
- ▲ PROPERTY LINE
- ▲ REVISION NUMBER
- ▲ FINISH NOTE
- ▲ TOILET ACCESSORIES
- COL COLUMN LINE NUMBER
- ▲ WINDOW TYPE
- ▲ DOOR NUMBER
- ▲ WALL TYPE
- ▲ INDICATES HANDICAP AREA
- ▲ FLOOR DRAIN
- ▲ 1'-0" X 4'-0" SURFACE MOUNT FLORESCENT FIXTURE
- ⊙ SMOKE DETECTOR
- BRACKET WALL MOUNTED "K" TYPE FIRE EXTINGUISHER 5'-0" A.F.F. @ 17.61
- BRACKET WALL MOUNTED FIRE EXTINGUISHER 5'-0" A.F.F.
- ▲ NORTH INDICATOR
- ▲ DETAIL
- ▲ DETAIL OR ENLARGED PLAN
- TEXT1 TARGET ELEVATION
- TEXT2
- ▲ DIMENSIONS
- BATT. INSULATION/
- ▲ EMERGENCY LIGHT
- ▲ INDICATES EXIT LIGHT
- NOTE: LOW LEVEL EXIT SIGNS TO BE IN ACCORD WITH 4.30.1, 4.30.4, 4.30.5 & 4.30.6 EMERGENCY WITH BATTERY AND ELEC. CIRCUIT TO PANEL
- ▲ 1 HR FIRE WALL
- RECESSED INCANDESCENT LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE WATERPROOF
- INCANDESCENT LIGHT FIXTURE
- DUPLEX OUTLET
- GFI GROUND FAULT INTERUP OUTLET
- TELEPHONE OUTLET
- ▲ HEATER/VENT/LIGHT FIXTURE
- SINGLE POLE LIGHT SWITCH
- 2 WAY LIGHT SWITCH
- DOORBELL
- HOSE BIB
- ▲ EXISTING FLORESCENT LIGHT FIXTURES
- SPECIAL ELEC. OUTLET
- FLOOR DRAIN
- COM CARBON MONOXIDE SMOKE DETECTOR TO HOUSE METER
- FA FIRE ALARM SYSTEM
- PS PULL STATION
- CEIL. FAN W / LIGHT
- MP EXTERIOR WATERPROOF DUPLEX OUTLET
- HOT WATER HEATER
- WINDOW SYMBOL
- DOOR SWING SYMBOL
- GAS VALVE
- EXISTING WALLS TO BE REMOVED
- EXISTING 12" CMU WALLS TO REMAIN
- 2X4 STUD WALL W/ 5/8" GYPSUM

MARK	DESCRIPTION OF EQUIPMENT
1	HOOD VENT RANGE
2	HAND SINK
3	3 PAN SINK
4	BEVERAGES
5	SLOP SINK
6	PASS THRU COUNTERS
7	ICE BOXES
8	WORK TABLE 1
9	WORK TABLE 2
10	DRY STORAGE
11	COLD STORAGE FREEZER
12	GREASE TRAP
13	DEEP FRYERS

TOTAL GROSS AREA [1305 SF]
OCCUPANCY LOAD-NFPA 101
 MERCANTILE SALES AREA
 297 SQ FT
 30 SQ. FT PER PERSON
 297 SQ FT / 30 = 9.9 PEOP LE
 EMPLOYEE AREA ONLY
 932 SQ FT / 300=3.1
OCCUPANCY LOAD 13 LESS THAN 49
 MERCANTILE GROUP M
OCCUPANCY - BUSINESS ZONING- MERCANTILE CLASS "C"
 CONSTRUCTION TYPE III-B/III(200)

LEGEND

SYMBOL	DESCRIPTION
■	EXISTING 8" CMU EXTERIOR WALLS
▨	NEW 2x4 W 1/2" GYP. BD WALLS
---	EXISTING WALLS TO BE REMOVED

NOTE: PROVIDE FIRE ALARM SYSTEM IN ACCORDMNG TO NFPA 72.

MECHANICAL WORK LESS THAN \$15,000
ELECTRICAL WORK LESS THAN \$15,000

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES. (I AM NOT VISITING THE SITE DURING CONSTRUCTION.
 MERLIN F. BONIE ARCHITECT
 LOUISIANA LICENSE # 930

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.
 THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN RELIEVES THE ARCHITECT OF ANY LIABILITY OF THE CONSTRUCTION OF THIS PROJECT DURING AND AFTER CONSTRUCTION AND HOLDS THE ARCHITECT HARMLESS OF ANY AND ALL LAWSUITS ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.

WINDOW		WINDOW SCHEDULE							REMARKS				
MARK	WIDTH	HEIGHT	FIXED WINDOW	EXISTING	SLIDING	PAINTED	SINGLE HUNG ALUMINUM	EXISTING	PAINTED	WOOD SHUTTERS	INSULATED	EXISTING	
E	VARIES	3'-3"	●	●	●	●	●	●	●	●	●	●	EXISTING
A	3'-0"	3'-0"	●	●	●	●	●	●	●	●	●	●	WINDOW PICKUP
B	4'-0"	2'-0"	●	●	●	●	●	●	●	●	●	●	WINDOW PICKUP

NO.	ROOM	FLOOR	BASE	WALLS	WANTS	CEILING	CEIL. HT.	REMARKS				
101	MERCANTILE AREA		CONCRETE SEALED VINYL TILE	CERAMIC TILE	CERAMIC TILE-EXISTING	RUBBER	NONE	CEILING				INTERIOR FINISHES SHALL HAVE A FLAME SPREAD OF 0-25 AND A SMOKE DEVELOPED OF 0-450.
102	STORAGE											
103	WINDOW PICKUP											
104	UNISEX HC TOIL.											
105	PREP AREA											
106	SERVE AREA											

NO.	DOOR	TYPE	FRAME	LOCKSET	HINGE	ACCESSORIES	REMARKS
E1	3'-0"X6'-8"X 1 3/4"	METAL CASED OPENING	WOOD	●	●	●	EXISTING
E2	3'-0"X6'-8"X 1 3/4"	SOLID CORE WOOD	WOOD	●	●	●	EXISTING
1	3'-0"X6'-8"X 1 3/4"	STOREFRONT	ALUMINUM	●	●	●	EXISTING
2	3'-0"X6'-8"X 1 3/4"	HOLLOW CORE WOOD	WOOD	●	●	●	EXISTING
3	3'-0"X6'-8"X 1 3/4"	HOLLOW METAL	ALUMINUM	●	●	●	EXISTING

FLOOR PLAN + SCHEDULES
 ADAQUIRI SHOP
 A TENANT IMPROVEMENT
 AT
 3400 S. CLAIBORNE AVE
 NEW ORLEANS, LA

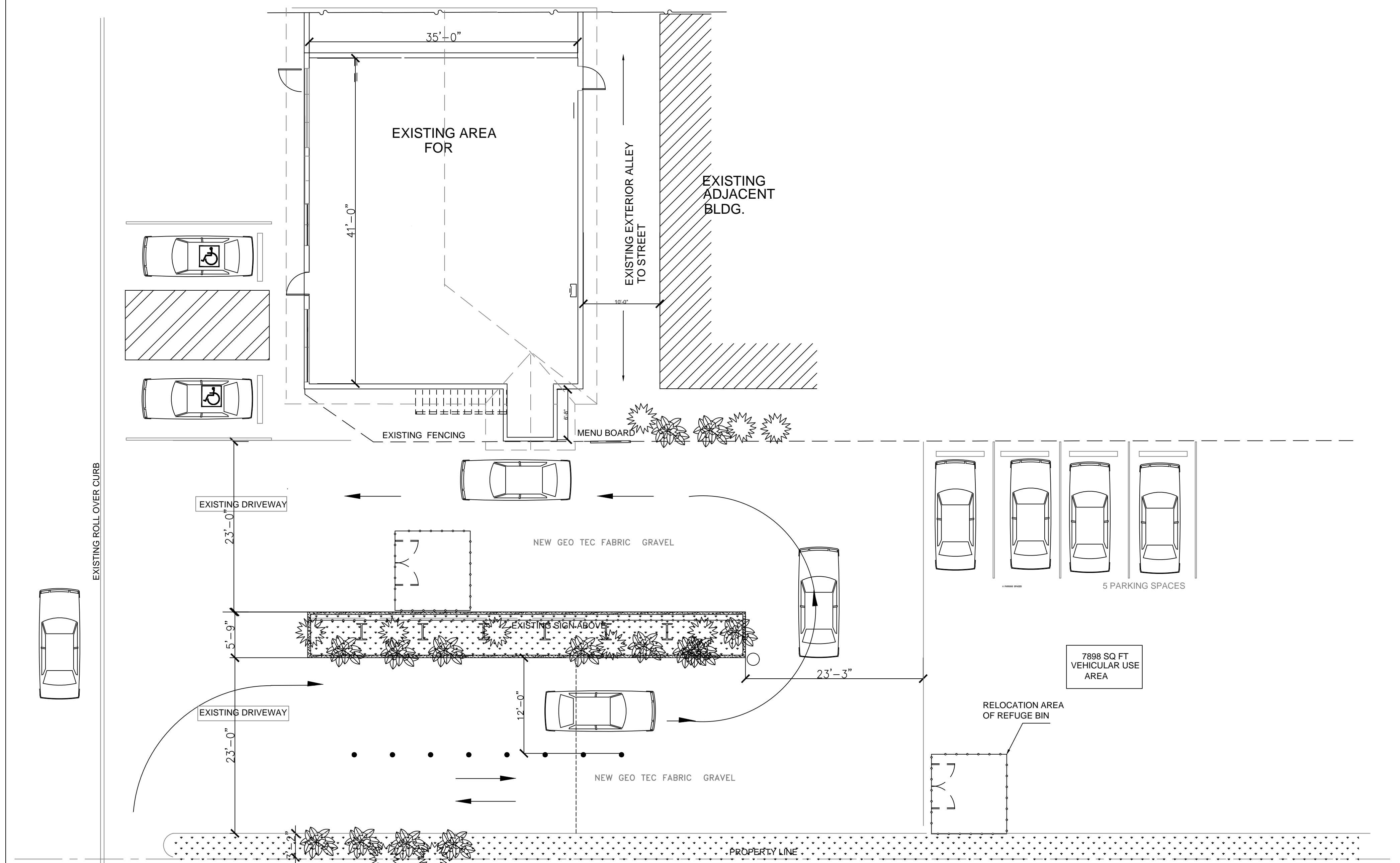
DRAWN: MFB
 CHECKED: MFB
 SCALE: AS SHOWN
 DATE: 2019
 APPROVED:
 CAD FILE:



MFB	WFB	WFB	WFB	WFB	BY	DATE
▲	▲	▲	▲	▲		

PROJECT NUMBER:
 103-COM-2020

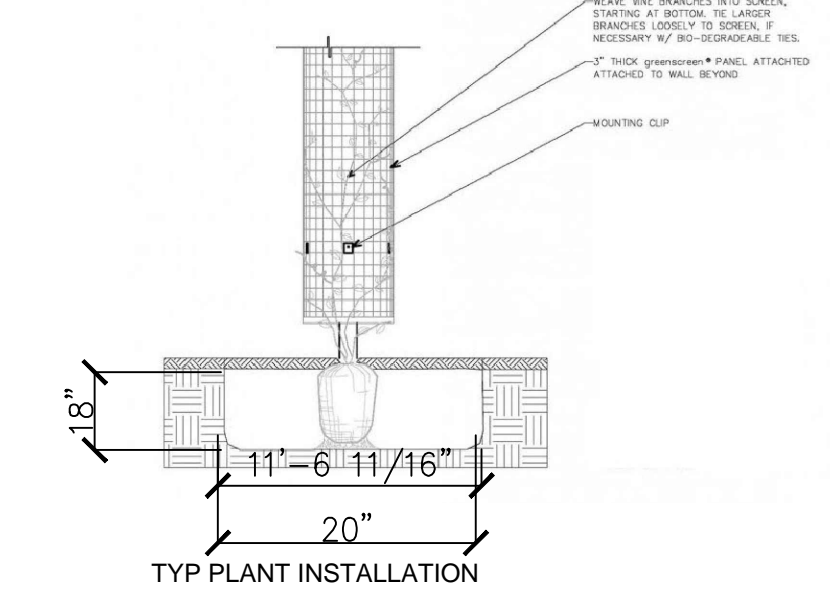
SHEET NUMBER
 A.2
 OF _____ SHEETS



PARTIAL SITE PLAN
 SCALE: 1/8" = 1'-0"
 1 A.1.1
 0 5' 10' 15' 20' 25'

LEGEND

SYMBOL	PLANT LIST
	'BERBERIS THUNNBERGII'
	'MISCANTHUS GRACILLIMUS'
	NEW SOD



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES.

VISITING THE SITE DURING CONSTRUCTION.

MERLIN F. BONIE ARCHITECT # 930
 LOUISIANA LICENSE

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.

THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN RELIEVES THE ARCHITECT OF ANY LIABILITY OF THE CONSTRUCTION OF THIS PROJECT DURING AND AFTER CONSTRUCTION AND HOLDS THE ARCHITECT HARMLESS OF ANY AND ALL LAWSUITS ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.

M3 MERLIN F. BONIE \ ARCHITECT INC.
 A PROFESSIONAL CORPORATION
 34 CRANE STREET NEW ORLEANS, LOUISIANA 70124
 504-234-4058 TEL. jmbonnie@cox.net Email

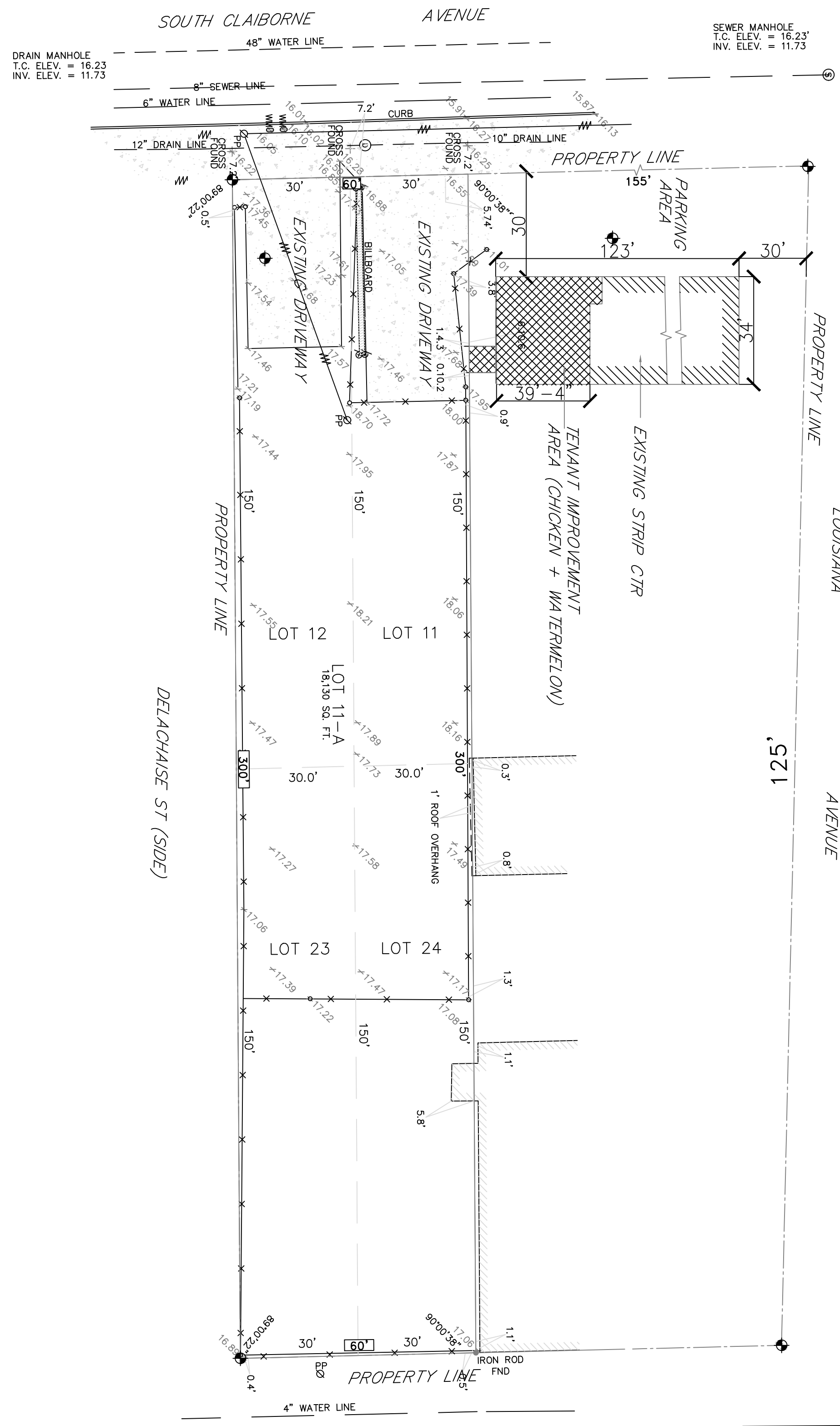
DRAWN: MFB CHECKED: MFB SCALE: AS SHOWN DATE: 2019 APPROVED: CAD FILE:

LANDSCAPE PLAN
 A CHICKEN SHOP
 A TENANT IMPROVEMENT
 AT
 3400 S. CLAIBORNE AVE
 NEW ORLEANS, LA

DATE	BY	REVISION
	MFB	1 SURVEY, FURNITURE, OCCUPANCY
	MFB	2 ACCESSIBLE PARKING ENTRANCE
	MFB	3 FIRE RATED ASSEMBLIES
	MFB	4 HOOD CONSTRUCTION
	MFB	5
	MFB	6
	MFB	7
	MFB	8
	MFB	9
	MFB	10
	MFB	11
	MFB	12
	MFB	13
	MFB	14
	MFB	15
	MFB	16
	MFB	17
	MFB	18
	MFB	19
	MFB	20
	MFB	21
	MFB	22
	MFB	23
	MFB	24
	MFB	25
	MFB	26
	MFB	27
	MFB	28
	MFB	29
	MFB	30
	MFB	31
	MFB	32
	MFB	33
	MFB	34
	MFB	35
	MFB	36
	MFB	37
	MFB	38
	MFB	39
	MFB	40
	MFB	41
	MFB	42
	MFB	43
	MFB	44
	MFB	45
	MFB	46
	MFB	47
	MFB	48
	MFB	49
	MFB	50
	MFB	51
	MFB	52
	MFB	53
	MFB	54
	MFB	55
	MFB	56
	MFB	57
	MFB	58
	MFB	59
	MFB	60
	MFB	61
	MFB	62
	MFB	63
	MFB	64
	MFB	65
	MFB	66
	MFB	67
	MFB	68
	MFB	69
	MFB	70
	MFB	71
	MFB	72
	MFB	73
	MFB	74
	MFB	75
	MFB	76
	MFB	77
	MFB	78
	MFB	79
	MFB	80
	MFB	81
	MFB	82
	MFB	83
	MFB	84
	MFB	85
	MFB	86
	MFB	87
	MFB	88
	MFB	89
	MFB	90
	MFB	91
	MFB	92
	MFB	93
	MFB	94
	MFB	95
	MFB	96
	MFB	97
	MFB	98
	MFB	99
	MFB	100
	MFB	101
	MFB	102
	MFB	103
	MFB	104
	MFB	105
	MFB	106
	MFB	107
	MFB	108
	MFB	109
	MFB	110
	MFB	111
	MFB	112
	MFB	113
	MFB	114
	MFB	115
	MFB	116
	MFB	117
	MFB	118
	MFB	119
	MFB	120
	MFB	121
	MFB	122
	MFB	123
	MFB	124
	MFB	125
	MFB	126
	MFB	127
	MFB	128
	MFB	129
	MFB	130
	MFB	131
	MFB	132
	MFB	133
	MFB	134
	MFB	135
	MFB	136
	MFB	137
	MFB	138
	MFB	139
	MFB	140
	MFB	141
	MFB	142
	MFB	143
	MFB	144
	MFB	145
	MFB	146
	MFB	147
	MFB	148
	MFB	149
	MFB	150
	MFB	151
	MFB	152
	MFB	153
	MFB	154
	MFB	155
	MFB	156
	MFB	157
	MFB	158
	MFB	159
	MFB	160
	MFB	161
	MFB	162
	MFB	163
	MFB	164
	MFB	165
	MFB	166
	MFB	167
	MFB	168
	MFB	169
	MFB	170
	MFB	171
	MFB	172
	MFB	173
	MFB	174
	MFB	175
	MFB	176
	MFB	177
	MFB	178
	MFB	179
	MFB	180
	MFB	181
	MFB	182
	MFB	183
	MFB	184
	MFB	185
	MFB	186
	MFB	187
	MFB	188
	MFB	189
	MFB	190
	MFB	191
	MFB	192
	MFB	193
	MFB	194
	MFB	195
	MFB	196
	MFB	197
	MFB	198
	MFB	199
	MFB	200

PROJECT NUMBER:
 103-COM-2020

SHEET NUMBER
 A.5
 OF SHEETS

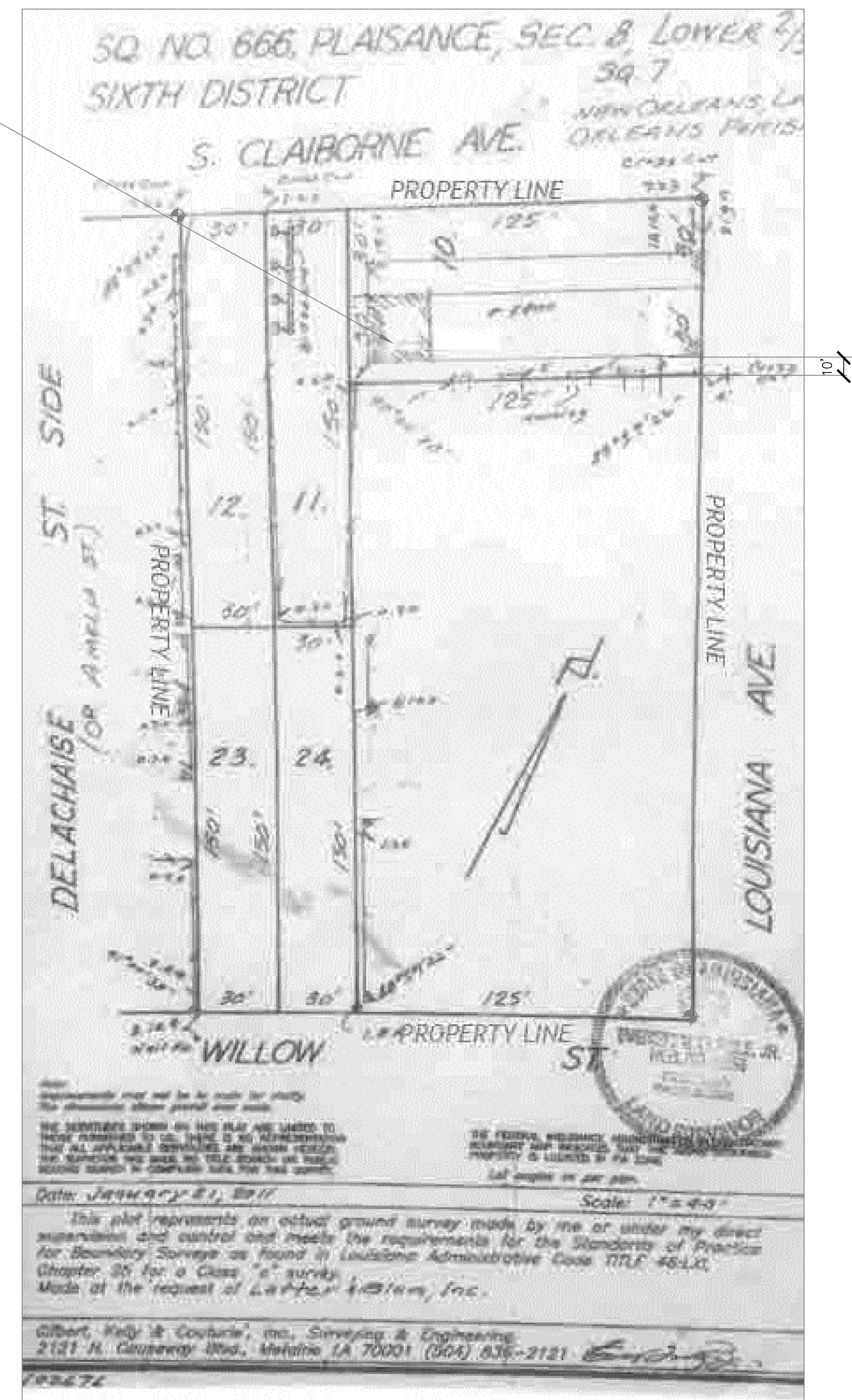


SITE PLAN / SURVEY NTS

DELACHAISE STREET (SIDE)

LEGEND	
<p>— (S) — S — SEWER MANHOLE, SEWER LINE</p> <p>— (W) — W — WATER MANHOLE, WATER LINE</p> <p>— (D) — D — DRAIN MANHOLE, DRAIN LINE</p> <p>— (D) — D — DRAIN INLET, DRAIN LINE</p> <p>— (G) — G — GAS MANHOLE, GAS LINE</p> <p>— (TE) — UGTEL — SCB MANHOLE, SCB LINE</p> <p>— (PP) — PP — POWER POLE / OVERHEAD LINES ELECTRIC, TELEPHONE, CABLE TV, ELEC TOWER / OVERHEAD LINES</p> <p>— (D) — D — CULVERT, DRAIN LINE</p> <p>— (CB) — CB — CATCH BASIN</p>	<p>□ GM — GAS METER</p> <p>⊙ GV — GAS VALVE</p> <p>⊙ WM — WATER METER</p> <p>⊙ WV — WATER VALVE</p> <p>⊙ CO — DRAIN CLEANOUT</p> <p>⊙ CO — SEWER CLEANOUT</p> <p>⊙ FH — FIRE HYDRANT</p> <p>⊙ STLT — STREET LIGHT</p> <p>⊙ TRLT — TRAFFIC LIGHT</p> <p>⊙ — ANCHOR</p> <p>⊙ — SIGN</p> <p>⊙ — ELECTRIC POST</p> <p>□ — GROUND BOX</p> <p>— — — — — FENCE</p>

PROJECT LOCATION



THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES. (I AM NOT VISITING THE SITE DURING CONSTRUCTION.)

MERLIN F. BONIE ARCHITECT
LOUISIANA LICENSE # 930

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.

THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN RELIEVES THE ARCHITECT OF ANY LIABILITY OF THE CONSTRUCTION OF THIS PROJECT DURING AND AFTER CONSTRUCTION AND HOLDS THE ARCHITECT HARMLESS OF ANY AND ALL CLAIMS ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.

MB MERLIN F. BONIE ARCHITECT INC.
A PROFESSIONAL CORPORATION
34 CRANE STREET NEW ORLEANS, LOUISIANA 70124
504-234-4058 Tel. jmbonie@cox.net Email

DRAWN: MFB
CHECKED: MFB
SCALE: AS SHOWN
DATE: 2019
APPROVED:
CAD FILE:

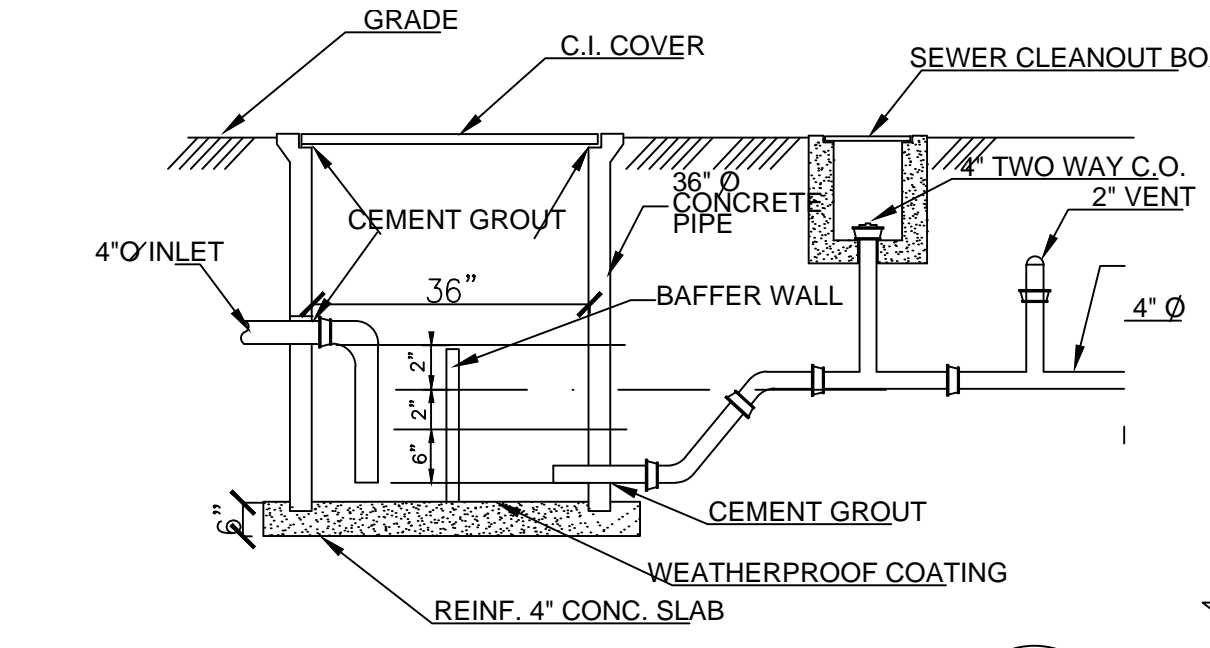
SURVEY
A CHICKEN SHOP
A TENANT IMPROVEMENT
AT
3400 S. CLAIBORNE AVE
NEW ORLEANS, LA



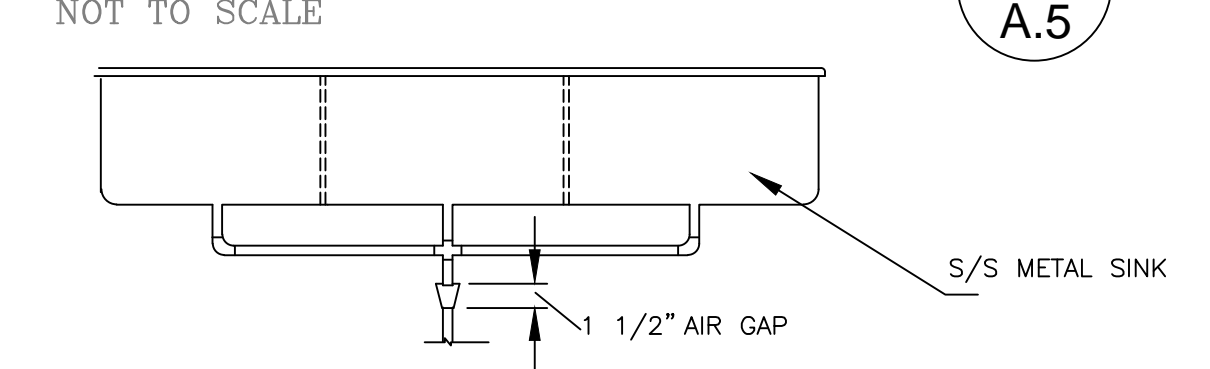
SURVEY, FURNITURE, OCCUPANCY		REVISION	
DATE	BY	DATE	BY

PROJECT NUMBER:
103-COM-2020

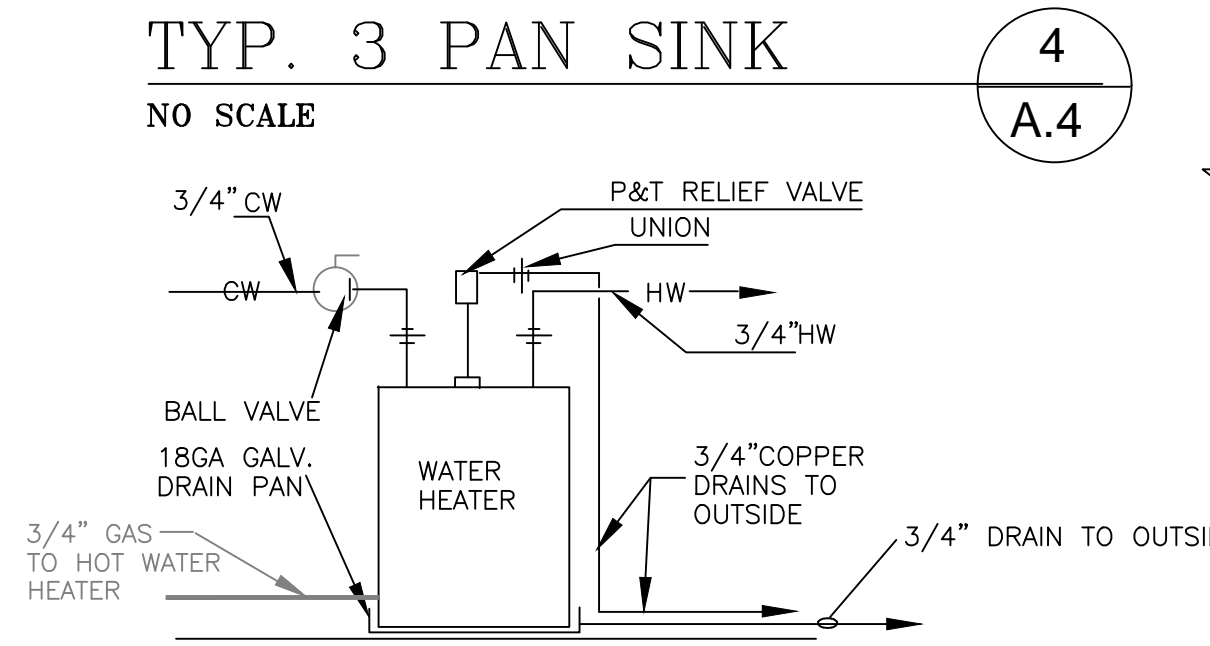
SHEET NUMBER
A.7
OF SHEETS



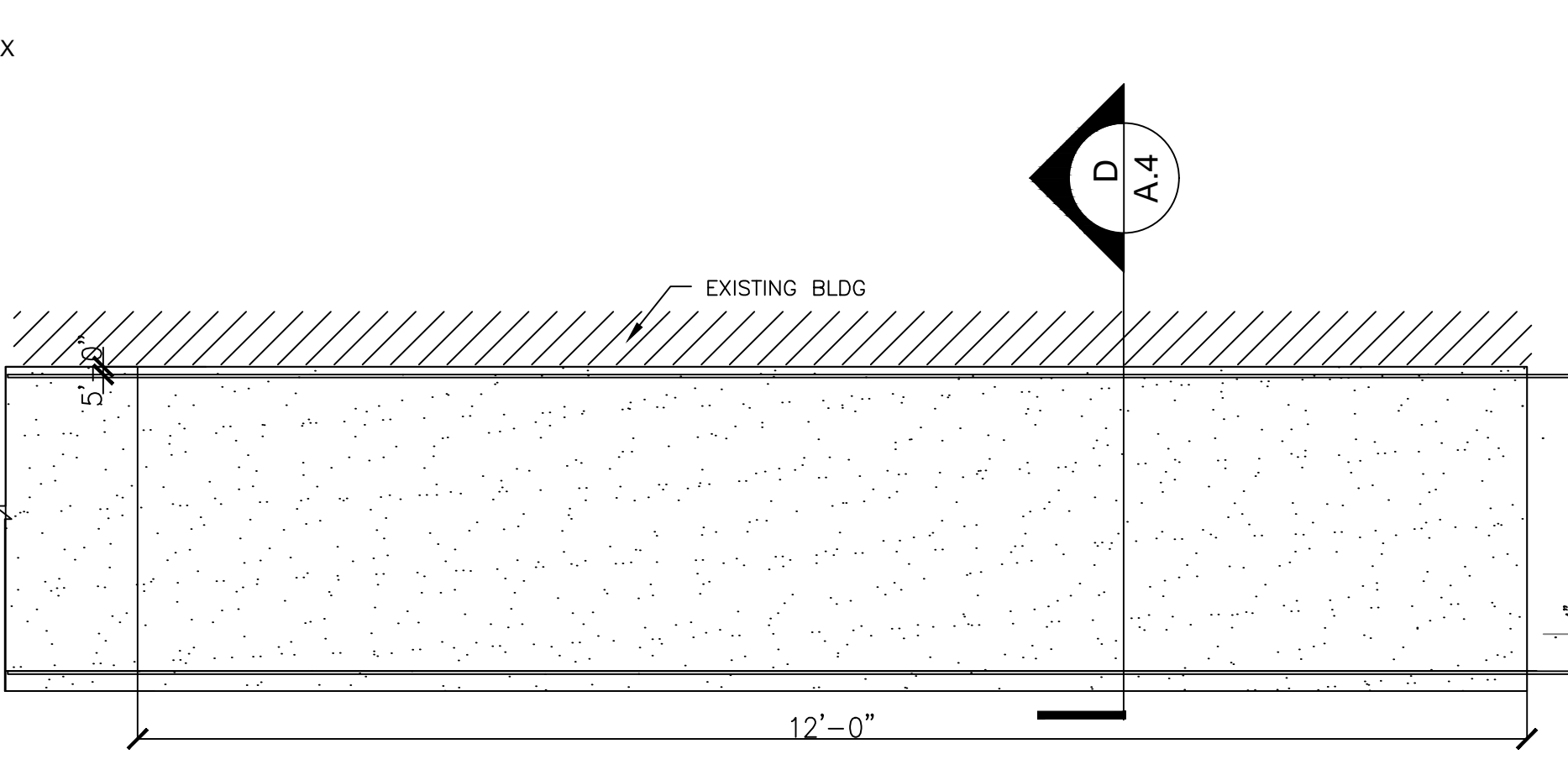
GREASE TRAP DETAIL
NOT TO SCALE



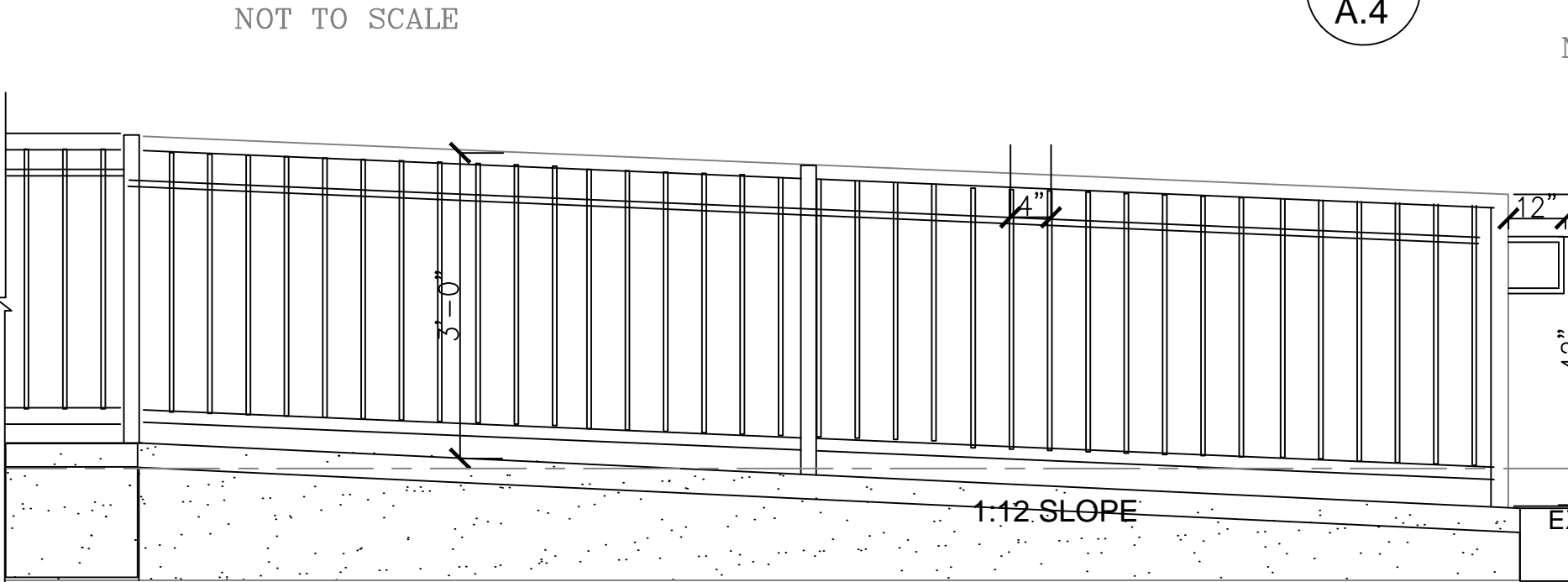
TYP. 3 PAN SINK
NO SCALE



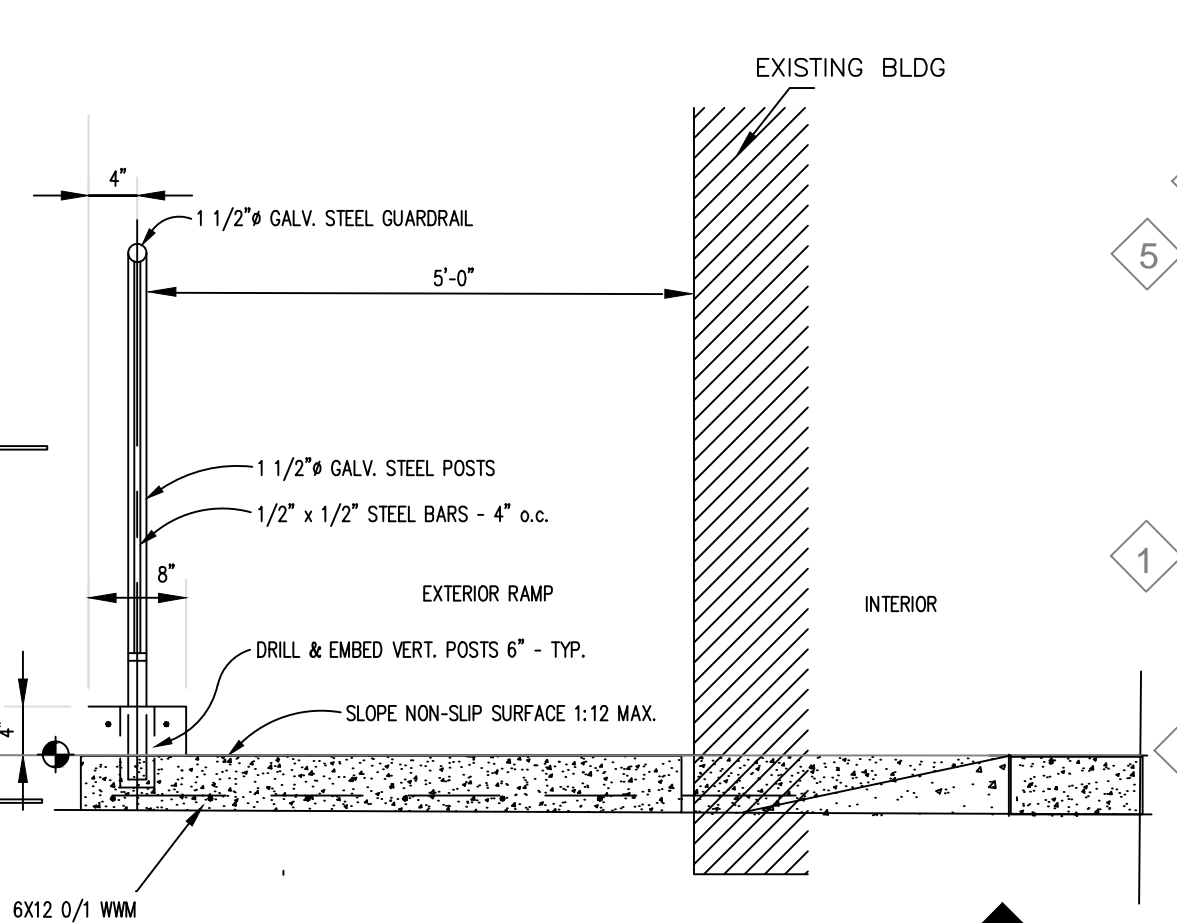
GAS HOT WATER HTR. DETAIL
NOT TO SCALE



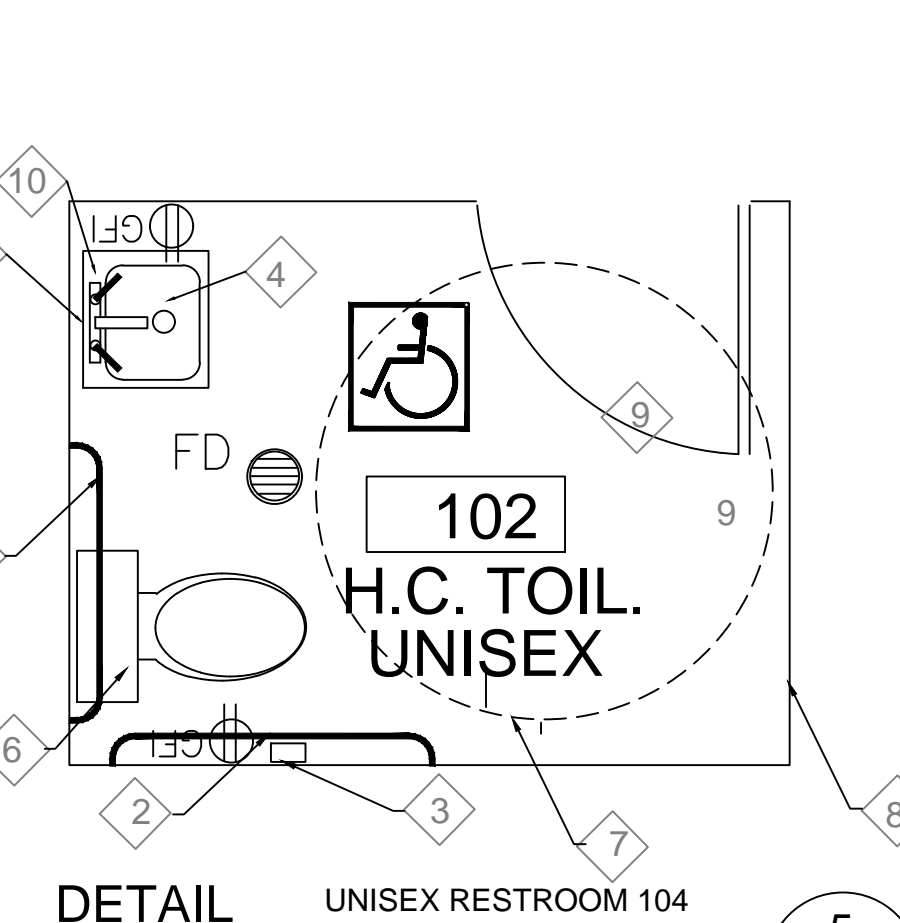
EXTERIOR HC RAMP PLAN
NOT TO SCALE



EXTERIOR HC RAMP ELEV.
NOT TO SCALE



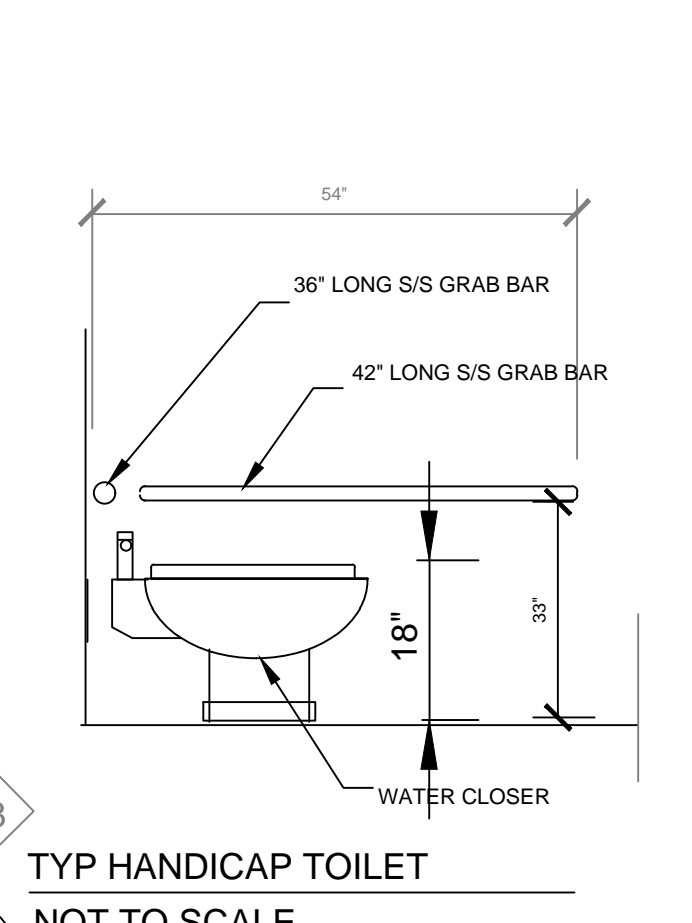
TYPICAL HANDICAP RAMP SECTION
NOT TO SCALE



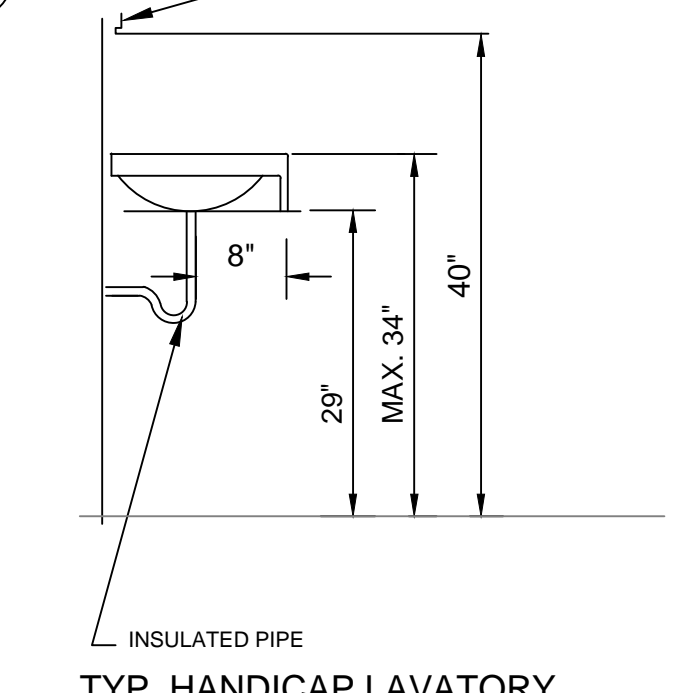
UNISEX RESTROOM 104
NOT TO SCALE

LEGEND

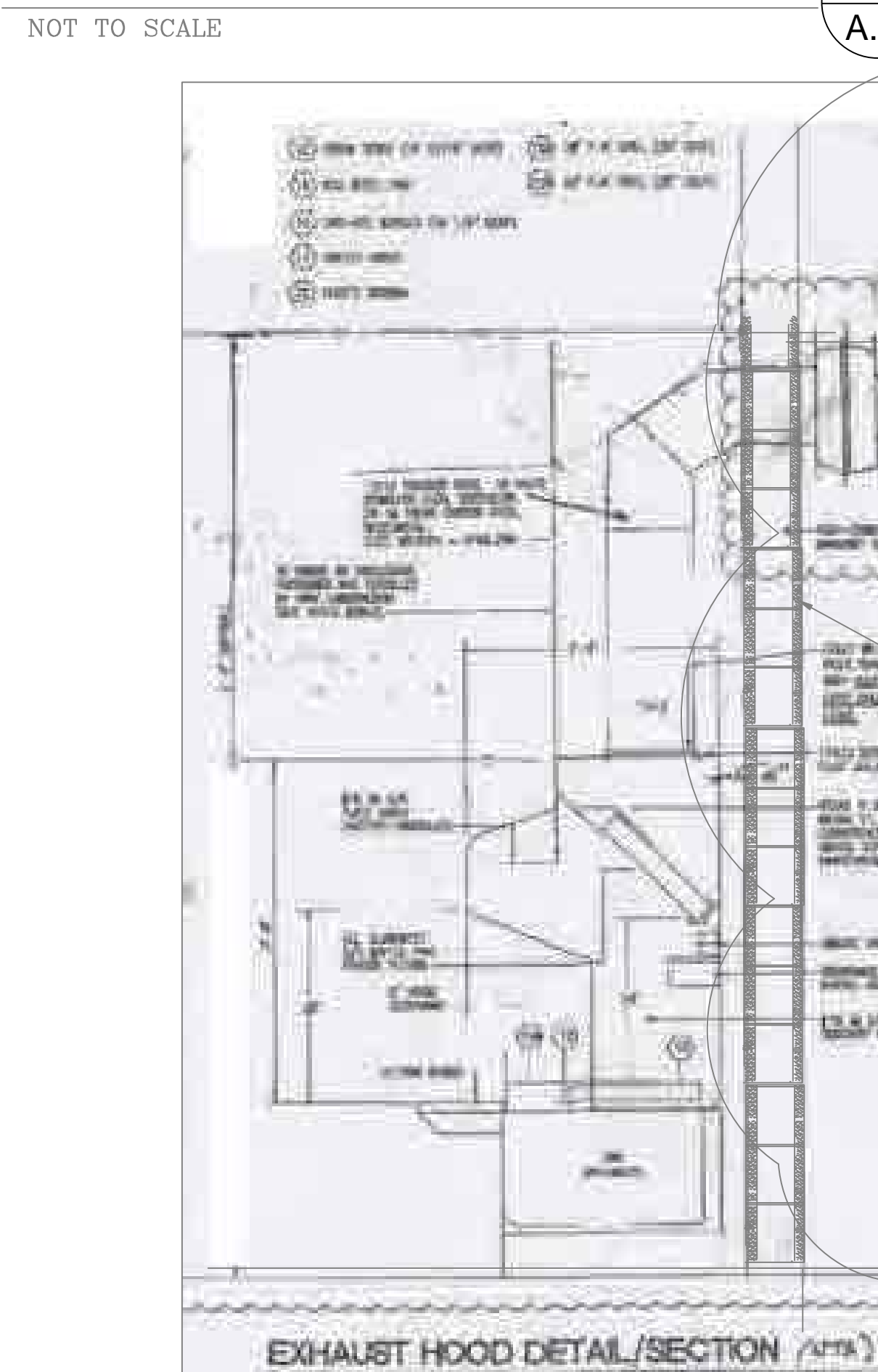
MARK	DESCRIPTION
1	S/S 42" H.C. GRAB BAR
2	S/S 36" H.C. GRAB BAR
3	TOILET TISSURE DISPENSER
4	HANDICAP LAVATORY FIXTURE
5	24"X36" MIRROR
6	HANDICAP TOILET FIXTURE
7	5'-0" WHEELCHAIR TURN CIRCLE
8	36" WIDE DOOR/FRAME/THRESHOLD IN ACCORD W/ADA & ANSI 117.7 1BC CODE 2015
9	NON-SLIP FLOOR SURFACE TILE
10	SOAP DISPENSER
11	HC URNIAL



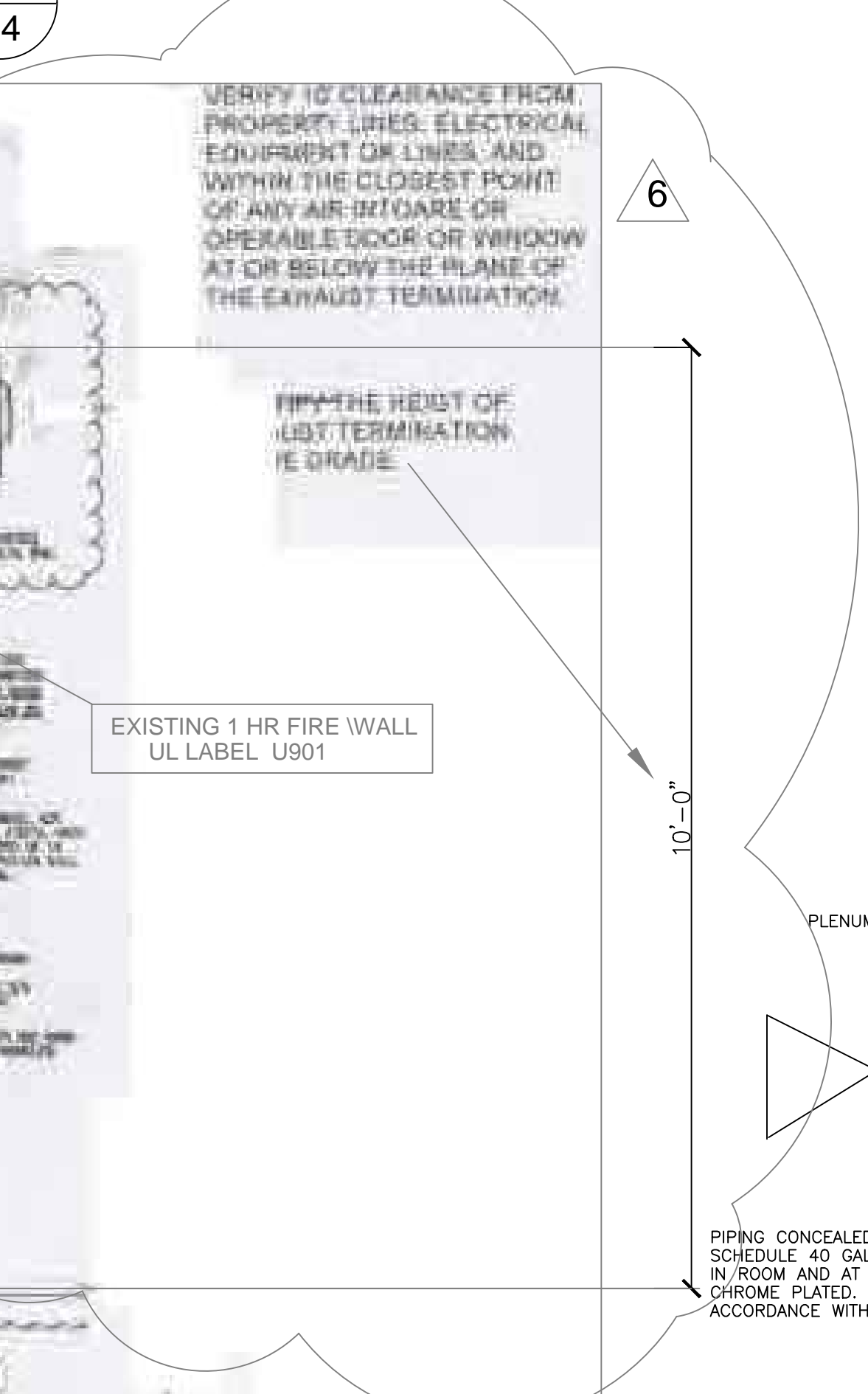
TYP HANDICAP TOILET
NOT TO SCALE



TYP. HANDICAP LAVATORY
NOT TO SCALE



EXHAUST HOOD DETAIL/SECTION
NOT TO SCALE



PIPING SCHEMATIC
NOT TO SCALE

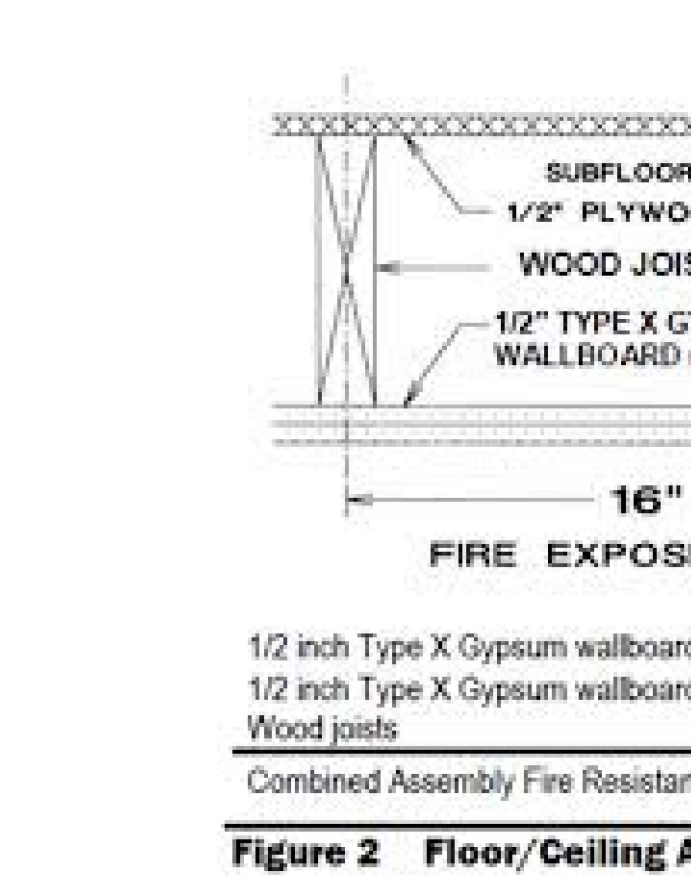
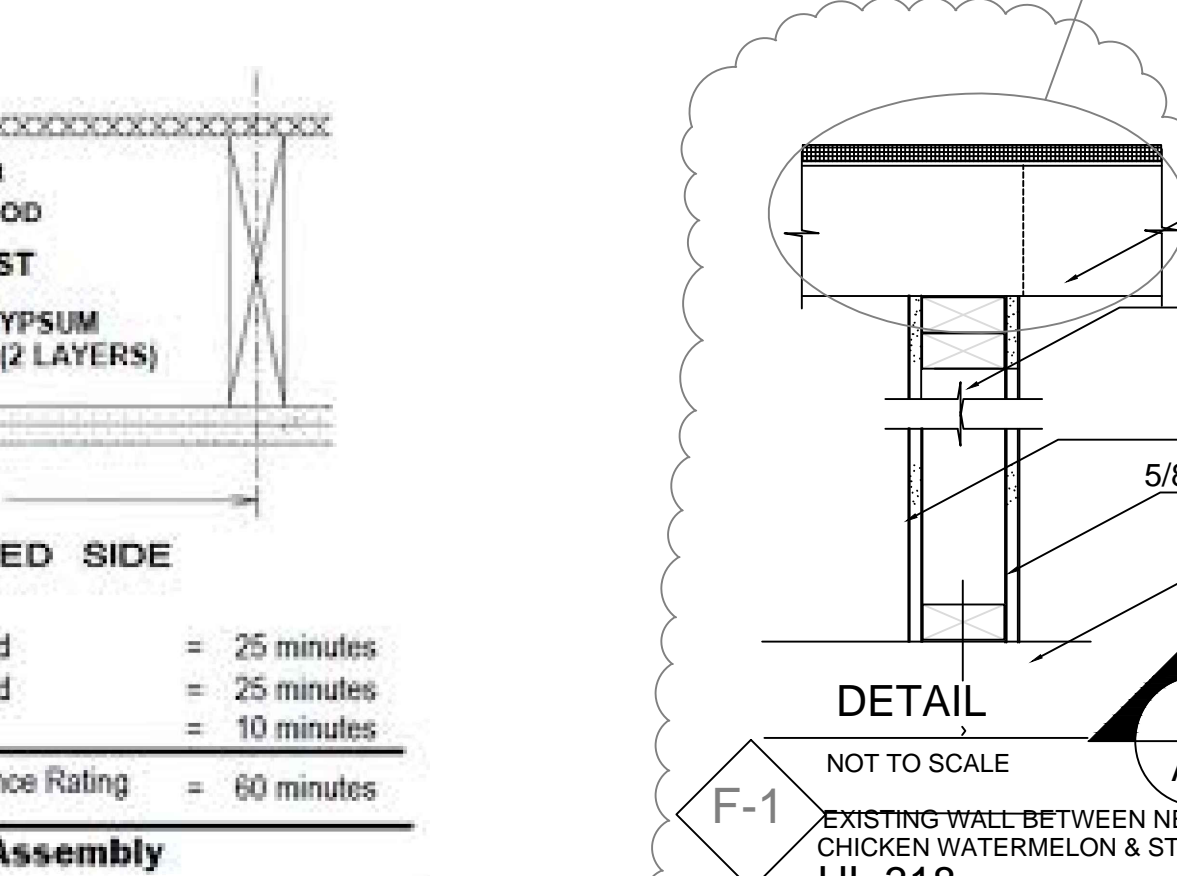
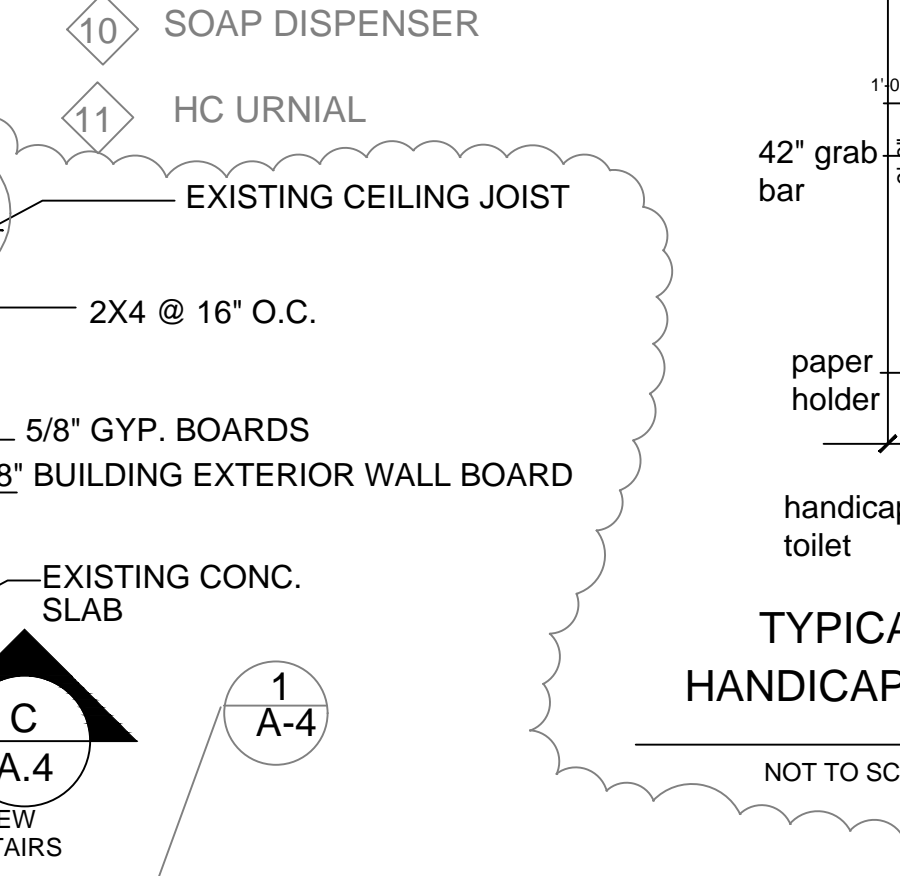


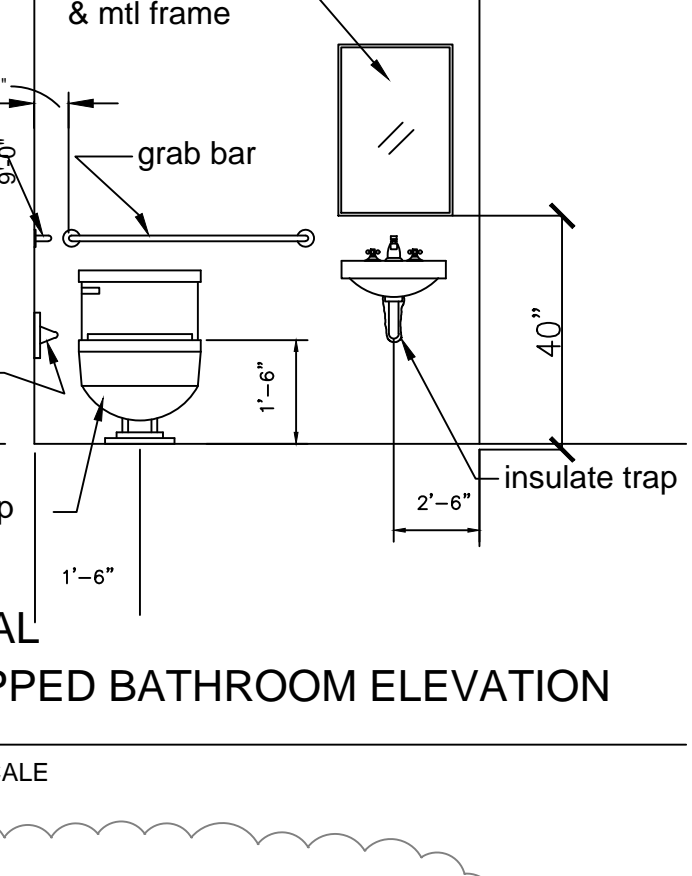
Figure 2 Floor/Ceiling Assembly



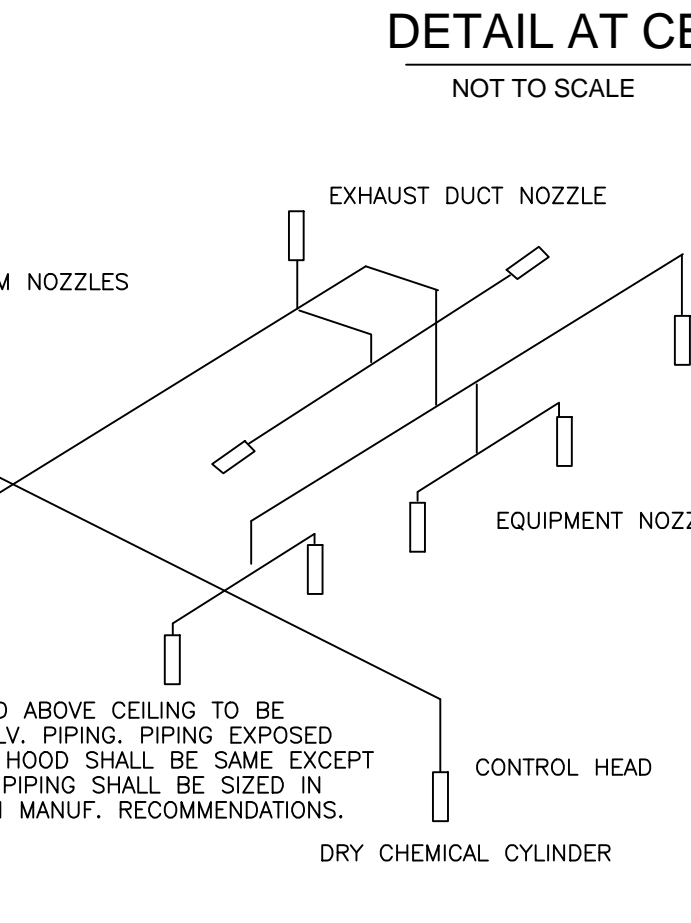
DETAIL AT CEILING
NOT TO SCALE



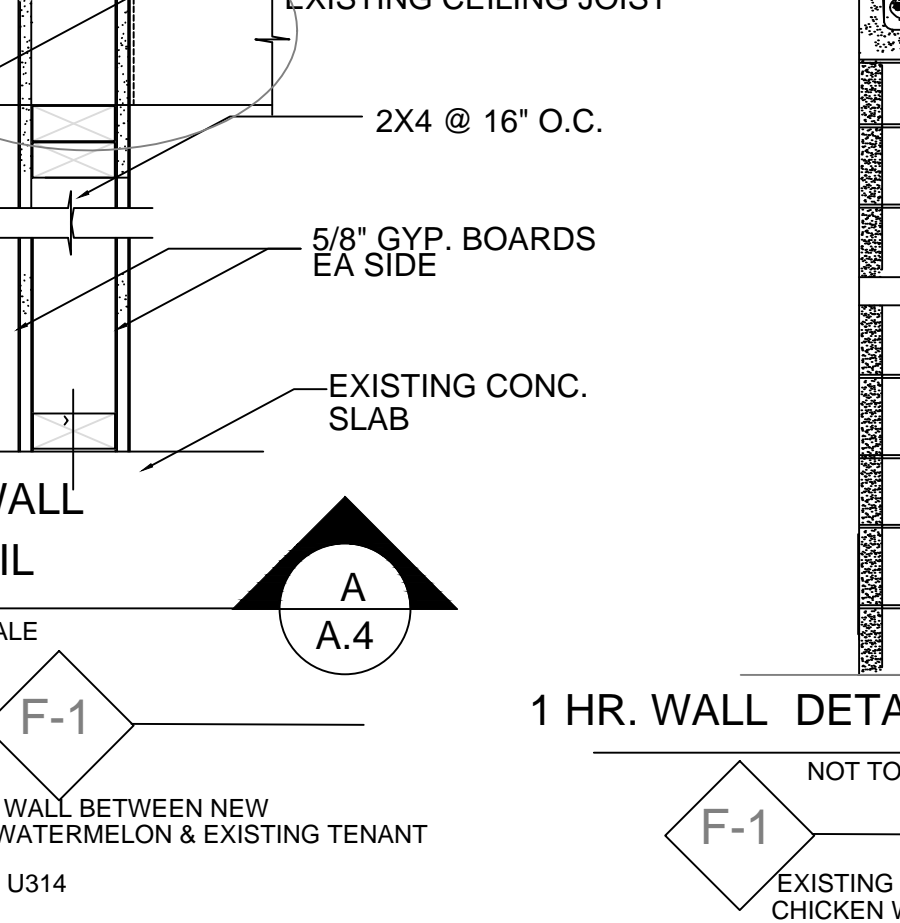
1 HR. WALL DETAIL
NOT TO SCALE



TYPICAL HANDICAPPED BATHROOM ELEVATION
NOT TO SCALE



FUSIBLE LINK SCHEMATIC
NOT TO SCALE



1 HR. WALL DETAIL
NOT TO SCALE

VERIFY TO CLEARANCE FROM PROPERTY LINES, ELECTRICAL EQUIPMENT OR LINES AND WITHIN THE CLOSEST POINT OF ANY AIR-INTAKE OR OPERABLE DOOR OR WINDOW AT OR BELOW THE PLANE OF THE EXHAUST TERMINATION.

FINISH THE REST OF EXHAUST TERMINATION TO GRADE.

EXISTING 1 HR FIRE WALL UL LABEL U901

10'-0"

ALL SCHEMATIC & TERMINATION SHALL HAVE A CONTINUOUS EXTERIOR WEED HOODS GREASE EXTRACTORS & DUCTS SHALL HAVE A CLEARANCE OF AT LEAST 18" TO COMBUSTIBLE MATERIAL, 3" TO LIMITED COMBUSTIBLE AND 0" TO NON COMBUSTIBLE MATERIAL.

PROVIDE LISTED GREASE REMOVAL SYSTEM OR OR LISTED GREASE REMOVAL FILTERS.

PROVIDE AUTOMATIC EXTINGUISHING SYSTEM.

OPERATION OF ANY EXTINGUISHING SYSTEM SHALL AUTOMATICALLY SHUT OFF ALL SOURCES OF FUEL & HEAT.

DAMPERS SHALL NOT BE INSTALLED IN EXHAUST DUCTS UNLESS SPECIFICALLY LISTED FOR SUCH USE.

INSTALL GAS PIPING IN ACCORDANCE WITH NFPA 54 1988

HOOD TO HAVE APPROVED FIRE SUPPRESSION SYSTEM IN ACCORD WITH LA. STATE FIRE MARSHALL CITY OF NEW ORLEANS CODE REQUIREMENT AND NFPA. HOOD TO BE CONSTRUCTED TO MEET NFPA 96 CODE COMPLETE WITH GALV. DUCT, ROOF JACK, & EXHAUST BLOWER

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

MERLIN F. BONIE ARCHITECT INC.
A PROFESSIONAL CORPORATION
34 CRANE STREET NEW ORLEANS, LOUISIANA 70124
504-234-4058 Tel. jmbonie@cox.net Email

SECTIONS & DETAILS
A CHICKEN SHOP
A TENANT IMPROVEMENT
AT
3400 S. CLAIBORNE AVE
NEW ORLEANS, LA

DATE	BY	REVISION

DATE	BY	REVISION

PROJECT NUMBER:
103-COM-2020

SHEET NUMBER:
A.4

OF SHEETS:
4

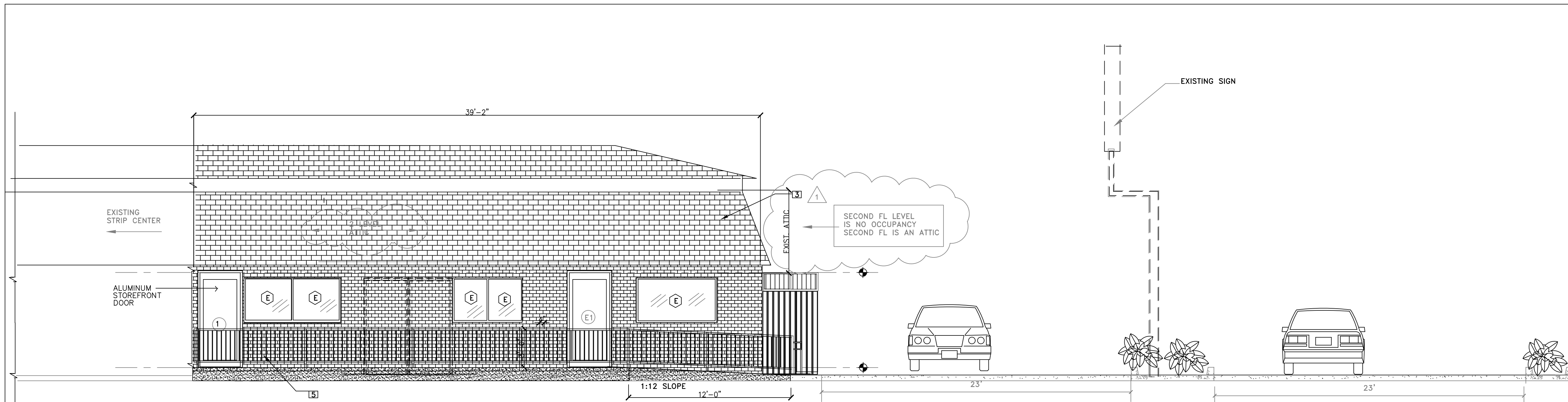
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES.

VISITING THE SITE DURING CONSTRUCTION.

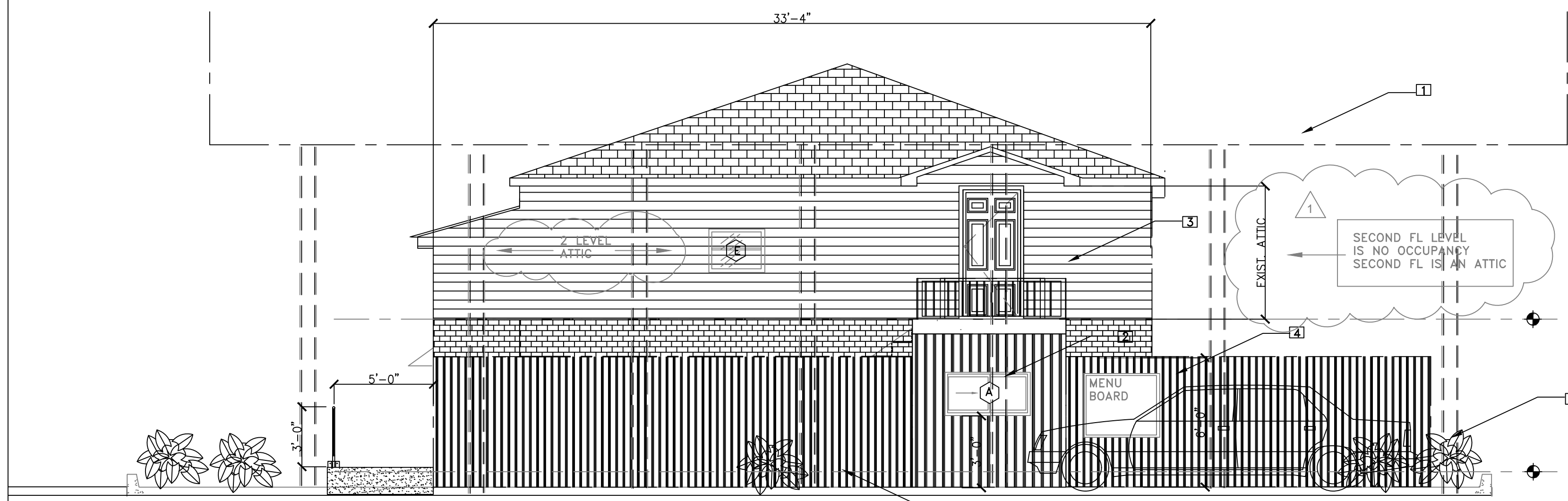
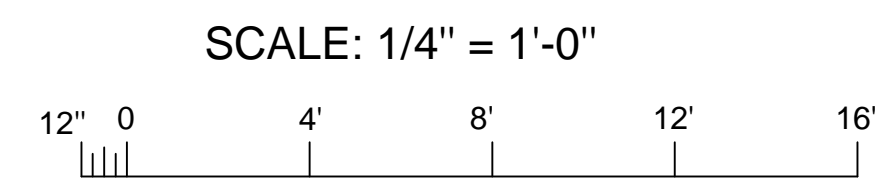
MERLIN F. BONIE ARCHITECT # 930
LOUISIANA LICENSE

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.

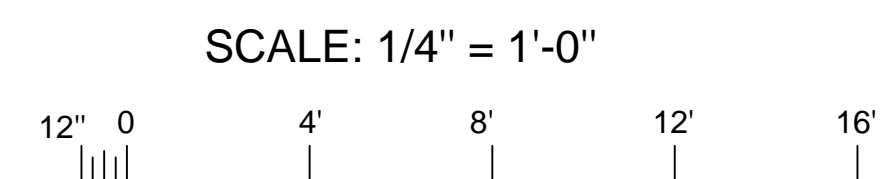
THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN CONSTRUCTION OF THE PROJECT DURING AND AFTER CONSTRUCTION AND HOLDING THE ARCHITECT HARMLESS OF ANY AND ALL LAWSuits ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.



ELEVATION (S. CLAIBORNE)



ELEVATION AT NEW DRIVE UP WINDOW SIDE



LEGEND

SYMBOL	DESCRIPTION
1	EXISTING BILLBOARD SIGN
2	NEW 2'X4' PASS THRU WINDOW
3	EXISTING BUILDING
4	EXISTING WOOD FENCING
5	NEW STOREFRONT 3'X7' GLASS DOOR
6	NEW LANDSCAPING

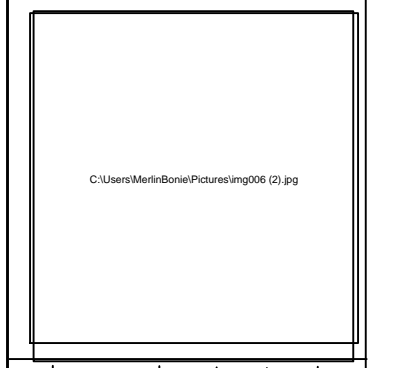


EXISTING BUILDING-AREA FOR TENANT IMPROVEMENT

M3 MERLIN F. BONIE ARCHITECT INC.
 A PROFESSIONAL CORPORATION
 34 CRANE STREET NEW ORLEANS, LOUISIANA 70124
 504-234-4058 TEL jmbonie@cox.net Email

DRAWN: MFB
 CHECKED: MFB
 SCALE: AS SHOWN
 DATE: 2019
 APPROVED: MFB
 CAD FILE:

EXTERIOR ELEVATIONS
 A CHICKEN SHOP
 A TENANT IMPROVEMENT
 AT
 3400 S. CLAIBORNE AVE
 NEW ORLEANS, LA



DATE	BY	REVISION
	MFB	SURVEY, FURNITURE, OCCUPANCY
	MFB	ACCESSIBLE PARKING ENTRANCE
	MFB	FIRE RATED ASSEMBLIES
	MFB	HOOD CONSTRUCTION
	MFB	
	MFB	
	APP'D	

PROJECT NUMBER:
103-COM-2020

SHEET NUMBER:
A.3
OF SHEETS

THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY AND STATE BUILDING SAFETY CODES. (I AM NOT VISITING THE SITE DURING CONSTRUCTION.)

MERLIN F. BONIE ARCHITECT # 930
 LOUISIANA LICENSE

THE GENERAL CONTRACTOR, OWNER AND/OR LESSEE SHALL REVIEW THESE PLANS AND SPECIFICATIONS BEFORE CONSTRUCTION IS BEGUN, AND BRING TO THE ATTENTION OF THE ARCHITECT IN PERSON ANY DISCREPANCY IN THE TOTAL SET OF THESE PLANS AND SPECIFICATIONS. FAILURE TO DO SO RELIEVES THE ARCHITECT OF ANY AND ALL RESPONSIBILITY OF THE BUILDING CONSTRUCTION OF THIS PROJECT.

THE ACCEPTANCE OF THESE PLANS AND SPECIFICATIONS BY OWNER AND/OR LESSEE OF THIS PROJECT AS SHOWN RELIEVES THE ARCHITECT OF ANY LIABILITY OF THE CONSTRUCTION OF THIS PROJECT DURING AND AFTER CONSTRUCTION AND HOLDS THE ARCHITECT HARMLESS OF ANY AND ALL LAWSUITS ARISING DURING AND AFTER CONSTRUCTION OF THIS PROJECT.