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9	FINAL REVIEW FOR BUDGET CONFORMANCE	04.28.2020
8	ISSUED FOR PERMIT	03.20.2020
7	ISSUED FOR PRELIMINARY COORDINATION	03.09.2020
6	ISSUED FOR PRELIMINARY REVIEW	03.09.2017
5	ISSUED FOR PRELIMINARY PRICING	01.23.2017
4	ISSUED FOR SFM REVIEW	10.31.2016
3	ISSUED FOR PERMIT	09.30.2016
2	PROGRESS PRINT	09.16.2016
1	PROGRESS PRINT	08.26.2016
#	REVISION / ISSUE	DATE

SEAL



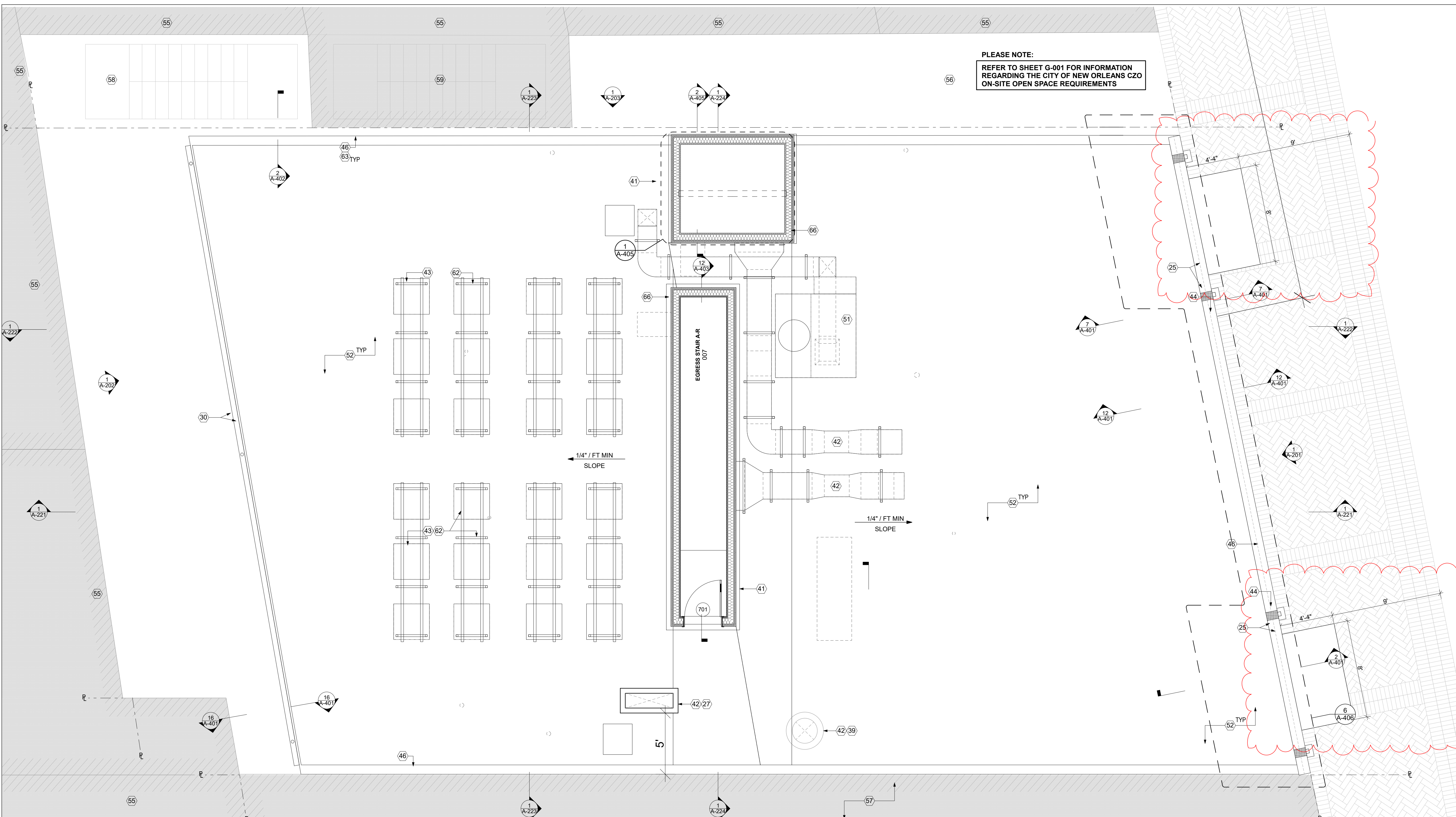
THESE DOCUMENTS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION, AND THEY COMPLY WITH ALL CITY REQUIREMENTS

SHEET TITLE

**SITE PLAN / ROOF PLAN**

**A-103**

PLEASE NOTE:  
REFER TO SHEET G-001 FOR INFORMATION REGARDING THE CITY OF NEW ORLEANS CZO ON-SITE OPEN SPACE REQUIREMENTS



GENERAL NOTES

- CONTRACTOR SHALL REFER TO ALL GENERAL NOTES SHEET G-001.
- ALL DIMENSIONS ILLUSTRATED ARE TO THE FINISH FACE OF WALL.
- ALL CMU AND GROUT MATERIALS TO BE WATER RESISTIVE
- REFER TO SHEETS A-610 FOR ALL FINISH SCHEDULE AND LEGEND INFORMATION.
- ALL PENETRATIONS SHALL BE WATERPROOFED PER MANUFACTURER'S SPECIFICATIONS
- SEE SHEET A-601 FOR ALL PARTITION ASSEMBLY INFORMATION.
- CONTRACTOR SHALL REFER TO SHEET ILLUSTRATING TYPICAL ACOUSTIC DETAILS AND REQUIREMENTS AT ALL SOUND RATED CONSTRUCTION. CONTRACTOR SHALL INSTALL ACOUSTIC PROTECTIVES ILLUSTRATED AS REQUIRED AT ALL ACOUSTICALLY SENSITIVE ASSEMBLIES AND AREA AND AS REQUIRED TO MAINTAIN CODE MANDATED ACOUSTIC REQUIREMENTS AS PER IBC 1207.
- FOR ALL PENETRATIONS IN RATED ASSEMBLIES (INCLUDING FLOORS, WALLS, ROOFS, OR OTHER) CONTRACTOR SHALL BE REQUIRED TO INSTALL UL RATED AND LABELED FIRESTOPPING MATERIALS AND/OR COMPONENTS AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE PENETRATED CONSTRUCTION.
- REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL ROOFTOP EQUIPMENT AND PENETRATION INFO / LOCATIONS / COORDINATION
- ADJ. EXIST' MASONRY STAIRWELL ENCLOSURE TO REMAIN. CONTRACTOR TO PROTECT DURING DEMO/CONSTRUCTION & CONSTRUCT TEMPORARY WALL ASSEMBLY CONSISTING OF FIRE RTD MATERIALS DURING CONSTRUCTION OF NEW BUILDING TO ENCLOSE SOUTHERN SIDE.

**1 ROOF / SITE PLAN**  
SCALE: 1/4" = 1'-0"

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| <ol style="list-style-type: none"> <li>STRUCTURAL STEEL COLUMN</li> <li>LOCATE ACCESS CONTROL PANEL</li> <li>RECESSED ANODIZED ALUMINUM MAILBOXES BY FLORENCE MANUFACTURING. INSTALLED PER MANUFACTURER SPECIFICATIONS. TYP.</li> <li>SEE INTERIOR ELEVATIONS AND DETAILS REGARDING ENTRY WALL DESIGN.</li> <li>NEW 8' HIGH IRON PICKET FENCE</li> <li>STEEL PAN/CONCRETE STAIR UNIT. SEE SHEET A-403 FOR STAIR DETAILS</li> <li>EXIST' ROLL-OVER CURB</li> <li>SLAB OPENING AT TRASH CHUTE. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION</li> <li>PARKING LOT STRIPING AND INDICATORS TO BE WHITE KYLON REFLECTIVE TRAFFIC PAINT TYP. SEE SPECIFICATIONS</li> <li>PAINTED CONCRETE WHEEL STOPS ANCHORED TO PARKING LOT CONCRETE SURFACE</li> </ol> | <ol style="list-style-type: none"> <li>PROPOSED GENERATOR -SIZE TBD TO BE ENCLOSED WITHIN A 2HR ASSY AS PER SFM HATCHED AREA INDICATES EXISTING ADJACENT BUILDING</li> <li>FIRE PUMP / DOMESTIC WATER BOOSTER PUMP- SEE MECHANICAL DRAWINGS</li> <li>CONCRETE ENCASUREMENT AT COLUMNS TYP.- REFER TO STRUCTURAL DWGS</li> <li>WASHER AND DRYER- SEE EQUIPMENT SCHEDULE</li> <li>PREFABRICATED ENTRY CANOPY ASSEMBLY</li> <li>DASHED LINE INDICATES SOFFIT ABOVE</li> <li>CARRIAGE TYPE GARAGE DOOR-SEE DOOR SCHEDULE</li> <li>HOSE VALVE / CABINET</li> <li>STANDPIPE VALVE - SEE MECHANICAL DWGS</li> <li>CONTRACTOR TO PACK PIPE CAVITY WITH ROCK-WOL INSULATION TYP. AS REQUIRED FOR ACOUSTIC ABATEMENT</li> <li>SPRINKLER MAIN &amp; WET/DRY STAND PIPE. SEE SPRINKLER DRAWINGS</li> </ol> | <ol style="list-style-type: none"> <li>TYPICAL ALL SHAFT LOCATIONS - PROVIDE PARTITION TYPE 62 SEE ADDITIONAL TYPICAL DETAILS ON PARTITION TYPES SHEET A-601</li> <li>COORDINATE ALL SLAB PENETRATIONS WITH MECHANICAL DUCT REQUIREMENTS AT DESIGNATED SHAFT AREA</li> <li>DASHED LINE INDICATES INTEGRATED GUTTER AND DOWNSPOUTS</li> <li>FIRE RATING SHALL BE MAINTAINED @ UNDERSIDE OF STAIRS</li> <li>MECHANICAL SHAFT</li> <li>SEE 14/A-502 FOR TYPICAL CLOSET DETAIL</li> <li>GUTTER AND DOWNSPOUTS</li> <li>EXTERIOR PATIO PARTITION AZEK AND TUBE STEEL. SEE DETAILS FOR ADDITIONAL INFORMATION</li> <li>(5) 22" DEEP BUILT IN WOOD SHELVES, PAINTED COLOR TBD.</li> </ol> | <ol style="list-style-type: none"> <li>AHU WITH WATER HEATER LOCATED BELOW AT RETURN PLENUM- SEE MECH. DWGS</li> <li>KITCHEN CABINETRY. SEE INTERIOR ELEVATIONS A-302 &amp; MILLWORK DTLs</li> <li>BUILT IN SHOWER INSTALLATION w/ SCHLUTER SHOWER SYS. &amp; SCHEDULED TILE FINISH TYP.</li> <li>PROVIDE CURTAIN ROD @ SHOWER TYP.</li> <li>DASHED LINE INDICATED WALL MTD AND COATED WIRE SHELVING</li> <li>PANTRY OR STORAGE COATED WIRE SHELVING</li> <li>TRASH CHUTE VENT SHAFT. TO EXTEND VERTICALLY 4' ABOVE T.O. ROOF</li> <li>TRASH RM VENT SHAFT. SEE MECHANICAL TBD EMB</li> <li>STUCCO FINISH AT ROOFTOP ENCLOSURE</li> <li>ROOFTOP FAN UNIT- SEE MECHANICAL</li> <li>ROOFTOP CONDENSING UNIT &amp; LINE SET PENETRATION- GOOSENECK SHEET MTL ENCLOSURE- SEE ROOF DTLs/MECH DWGS</li> <li>ROOF SCUPPER</li> </ol> | <ol style="list-style-type: none"> <li>VENT PENETRATION SEE PLUMBING / MECHANICAL DRAWING</li> <li>ROOF PARAPET</li> <li>ROOF/BALCONY DRAINAGE TO TIE INTO SUBSURFACE DRAINAGE SYSTEM-SEE MECHANICAL AND CIVIL</li> <li>MECHANICAL ROOF SCREENING TO BE AZEK AND TUBE STEEL (6'-0" HIGH) SEE DTL 2/A-501 FOR ADDITIONAL INFORMATION</li> <li>SECONDARY STORM DRAINAGE DISCHARGE @ GRADE- SEE WALL SECTION</li> <li>EXIST' SIDEWALK- SEE CIVIL DWGS FOR IMPROVEMENTS BASED ON DDD STANDRDS</li> <li>NEW OAU SEE MECHANICAL DRAWINGS</li> <li>60 MIL JOHNS MANVILLE TPO ROOFING @ ROOF DECK AND PENTHOUSES- SEE DETAILS</li> <li>STAND PIPE VALVE WITH PRESSURE REGULATOR-SEE PLUMBING DRAWINGS</li> <li>SECONDARY DRAINAGE SCUPPER</li> <li>EXISTING ADJACENT 3-STORY STRUCTURE</li> </ol> | <ol style="list-style-type: none"> <li>EXISTING ALLEYWAY &amp; MECH. EQUIP. FOR OTHERS</li> <li>EXISTING 6-STORY STRUCTURE- CAMBRIA SUITES</li> <li>EXISTING STAIR SERVICING ADJACENT PROPERTY</li> <li>ADJACENT EXIST' MASONRY STAIRWELL ENCLOSURE TO REMAIN- CONTRACTOR TO MAKE PROVISIONS TO PROTECT DURING CONSTRUCTION- SEE GENERAL NOTE #10</li> <li>48" HIGH GUARD RAIL. FABRICATE POSTS AND TOP RAIL FROM 2" TUBE STEEL MATERIALS. ALL STEEL TO BE GALVANIZED OR PAINTED WITH TNEMIC PAINT. CONTRACTOR TO PROVIDE CABLE GUARDS OR 6" AZEK DECK GUARD. UTILIZE FLANGED BASE CONNECTION AT POSTS WITH EPOXY ANCHORS TO ROOF DECK. PROVIDE FLUID FLASHING AT POST BASE. SEE DTL 4/A-501</li> <li>NOT USED</li> <li>CONDENSING UNIT DUNNAGE THRU-BOLTED TO ROOF DECK</li> <li>KYNAR COATED CAP FLASHING AT PARAPET- REAR AND SIDE WALLS- SEE ROOF DETAILS</li> </ol> | <ol style="list-style-type: none"> <li>STAIRWELL PRESSURIZATION FANS- SEE MECHANICAL DRAWINGS</li> <li>ELEVATOR HOISTWAY SMOKE VENT- SEE MECHANICAL DRAWINGS</li> <li>LOCATE HOSE BIBB- REFER TO PLUMBING DRAWINGS</li> <li>LOCATE SIAMESE FIRE DEPARTMENT CONNECTION- SEE PLUMBING DRAWINGS</li> <li>PROVIDE FLOOR DRAIN / CATCH BASIN- SEE PLUMBING DRAWINGS</li> <li>PROVIDE GREASE INTERCEPTOR SERVING ELEVATOR SUMP PUMP- SEE PLUMBING DWGS</li> <li>FLOOR DRAIN SERVICING GARAGE AND STORM DRAINAGE-SEE PLUMBING &amp; CIVIL DWGS</li> <li>TUBE STEEL COLUMN ASSEMBLY- SEE STAIR DETAILS</li> <li>1 1/2 HR RATED DOOR WITH CLOSER LATCH SET @ ELEVATOR ON MAGNETIC HOLD OPEN FOR EMERGENCY SHAFT PROTECTION- TIED TO FIRE ALARM SYSTEM</li> <li>LOCATE ELEVATOR BUTTON PANEL</li> </ol> | <ol style="list-style-type: none"> <li>1 HR RATED DOOR WITH CLOSER LATCH SET @ CORRIDOR ON MAGNETIC HOLD OPEN- TIED TO FIRE ALARM SYSTEM</li> <li>BOX PLANTER</li> <li>NEW PARTIAL HT MASONRY WALL- SEE MECHANICAL DRAWINGS</li> <li>DASHED LINE INDICATES JULIET BALCONY ABOVE</li> <li>NEW HANDRAIL; SEE 9/A-404</li> <li>FRONT BALCONY RAILING ASSEMBLY-SEE 2/A-401 FOR DETAILS</li> <li>PARTIAL HT WALL RAILING ASSEMBLY AT FLOOR 2 BALCONY-SEE 2/A-401 FOR DETAILS</li> <li>CONCRETE MANHOLE FOR GREASE INTERCEPTOR- SEE PLUMBING DWGS</li> <li>ELECTRICAL PANEL- SEE ELECTRICAL DWGS</li> <li>LOCATE HOUSE PANEL &amp; MAIN SWITCHBOARD - SEE ELECTRICAL DWGS</li> <li>ADJACENT EXIST' MASONRY STAIRWELL ENCLOSURE WALLS ABOVE</li> <li>THRU WALL DRAIN. SEE BALCONY DETAILS</li> </ol> |
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