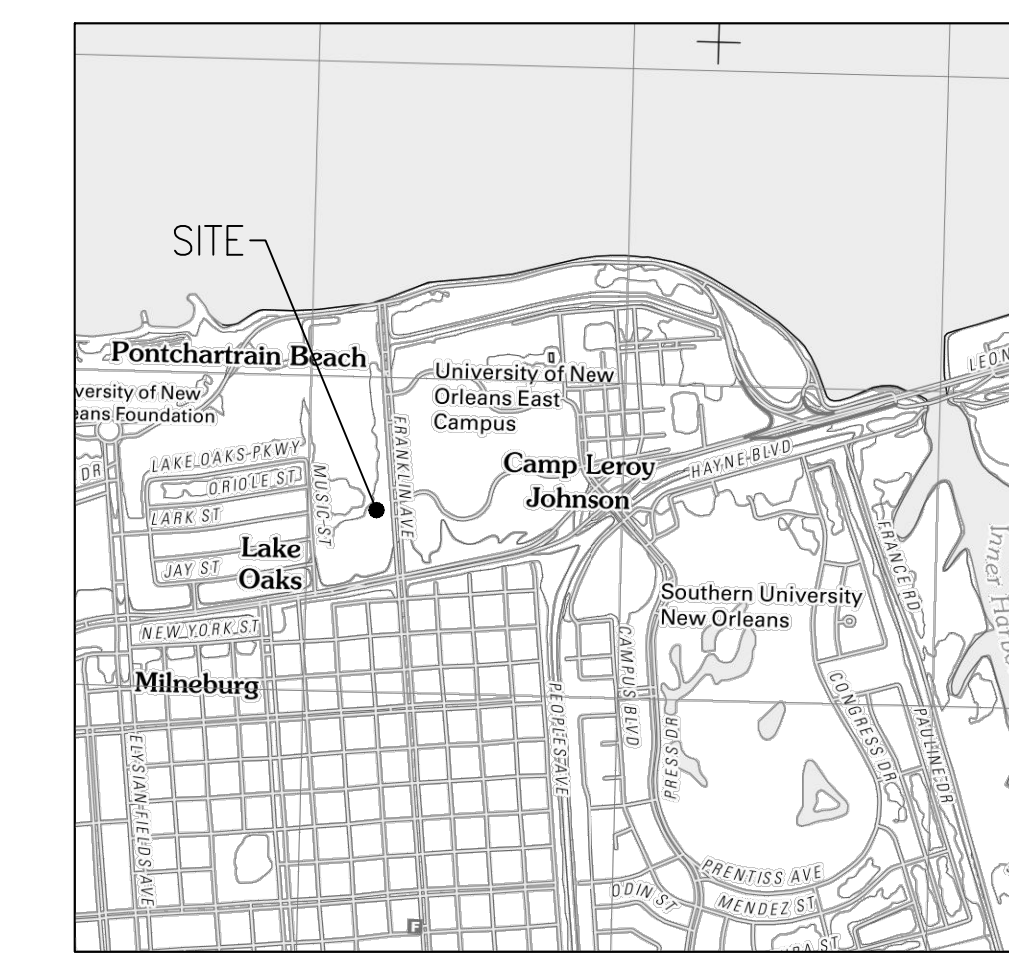


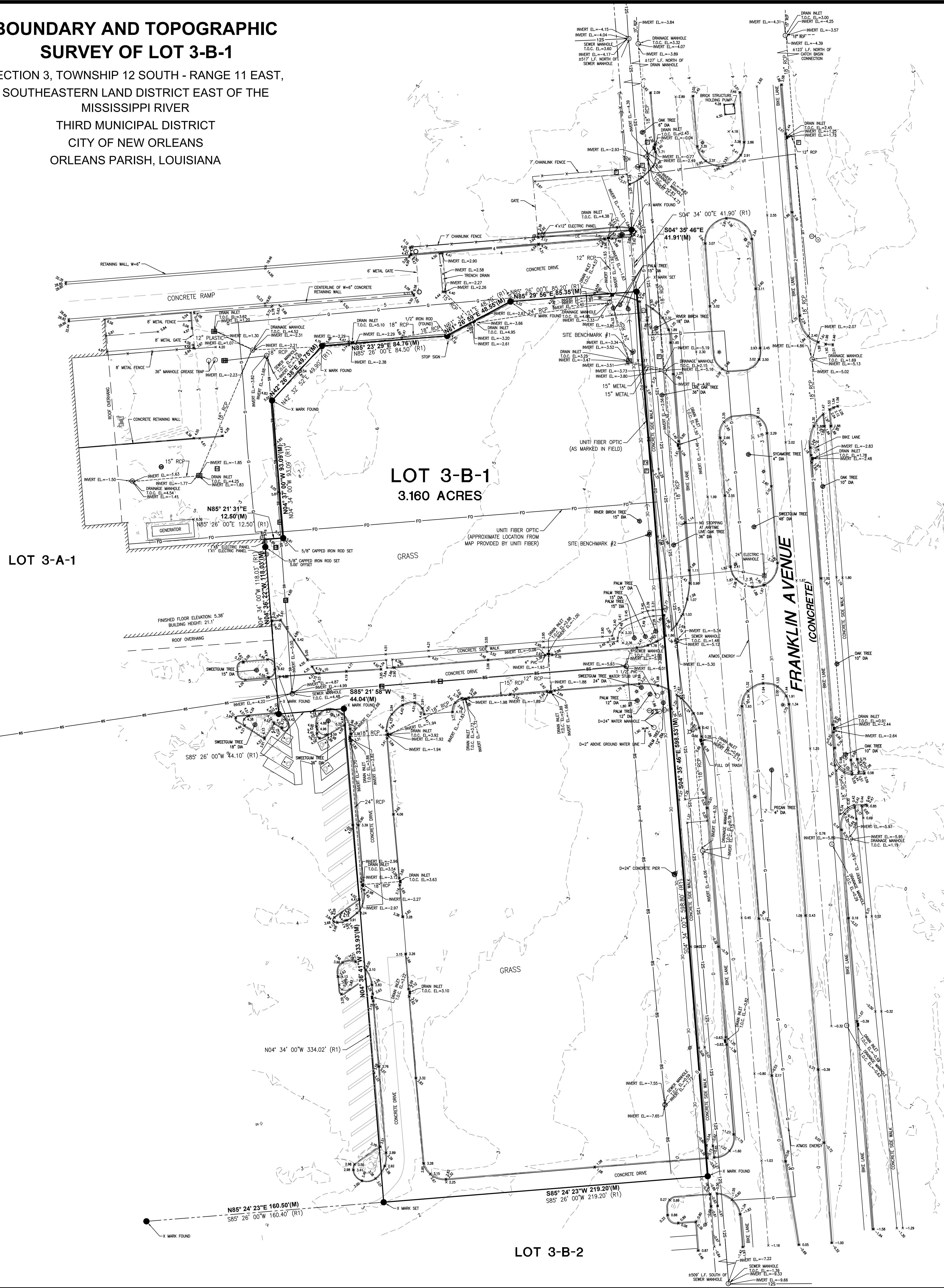
BOUNDARY AND TOPOGRAPHIC SURVEY OF LOT 3-B-1

SECTION 3, TOWNSHIP 12 SOUTH - RANGE 11 EAST,
SOUTHEASTERN LAND DISTRICT EAST OF THE
MISSISSIPPI RIVER
THIRD MUNICIPAL DISTRICT
CITY OF NEW ORLEANS
ORLEANS PARISH, LOUISIANA

NOTES:
MEASURED BEARINGS ARE GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702)
AND 83 AS DERIVED FROM THE LSU C42 RTK NETWORK (2021.3.5).



VICINITY MAP



LOT 3-B-1
3.160 ACRES

LOT 3-A-1

LOT 3-B-2

FRANKLIN AVENUE
(CONCRETE)

- LEGEND**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - GROUND CONTOUR LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - SEWER LINE
 - UNDERGROUND DRAINAGE
 - OVERHEAD ELECTRIC
 - UNDERGROUND TELEPHONE
 - SHRUBBERY BED
 - BARRICADE POST
 - DRAIN INLET
 - CATCH BASIN
 - DRAIN MANHOLE
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - HANDICAP SPOT
 - LIGHTPOLE
 - GUY WIRE ANCHOR
 - POWER DROP
 - POWER ANCHOR BOX
 - POWERPOLE
 - POWER VAULT
 - SEWER CLEANOUT
 - SEWER MANHOLE
 - TELEPHONE CROSS CONNECT BOX
 - WATER MANHOLE
 - WATER METER
 - WATER VALVE

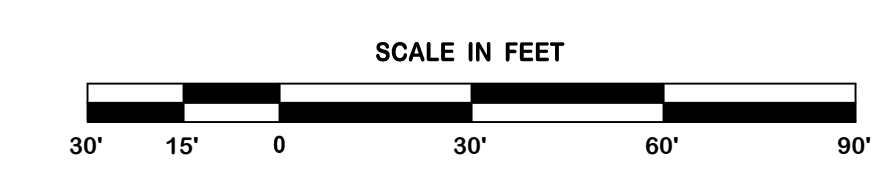
ELEVATION NOTE:
ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 12B) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C42 NETWORK (2021.3.5).
SITE BENCHMARK #1: 600 NAIL SET ON WEST FACE OF POWERPOLE, ±25' WEST OF THE WESTERN BACK OF CURB ON FRANKLIN AVENUE, ±35' SOUTH OF SOUTHERN BACK OF CURB OF INTERSECTION OF ACCESS DRIVEWAY AND FRANKLIN AVENUE ON PROJECT SITE. (SEE DRAWING FOR LOCATION)
ELEVATION: 6.00'
SITE BENCHMARK #1: 600 NAIL SET ON WEST FACE OF POWERPOLE, ±28' WEST OF THE WESTERN BACK OF CURB ON FRANKLIN AVENUE, ±230' SOUTH OF SITE BENCHMARK #1. (SEE DRAWING FOR LOCATION)
ELEVATION: 6.00'

FLOOD ZONE NOTE:
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA:
FLOOD ZONE: "X"
BASE FLOOD ELEVATION: NOT INDICATED
COMMUNITY PANEL NO. 2207100118F
MAP EFFECTIVE: 09/30/2016
(CONTACT CITY OF NEW ORLEANS FOR ADDITIONAL ELEVATION REQUIREMENTS.)

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

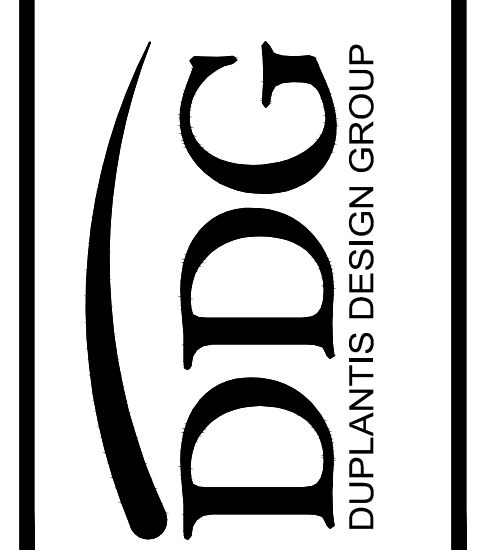
I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "B" SURVEY.
DATE OF SURVEY: 04/28/2021
DENNIS L. GOWN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR
DGG@DDGPC.COM
PRELIMINARY - NOT TO BE USED FOR CONSTRUCTION
BIDDING, RECORDATION, CONVEYANCE, SALES, OR
AS THE BASIS FOR THE ISSUANCE OF A PERMIT.

5/8" IRON RODS SET ARE CAPPED WITH:
DGG
VF 804



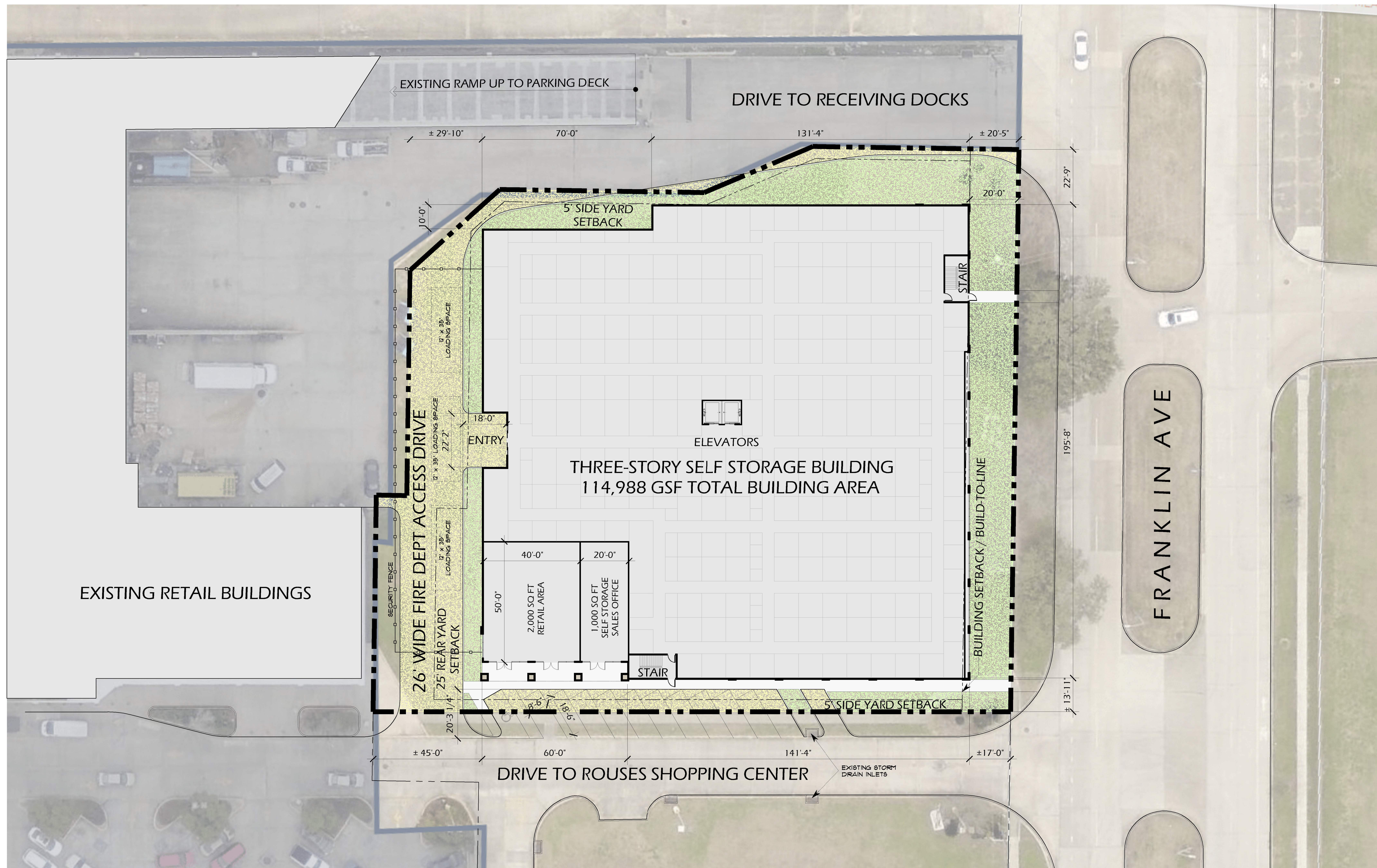
REVISION	BY

DUPLANTIS DESIGN GROUP, PC
SURVEY
16564 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.246.6180 | Fax: 985.246.6190
1308 Camellia Blvd, Suite 200
Lafayette, LA 70506
WWW.DDGPC.COM



BOUNDARY AND TOPOGRAPHIC SURVEY OF LOT 3-B-1
NEW ORLEANS, LOUISIANA
ORLEANS PARISH
FOR:
ARCO/MURRAY

DRAWN
OAK
CHECKED
DLG
PROJECT NO.
21-380
FILE
21-380
SHEET
1-1



PERMEABLE (LAWN) 8,512 SQ FT	SEMI-PERMEABLE PAVEMENT (50%) 7,222 SQ FT (3,611 SQ FT NET)	CONC PAVEMENT (IMPERVIOUS) 2,502 SQ FT	BUILDING (IMPERVIOUS) 38,187 SQ FT
---------------------------------	--	---	---------------------------------------

REQUIRED PARKING

2,000 SQ FT Retail / 500 SQ FT = 4 SPACES
 875 Storage Units / 100 = 9 SPACES
TOTAL PARKING REQUIRED = 13 SPACES

PARKING PROVIDED = 13 SPACES

REQUIRED OPEN SPACE

56,423 SQ FT SITE x 20% PERMEABLE = 11,285 SQ FT REQUIRED
PERMEABLE OPEN AREA PROVIDED = 12,123 SQ FT (21.5 %)

CONCEPTUAL DRAFT ONLY

DISCLAIMER:
 THE PLAN IS BASED ON A PRELIMINARY REVIEW OF ENTITLEMENT REQUIREMENTS AND FOR CONCEPTUAL PURPOSES ONLY. SITE PROPERTY LINES AND/OR EXISTING SITE/BUILDING CONDITIONS WERE DRAWN FROM A SCANNED PDF BACKGROUND AND POSSIBLY INCOMPLETE SITE INFORMATION. GMA ARCHITECTS INC. NOT TO BE HELD ACCOUNTABLE FOR ACCURACY OF DIMENSIONS.

1 PROPOSED SITE CONCEPT
 A 1.0 SCALE: 1" = 20'-0"

CONTRACTOR
ARCO MURRAY
 LEISURE BUILD
 4848 GREENBAY AVE, STE 140
 DALLAS, TX 75206
 (P) 214.377.6691
 WWW.ARCONATIONAL.COM

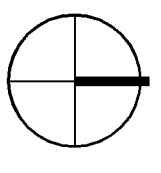
ARCHITECT
GMA ARCHITECTS
 4848 GREENBAY AVE, STE 140
 DALLAS, TX 75206
 (P) 214.377.6691
 WWW.GMA-ARCHITECTS.COM

PROPOSED SELF STORAGE FACILITY FOR:
VERDAD
 6600 FRANKLIN AVENUE
 NEW ORLEANS, LA 70122

REVISIONS

SHEET NUMBER
A 1.0
 SITE CONCEPT

1 FIRST FLOOR UNIT PLAN
 A 1.0 SCALE: 3/32" = 1'-0"



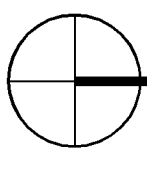
- UNITS WITH-IN 150'-0" TRAVEL DISTANCE TO ELEVATORS
- UNITS WITH-IN 200'-0" TRAVEL DISTANCE TO ELEVATORS



FRANKLIN AVE

<p>SHEET NUMBER A 1.0 FIRST FLOOR PLAN</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%; text-align: center;">1</td> <td style="width: 95%;"></td> </tr> </table>	1		<p>DATE : 06.08.2021 PA : JOB NO : SP8173 GMA ARCHITECTS INC.</p>	<p>PROPOSED SELF STORAGE FACILITY FOR:</p> <p>VERDAD</p> <p>6600 FRANKLIN AVENUE NEW ORLEANS, LA 70122</p>	<p>ARCHITECT</p> <p>GMA ARCHITECTS</p> <p>800 NORTH ROCK HILL ROAD ST. LOUIS, MISSOURI 63119 (P) 314-822-5191 (F) 314-963-0714 WWW.GMA-ARCHITECTS.COM</p>	<p>CONTRACTOR</p> <p>ARCO MURRAY</p> <p>DESIGN BUILD</p> <p>4849 GREENVILLE AVE, STE. 1400 DALLAS, TX 75206 (P) (214) 377-6681 WWW.ARCONATIONAL.COM</p>
1							

1
A.2.0
2nd & 3rd FLOOR UNIT PLANS
SCALE: 3/32" = 1'-0"

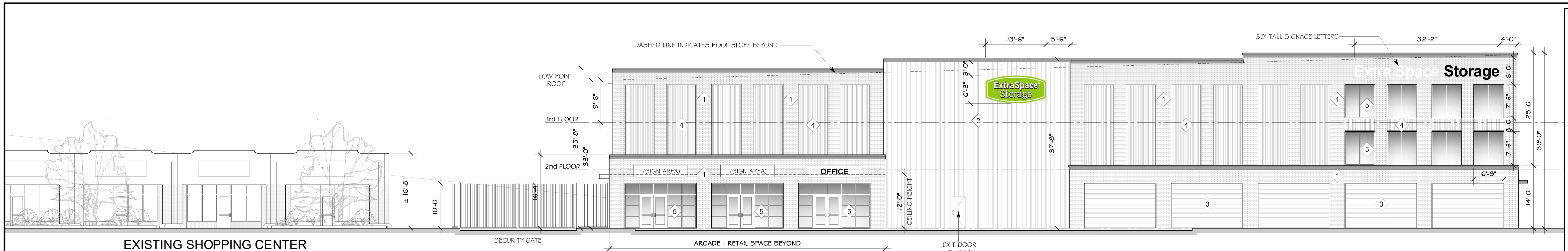


UNITS WITH-IN 150'-0" TRAVEL
DISTANCE TO ELEVATORS

UNITS WITH-IN 200'-0" TRAVEL
DISTANCE TO ELEVATORS



SHEET NUMBER A.2.0 2nd & 3rd FLOOR PLANS	REVISIONS □	DATE : 06.08.2021 PA : JOB NO : SP8173 GMA ARCHITECTS INC.	PROPOSED SELF STORAGE FACILITY FOR: VERDAD 6600 FRANKLIN AVENUE NEW ORLEANS, LA 70122	ARCHITECT GMA ARCHITECTS 800 NORTH ROCK HILL ROAD ST. LOUIS, MISSOURI 63119 (P) 314-822-5191 (F) 314-963-0714 WWW.GMA-ARCHITECTS.COM	CONTRACTOR ARCO MURRAY DESIGN BUILD 4849 GREENVILLE AVE, STE. 1460 DALLAS, TX 75206 (P) (214) 377-6681 WWW.ARCONATIONAL.COM
		GMA ARCHITECTS INC. 1000 PINEAPPLE AVENUE, SUITE 100 HOUSTON, TEXAS 77058 (713) 865-1100 WWW.GMA-ARCHITECTS.COM			



EXISTING SHOPPING CENTER

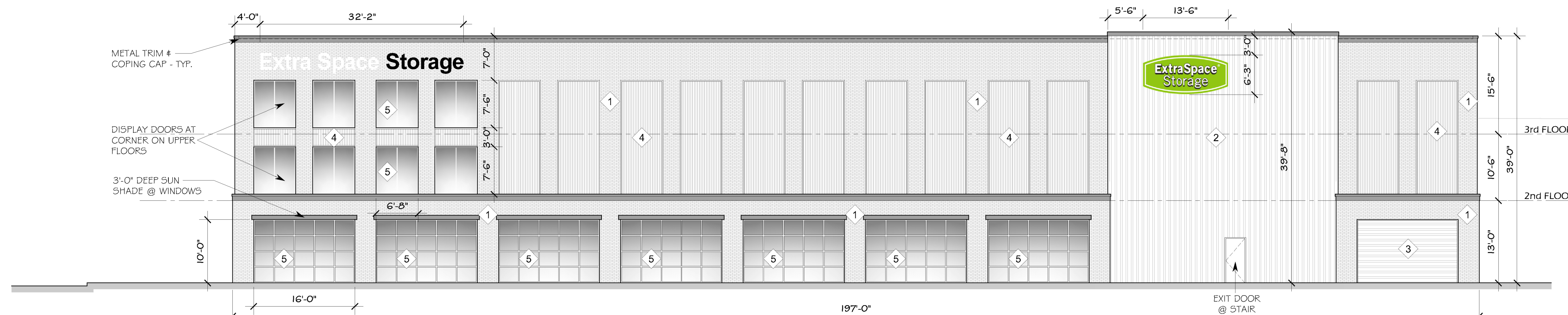
SECURITY GATE

ARCADE - RETAIL SPACE BEYOND

EXIT DOOR @ STAIR

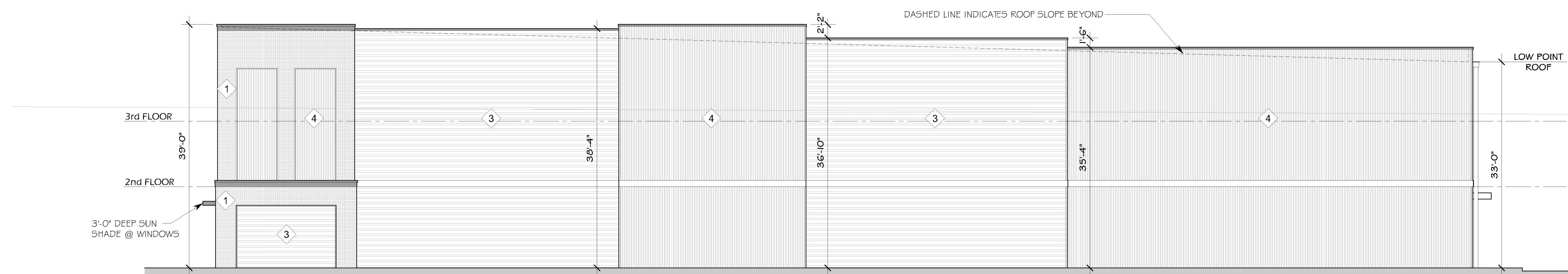
1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

- 1 NICHIIA PLYMOUTH BRICK - CRIMSON
- 2 MBCI - PANEL #1 VERT 7.2 METAL PANELS
- 3 MBCI - PANEL #2 HORIZ 7.2 METAL PANELS
- 4 MBCI - PANEL #3 VERT 7.2 METAL PANELS
- 5 CLEAR VISION GLAZING

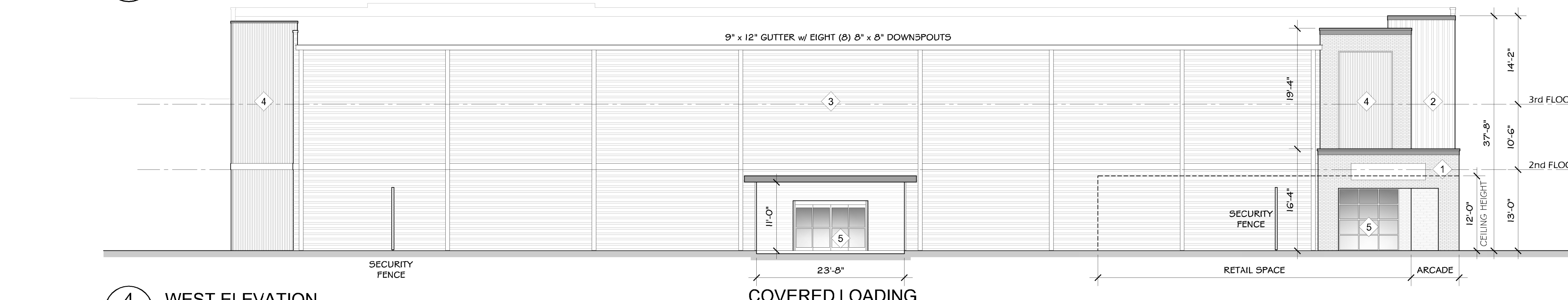


2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

TRANSPARENCY - SEVEN (7) x 16'-0" WIDE WINDOW UNITS = 112' GLASS / 197'-0" STREET ELEVATION = 56.85%



2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 WEST ELEVATION
SCALE: 3/32" = 1'-0"

CONTRACTOR
ARCO MURRAY
DESIGN BUILD
4848 GREENBRIAR AVE, STE. 1400
DALLAS, TX 75206
(P) 214.377.6691
WWW.ARCONATIONAL.COM

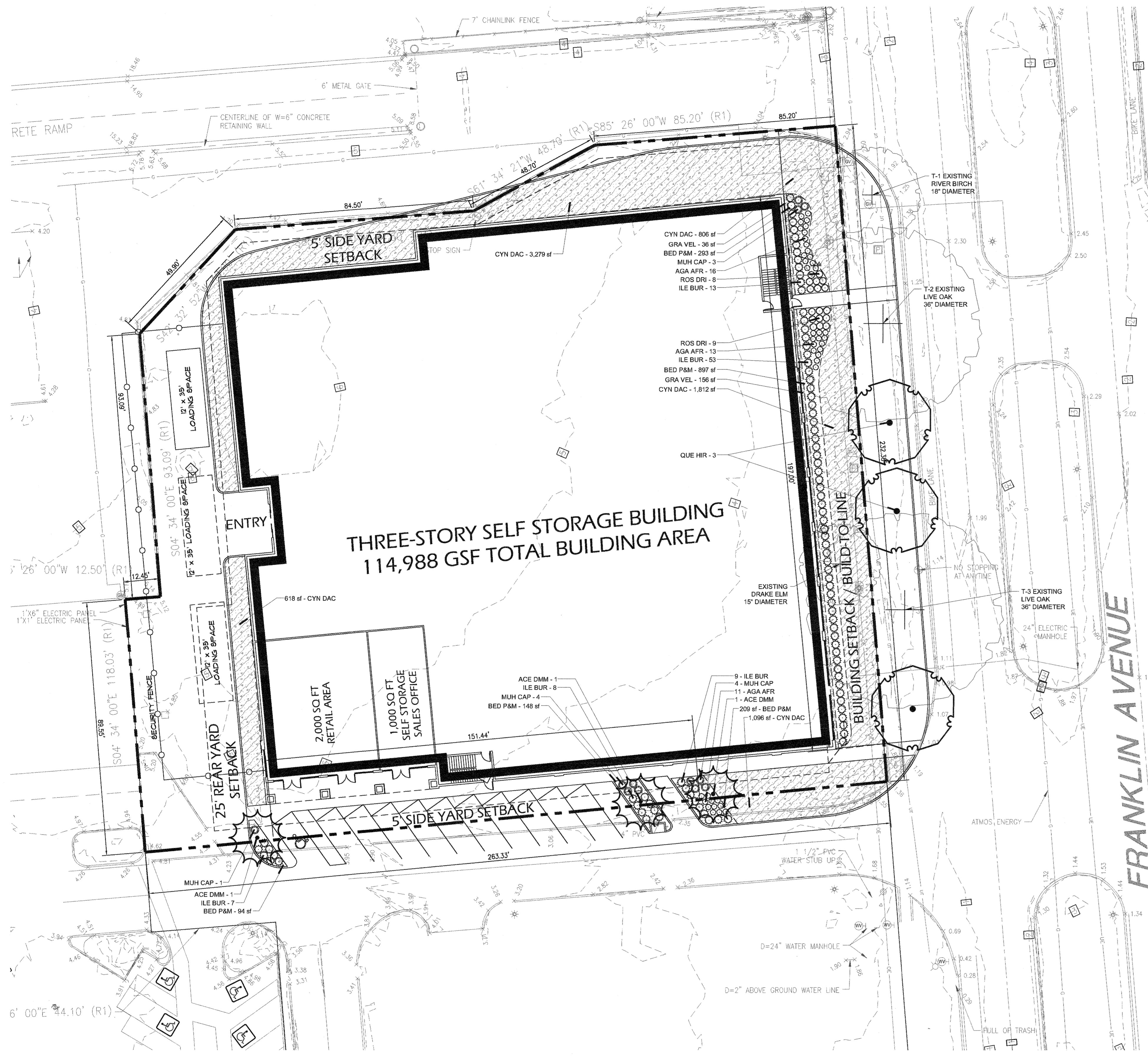
ARCHITECT
GMA ARCHITECTS
A. R. GUSTAFSON, ARCHITECT
4848 GREENBRIAR AVE, STE. 1400
DALLAS, TEXAS 75206
314-822-5195 (P) 314-988-0714
WWW.GMA-ARCHITECTS.COM

PROPOSED SELF STORAGE FACILITY FOR:
VERDAD
6600 FRANKLIN AVENUE
NEW ORLEANS, LA 70122

GMA ARCHITECTS INC.
JOB NO : SP8173
PA :
DATE : 05.20.2021

REVISIONS △

SHEET NUMBER
A-5
ELEVATIONS



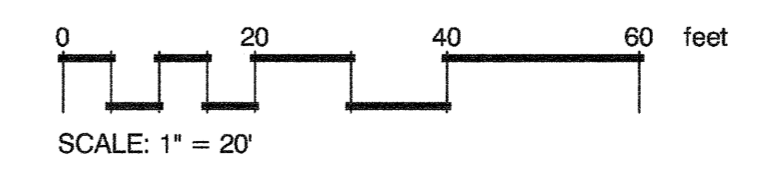
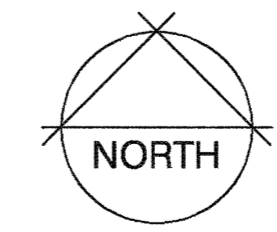
PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	HEIGHT
	ACE DMM	3	Drummond Red Maple	Acer rubrum drummondii	45 Gal Min.	3" Cal Min.	10' HT Min.
	QUE HIR	3	High Rise Live Oak Clear Trunk: 6"	Quercus virginiana 'High Rise'	45 gal	2.5" Cal. min	12-15' H
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD
	AGA AFR	40	Lily of the Nile	Agapanthus africanus	1 Gal Min.	12" HT Min.	12" Min.
	ILE BUR	90	Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	5 Gal Min.	36" HT @ Planting	
	MUH CAP	12	Pink Muhly	Muhlenbergia capillans	3 Gal Min.	18" HT Min.	12" Min.
	ROS DRI	17	Drift Roses	Rosa Drift	3 Gal Min.	6" HT Min.	12" Min.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	MAT	RATE	SPACE
	BED P#M	1,641 sf	Bed Prep/Mulch Bed Preparation (9" DEPTH) + Landscape Fabric + Shredded Hardwood Top Dress Mulch (3" DEPTH) + Soil Conditioners, Fertilizers, Amendments, and Pre-Emergent Herbicides	Bed Prep/Mulch	Soil		
	CYN DAC	7,611 sf	Bermuda Grass	Cynodon dactylon	Sod		
	GRA VEL	192 sf	Gravel	Gravel	Aggregate		

ORLEANS PARISH CODE MATRIX FOR
Liberty Storage @ Franklin Ave.

	REQUIRED	PROVIDED
23.6 BUILDING FOUNDATION LANDSCAPE & LANDSCAPE YARDS		
23.6.A. BUILDING FOUNDATION LANDSCAPE:	197 LF REQ'D	when NO parking in front of building
1 Single Hedge Row (36" OC)	66 SHRUBS	66 SHRUBS PROVIDED
2 Rest of Area planted w/ vegetative cover:	1182 SF REQ'D	1190 SF PROVIDED
3 Trees and Perennials MAY be supplemental	NONE REQUIRED	NO PROVIDED
23.7 PARKING LOT LANDSCAPE		
23.7.C. INTERIOR PARKING LOT LANDSCAPE	13 SPACES	
1 Parking Lot Islands Between every 10 Spaces	2 ISLANDS	3 PROVIDED
2 Parking End Caps & 10% Interior Required	351 SF	451 SF PROVIDED
3 Min. Island Size	160 MIN SF	160 PROVIDED
4 Designed w/ Sustainable Techniques?	YES / NO	NO PROVIDED
5 Planting Requirement		
b) One (1) Shade Tree per Island	2 Trees	3 TREES PROVIDED
c) Shrubs planted in Islands	Shrubs Required	YES SHRUBS PROVIDED
d) 75% of Island Planted w/ Live Material	263 SF = 75%	100% PROVIDED
23.10 TREE PRESERVATION		
A. PUBLIC TREES WITHIN ROW OR STREET		
1 6" DBH Preserved Trees as Required	3 TREES	120 LF OF ROW CREDIT
2 Trees to be Removed and Mitigated	0 TREES	
23.11 PARKWAY TREES		
23.11.A. PARKS & PARKWAY TREES within ROW		
FRANKLIN AVE.	233 LF OF ROW	
Existing Tree Credits	3 TREES	120 LF OF ROW CREDIT
Total	113 LF OF ROW	
1 Shade Tree (1 per 40 LF)	3 TREES	3 PROVIDED
1 OR Ornamental Tree (1 per 25 LF)	5 TREES	0 PROVIDED
2 Species/Location reviewed & approved by P&P?	YES / NO	

EXISTING TREES				
TREE NO.	SPECIES	DBH	SAVED	CREDIT
T-1	RIVER BIRCH	18	YES	40 LF
T-2	LIVE OAK	36	YES	40 LF
T-3	LIVE OAK	36	YES	40 LF



Not For Construction
LANDSCAPE PLAN

8552 Bluebonnet Blvd.
Baton Rouge, La 70810
Office: 225-751-4490
Fax: 225-751-4495
www.ddgpc.com

DDG
DUPLANTIS DESIGN GROUP

CONTRACTOR
ARCO MURRAY
DESIGN BUILD
4449 GREENVILLE AVE, STE. 140
DALLAS, TX 75240
WWW.ARCOCONTRACTOR.COM

ARCHITECT
GMA ARCHITECTS
900 NORTH ROCK HILL ROAD, ST. LOUIS, MISSOURI 63105
WWW.GMA-ARCHITECTS.COM

PROPOSED SELF STORAGE FACILITY FOR:
VERDAD
6800 FRANKLIN AVENUE
NEW ORLEANS, LA 70122

STATE OF LOUISIANA
JASON P. LANDREM
REGISTERED LANDSCAPE ARCHITECT
06-12-2012

JOB NO. : SP8173
PA :
DATE : 06.21.2021

REVISIONS

SHEET NUMBER
L-0



FRANKLIN AVENUE VIEW

CONCEPTUAL
DRAFT ONLY



PARKING LOT VIEW

CONCEPTUAL
DRAFT ONLY