

1 SK01 SITE PLAN - PARKING VARIANCE  
1" = 20'-0"



Warren Easton 9th Grade Annex

3026 Canal St  
NEW ORLEANS, LA 70118

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DATE	ISSUED FOR

REVISIONS


NOT FOR CONSTRUCTION  
50% CD

MA Project No: 20076

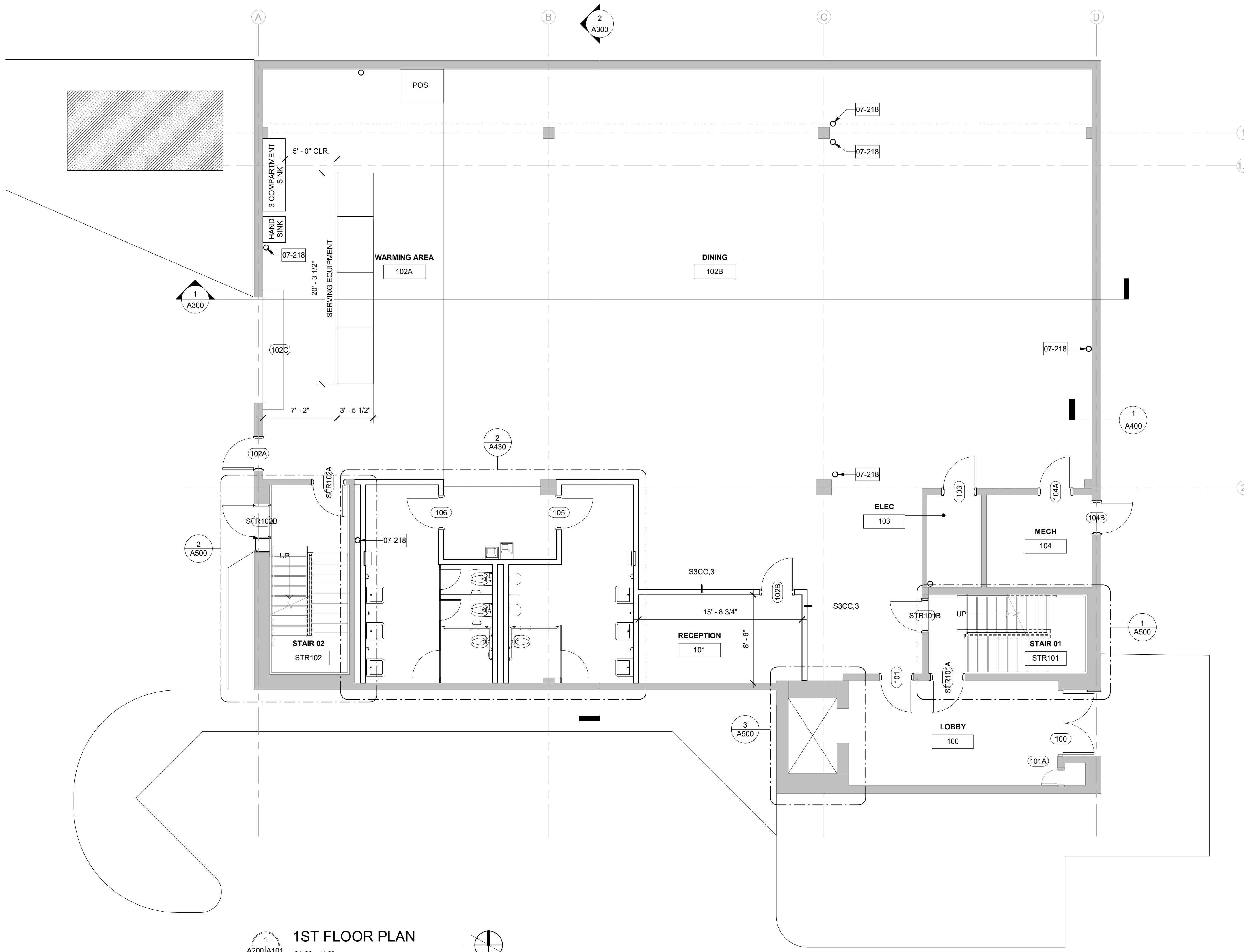
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Sheet Name:  
STE PLAN - PARKING  
VARIANCE

Sheet No:

SK01



1  
A200/A101 3/16" = 1'-0"  
1ST FLOOR PLAN

FLOOR PLAN  
GENERAL NOTES:

1. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OR WALL PARTITIONS UNLESS OTHERWISE NOTED.

KEYNOTES

07-218 ROOF DRAIN

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL; RE: PARTITION TYPES



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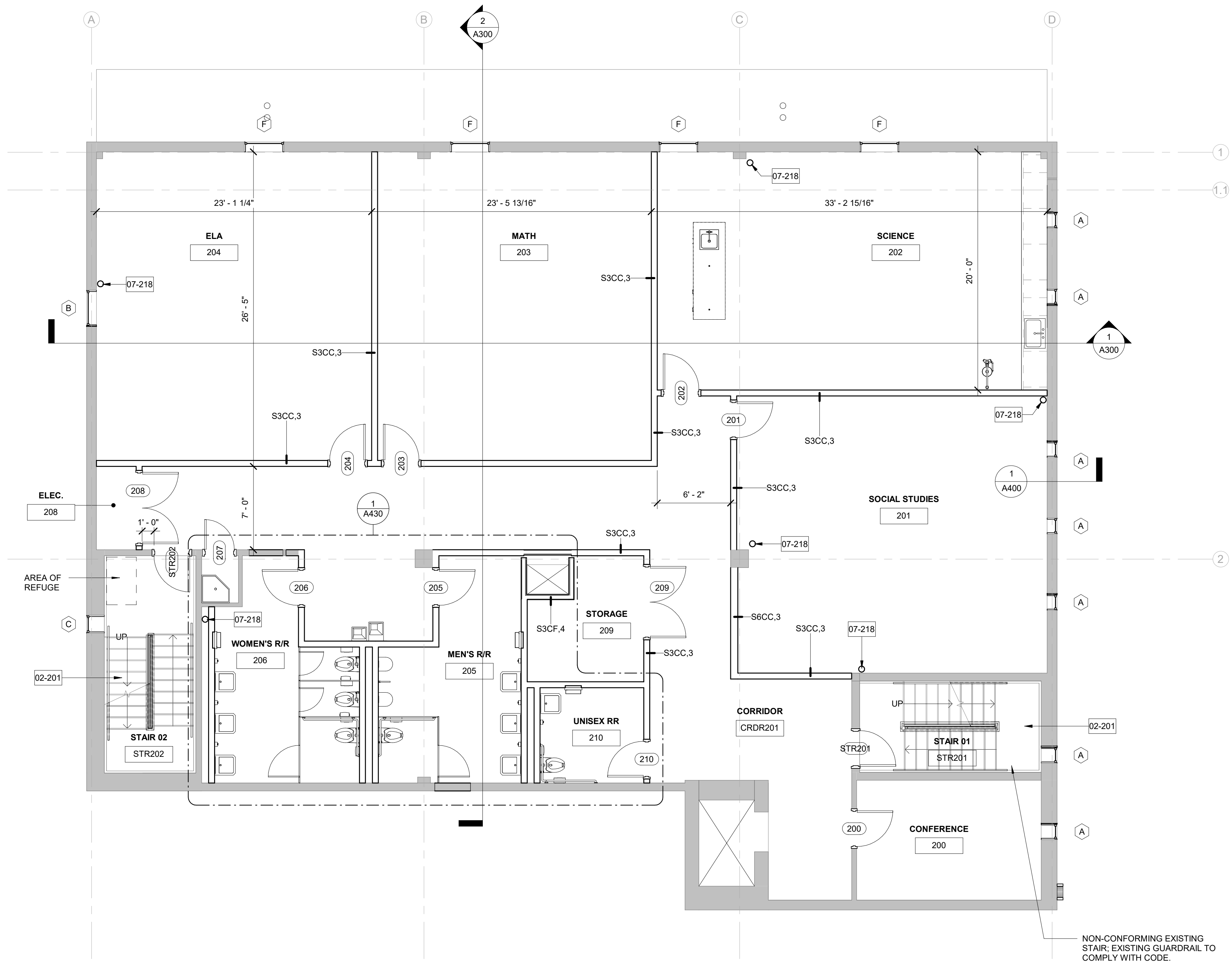
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 1ST FLOOR PLAN

Sheet No:  
**A101**



1  
A200/A102  
**2ND FLOOR PLAN**  
3/16" = 1'-0"

**FLOOR PLAN  
GENERAL NOTES:**

- ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OR WALL PARTITIONS UNLESS OTHERWISE NOTED.

**KEYNOTES**

- 02-201 EXISTING, NON-CONFORMING STEEL STAIR TO REMAIN PER STATE FIRE MARSHALL VISUAL INSPECTION ON 02/24/2021
- 07-218 ROOF DRAIN

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL; RE: PARTITION TYPES



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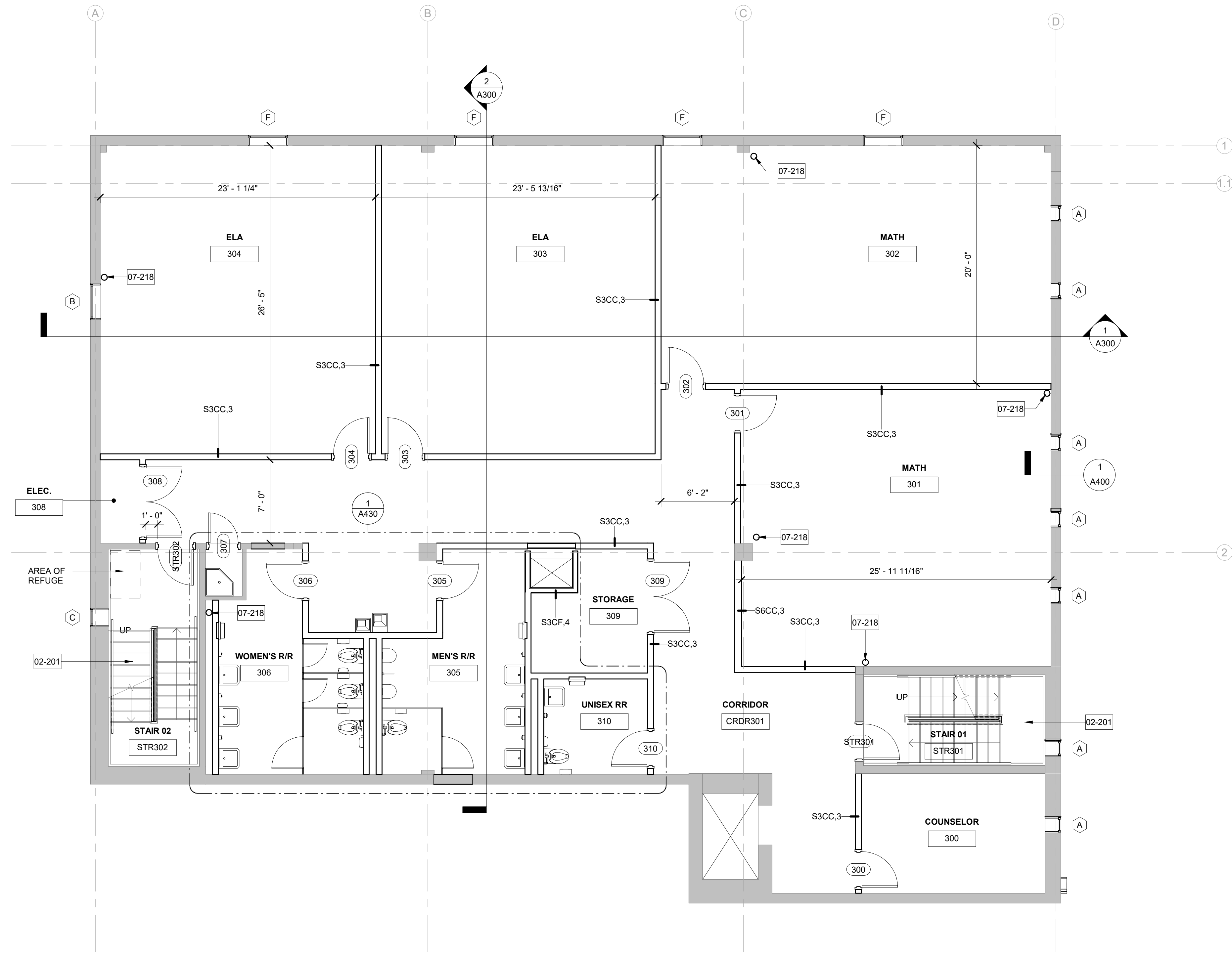
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2ND FLOOR PLAN

Sheet No:  
**A102**



1  
A200 | A103  
3RD FLOOR PLAN  
3/16" = 1'-0"

**FLOOR PLAN  
GENERAL NOTES:**

- ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OR WALL PARTITIONS UNLESS OTHERWISE NOTED.

**KEYNOTES**

- 02-201 EXISTING, NON-CONFORMING STEEL STAIR TO REMAIN PER STATE FIRE MARSHALL VISUAL INSPECTION ON 02/24/2021
- 07-218 ROOF DRAIN

**WALL LEGEND**

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- - - - EXISTING WALL TO BE DEMOLISHED
- ==== NEW WALL; RE: PARTITION TYPES



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Annex**

3026 Canal St  
NEW ORLEANS, LA 70118

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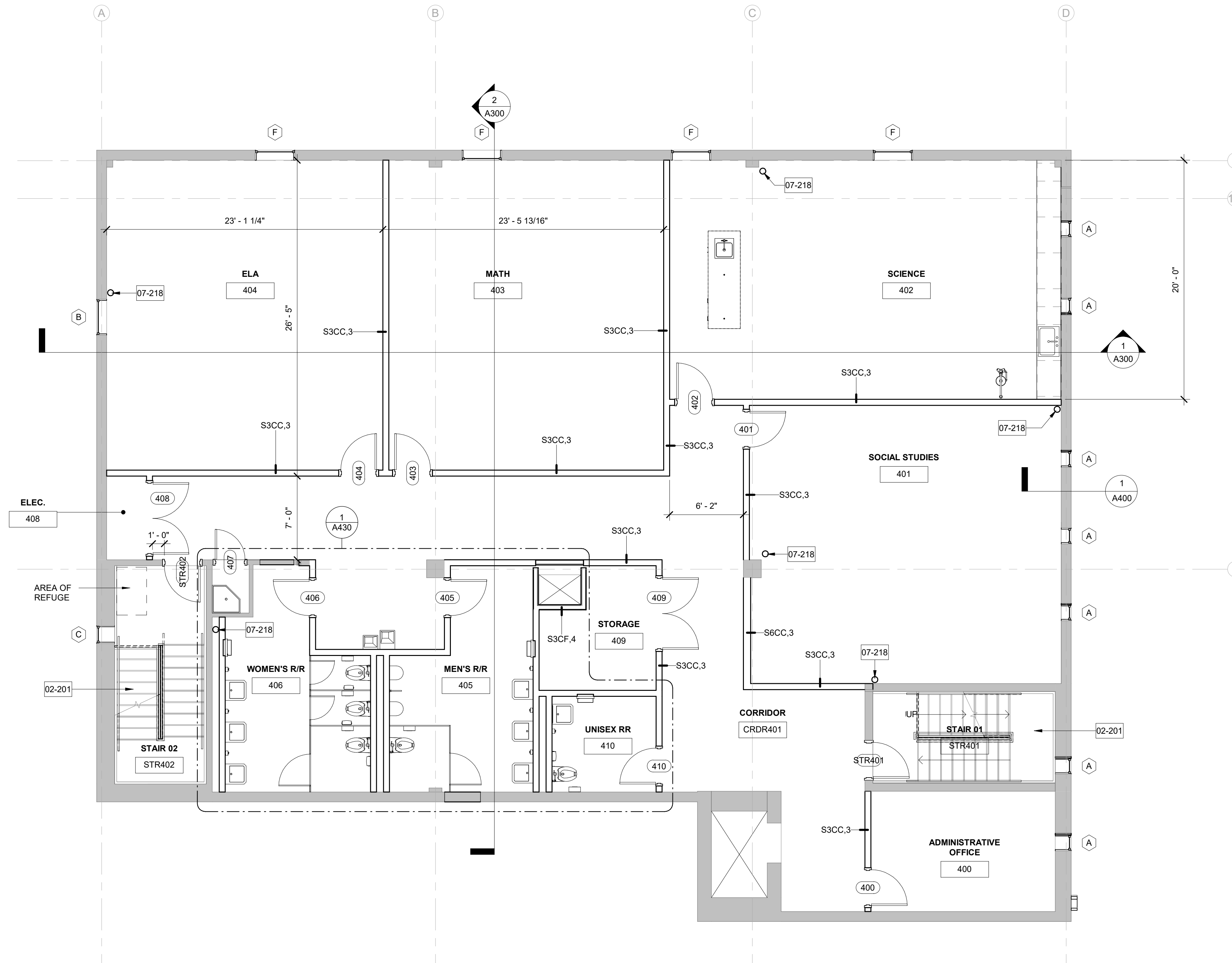
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 3RD FLOOR PLAN

Sheet No:  
**A103**



1  
A200/A104 4TH FLOOR PLAN 3/16" = 1'-0"

**FLOOR PLAN GENERAL NOTES:**

1. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OR WALL PARTITIONS UNLESS OTHERWISE NOTED.

**KEYNOTES**

- 02-201 EXISTING, NON-CONFORMING STEEL STAIR TO REMAIN PER STATE FIRE MARSHALL VISUAL INSPECTION ON 02/24/2021
- 07-218 ROOF DRAIN

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- - - - EXISTING WALL TO BE DEMOLISHED
- ==== NEW WALL; RE: PARTITION TYPES



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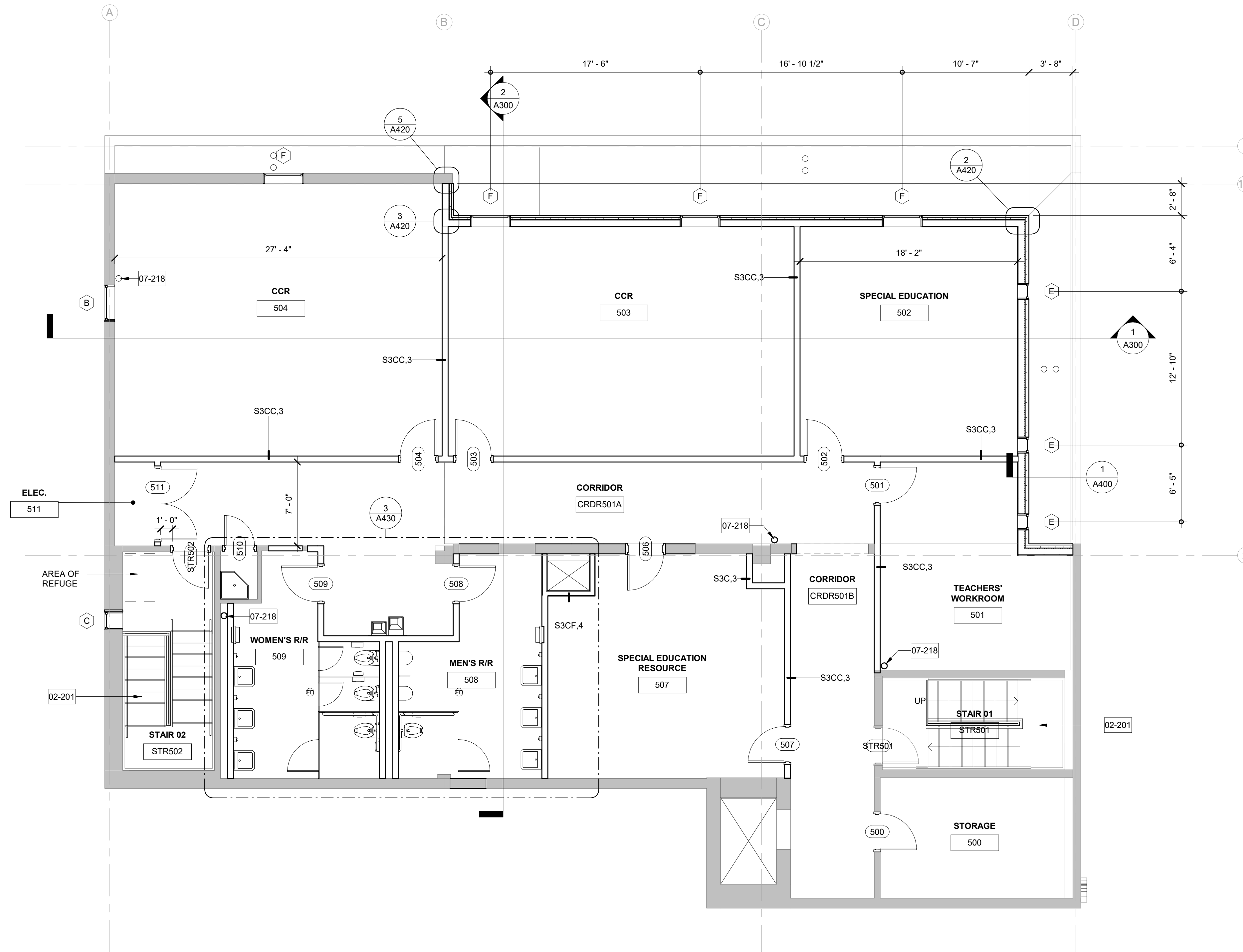
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4TH FLOOR PLAN

Sheet No:  
**A104**



**5TH FLOOR PLAN**  
 1  
 A200/A105 3/16" = 1'-0"

**FLOOR PLAN GENERAL NOTES:**

- 1. ALL DIMENSIONS SHOWN ARE TO FINISHED FACE OR WALL PARTITIONS UNLESS OTHERWISE NOTED.

**KEYNOTES**

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- 07-218 ROOF DRAIN

**WALL LEGEND**

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE DEMOLISHED
- NEW WALL; RE: PARTITION TYPES



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 3026 Canal St  
 NEW ORLEANS, LA 70118

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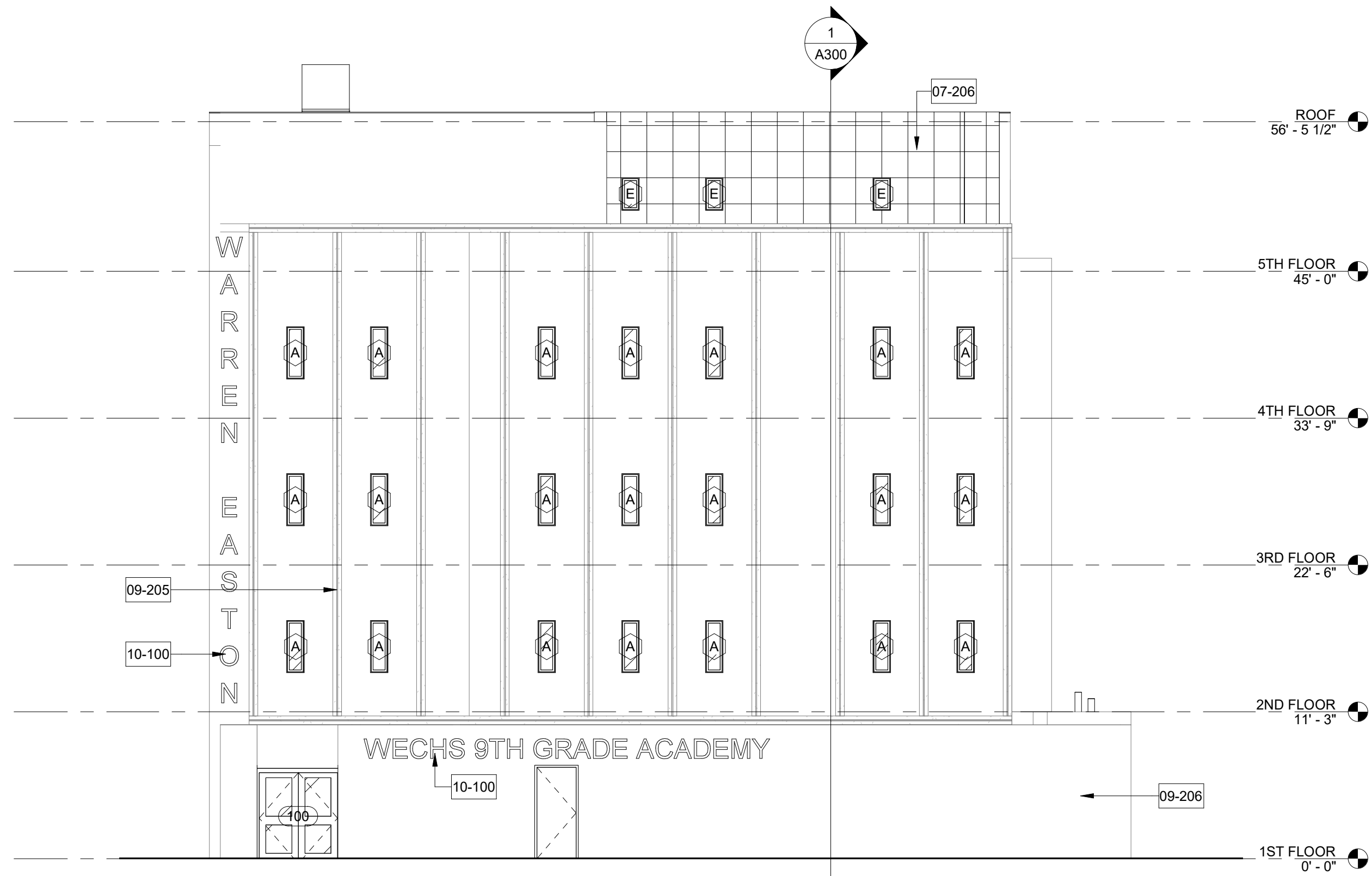
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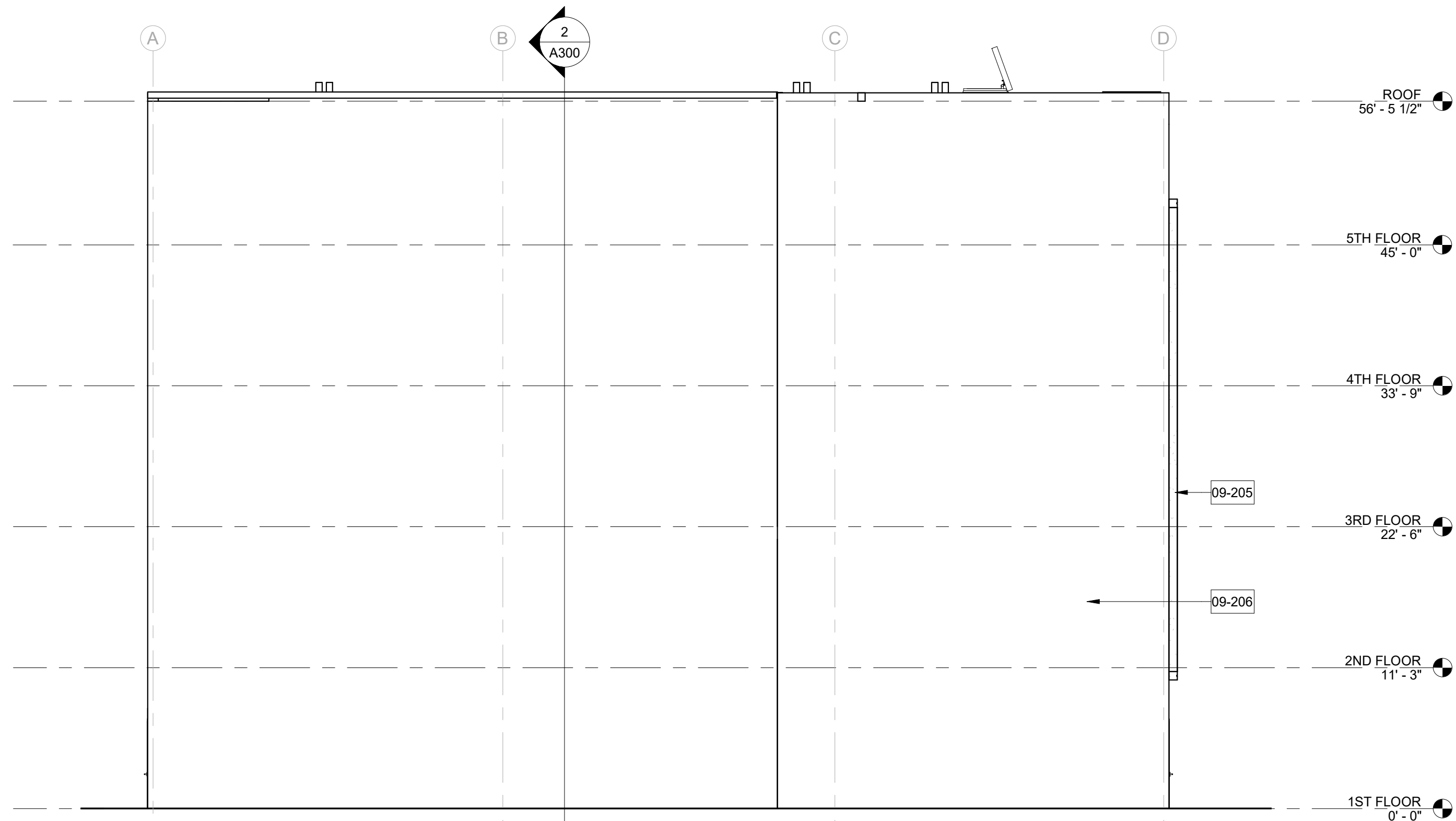


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 5TH FLOOR PLAN

Sheet No:  
**A105**



2  
A200 1/8" = 1'-0"



1  
A200 1/8" = 1'-0"

KEYNOTE SCHEDULE

07-206	ACM WALL PANEL SYSTEM
09-205	FOLLOWING CLEANING OF STAINING AND WEATHERING TO CONCRETE PILASTERS, APPLY CLEAR CONCRETE SEALANT TO INHIBIT FUTURE STAINING AND WEATHERING.
09-206	FOLLOWING CLEANING AND PREP OF CMU FACADE, APPLY NEW FINISH COATING; REFER TO FINISH SCHEDULE
10-100	18" TALL, 2" THICK, FABRICATED ALUMINUM DIMENSIONAL LETTERING; PAINTED W/ HALO ILLUMINATION, STUD MOUNTED FOR STAND OFF ATTACHMENT. REFER TO FINISH SCHEDULE FOR COLOR SELECTION. BOD - ASI EXTERIOR DIMENSIONAL FABRICATED METAL LETTERS

**MANNING**  
Architecture Interiors Planning



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 BUILDING ELEVATIONS

Sheet No:  
**A200**

KEYNOTE SCHEDULE

07-206	ACM WALL PANEL SYSTEM
09-206	FOLLOWING CLEANING AND PREP OF CMU FACADE, APPLY NEW FINISH COATING; REFER TO FINISH SCHEDULE

**MANNING**  
Architecture Interiors Planning



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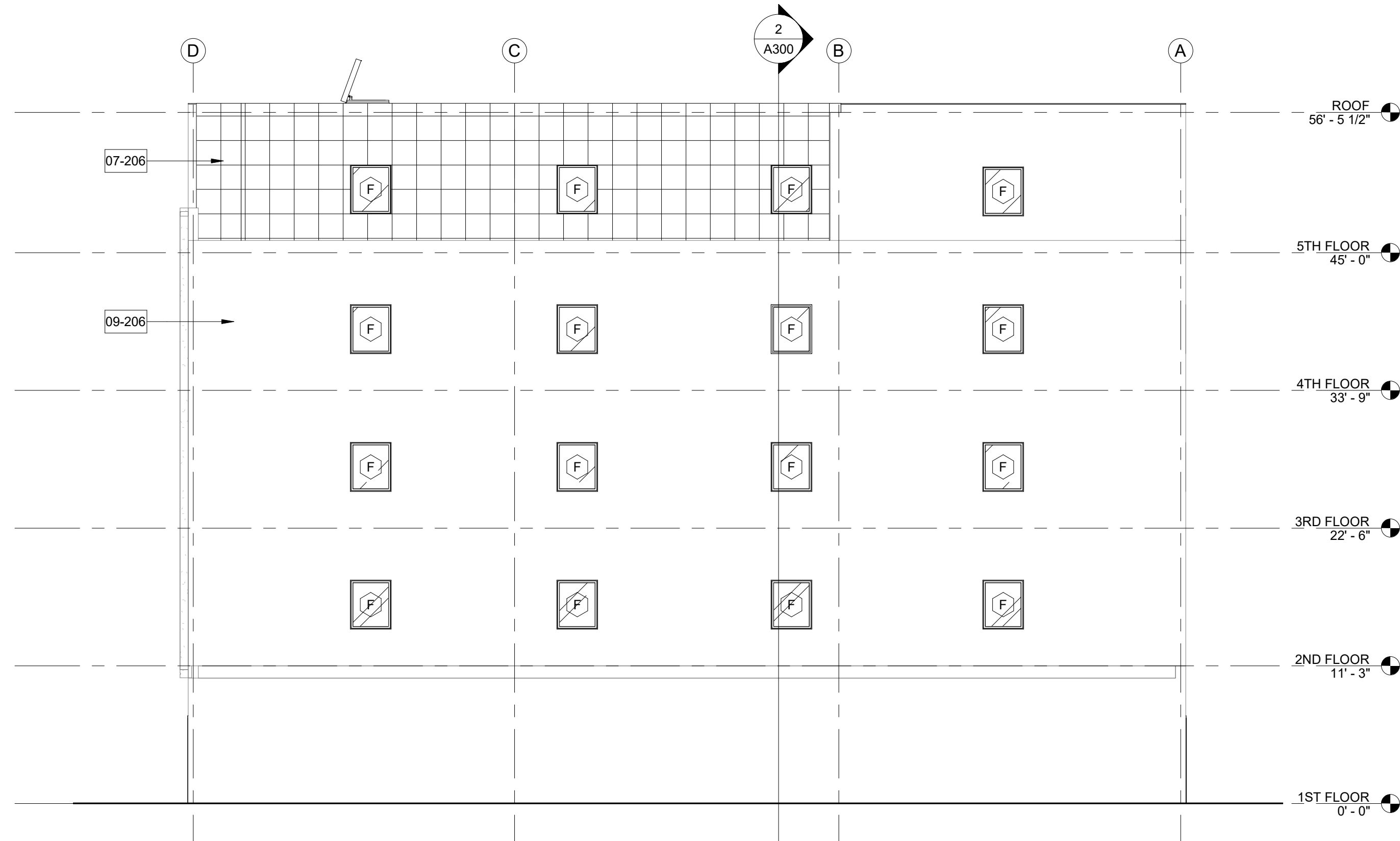
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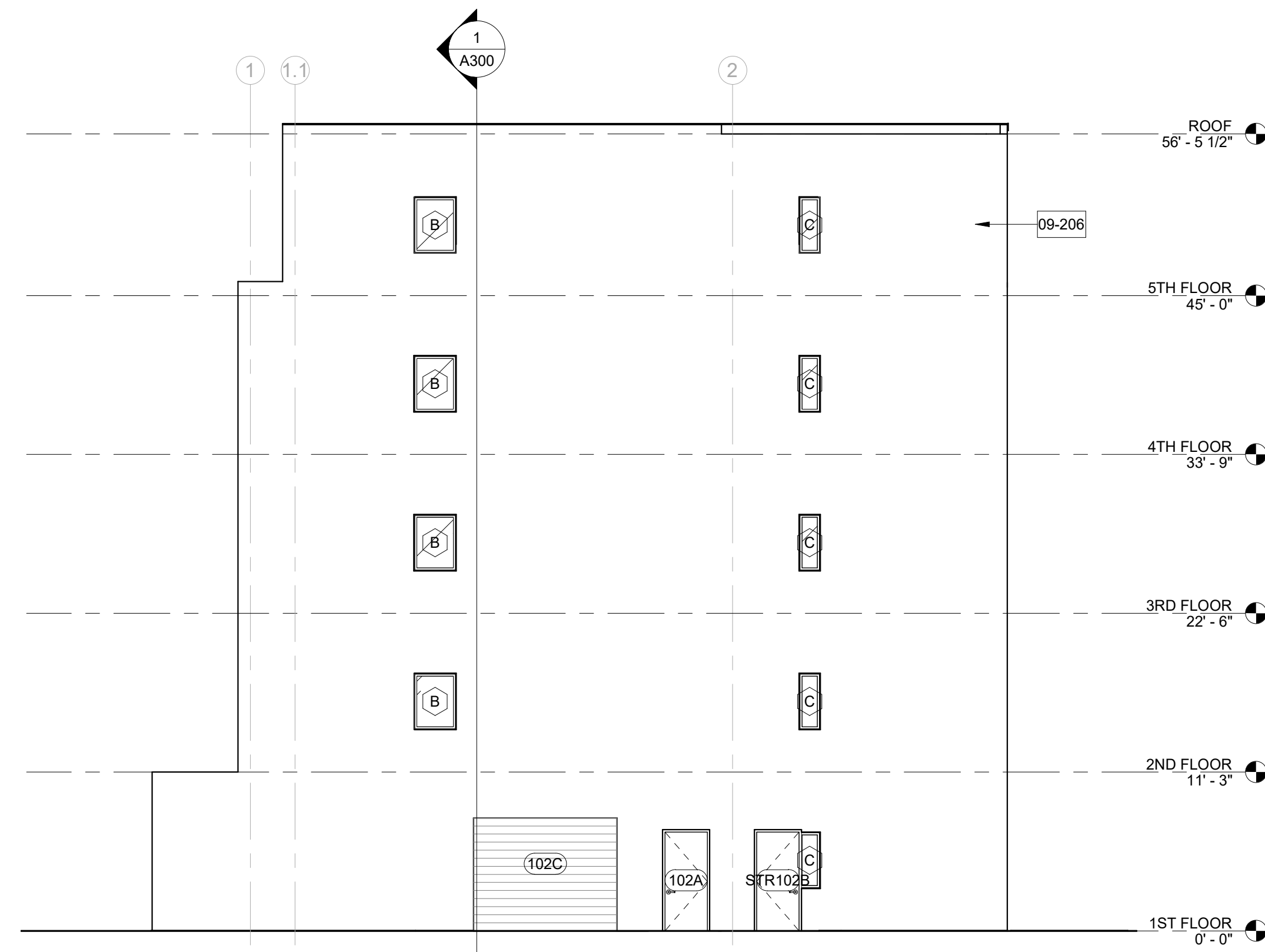
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BUILDING ELEVATIONS

Sheet No:

A201

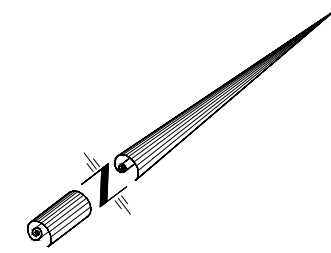


1  
A201  
EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"



2  
A201  
EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

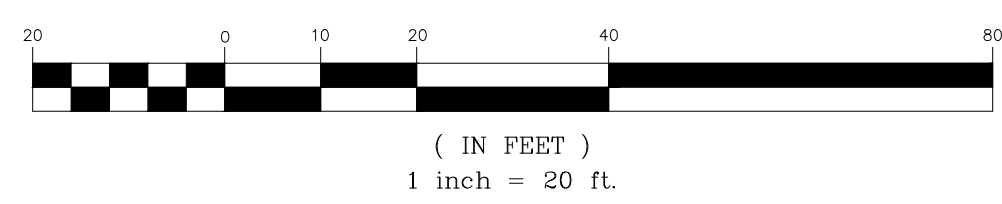




**LEGEND**

- S --- SEWER MANHOLE, SEWER LINE
- W --- WATER MANHOLE, WATER LINE
- D --- DRAIN MANHOLE, DRAIN LINE
- DI --- DRAIN INLET, DRAIN LINE
- G --- GAS MANHOLE, GAS LINE
- UGTEL --- SCB MANHOLE, SCB LINE
- PP --- POWER POLE / OVERHEAD LINES
- ELEC --- ELECTRIC, TELEPHONE, CABLE, TV
- ELEC TOWER --- ELEC TOWER / OVERHEAD LINES
- D --- CULVERT, DRAIN LINE
- CB --- CATCH BASIN
- GM --- GAS METER
- GV --- GAS VALVE
- WM --- WATER METER
- WV --- WATER VALVE
- DC --- DRAIN CLEANOUT
- SC --- SEWER CLEANOUT
- FH --- FIRE HYDRANT
- STLT --- STREET LIGHT
- TRLT --- TRAFFIC LIGHT
- ANCH --- ANCHOR
- SIGN --- SIGN
- GP --- GUARD POST
- EB --- ELECTRIC BOX
- TREE --- TREE
- BUSH --- BUSH
- FENCE --- FENCE

**GRAPHIC SCALE**



**NOTE:**  
 SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY.  
 DIMENSIONS ON SURVEY PREVAL OVER THE SCALE.  
 FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES  
 ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

**ELEVATION NOTES**  
 THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 09/30/2016 FLOOD ZONE: AE  
 BASE FLOOD ELEVATION: -2.0'  
 COMMUNITY PANEL #: 225203 0229 F

REFERENCE BENCH MARK: NGS MARKER ALCO  
 ELEVATION: 5.8'

SITE BENCH MARK:

**GENERAL NOTES**  
 THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

**REFERENCE NOTES**  
 ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1  
 REFERENCE PLAN #1: PLAN OF SURVEY BY F.G. STEWART DATED JANUARY 15, 1959

DATE: MARCH 12, 2021  
 SCALE: 1" = 20'  
 JOB #: 210479

DRAWN BY: NDK  
 CHECKED BY: RWK

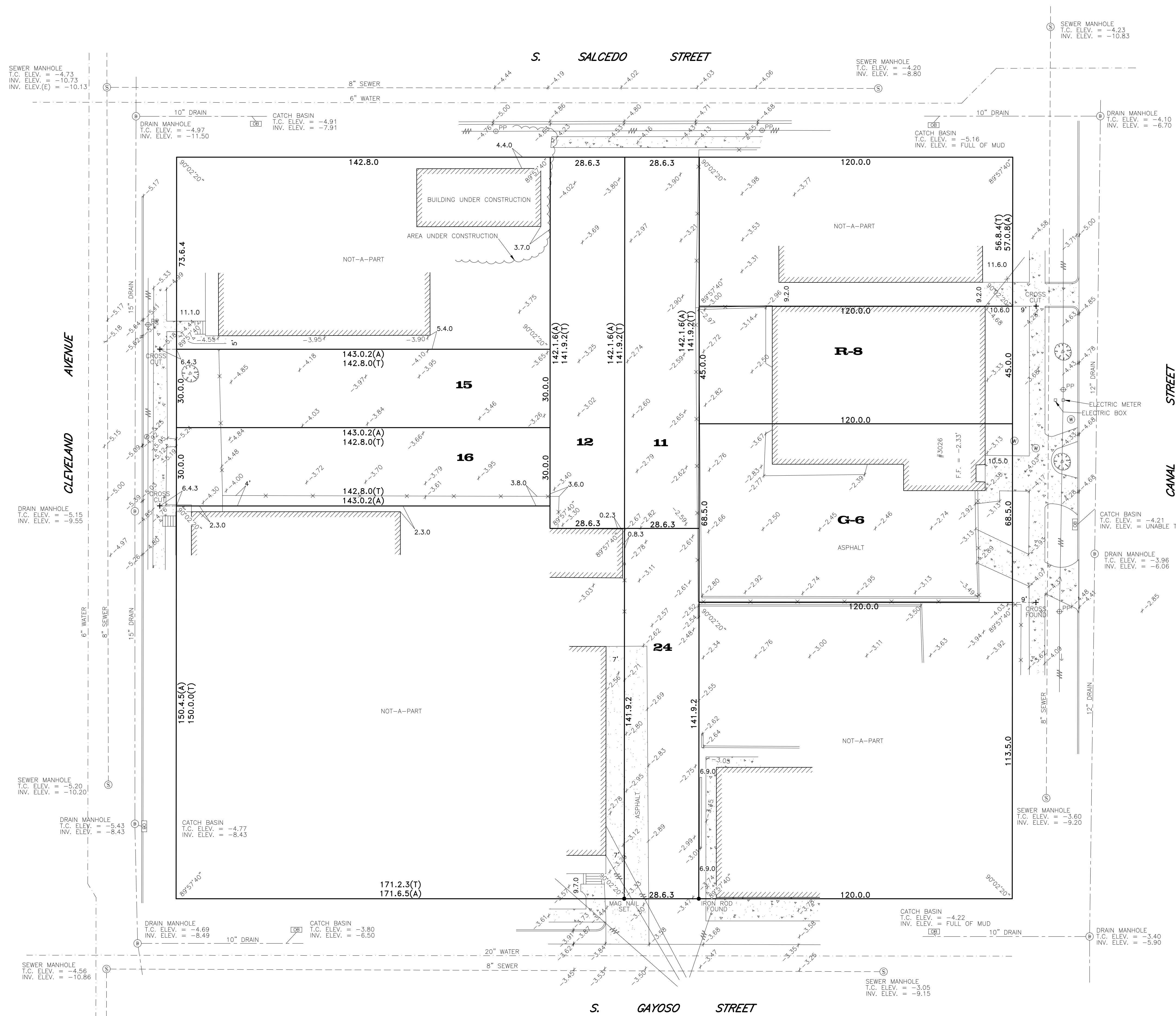
THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:IX, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY

MADE AT THE REQUEST OF THE McDONNELL GROUP, LLC

BY: **PRELIMINARY FOR REVIEW**  
 RICHMOND W. KREBS, SR., PLS. No. 4836

**R.W. KREBS**  
**PROFESSIONAL LAND SURVEYING, LLC**  
**RICHMOND W. KREBS, SR., PLS.**  
 3445 N. CAUSEWAY BLVD, SUITE 201  
 METAIRIE, LA. 70002  
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 E-MAIL: rfonola@rwkrebs.com  
 WEB: www.rwkrebs.com

**BOUNDARY SURVEY OF  
 LOTS G-6, R-8, 11, 12,  
 15, 16 AND 24  
 SQUARE 632  
 FIRST DISTRICT  
 ORLEANS PARISH, LA**



SEWER MANHOLE  
 T.C. ELEV. = -4.73  
 INV. ELEV. = -10.73  
 INV. ELEV.(E) = -10.13

10" DRAIN  
 DRAIN MANHOLE  
 T.C. ELEV. = -4.97  
 INV. ELEV. = -11.50

CATCH BASIN  
 T.C. ELEV. = -4.91  
 INV. ELEV. = -7.91

SEWER MANHOLE  
 T.C. ELEV. = -4.20  
 INV. ELEV. = -8.80

CATCH BASIN  
 T.C. ELEV. = -5.16  
 INV. ELEV. = FULL OF MUD

DRAIN MANHOLE  
 T.C. ELEV. = -4.10  
 INV. ELEV. = -6.70

DRAIN MANHOLE  
 T.C. ELEV. = -5.19  
 INV. ELEV. = -3.55

SEWER MANHOLE  
 T.C. ELEV. = -5.20  
 INV. ELEV. = -10.20

DRAIN MANHOLE  
 T.C. ELEV. = -5.43  
 INV. ELEV. = -8.43

SEWER MANHOLE  
 T.C. ELEV. = -4.56  
 INV. ELEV. = -10.86

CATCH BASIN  
 T.C. ELEV. = -3.80  
 INV. ELEV. = -6.50

CATCH BASIN  
 T.C. ELEV. = -4.22  
 INV. ELEV. = FULL OF MUD

DRAIN MANHOLE  
 T.C. ELEV. = -3.40  
 INV. ELEV. = -5.90

CATCH BASIN  
 T.C. ELEV. = -4.21  
 INV. ELEV. = UNABLE TO OPEN

DRAIN MANHOLE  
 T.C. ELEV. = -3.96  
 INV. ELEV. = -6.06

SEWER MANHOLE  
 T.C. ELEV. = -5.60  
 INV. ELEV. = -9.20