

- CIVIL GENERAL NOTES:**
- DIMENSIONS AND CONDITIONS TYING INTO OR GOVERNED BY EXISTING CONSTRUCTION ARE APPROXIMATE AND ARE NOT PURPORTED TO BE CORRECT. VERIFY EXISTENCE AND LOCATION OF ALL SURFACE AND SUBSURFACE STRUCTURES, UTILITIES, DEPTHS AND INVERTS PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IF CONDITIONS VARY FROM THOSE SHOWN.
  - ELEVATIONS ARE IN FEET, CAIRO DATUM. SEE SURVEY FOR REFERENCE BENCHMARK. ADD 20.43 TO NAVD TO OBTAIN CAIRO DATUM.
  - OBTAIN AND PAY FOR INSPECTIONS, LICENSES, PERMITS AND APPROVALS REQUIRED BY GOVERNING AUTHORITIES AND INSTALL ALL WORK IN COMPLIANCE THEREOF.
  - DRAIN, SEWER AND WATER LINES ARE SHOWN IN SCHEMATIC DETAIL ONLY. IT IS NOT POSSIBLE TO DETAIL EVERY OFFSET, ELBOW, TEE, WYE, ETC., THAT MAY BE REQUIRED. PROVIDE COMPLETE WORKING UTILITY SYSTEMS.
  - SEE ARCHITECTURAL AND PLUMBING DRAWINGS FOR CONTINUATION OF UTILITIES WITHIN 5'-0" OF BUILDINGS.
  - WHERE NOTED, REFERENCED STANDARD SPECIFICATION SHALL BE THE CITY OF NEW ORLEANS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND/OR THE NEW ORLEANS SEWERAGE AND WATER BOARD (S&WB) STANDARD SPECIFICATIONS, LATEST EDITION, OR THE LOUISIANA DOTD STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITIONS, WHICHEVER IS MORE STRINGENT.
  - PROVIDE CONSTRUCTION ZONE TRAFFIC CONTROL PER LOUISIANA DOTD STANDARD PLANS.
  - CONTRACTOR SHALL PROVIDE, TO THE ARCHITECT, ACCURATE AS-BUILT DRAWINGS UPON SUBSTANTIAL COMPLETION OF THE PROJECT.

- EARTHWORK NOTES:**
- EXCAVATION SHALL INCLUDE THE REMOVAL OF MATERIAL ENCOUNTERED TO SUBGRADE ELEVATIONS INDICATED AND SUBSEQUENT DISPOSAL OF MATERIALS REMOVED.
  - PROOFROLL SUBGRADE TO IDENTIFY WEAK AREAS. EXCAVATE WEAK AREAS AND BACKFILL WITH SELECT FILL.
  - SELECT FILL SHALL BE LOCALLY AVAILABLE "PUMPED" SAND, FREE OF ROOTS, CLAY LUMPS, AND OTHER DELETERIOUS MATERIALS WITH NO MORE THAN 10% BY WEIGHT OF MATERIAL PASSING A U.S. STANDARD NO. 200 SIEVE.
  - COMPACT SELECT FILL TO AT LEAST 95% (-1%, +3%) IF ITS MAXIMUM DRY DENSITY NEAR OPTIMUM WATER CONTENT IN ACCORDANCE WITH ASTM D698 (STANDARD PROCTOR). FILL MATERIAL SHALL BE PLACED IN "LIFTS" NOT EXCEEDING EIGHT (8) INCHES.
  - ALL CLEARING, FILLING AND COMPACTION OPERATIONS SHALL BE ACCOMPLISHED DURING PERIODS OF DRY WEATHER ONLY. DUE CONSIDERATION SHOULD BE GIVEN TO THE "SITE CONDITIONS" IN DETERMINING WHEN TO CONTINUE WORK FOLLOWING RAIN EVENTS.

- CONCRETE PAVING NOTES:**
- WHERE NEW PAVING IS TO MEET EXISTING, SAW CUT TO ENSURE A STRAIGHT JOINT.
  - FOLLOW NEW ORLEANS DPW STANDARDS FOR ALL PAVEMENT IN PUBLIC RIGHT OF WAY.
  - DEFORMED STEEL BARS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DOWEL BARS SHALL BE PLAIN BARS CONFORMING TO ASTM A615.

- LIMESTONE PAVING NOTES:**
- ALL LIMESTONE PAVING SHALL BE SURROUNDED BY 6" BARRIER CURB OR CONCRETE PAVING EDGE.
  - PROVIDE TRUEGRID PRO PLUS.
  - PROVIDE MIN. THICKNESS OF 18 IN. OF WELL GRADED LIMESTONE. LIMESTONE SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ACCORDING TO ASTM D 1557 OR BE COMPACTED TO A MINIMUM RELATIVE DENSITY OF 75% AS DETERMINED BY ASTM D 4253 AND D 4254. THE MATERIAL SHALL BE PLACED IN 6 IN. LOOSE LIFTS.
  - GEOTEXTILE FABRIC SHALL BE A NON-WOVEN FABRIC WITH AN APPARENT OPENING SIZE (AOS) SMALLER THAN THE U.S. NO. 70 SIEVE.

<b>ZONING INFO:</b>	
ZONING DISTRICT:	HU-MU
MIN. LOT AREA:	NONE
MIN. LOT WIDTH:	NONE
MAX. BUILDING HEIGHT:	40' & NO MORE THAN 3 STORIES
MIN. PERMEABLE SPACE:	10%
FRONT YARD:	0'
INTERIOR SIDE YARD:	NONE
CORNER SIDE YARD:	NONE
REAR YARD:	15' ABUTTING RESIDENTIAL DIST.
GROSS FLOOR AREA 1ST FLR:	4192 SF
GROSS FLOOR AREA 2ND FLR:	5533 SF
TOTAL GROSS FLOOR AREA:	9,725 SF
USES:	
RETAIL (FUTURE):	PERMITTED
OFFICE:	PERMITTED
PARKING REQUIREMENTS:	
DENTAL OFFICE 2ND FLOOR:	LESS THAN 5000 SF/EXEMPT
FUTURE TENANT OFFICE 2ND FLOOR:	LESS THAN 5000 SF/EXEMPT
RETAIL/OFFICE FUTURE 1ST FLOOR:	LESS THAN 5000 SF/EXEMPT

1 SITE PLAN  
C100 3/16" = 1'-0"

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DEVELOPMENT  
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New Orleans, LA 70119

CIVIL SITE PLAN

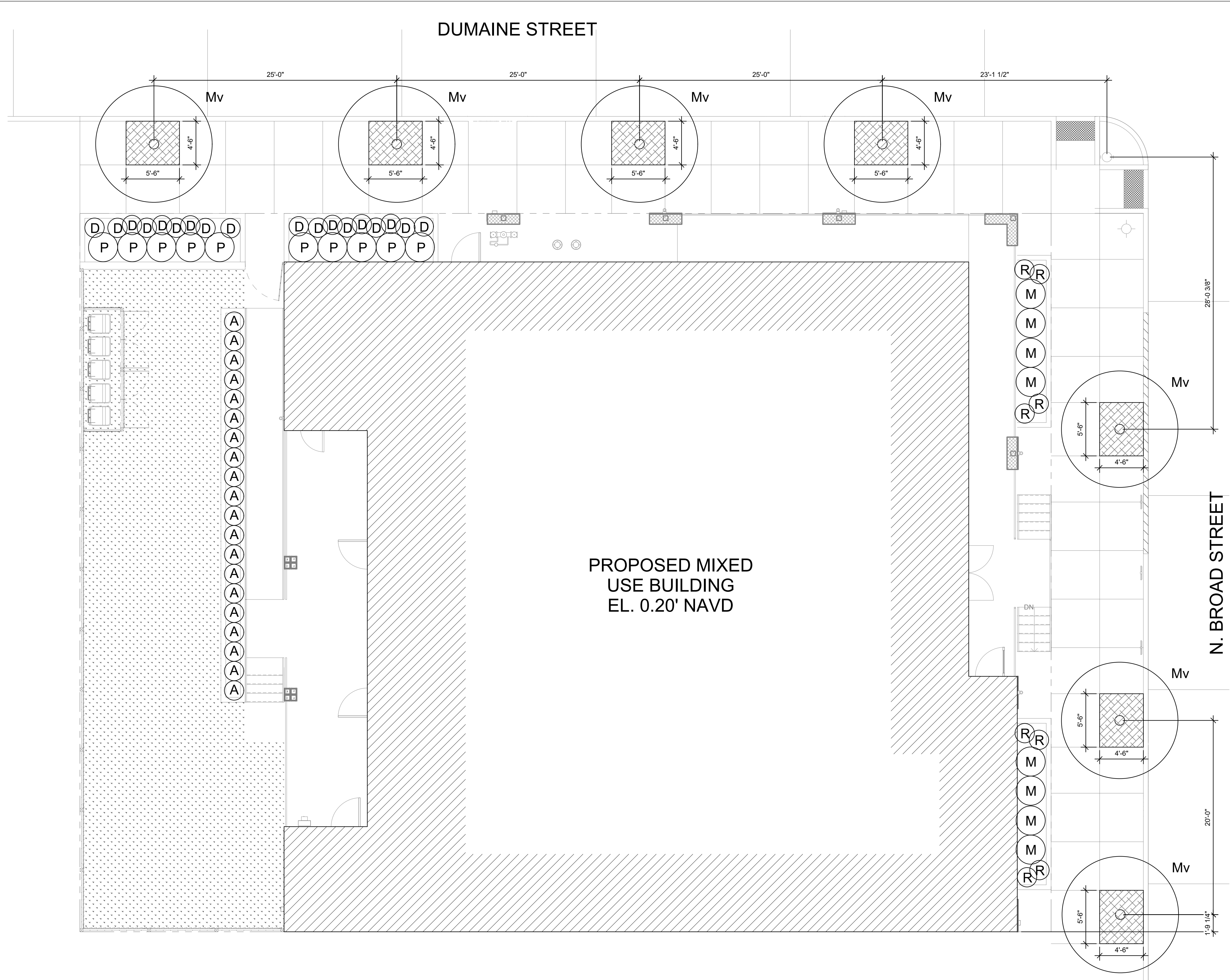
Project Number	2019-12
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C100





1 PLANTING PLAN  
L100 3/16" = 1'-0"

No.	Description	Date

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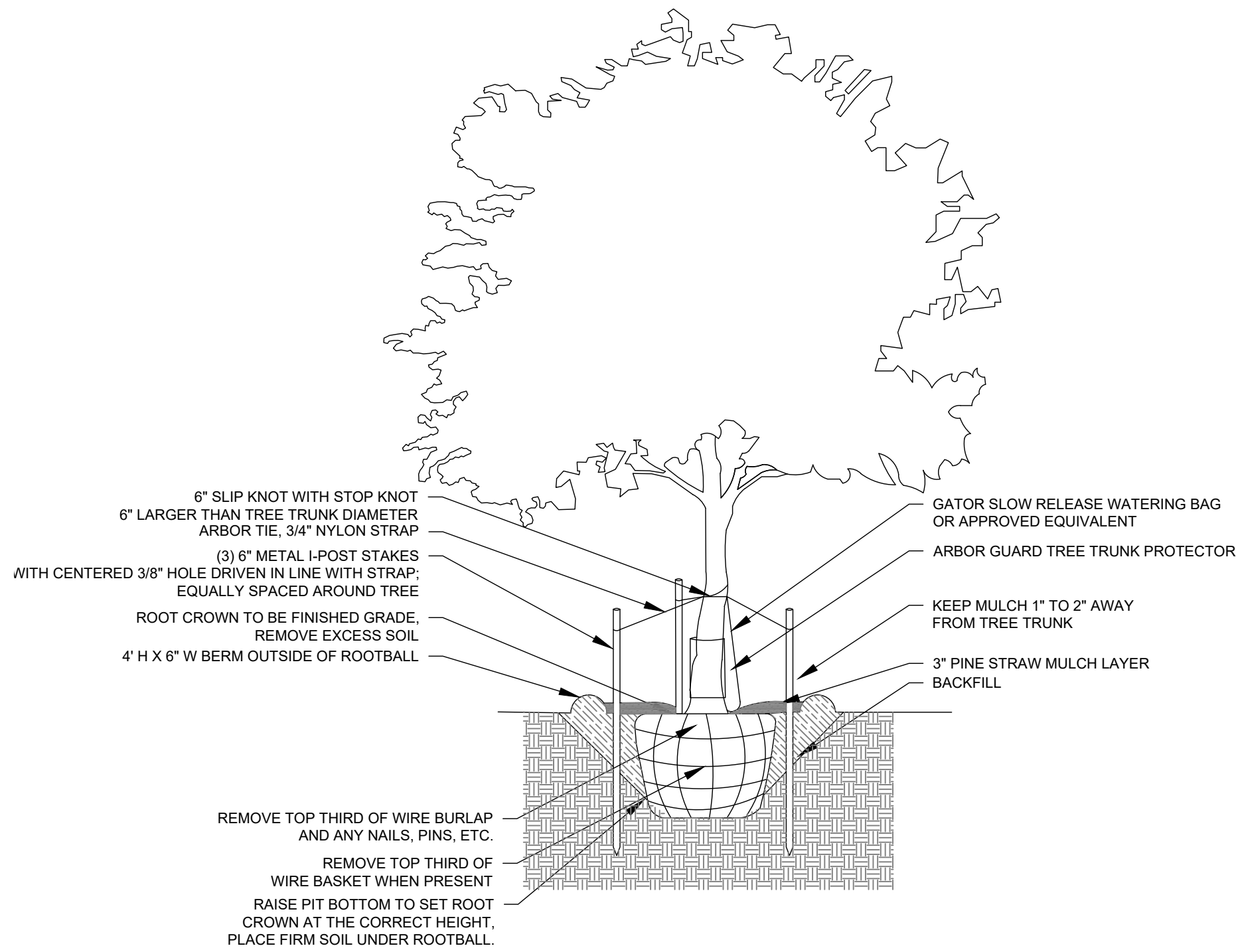
**PLANTING PLAN**

Project Number	2019-12
Date	9/11/2020
Drawn By	BEM
Checked By	BEM


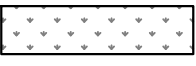
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9/11/2020



**L100**



1 TREE PLANTING DETAIL  
L200 NTS

PLANT SCHEDULE						
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	SPACING	NOTES
Mv	Sweetbay Magnolia	<i>Magnolia virginiana</i>	7	30 GAL		Single Trunk
A	Agapanthus	<i>Agapanthus africanus</i>	20	1 GAL.	2' O.C.	
D	Butterfly Iris	<i>Dietes x "Nola Alba"</i>	18	1 GAL.	2' O.C.	
M	Gulf Muhly Grass	<i>Muhlenbergia capillaris</i>	8	3 GAL.	3' O.C.	
P	Japanese Yew	<i>Podocarpus macrophyllus</i>	10	3 GAL.	3' O.C.	
R	Trailing Rosemary	<i>Rosemary officinalis 'Prostrans'</i>	8	1 GAL.	2' O.C.	
	Liriope	<i>Liriope spicata</i>	175 SF	4" POT	8" O.C.	
	Sod	<i>Cynoden dactylon</i>	1092 SF	SOD		

PLANTING PLAN NOTES:

- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANTS (TREES, SHRUBS, GROUNDCOVER), SODDED LAWN AREA, HYDRO-SEEDED/ SEEDED LAWN AREA, BED/ MULCH AREA, PAVING, AGGREGATE/ GRAVEL, SITE FURNISHINGS, ETC. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. CONTRACTORS SHALL INSTALL OR PROVIDE AS INDICATED WITHOUT ADDITIONAL COMPENSATION.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO THE LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH APPROPRIATE UTILITY COMPANY.
- ALL PLANTING BEDS TO RECEIVE LONGLEAF PINE STRAW MULCH. MULCH TO BE INSTALLED TO 3" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
- DIMENSIONS USED FOR HEIGHTS, SPREAD, AND TRUNK SPECIFICATION SON THE PLANT MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- ALL DISTURBED AREAS OF THE SITE ARE TO BE SODDED WITH '419' BERMUDA SOD AND HYDRO SEEDED WITH PRINCESS '77' HYDRO SEED IN ACCORDANCE WITH THE DRAWINGS, UNLESS OTHERWISE STATED.
- NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THE PROJECT.
- ALL PLANT MATERIALS ARE TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT, AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING AND LAYOUT OF ALL PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WITH STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITs.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM, UTILITY LINES, OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE OR SHE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE, LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- ALL PLANTING BEDS SHALL BE TILLED TO A DEPTH OF 8" IN TWO CYCLES: FIRST, TILL THE EXISTING NATIVE SOIL, AND SECOND, WITH THE ADDITION OF: 6 CUBIC FOOT BALE OF SPHAGNUM PEAT MOSS OR ORGANIC MATERIAL PER 40 SQUARE FEET OF BED AREA AND/ OR APPROVED SOIL MIX; (25#) 10-10-10 FERTILIZER PER 1000 SQUARE FEET OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY
- ALL NEW PLANTING AREAS IN PARKING LOT ISLANDS, LANDSCAPE CONTRACTOR TO REMOVE ALL PAVEMENT, GRAVEL/SUB-BASE AND CONSTRUCTION DEBRIS PRIOR TO PREPARING SOIL AND INSTALLATION.

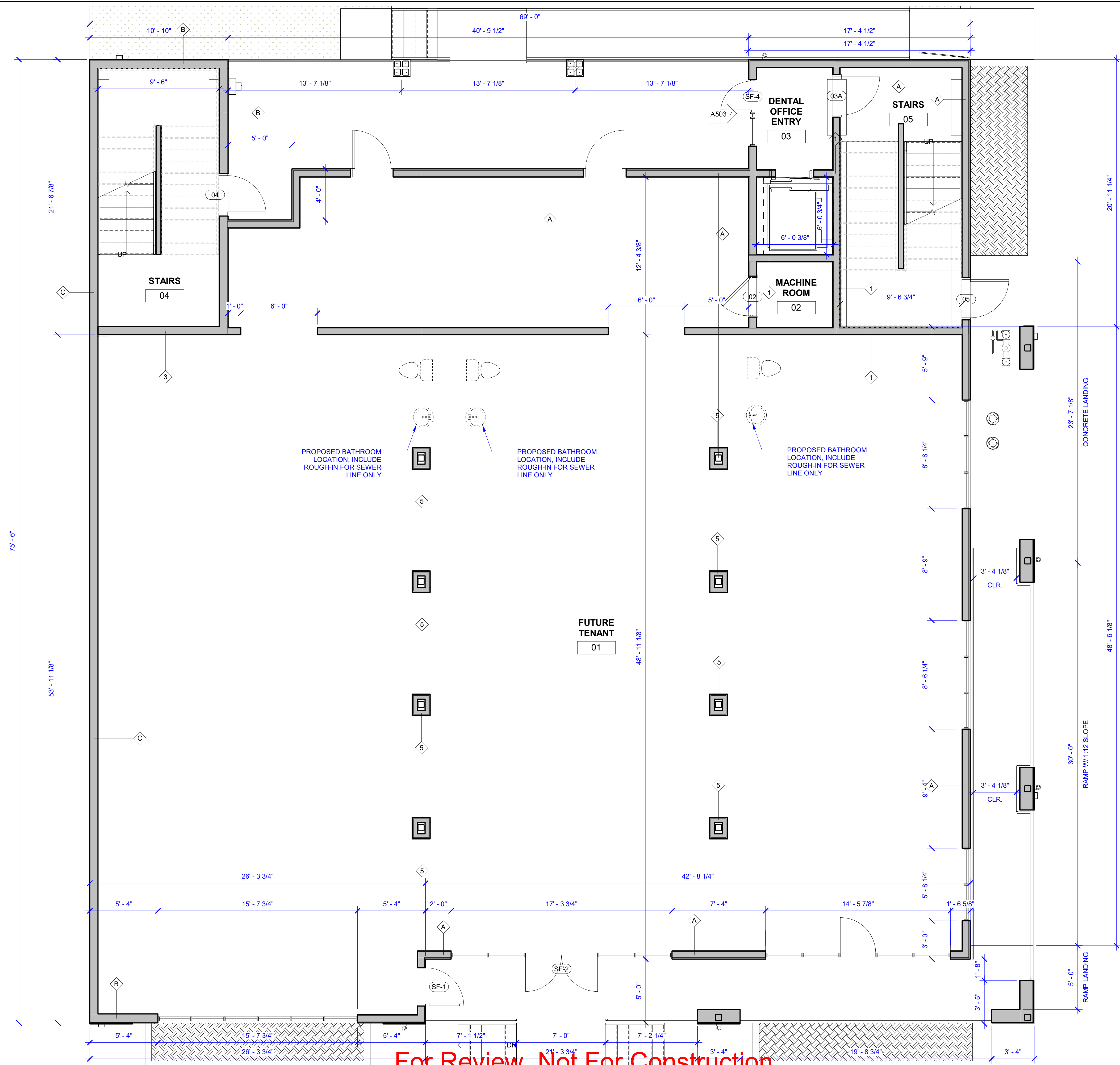
No.	Description	Date

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1 1ST FLOOR  
A101 1/4" = 1'-0"

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FIRST FLOOR PLAN

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A101

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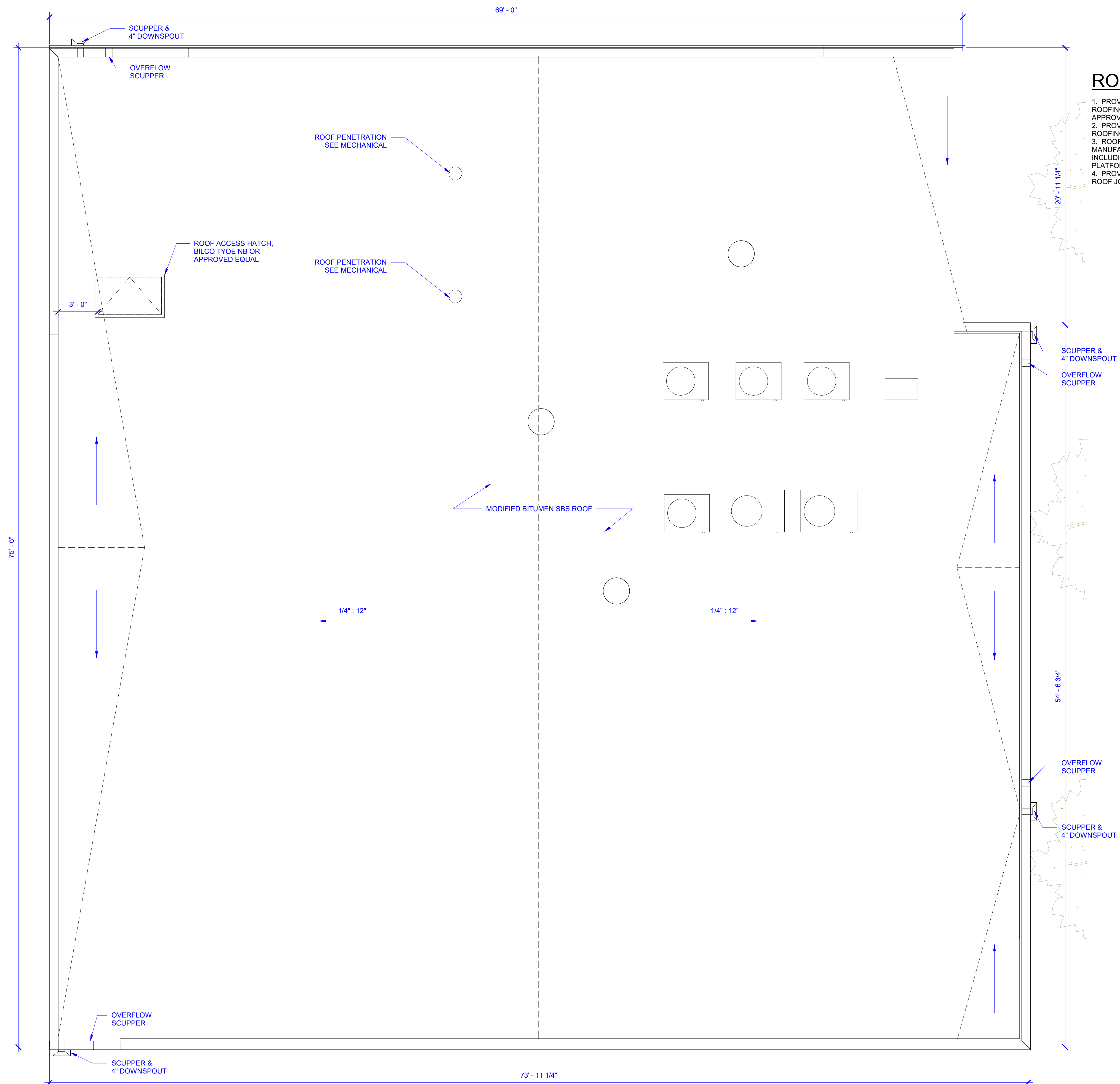
SECOND FLOOR PLAN

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ROOFING GENERAL NOTES:

1. PROVIDE GAF RUBERULID/LIBERTY SBS MODIFIED BITUMEN ROOFING SYSTEM WITH MANUFACTURER'S 20 YEAR WARRANTY, OR APPROVED EQUAL.
2. PROVIDE TAPERED POLYISO INSULATION SYSTEM SLOPED PER ROOFING PLAN OVER 2" CONT. RIGID INSULATION.
3. ROOFING CONTRACTOR TO SUBMIT SHOP DRG. DRAWINGS INCLUDING MANUFACTURER'S STANDARD DETAILS FOR ALL CONDITIONS INCLUDING SCUPPERS, ROOF PENETRATIONS, HVAC EQUIPMENT PLATFORMS, INSULATION, AND PARAPET WALL & CAP.
4. PROVIDE R-19 BATT INSULATION IN CAVITY SPACE BETWEEN ROOF JOISTS.

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## ROOF PLAN

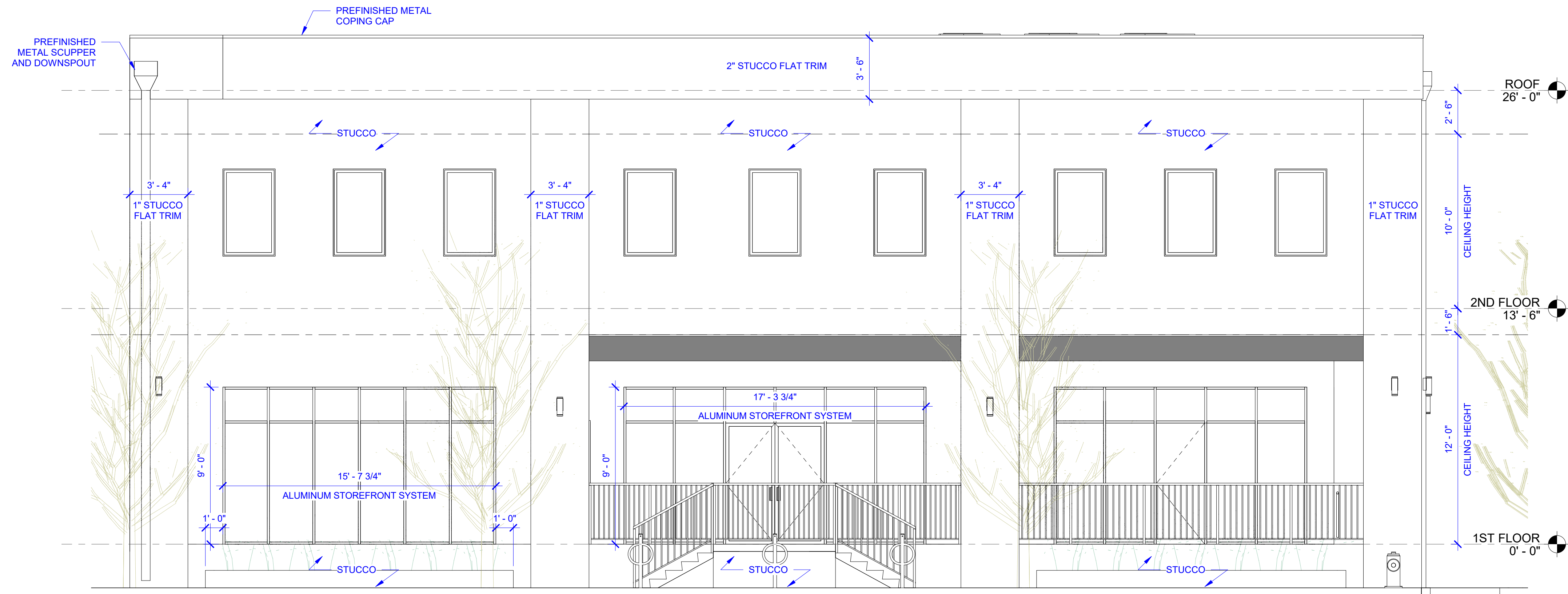
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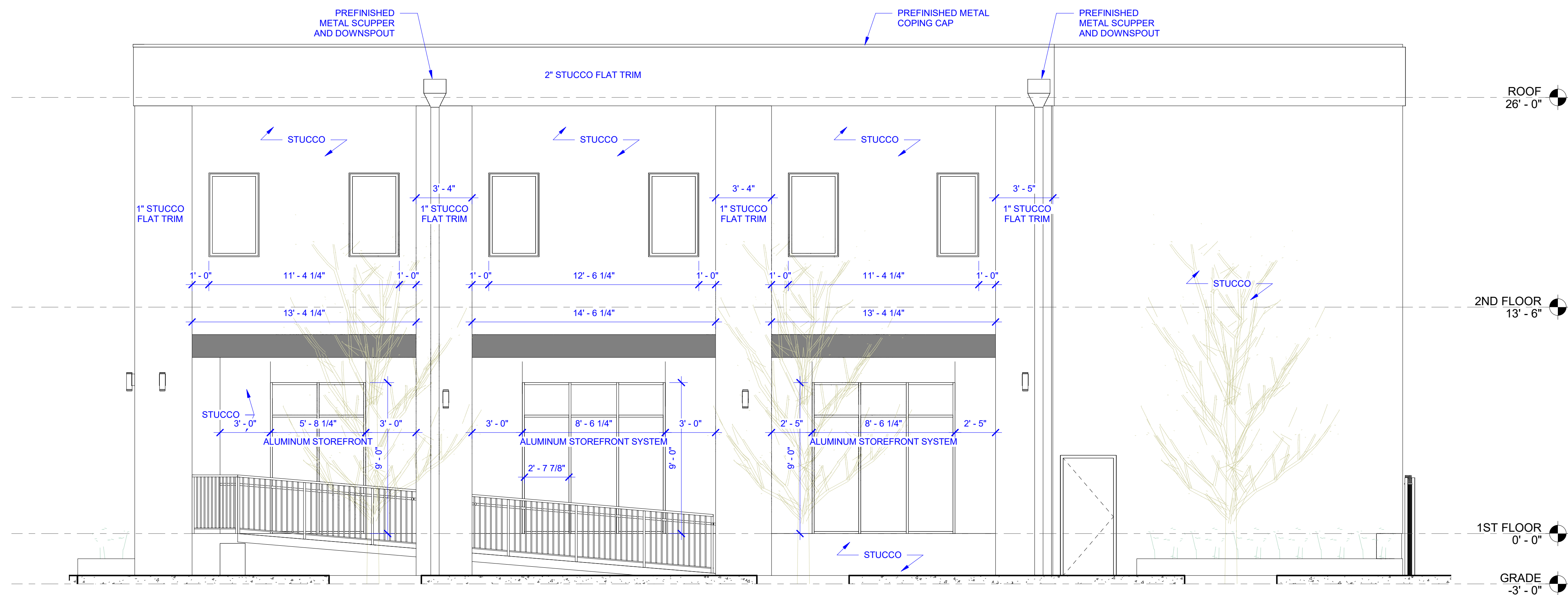


A103





1 BROAD ST ELEVATION  
1/4" = 1'-0"



2 DUMAINE STREET ELEVATION  
1/4" = 1'-0"

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## ELEVATIONS

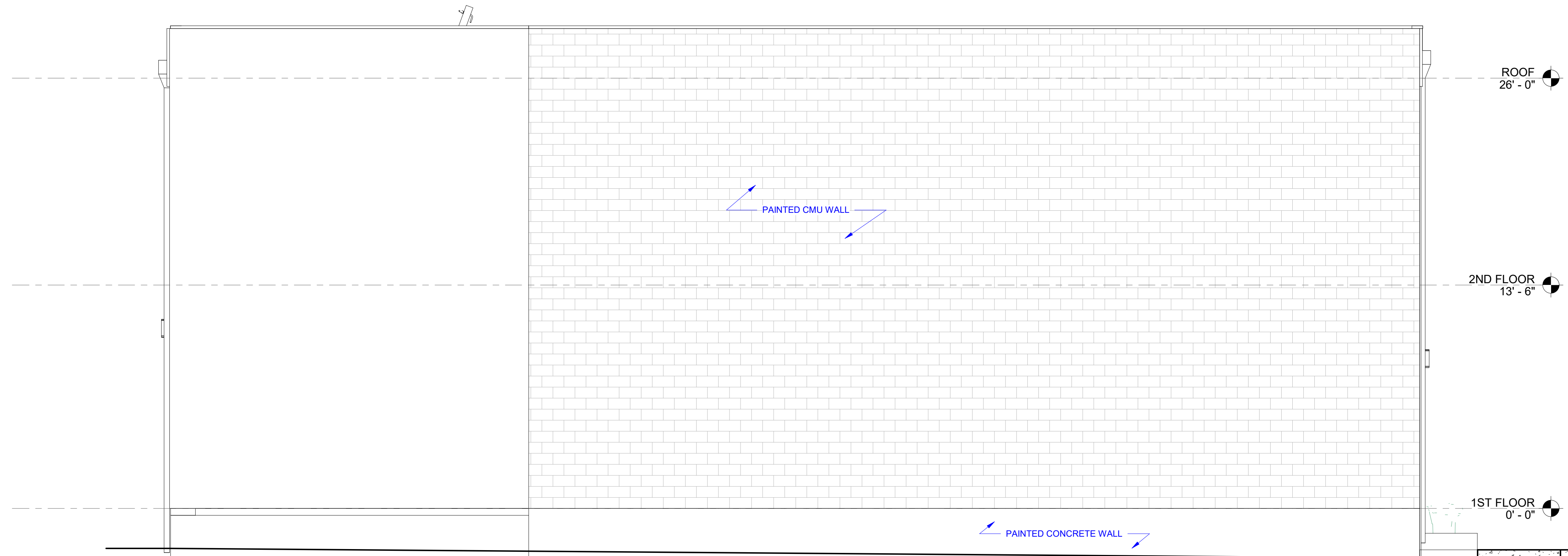
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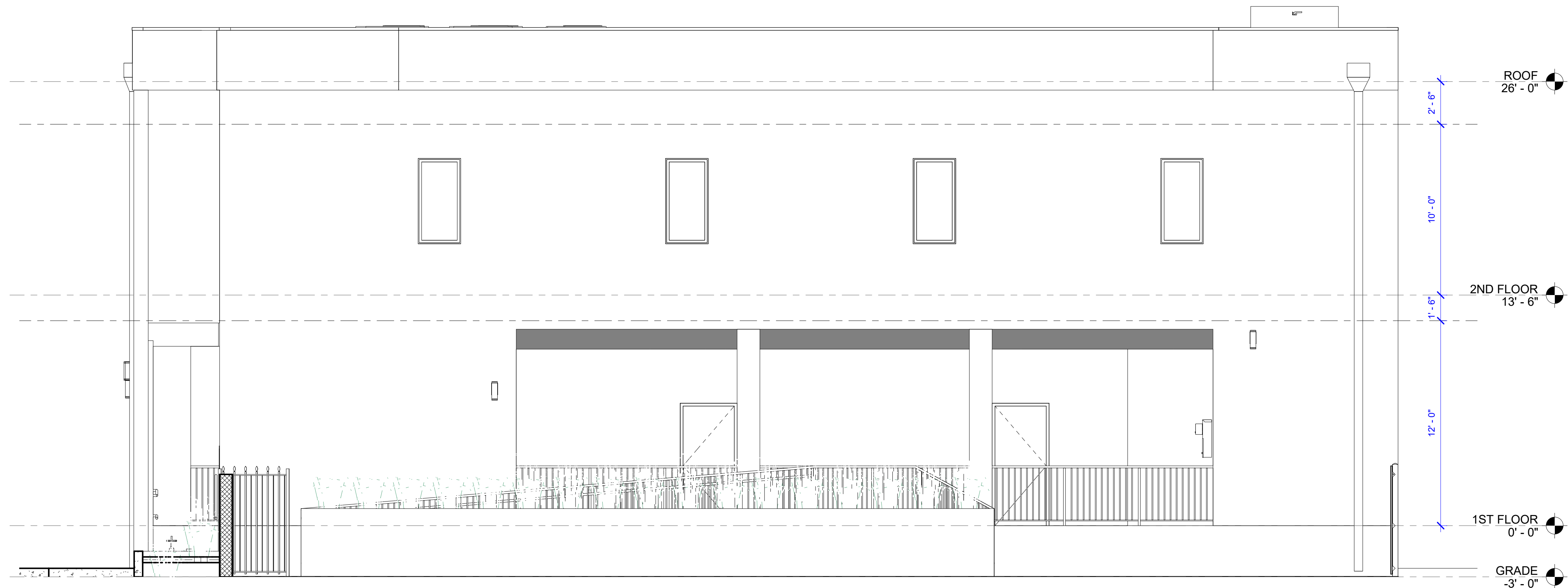


A200





2 SIDE ELEVATION  
1/4" = 1'-0"



1 REAR ELEVATION  
1/4" = 1'-0"

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## ELEVATIONS

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### 3D VIEWS

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