



# **210 STATE ST B4 AND B5**

CITY PLANNING DESIGN REVIEW

PROJECT NUMBER: DR130-20

SUBMITTED BY ESKEW+DUMEZ+RIPPLE ON

23 SEPTEMBER 2020

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- 10** RENDERINGS

**1**

COMPLETED APPLICATION AND FEE

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Building/Construction  
Related Permit



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

**Applications must be complete and submitted in person. Faxed, emailed or incomplete applications will not be accepted.  
Review time depends on the complexity of the project and can take up to 90 days.**

Type of application:  Design Review       Interim Zoning Districts Appeal       Moratorium Appeal

Property Location 210 State Street Building 4 and 5

### APPLICANT INFORMATION

Applicant Identity:  Property Owner       Agent

Applicant Name Kyle Digby

Applicant Address 365 Canal St. Suite 3150

City New Orleans State LA Zip 70130

Applicant Contact Number 5045618686 Email kdigby@eskewdumezripple.com

### PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name LCMC Health - Scott Landry

Property Owner Address 200 Henry Clay Avenue

City New Orleans State LA Zip 70118

Property Owner Contact Number 504-702-2001 Email Scott.Landry@lcmchealth.org

### PROJECT DESCRIPTION

ADAPTIVE REUSE OF TWO EXISTING BUILDINGS AS A FAMILY LIVING CENTER. UPGRADES INCLUDE THE BUILDUP OF THE FIRST FLOOR IN BUILDING 4 TO MATCH EXISTING FLOOR ELEVATION OF BUILDING 5. THERE WILL BE TWO ADDITIONS, ONE TO CONNECT THE TWO EXISTING BUILDINGS, AND THE OTHER TO EXPAND ONE. ALSO INCLUDED IS A EXTERIOR FACADE RESTORATION AND FULL INTERIOR BUILD OUT

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

#### Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- Parking Lots with over 10 spaces or loading zones
- Wireless Antenna/Tower
- Educational Facility

- Mural Reviews
- Campus Development Plan
- CBD FAR Bonus
- Changes to Approved Plans
- DAC Review of Public Projects
- Others as required

### ADDITIONAL INFORMATION

Current Use ABANDONED

Proposed Use GUEST HOUSE

Square Number BLOOMINGDALE SQS 2 & 3 BURTHEVILLE SQS 1, 2, 7 Lot Number 096 Permeable Open Space (sf) +/-23,500

Zoning District MC Local Historic District/Landmark UPTOWN

New Development?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Addition?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Tenant Width	<u>N/A</u>
Existing Structure(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Renovations?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Building Width	<u>311'</u>
Change in Use?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Existing Signs?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Width (sf)	<u>+/-380'</u>
New Sign(s)?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Area (sf)	<u>+/-42,378</u>	BuildingArea (sf)	<u>17840</u>





Building/Construction  
Related Permit



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One paper copy and one digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Design Review	\$225
Moratorium Appeals	\$1,000

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SITE PLAN

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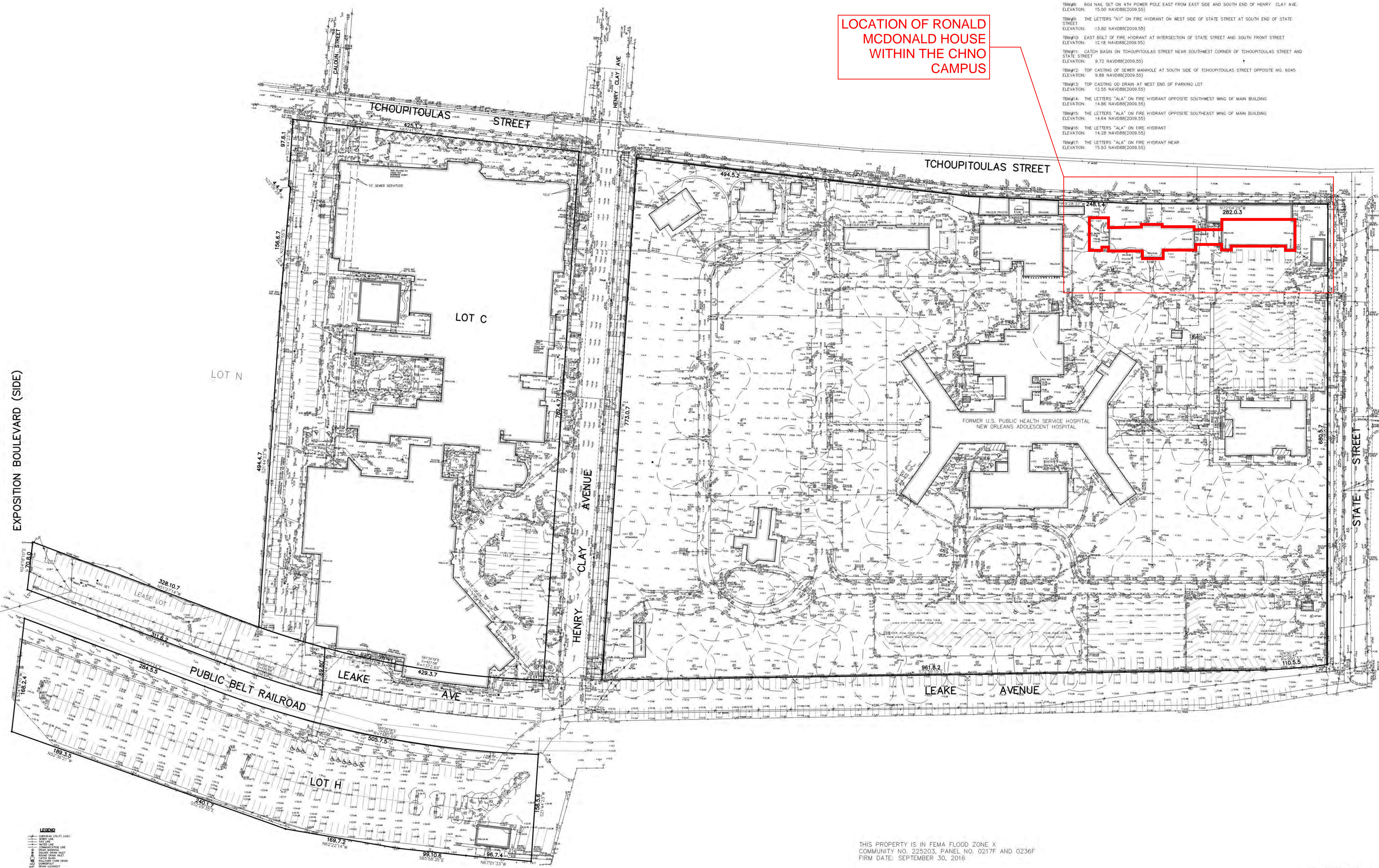
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NOTE: THIS SURVEY WAS FURNISHED BY THE OWNER FOR USE ON THIS PROJECT AND WAS NOT PREPARED BY THE ARCHITECT WHO IS THEREFORE NOT RESPONSIBLE FOR ITS CONTENT.

CHILDREN'S HOSPITAL  
BURTHEVILLE  
SIXTH DISTRICT  
ORLEANS PARISH, LA



LOCATION OF RONALD  
MCDONALD HOUSE  
WITHIN THE CHNO  
CAMPUS

ALL ELEVATIONS ARE IN FEET ABOVE  
BASED ON GPS OBSERVATIONS, GEOID38  
TBM#1 MONUMENT A-95 AT SOUTH END OF HENRY CLAY NEAR DATE POST  
ELEVATION: 12.81 NAVD83(2011.55)  
TBM#2 SOUTHWEST BOLT OF FIRE HYDRANT AT SOUTHWEST CORNER OF CHILDREN'S HOSPITAL  
ELEVATION: 13.23 NAVD83(2011.55)  
TBM#3 TOP CASTING OF DRAIN MANHOLE 50' WEST FROM NORTHWEST CORNER OF EMERGENCY ROOM AT  
AMBULANCE ENTRANCE  
ELEVATION: 10.29 NAVD83(2011.55)  
TBM#4 THE LETTERS "TUT" ON FIRE HYDRANT AT NORTHWEST CORNER OF CALHOON & TCHOUPITOULAS STREET  
ELEVATION: 11.88 NAVD83(2011.55)  
TBM#5 CATCH BASIN ON TCHOUPITOULAS STREET NEAREST TO SOUTHWEST CORNER OF HENRY CLAY &  
TCHOUPITOULAS STREET  
ELEVATION: 9.76 NAVD83(2011.55)  
TBM#6 TOP CASTING OF DRAIN MANHOLE IN NORTH BOUND LINE OF HENRY CLAY AVE, 200' SOUTH FROM  
TCHOUPITOULAS STREET  
ELEVATION: 9.26 NAVD83(2011.55)  
TBM#7 THE LETTERS "TAT" ON FIRE HYDRANT ON EAST SIDE OF HENRY CLAY AVE, ABOUT HALFWAY BETWEEN  
TCHOUPITOULAS AND SOUTH END OF HENRY CLAY AVE  
ELEVATION: 11.23 NAVD83(2011.55)  
TBM#8 864 H&L SET ON 4th POWER POLE EAST FROM EAST SIDE AND SOUTH END OF HENRY CLAY AVE  
ELEVATION: 10.20 NAVD83(2011.55)  
TBM#9 THE LETTERS "TUT" ON FIRE HYDRANT ON WEST SIDE OF STATE STREET AT SOUTH END OF STATE  
STREET  
ELEVATION: 13.80 NAVD83(2011.55)  
TBM#10 EAST BOLT OF FIRE HYDRANT AT INTERSECTION OF STATE STREET AND SOUTH FRONT STREET  
ELEVATION: 12.18 NAVD83(2011.55)  
TBM#11 CATCH BASIN ON TCHOUPITOULAS STREET NEAR SOUTHWEST CORNER OF TCHOUPITOULAS STREET AND  
STATE STREET  
ELEVATION: 9.72 NAVD83(2011.55)  
TBM#12 TOP CASTING OF GEMER MANHOLE AT SOUTH SIDE OF TCHOUPITOULAS STREET OPPOSITE NO. 6045  
ELEVATION: 9.89 NAVD83(2011.55)  
TBM#13 TOP CASTING OF DRAIN AT WEST END OF PARKING LOT  
ELEVATION: 12.29 NAVD83(2011.55)  
TBM#14 THE LETTERS "ALY" ON FIRE HYDRANT OPPOSITE SOUTHWEST WING OF MAIN BUILDING  
ELEVATION: 14.86 NAVD83(2011.55)  
TBM#15 THE LETTERS "ALY" ON FIRE HYDRANT OPPOSITE SOUTHWEST WING OF MAIN BUILDING  
ELEVATION: 14.86 NAVD83(2011.55)  
TBM#16 THE LETTERS "ALY" ON FIRE HYDRANT  
ELEVATION: 14.29 NAVD83(2011.55)  
TBM#17 THE LETTERS "ALY" ON FIRE HYDRANT NEAR  
ELEVATION: 15.20 NAVD83(2011.55)

STANLEY  
BEAMAN  
&  
SEARS  
180 Poydras Street  
Suite 300  
New Orleans, LA 70112  
504.581.1800  
www.stanleybeamansears.com

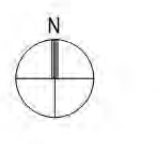
DUFRENE SURVEYING  
& ENGINEERING INC.  
1128 Poydras Street, Suite 1400  
New Orleans, LA 70112  
504.581.1800  
www.dufrene.com

CONSULTANTS  
Civil Engineering  
MEYER ENGINEERS, LTD.  
400 Poydras Street, Suite 2700  
New Orleans, LA 70112  
504.581.6812  
SPACEMAN ARCHITECTS AND INTERIORS  
1717 Poydras Street  
New Orleans, LA 70112  
504.581.6811  
Bryant & Taylor  
1228 Poydras Street, Suite 2000  
New Orleans, LA 70112  
504.581.1717  
Mechanical, Plumbing, Electrical Engineering,  
Construction & Technology  
TLC ENGINEERING FOR ARCHITECTURE  
120 South Orange Street, Suite 200  
New Orleans, LA 70112  
504.581.1717  
Medical Equipment  
RTI & COMPANY  
P.O. Box 10000  
Houston, TX 77248-1548  
Food Service Planning  
AUGUSTO  
4718 Poydras Street, Suite 1400  
New Orleans, LA 70112  
504.581.1811  
Daniel Dubois Energy Consulting  
1111 Poydras Street, Suite 1400  
New Orleans, LA 70112  
504.581.1811

PROJECT DATA  
CHILDREN'S  
HOSPITAL  
CHILDREN'S HOSPITAL, NEW ORLEANS  
200 Henry Clay Avenue  
New Orleans, Louisiana 70118

PARKING DECK

KEYPLAN



ISSUANCE AND DATE  
CONSTRUCTION DOCUMENTS 11/22/2019

ORIGINAL ISSUE: 11/22/2019  
JOB NUMBER: 1094-002  
DRAWN: -  
CHECKED: -  
APPROVED: -  
BID PACK 2A  
TOPOGRAPHIC SURVEY

DUFRENE SURVEYING  
& ENGINEERING INC.  
1128 POYDRAS STREET, SUITE 1400  
NEW ORLEANS, LA 70112  
504.581.1800  
www.dufrene.com



1-5312-L  
16-00003

C01



NOTE: NOT ALL UNDERGROUND LINES ARE  
SHOWN. THE LOCATION OF SOME  
UNDERGROUND LINES COULD NOT BE  
DETERMINED FROM THE SURFACE FEATURE  
AND UTILITY PLANS.

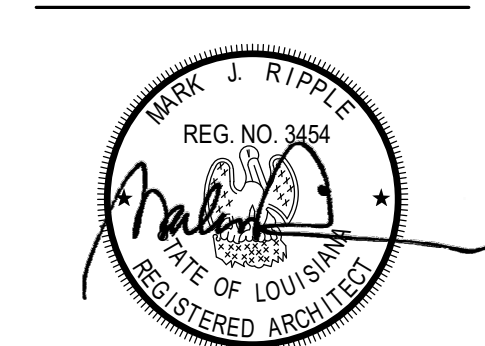
REFERENCE: ALTA SURVEY BY SANDOLFO KUMH, L.L.C.  
DATED DECEMBER 27, 2017  
TOPOGRAPHIC SURVEY OF LOT C BY SANDOLFO KUMH, L.L.C.  
DATED MARCH 1, 2018  
REVISION PLAN OF CHILDREN'S HOSPITAL AND  
AMBULANCE ENTRANCE BY WALKER & WALKER, INC.  
DATED OCTOBER 7, 1999  
SURVEY OF CHILDREN'S HOSPITAL BY JOHN E. WALKER  
DATED SEPTEMBER 16, 1992

THIS PROPERTY IS IN FEMA FLOOD ZONE X  
COMMUNITY NO. 225203, PANEL NO. 0217F AND 0236F  
FIRM DATE: SEPTEMBER 30, 2016

REVISED JANUARY 12, 2017  
OCTOBER 26, 2016  
SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A  
CLASS B SURVEY, MADE AT THE REQUEST OF STANLEY  
BEAMAN & SEARS

1  
C1 SITE SURVEY  
1" = 100'-0"

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Eskew+Dumez+Ripple  
A Professional Corporation  
Date: 10 JULY 2020  
REVISIONS



EDR No: 16027  
Drawn By: DIGBY  
Drawing Title:  
SITE SURVEY



NO.	REVISIONS

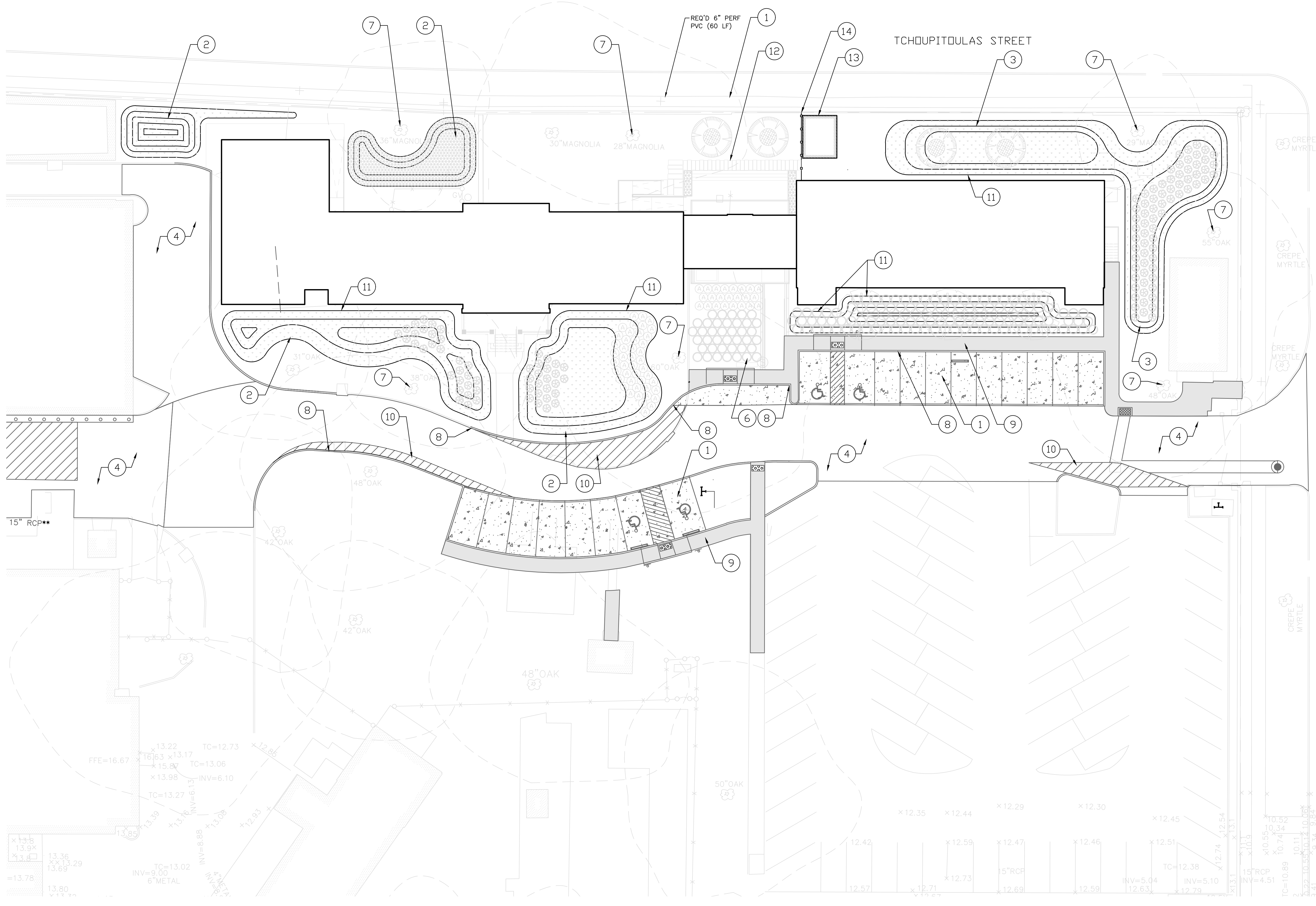
NO.	REVISIONS

NO.	REVISIONS

NO.	REVISIONS

LEGEND	
—	GUY WIRE
⊕	POWER POLE
⊕	FIRE HYDRANT
⊕	WATER METER
⊕	SEWER MANHOLE
⊕	SEWER CLEANOUT
⊕	DRAIN MANHOLE
⊕	DRAIN CLEANOUT
⊕	DROP INLET, ROUND
⊕	DROP INLET, SQUARE
⊕	WATER MANHOLE
—	WATER VALVE
—	SIGN, POLE MOUNTED
●	IRON ROD FOUND
+	CROSS FOUND
+	CROSS SET
△	MAG NAIL SET
□	CATCH BASIN
○	LITTLE TREE
—	OHE
—	(SIZE) D
—	(SIZE) S
—	(SIZE) G
—	(SIZE) W
—	OVERHEAD ELEC.
—	DRAIN LINE
—	UG TELEPHONE
—	SEWER LINE
—	GAS LINE
—	WATER LINE
▨	BUILDING
○	TREE

SITE PLAN LEGEND			
①	REQ'D PERVIOUS CONCRETE (SEE CIVIL)	⑩	ROADWAY EXPANSION (SEE CIVIL)
②	REQ'D RAIN GARDEN WITH MINIMAL EXCAVATION, SEE REQUIREMENTS FOR WORKING AROUND EXISTING TREES ON SHT L0.1	⑪	RAIN GARDEN AT BUILDING (SEE DETAIL 7, SHT L5.1)
③	REQ'D RAIN GARDEN (SEE DETAIL 6, SHT L5.1)	⑫	SITE PAVEMENT, BY OTHER
④	ASPHALT OVERLAY (SEE CIVIL)	⑬	STORAGE SHED, SEE ARCH
⑤	NOT USED	⑭	FENCE, SEE ARCH
⑥	PLANTING AREAS (SEE SHT L3.1)		
⑦	EXISTING TREE TO REMAIN, SEE SHT L0.1 FOR TREE PROTECTION REQUIREMENTS		
⑧	CONCRETE CURB (SEE CIVIL)		
⑨	CONCRETE SIDEWALK (SEE CIVIL)		



**SITE PLAN NOTES:**

- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ENGINEER BEFORE STARTING CONSTRUCTION.
- ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO CITY OF NEW ORLEANS DPW TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.
- REFER TO BOUNDARY SURVEY FOR EXISTING MONUMENTS TO LAYOUT PROPERTY LINE.
- BRING UP GRADE UNDER ALL PAVEMENT WITH STRUCTURAL FILL COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE FROM:
  - FACE OF CURB TO FACE OF CURB
  - FACE OF CURB TO PROPERTY LINE
  - FACE OF CURB TO CENTER OF STRUCTURE (DROP INLET, MANHOLE, ETC.)
  - PROPERTY LINE TO BUILDING FACE
- ALL CURB RADI SHALL BE 2 FEET UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHOWN ON THE APPROVED PLANS FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL INSPECTION.

**STORMWATER MANAGEMENT NOTE:**

- ALL PERMEABLE PAVING INSTALLATIONS SHALL BE SUBJECT TO INFILTRATION TESTING AFTER INSTALLATION. TESTING SHALL BE CONDUCTED ACCORDING TO THE ASTM INTERNATIONAL G1701 OR G1781 STANDARDS AS APPROPRIATE. ALL TYPES OF PERMEABLE PAVEMENT SHALL MAINTAIN A MINIMUM INFILTRATION RATE OF 200 INCHES PER HOUR.

**01 SITE PLAN**  
1/16" = 1'-0"

TRUE NORTH

Call before you dig.



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FLOOR PLAN

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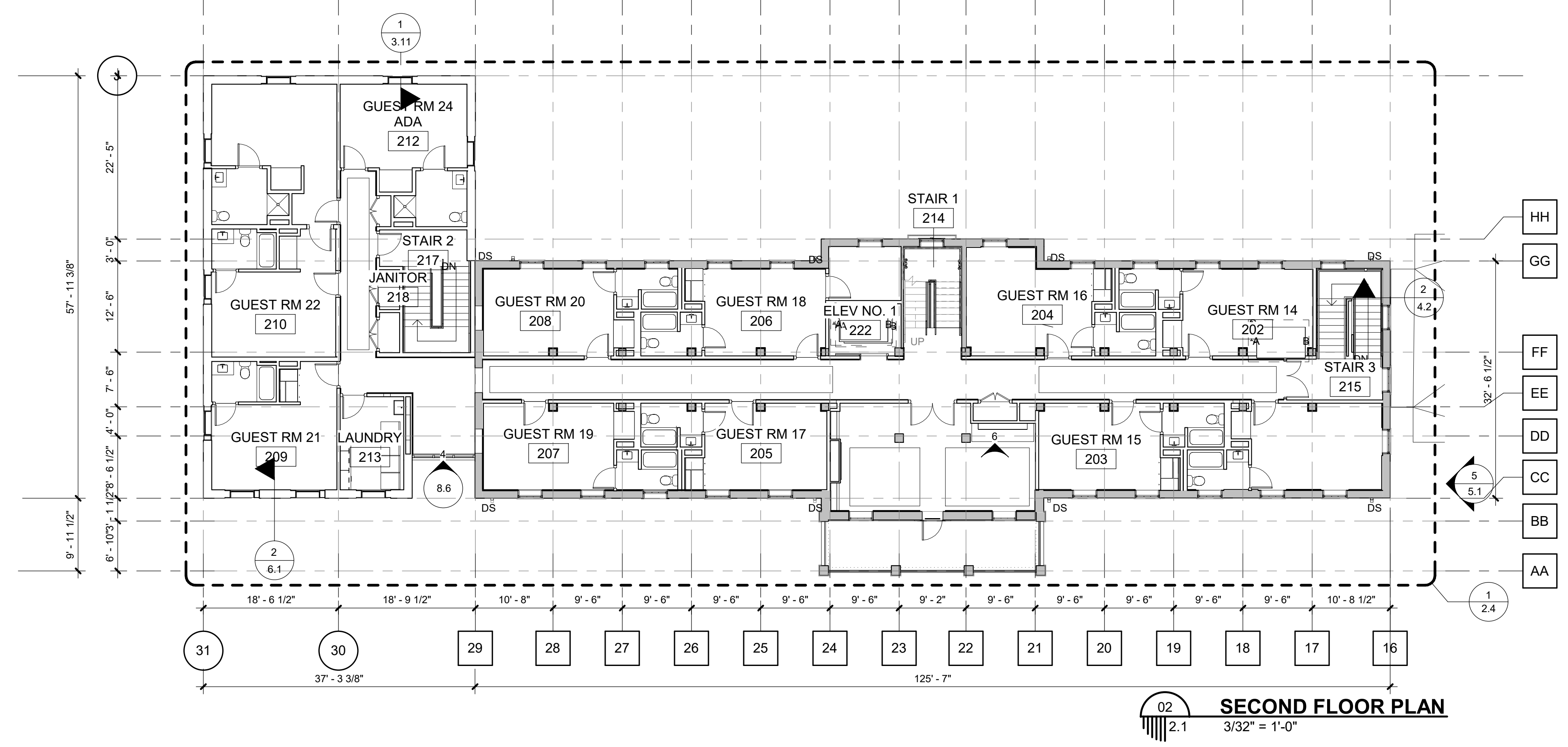
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**GENERAL NOTES**

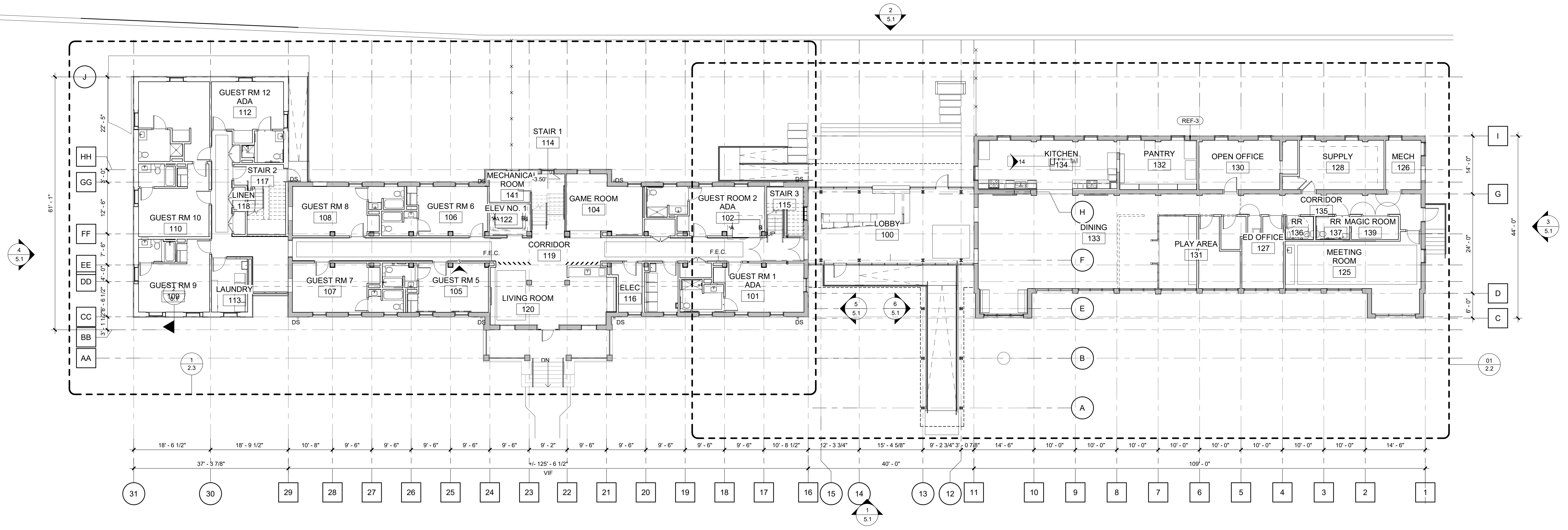
- UNLESS OTHERWISE INDICATED ALL INTERIOR PARTITION DIMENSION ARE FACE TO FACE TO FINISH SURFACES
- UNLESS OTHERWISE INDICATED ON THE FLOOR PLAN(S) OR REFLECTED CEILING PLAN(S), ALL CEILING HEIGHTS ARE 9'-0"
- FOR ROOM FINISH SCHEDULE, FRAME AND DOOR SCHEDULE CLARIFICATION OF REFERENCE DESIGNATIONS FOR INTERIOR PARTITIONS, REFER TO SHEET 1
- ALL DIMENSIONS SHOWN AT EXISTING CONDITIONS ARE PLUS OR MINUS AND SHOULD BE VERIFIED, IF NECESSARY, ON THE PROJECT SITE.

**CLARIFICATION OF RENOVATION GRAPHICS (UNLESS OTHERWISE INDICATED)**

- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO REMAIN
- NEW WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC.
- EXISTING WALLS, PARTITIONS, COLUMNS, FIXTURES, EQUIPMENT, ETC. TO BE REMOVED
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE REMOVED AND RELOCATED.
- EXISTING FIXTURES, EQUIPMENT, ETC. TO BE RELOCATED FROM ITS PREVIOUS LOCATION

**CLARIFICATION OF SYMBOLS FIRE EXTINGUISHER**

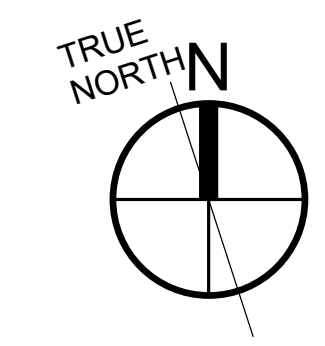
- F.E.C. RECESSED FIRE EXTINGUISHER CABINET (10 44 00)
- F.E.C. SEMI-RECESSED FIRE EXTINGUISHER CABINET (10 44 00)
- F.E. WALL HUNG FIRE EXTINGUISHER (10 44 00)



REVISIONS




EDR No: 16027  
Drawn By: DIGBY  
Drawing Title: FLOOR PLANS



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ARCHITECTURAL ELEVATIONS

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LIGHTING PLAN

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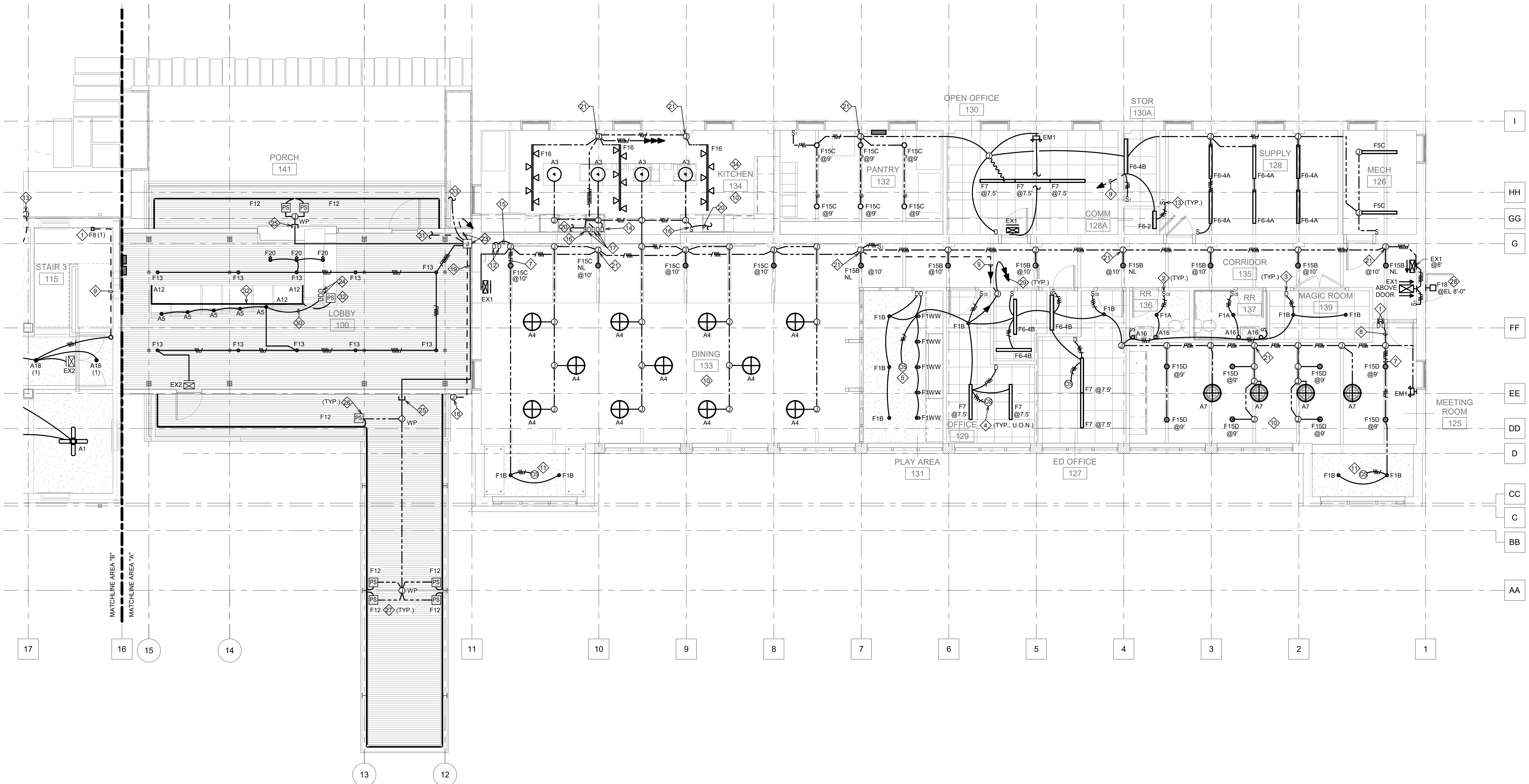
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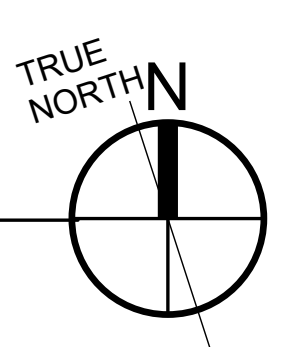
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REVISIONS	



1 EL2.1 3/16" = 1'-0"  
FIRST FLOOR PLAN - SECTION A - LIGHTING



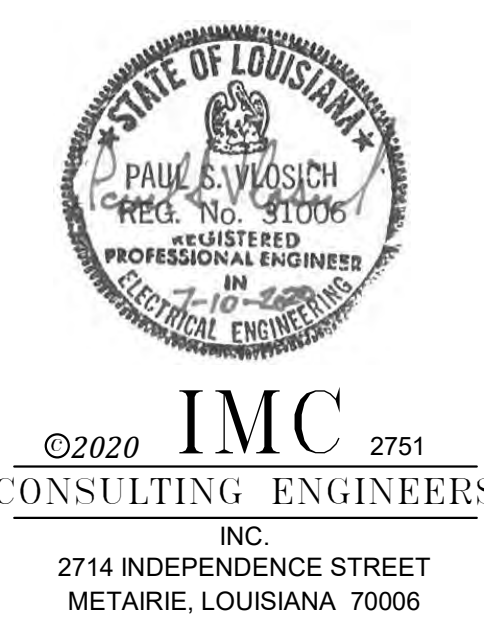
**SIGHT LIGHTING AT FRONT PORCHES AND REAR DECKS.  
EXISTING CAMPUS LIGHTING TO REMAIN**

- GENERAL NOTES**
- REFERENCE ARCHITECTURAL PLANS FOR LIGHT FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
  - IN AREAS WITH EXPOSED CEILINGS, ROUTE CONDUIT ON WALLS AND CEILINGS AS HIGH AS POSSIBLE. PAINT CONDUIT PER ARCHITECT PRIOR TO INSTALLATION.
  - FOR CLARITY, 0-10 VOLT CONTROL WIRING IS NOT ILLUSTRATED ON PLANS. CONTROL WIRING SHALL BE CLASS 1, 900-VOLT RATED THHN, ROUTED IN SAME CONDUIT AS POWER WIRING.
  - ROUTE HOT AND NEUTRAL CONDUCTORS TO ALL NIGHT LIGHTS, EXIT SIGNS, AND EMERGENCY LIGHTING. EMERGENCY LIGHTING UNITS SHALL BE POWERED FROM THE SAME CIRCUIT THAT SERVES THE LIGHTING IN THAT AREA.
  - SEE POWER PLANS FOR LOCATIONS OF PANELBOARDS, INVERTERS, AND LIGHTING CONTROL PANELS.

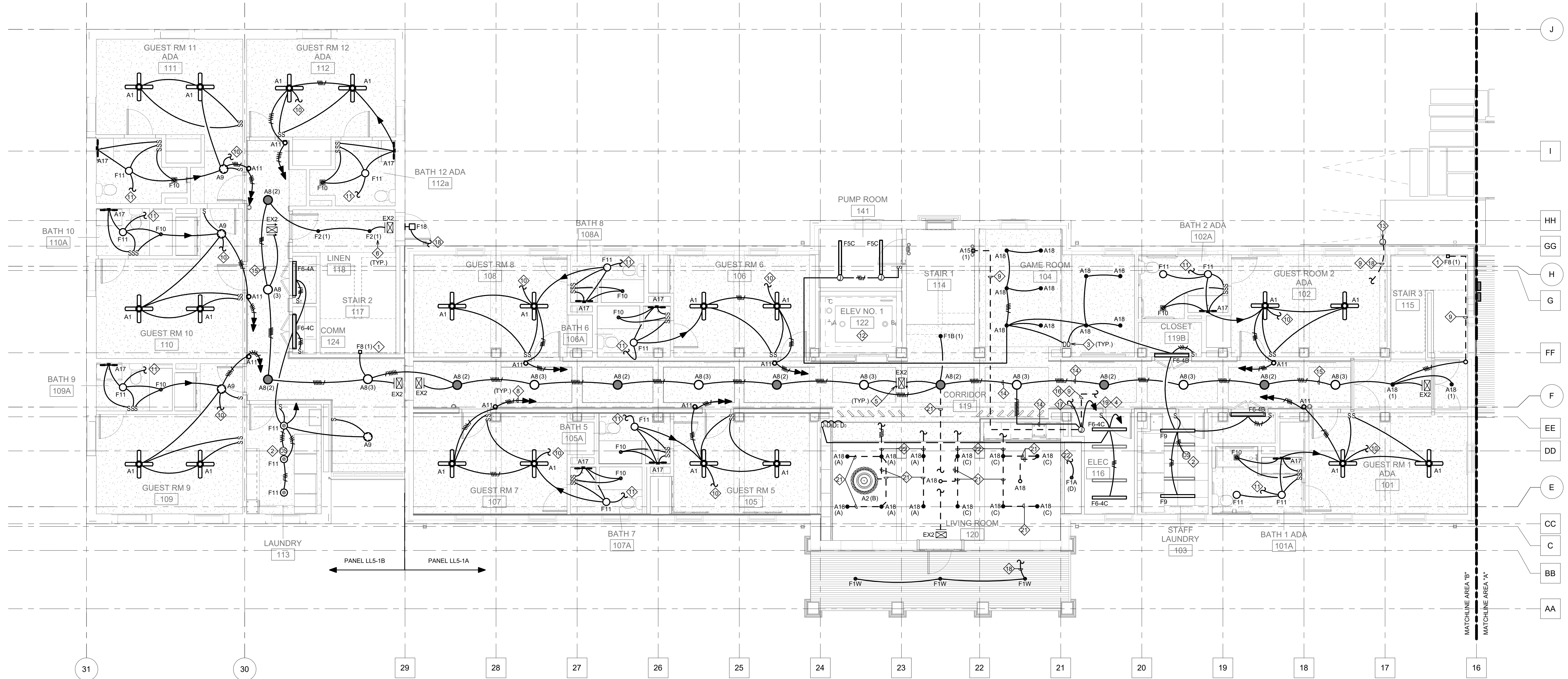
- SPECIFIC NOTES**
- PROVIDE WALL DIMMERS FOR CONTROL OF MEETING ROOM FIXTURES. CONTROL PENDANTS OVER TABLE SEPARATELY FROM PERIMETER SUSPENDED CYLINDERS.
  - PROVIDE MULTI-TECH, COMBINATION OCCUPANCY SENSOR / SWITCH WITH 30 MINUTE OFF TIME, MANUAL ON/OFF BUTTON AND LISTED FOR A MINIMUM OF 2400 SQUARE FEET OF COVERAGE. SET OFF DELAY TO MAXIMUM.
  - PROVIDE DIMMER SWITCH COMPATIBLE WITH FIXTURES TO BE DIMMED (TRAC, PHASE CUT, ELV, OR 0-10 VOLT, AS APPLICABLE).
  - PROVIDE CEILING-MOUNTED, MULTI-TECH OCCUPANCY SENSOR WITH INTEGRAL SWITCHING RELAY AND MINIMUM COVERAGE OF 2400 SQUARE FEET.
  - SENSOR SHALL CONTROL ALL PLAY ROOM FIXTURES.
  - PROVIDE WALL DIMMERS FOR CONTROL OF PLAY ROOM FIXTURES. CONTROL WALL WASHERS SEPARATELY FROM DOWNLIGHTS.
  - ROUTE HOT AND NEUTRAL TO F1 FIXTURES. CONTROL PENDANT FIXTURES FROM DIMMER.
  - ROUTE HOT AND NEUTRAL TO EACH DIMMER SWITCH. ROUTE SWITCHED AND 0-10 VOLT CONTROL WIRES FROM EACH DIMMER SWITCH TO ASSOCIATED FIXTURES CONTROLLED.
  - ROUTE BELOW SLAB AND STUB-UP AT FIXTURE.
  - REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING HEIGHT OF A-SERIES PENDANTS.
  - PROVIDE CEILING-MOUNTED, COMBINATION DAYLIGHT HARVESTING / IPR OCCUPANCY SENSOR WITH INTEGRAL SWITCHING RELAY AND MINIMUM COVERAGE OF 400 SQUARE FEET.
  - PROVIDE WALL DIMMERS FOR CONTROL OF DINING AREA PENDANTS AND SUSPENDED CYLINDERS. CONTROL PENDANTS SEPARATELY FROM SUSPENDED CYLINDERS. CONDUIT AND WIRING FROM JUNCTION BOX TO SWITCHES SHALL BE CONCEALED. PROPOSED ROUTING IS VIA FURR-OUT IN KITCHEN WALL WITH SINGLE PENETRATION IN MASONRY AT SWITCH LOCATION.
  - PROVIDE 12-HOUR ELECTRONIC TIMER SWITCH.
  - PROVIDE WALL DIMMER FOR CONTROL OF KITCHEN PENDANTS.

- ROUTE HOT AND NEUTRAL TO EACH DIMMER SWITCH. ROUTE SWITCHED CONDUCTOR FROM EACH DIMMER SWITCH TO FIXTURES CONTROLLED. ADDITIONALLY, ROUTE 0-10 VOLT CONDUCTORS FROM 0-10 VOLT DIMMER SWITCH TO F15 FIXTURES FOR DIMMING CONTROL. ROUTE ALL CONDUCTORS IN CONDUIT.
- PROVIDE SWITCH FOR UNDER-CABINET LIGHTS.
- PROVIDE ELV DIMMER SWITCH FOR TRACK LIGHTS.
- PROVIDE BOX IN AN ACCESSIBLE LOCATION UNDER THE BUILDING AND STUB-UP BELOW / INTO RAILING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. NOTE THAT EACH STUB-UP IS ONLY SUFFICIENT FOR 20-FEET OF RAILING; MULTIPLE STUB-UPS WILL BE NECESSARY. COORDINATE WITH RAILING PROVIDER.
- TO JB FOR IRAIL.
- TO F17 UNDER-CABINET LIGHTS: SEE ARCHITECTURAL ELEVATIONS FOR LENGTHS AND LOCATIONS OF LIGHT FIXTURES. UTILIZE FIXTURE-TO-FIXTURE JUMPER CONNECT CABLES BETWEEN ADJACENT CABINETS.
- MOUNT EM1 ON WALL, AT 8-FEET AFF. FIXTURE IS NOT SHOWN FOR CLARITY.
- MOUNT RECESSED IN MILLWORK. ALL CONDUIT / WIRING TO DEVICES SHALL BE CONCEALED.
- MOUNT JUNCTION BOX BELOW SLAB IN ACCESSIBLE LOCATION. ROUTE THE FOLLOWING IN 2-INCH CONDUIT, BELOW THE SLAB, AND BACK TO THE ELECTRICAL ROOM IN BUILDING 4.
  - ROUTE 2#12, #12 GND DIRECT FROM PANEL LL4A28 FOR POWER TO DECORATIVE PENDANTS.
  - ROUTE 5#12 (HOT, SWITCHED, NEUTRAL, 0-10 DIMMING) FROM LL4A22, THROUGH LIGHTING CONTROL PANEL AND INVERTER, FOR CONTROL OF DOWNLIGHTS. UTILIZE UNSWITCHED CONDUCTOR FOR POWER TO EXIT LIGHTING IN LOBBY.
  - ROUTE 4#12 (SWITCHED, NEUTRAL, 0-10 DIMMING) FROM LL4A22, THROUGH LIGHTING CONTROL PANEL AND INVERTER FOR EXTERIOR TAPE LIGHT.
  - ROUTE 4#12 (SWITCHED, NEUTRAL, 0-10 DIMMING) FROM LL4A22, THROUGH LIGHTING CONTROL PANEL AND INVERTER FOR EXTERIOR TAPE LIGHT.
  - ROUTE 4#12 (SWITCHED, NEUTRAL, 0-10 DIMMING) FROM LL4A28, THROUGH LIGHTING CONTROL PANEL FOR DECK STEP LIGHTS.
  - ROUTE 4#12 (SWITCHED, NEUTRAL, 0-10 DIMMING) FROM LL4A28, THROUGH LIGHTING CONTROL PANEL FOR IRAIL.
- EXPOSED CONDUIT SHALL BE PAINTED PER ARCHITECT. PAINT PRIOR TO INSTALLATION.

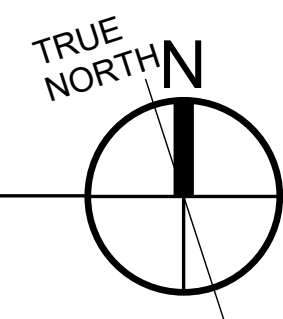
- PROVIDE LOW VOLTAGE, DIGITAL SWITCH(ES) FOR CONTROL OF LOBBY DOWNLIGHTS, LOBBY WALL ACCENT LIGHTS, RECEPTION DESK TAPE LIGHT, EXTERIOR STEP LIGHTS, AND EXTERIOR TAPE LIGHT. SWITCH(ES) SHALL ALLOW FOR MANUAL DIMMING CONTROL VIA FUTURE ZONE SELECTION AND UP/DOWN/OFF BUTTONS. ROUTE COMMUNICATION CABLE BELOW SLAB, IN CONDUIT BACK TO LIGHTING CONTROL PANEL IN THE ELECTRICAL ROOM IN BUILDING 4.
- PENETRATE EXTERIOR WALL ABOVE CANOPY. SEAL INSIDE AND GROUT AROUND CONDUIT.
- PROVIDE TAPE LIGHT POWER SUPPLY IN WEATHERPROOF BOX MOUNTED IN ACCESSIBLE LOCATION ON TOP OF CANOPY.
- RECESSES-MOUNT F12 IN UNDERSIDE OF CANOPY.
- CONNECT TO SAME CIRCUIT AND CONTROLS AS PARKING AREA LIGHT POLES. ROUTE THROUGH INVERTER. SEE LIGHTING CONTROL BLOCK DIAGRAM.
- ROUTE HOMERUNS BACK TO PANEL LL4A.
- CONCEAL WIRING TO DIMMER SWITCH IN MILLWORK.
- ROUTE 4#12, #12 GND IN CONDUIT UNDER SLAB, STUBBING UP BELOW MILLWORK AT RECEPTION DESK FOR RECEPTION DESK TAPE LIGHT
- RECESS IN MILLWORK LEDGE. SEE ARCHITECTURAL SECTIONS. MOUNT POWER SUPPLY IN ACCESSIBLE LOCATION IN MILLWORK.
- TO DECK STEP LIGHTS. SEE SITE PLAN.
- DEVICE AND COVER PLATE COLORS IN KITCHEN SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. ARCHITECT RESERVES THE RIGHT TO REQUEST THAT DEVICES AND COVER PLATES BE REPLACED AT NO CHARGE TO OWNER IF COORDINATION IS NOT PERFORMED.







1 FIRST FLOOR PLAN - SECTION B - LIGHTING  
EL2.2 3/16" = 1'-0"



GENERAL NOTES

- 1 REFERENCE ARCHITECTURAL PLANS FOR LIGHT FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- 2 IN AREAS WITH EXPOSED CEILINGS, ROUTE CONDUIT ON WALLS AND CEILINGS AS HIGH AS POSSIBLE. PAINT CONDUIT PER ARCHITECT PRIOR TO INSTALLATION.
- 3 FOR CLARITY, 0-10 VOLT CONTROL WIRING IS NOT ILLUSTRATED ON PLANS. CONTROL WIRING SHALL BE CLASS 1, 600-VOLT RATED THHN, ROUTED IN SAME CONDUIT AS POWER WIRING.
- 4 ROUTE HOT AND NEUTRAL CONDUCTORS TO ALL NIGHT LIGHTS, EXIT SIGNS, AND EMERGENCY LIGHTING. EMERGENCY LIGHTING UNITS SHALL BE POWERED FROM THE SAME CIRCUIT THAT SERVES THE LIGHTING IN THAT AREA.
- 5 SEE POWER PLANS FOR LOCATIONS OF PANELBOARDS, INVERTERS, AND LIGHTING CONTROL PANELS.

SPECIFIC NOTES

- 1 MOUNT FIXTURE IN VERTICAL ORIENTATION.
- 2 PROVIDE CEILING-MOUNTED, DUAL TECHNOLOGY ULTRASONIC/INFRARED OCCUPANCY SENSOR WITH MINIMUM COVERAGE OF 1000 SQUARE FEET.
- 3 PROVIDE DIMMER SWITCH COMPATIBLE WITH FIXTURES TO BE DIMMED (TRIC, PHASE CUT, ELV, OR 0-10 VOLT, AS APPLICABLE).
- 4 ROUTE THROUGH LIGHTING CONTROLS AND/OR INVERTER. SEE BUILDING 5 CORRIDOR LIGHTING CIRCUITING DIAGRAM ON SHEET EL7.1.
- 5 CONNECT ALL EXIT SIGNS TO CKT (1). SEE BUILDING 5 CORRIDOR LIGHTING CIRCUITING DIAGRAM ON SHEET EL7.1.
- 6 NUMBER IN PARENTHESES INDICATES CORRIDOR CIRCUIT NUMBER. SEE BUILDING 5 CORRIDOR LIGHTING CIRCUITING DIAGRAM ON SHEET EL7.1.
- 7 NOT USED.
- 8 GUESTROOM CIRCUITS HOMERUN TO SCORCE. SEE PANEL SCHEDULES FOR CIRCUIT INFORMATION.
- 9 ROUTE BELOW SLAB AND STUB-UP AT FIXTURE.
- 10 CONNECT TO RECEPTACLES IN GUESTROOM. SEE POWER PLANS.
- 11 CONNECT TO BATHROOM RECEPTACLE. SEE POWER PLANS.
- 12 SEE POWER PLANS FOR ELEVATOR PIT AND HOISTWAY LIGHTING.
- 13 PROVIDE BOX IN AN ACCESSIBLE LOCATION UNDER THE BUILDING AND STUB-UP BELOW / INTO RAILING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. NOTE THAT EACH STUB-UP IS ONLY SUFFICIENT FOR 20-FEET OF RAILING; MULTIPLE STUBUPS WILL BE NECESSARY. COORDINATE WITH RAILING PROVIDER.
- 14 ROUTE #6/12, #12 GND IN 1-INCH CONDUIT FOR CORRIDOR LIGHTING. SEE BUILDING 5 CORRIDOR LIGHTING CIRCUITING DIAGRAM ON SHEET EL7.1.
- 15 ROUTE #4/12, #12 GND IN 3/4-INCH CONDUIT FOR CORRIDOR LIGHTING. SEE BUILDING 5 CORRIDOR LIGHTING CIRCUITING DIAGRAM ON SHEET EL7.1.
- 16 TO I-RAIL ILLUMINATED RAMP RAILING.
- 17 TO PORCH FIXTURES.
- 18 TO ELECTRICAL ROOM.
- 19 ROUTE 12#12, #12 GND PER THE FOLLOWING: #4/12 FOR PORCH LIGHTS (INCLUDES 0-10 VOLT CONDUCTORS), 2#12 FOR I-RAIL, #8/12 FOR CORRIDOR LIGHTING, #12 COMMON GROUND FOR ALL.
- 20 ROUTE 10#12, #12 GND PER THE FOLLOWING: #4/12 FOR PORCH LIGHTS (INCLUDES 0-10 VOLT CONDUCTORS), 2#12 FOR I-RAIL, #8/12 FOR CORRIDOR LIGHTING, #12 COMMON GROUND FOR ALL.
- 21 ROUTE CONCEALED IN PLASTER CEILING. TAKE SPECIAL CARE NOT TO DAMAGE CEILING DURING CONSTRUCTION. CONTRACTOR MAY ELECT TO ROUTE IN SECOND FLOOR SLAB AND STUB DOWN AT FIXTURE LOCATIONS. REFER TO DETAIL 7 ON SHEET 10.5 FOR PROPOSED METHOD OF CONCEALMENT.
- 22 ROUTE CONDUIT AND CONDUCTORS CONCEALED TO ASSOCIATED DIMMER SWITCH(ES).

**SIGHT LIGHTING AT FRONT PORCHES AND REAR DECKS. EXISTING CAMPUS LIGHTING TO REMAIN**

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Date: 10 JULY 2020

NO.	REVISIONS

EDR No: 16027  
Drawn By: KLH  
Drawing Title: FIRST FLOOR PLAN SECTION B LIGHTING







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SIGNAGE PLAN

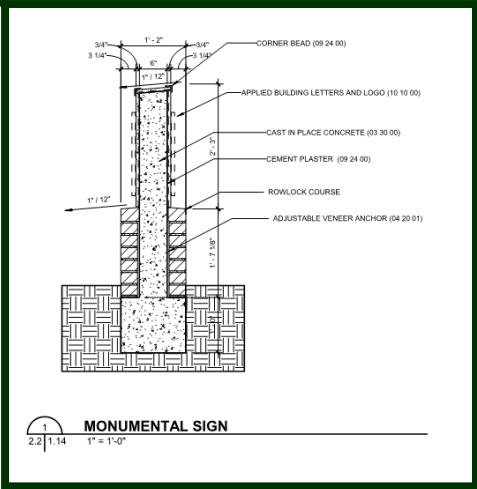
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**7**

LANDSCAPE PLAN

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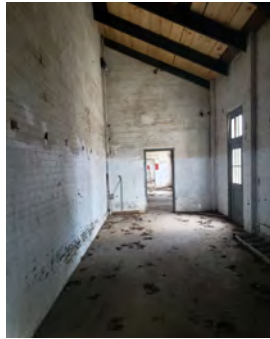
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**8**

PHOTOS

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EXISTING BUILDING - B4 ENTRY SIDE



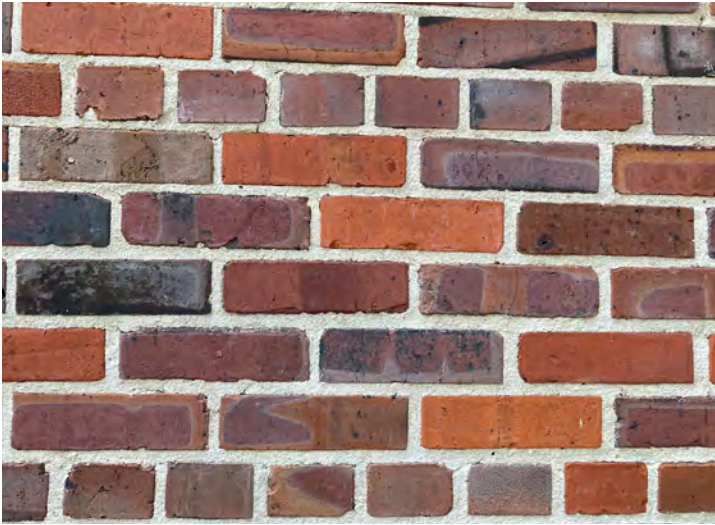
EXISTING BUILDING - B5 ENTRY SIDE





EXISTING BUILDINGS - B4 AND B5 TCHOUPITOULAS SIDE





EXISTING BRICK



BRICK MATCH - GLEN GERY  
35% - RED  
35% - PURPLE  
20% - BLACK  
10% GREY  
MORTAR JOINTS TO MATCH



BRICK COMPARISON - B5



BRICK COMPARISON - B4

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NARRATIVE

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Narrative:

The design goals of this project was to use the last remaining non-rehabilitated historic masonry buildings on Children's Hospital's Campus in order to create a family living center for Ronald McDonald house Charities. We believe we are in compliance with all of the Comprehensive Zoning Ordinance's requirements other than needing to submit for required review by CPC. We believe the project fits well with the other existing buildings on campus.

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RENDERINGS



RENDERING AT CONNECTOR B/T B4 AND B5



RENDERING AT ADDITION OFF OF B5





RENDERING AT CONNECTOR B/T B4 AND B5



RENDERING AT ADDITION OFF OF B5