



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

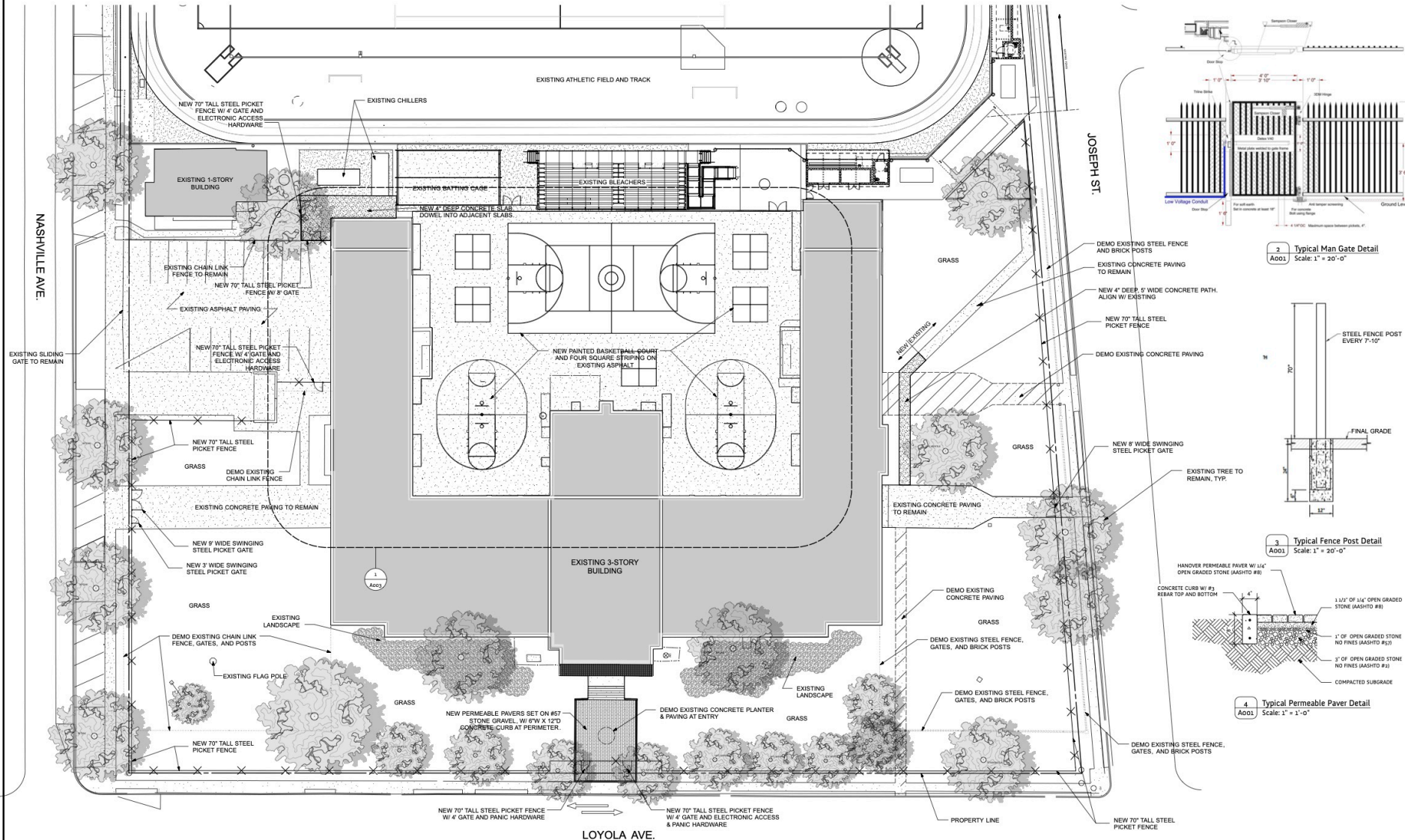
- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

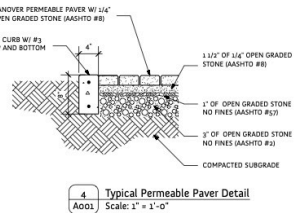
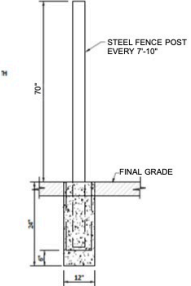
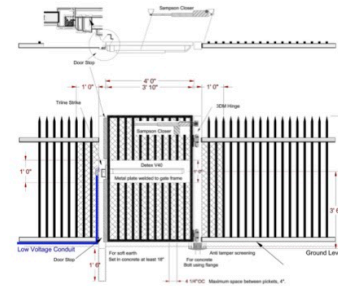
- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000



1 Site Plan
A002 Scale: 1" = 20'-0"



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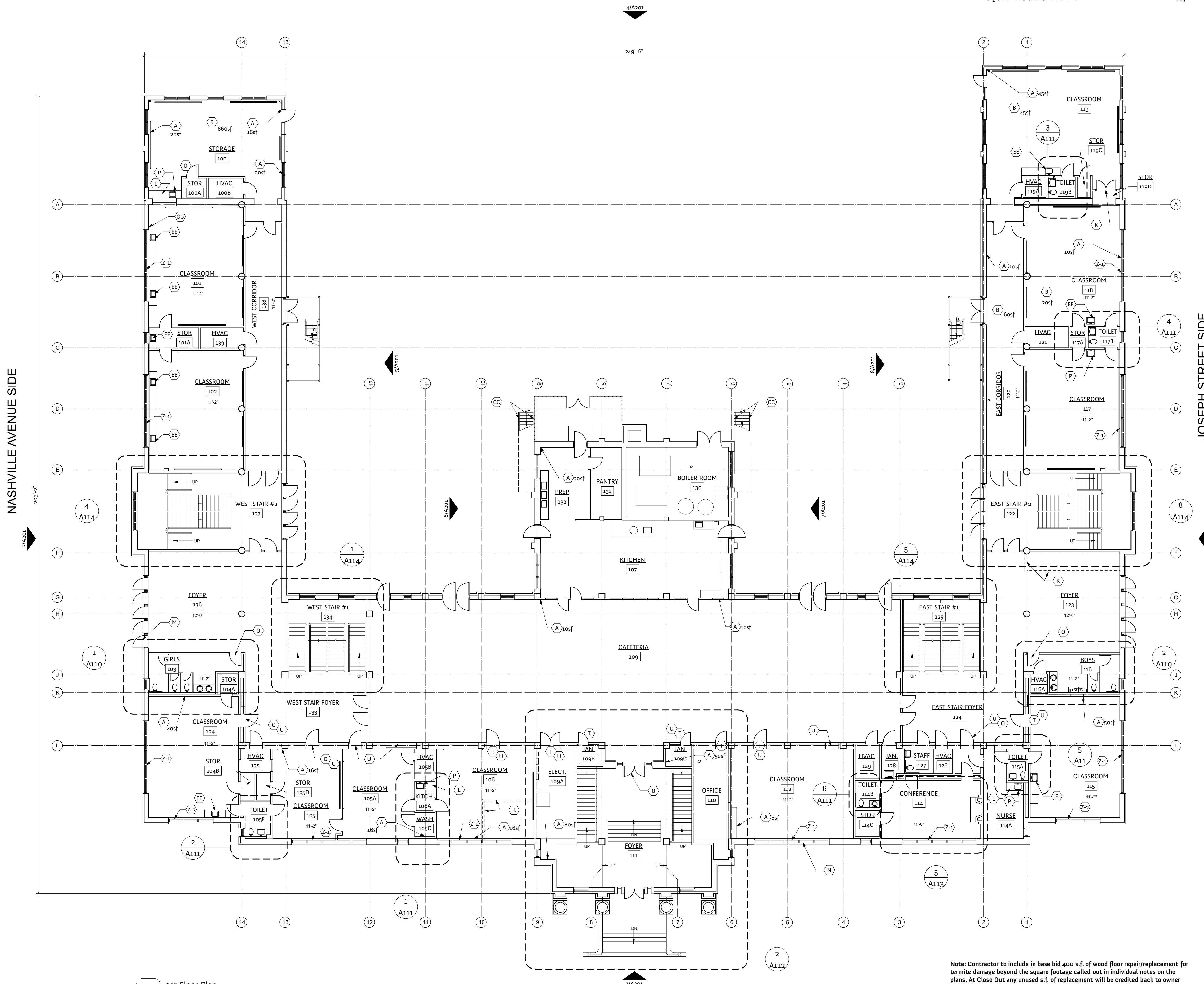
Progress
Release



Project No. 2111 Drawn By ng

site plan
A002

TOTAL EXISTING BUILDING SQUARE FOOTAGE: 73,100sf
 SQUARE FOOTAGE ADDED: 0sf



1 1st Floor Plan
 Scale: 1:144

LOYOLA AVENUE

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 - General Contractor shall provide protective covering for all windows and other glass to remain; provide impact protection for all interior finishes.

- ### SPECIFIC PLAN NOTES
- (A) Patch & Repair Plaster
 - (B) New VCT Flooring
 - (C) Restore Terrazzo Flooring per notes on sheet A600.
 - (D) Sand & Refinish Existing Wood Floor
 - (E) Repair Termite Damaged Wood Floor
 - (F) Remove Carpet & Refinish Existing Wood Floor
 - (G) Replace Damaged Wood Trim
 - (H) Refurbish Existing Glass Panel Door
 - (I) Replace Door Hardware
 - (J) Drywall Tape and Bed Repair
 - (K) Demolish existing stud wall
 - (L) New plastic laminate cabinets and counter top.
 - (M) Patch concrete at ADA entrance. Chisel out 4-6 inches around perimeter of spalling concrete and chisel out 1" deep from surrounding concrete floor surface and patch the depression with SikaQuick EZ Patch or equal cementitious product.
 - (N) Repair broken window pane
 - (O) Replace Existing Solid Core Wood Door And Hardware. Refer to 6/A112.
 - (P) Replace existing classroom sink. Refer to Plumb.
 - (Q) Sand, prime, & paint glass panel exterior doors. Refer to spec. for hardware.
 - (R) Install new EPDM roof membrane, and install structural porcelain tile pedestal paver system. Outdure Mineral Tile, or approved equal. GC to confirm warranty compatibility with roof membrane prior to submitting.
 - (S) Remove existing radiator
 - (T) Refurbish Existing Glass Panel Door, refer to sheets A112 & A113.
 - (U) Refurbish Existing Glass Transom. Scrape paint off glass, sand frame, re-paint.
 - (V) Repair rusted lintel and water damage at window
 - (W) Provide new laminated glass at floor to ceiling windows. Refer to spec. manual.
 - (X) Remove existing shelf and patch wall.
 - (Y) Remove and Cap existing Wall Fan
 - (Z) Install new roller shades. Refer to spec. Field verify all dimensions.
- Z-1: (5) Panels @ 3'-4" x 7'-10"
 Z-2: (3) Panels @ 3'-4" x 7'-10"
 Z-3: (3) Panels @ 2'-8" x 7'-10", plus additional blackout shades
 Z-4: (1) Panel @ 2'-2" x 5'-6"
 Z-5: (1) Panel @ 3'-6" x 7'-10"
 Z-6: (2) Panels @ 1'-7" x 7'-7" & (2) Panels @ 2'-6" x 7'-7"
- (AA) Patch hole in floor from old toilet.
 - (BB) Existing steel stair to be repaired. Refer to Structural Report.
 - (CC) Existing steel guardrail to be replaced. Refer to Sheet A116.
 - (DD) Remove existing rubber sheet flooring & prep floor for new VCT.
 - (EE) Replace faucet on existing sink.
 - (FF) Remove sink, replace p-lam counter, and re-install sink.
 - (GG) Add new 1x8 wood trim to fill gap between casework and cut. Cut around pipes.
 - (HH) Replace existing 1x6 wood casing at both sides of cased opening.
 - (II) Remove existing ceramic tile floor, and prep for new VCT.
 - (JJ) Existing power poles to remain.

Note: Contractor to include in base bid 400 s.f. of wood floor repair/replacement for termite damage beyond the square footage called out in individual notes on the plans. At Close Out any unused s.f. of replacement will be credited back to owner based on the Unit Price supplied on the Bid Form.

Note: Contractor to include in base bid 200 l.f. of historic wood baseboard replacement beyond the linear footage called out in individual notes on the plans. At Close Out any unused l.f. of replacement will be credited back to owner based on the Unit Price supplied on the Bid Form.



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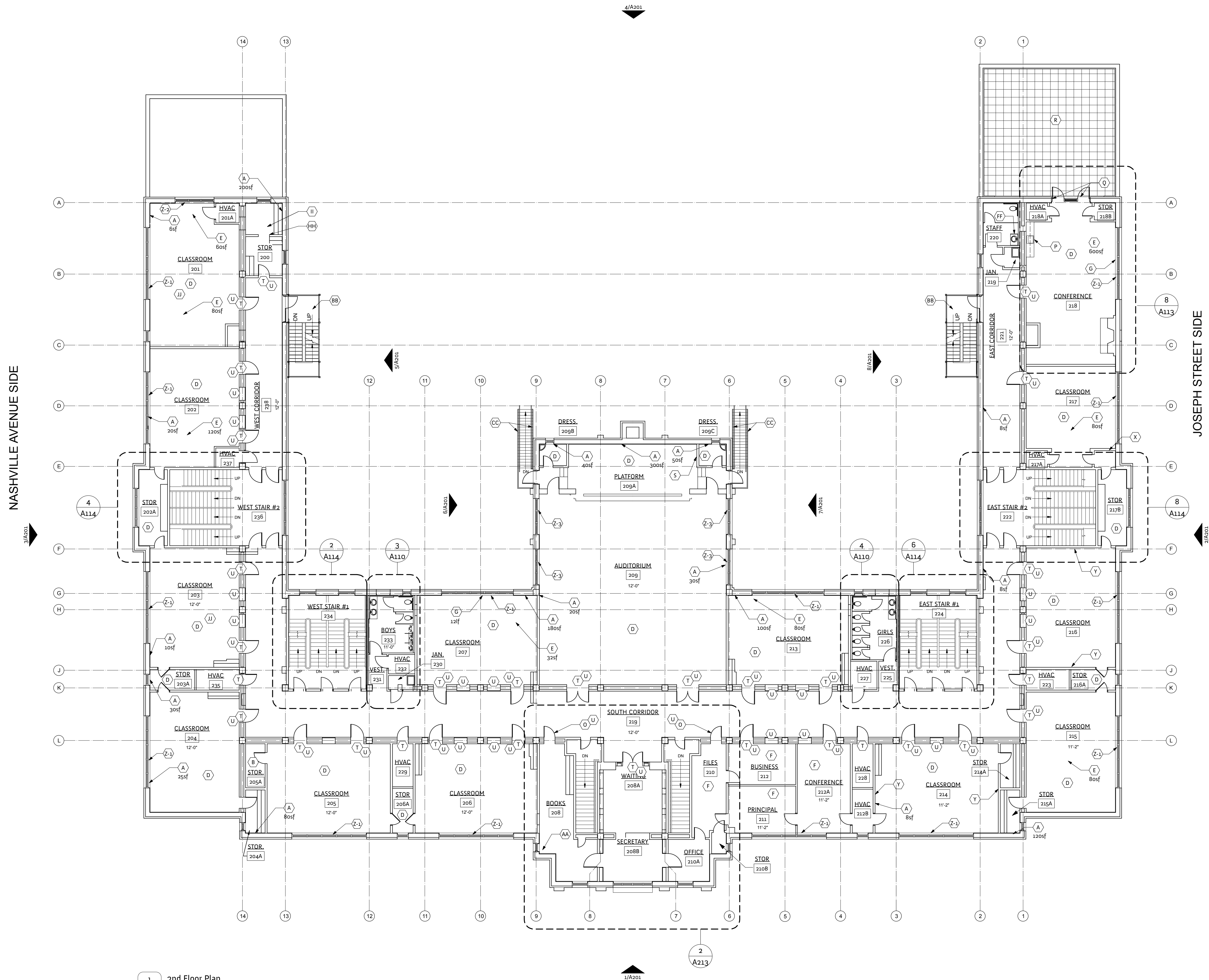
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11/1/21	Owner	Bidding/Permit

Progress
 Release



Project No. 2111 Drawn By ng

1st Floor
A101



1 2nd Floor Plan
A102 Scale: 1:144

LOYOLA AVENUE

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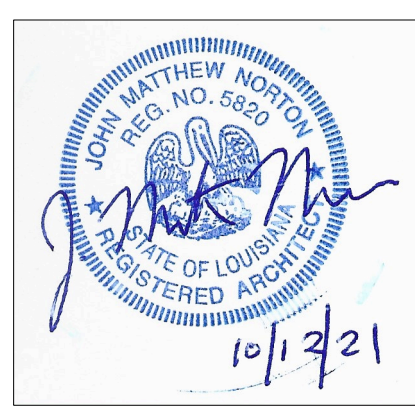
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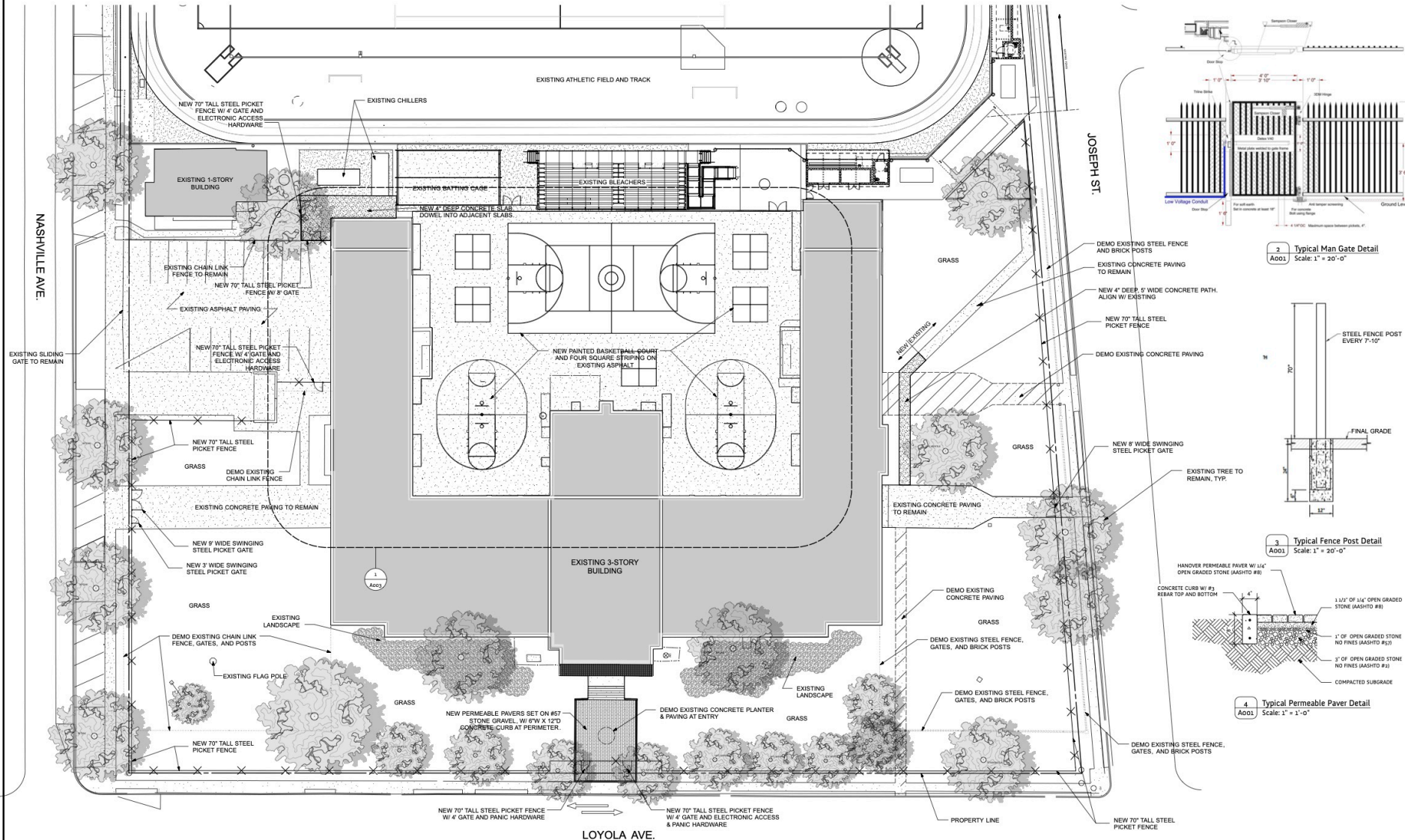
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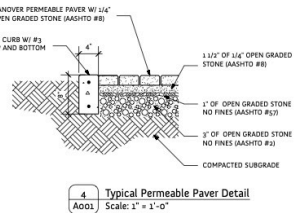
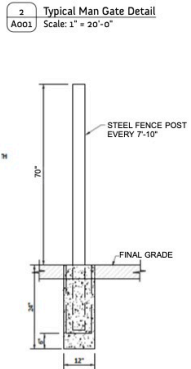
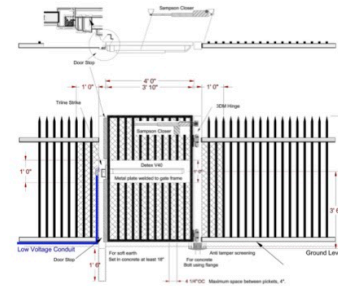
Project No. 2111 Drawn By n

2nd Floor

A102



1 Site Plan
A002 Scale: 1" = 20'-0"



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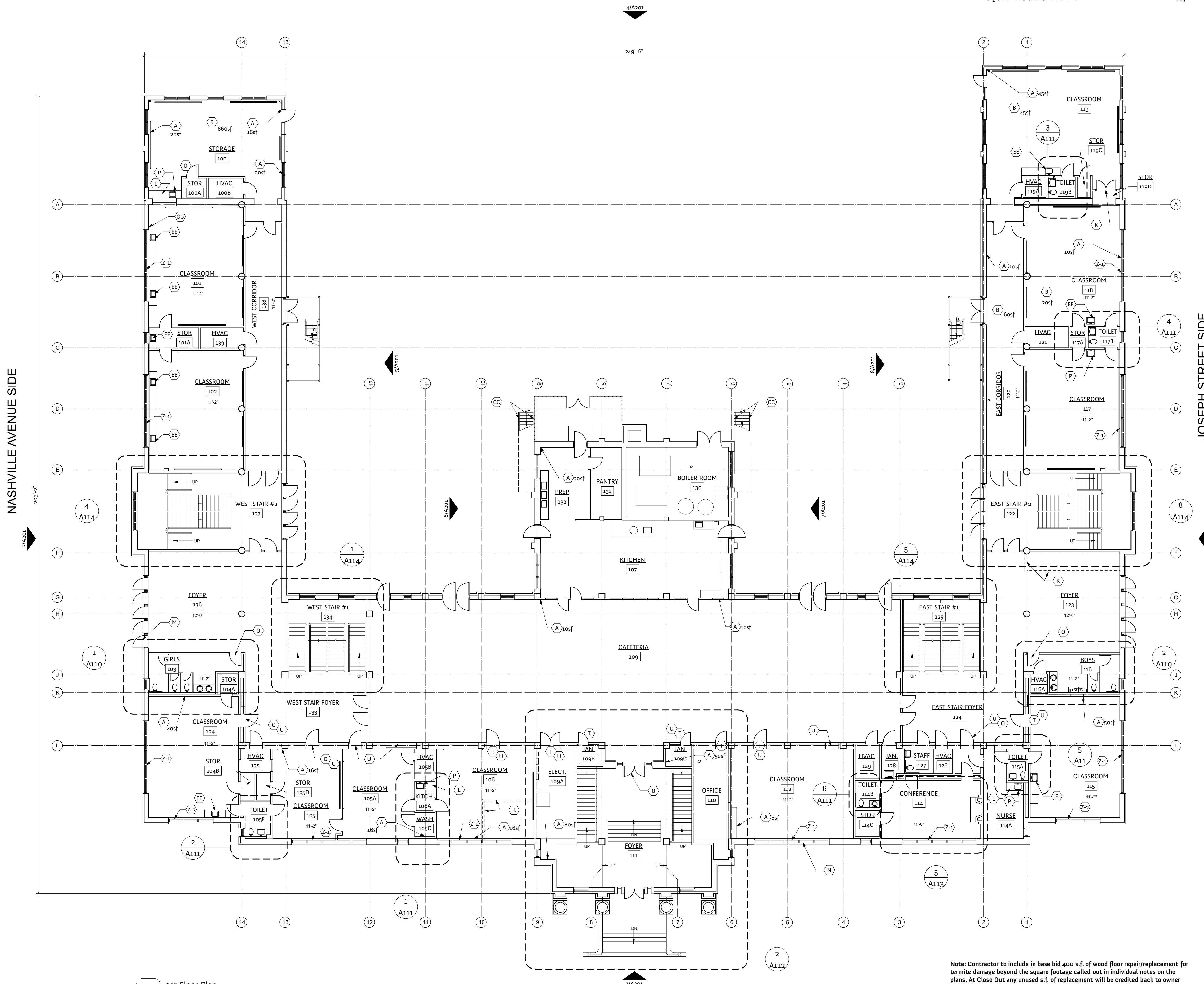
Release



Project No. 2111 Drawn By ng

site plan
A002

TOTAL EXISTING BUILDING SQUARE FOOTAGE: 73,100sf
 SQUARE FOOTAGE ADDED: 0sf



1 1st Floor Plan
 Scale: 1:144

LOYOLA AVENUE

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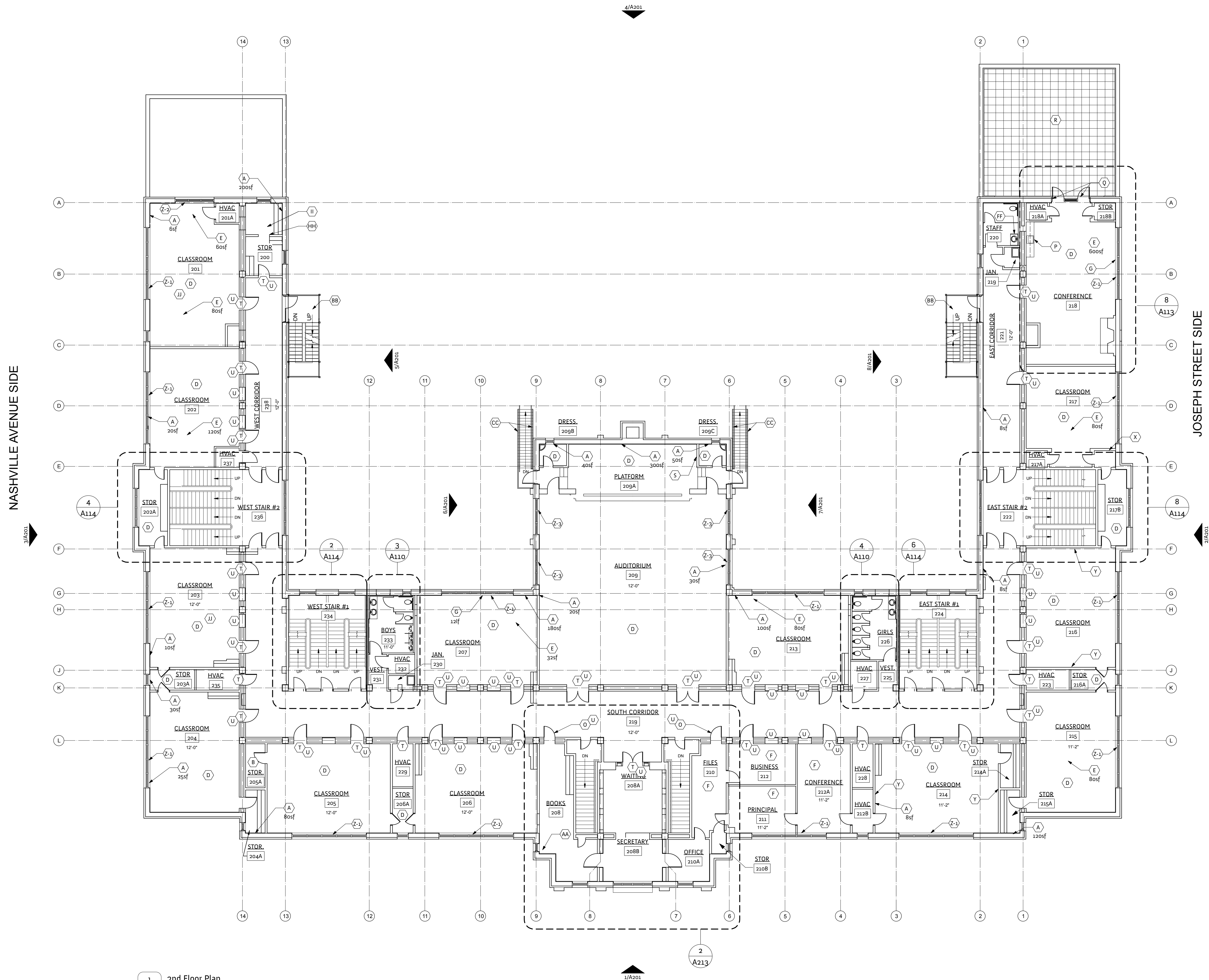
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1st Floor
A101



1 2nd Floor Plan
A102 Scale: 1:144

LOYOLA AVENUE

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 - All Electrical Conduit runs shall be parallel to partitions with 90 degree turns. Not routing "as the crow flies". Where the structure is exposed, conduit shall be run parallel to structure, tight to slab as much as possible.
 - Where flush joints occur in drywall between existing and new finishes, joint will be unnoticeable.
 - Smoking within the existing or new building on site is prohibited.
 - Contractor shall maintain the building in a clean and sanitary condition throughout the construction process.
 - Any damage to the existing building caused by the renovation work shall be patched and repaired as required to restore to their original state.
 - Provide adequate blocking for all wall mounted casework and fixtures & exterior building mounted signage.
 - Install transition strips at joints between two different flooring materials.
 - All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations or these documents, whichever is more stringent.
 - All work described by these documents shall be performed in full accordance with all applicable codes, including but not limited to the following codes: 2015 International Building Code, 2015 NFPA 101 Life Safety Code, 2015 National Electrical Code; 2015 International Mechanical Code; 2015 Louisiana State Plumbing Code; 2015 International Fuel Gas Code; and any and all other codes as adopted by the City of New Orleans, Louisiana.
 - Contractor is responsible for the safety, actions and conduct of his employees and his subcontractors' employees while in the project area, adjacent areas and in the building and its vicinity.
 - Contractor shall co-ordinate with all trades to provide complete working systems.
 - General Contractor shall exercise reasonable precaution in the protection of all existing finishes to remain and/or all existing substrates to receive new finish.
 - General Contractor shall schedule and coordinate all trades to eliminate damage to all floor materials once installed.
 - General Contractor shall provide protective coverings for all floor, partition and ceiling finishes to remain in the project area and for all finishes which may be subject to traffic or construction activity in adjacent areas.
 - General Contractor shall provide protective covering for all windows and other glass to remain; provide impact protection for all interior finishes.

- SPECIFIC PLAN NOTES**
- (A) Patch & Repair Plaster
 - (B) New VCT Flooring
 - (C) Restore Terrazzo Flooring per notes on sheet A600.
 - (D) Sand & Refinish Existing Wood Floor
 - (E) Repair Termite Damaged Wood Floor
 - (F) Remove Carpet & Refinish Existing Wood Floor
 - (G) Replace Damaged Wood Trim
 - (H) Refurbish Existing Glass Panel Door
 - (I) Replace Door Hardware
 - (J) Drywall Tape and Bed Repair
 - (K) Demolish existing stud wall
 - (L) New plastic laminate cabinets and counter top.
 - (M) Patch concrete at ADA entrance. Chisel out 4-6 inches around perimeter of spalling concrete and chisel out 1" deep from surrounding concrete floor surface and patch the depression with SikaQuick EZ Patch or equal cementitious product.
 - (N) Repair broken window pane
 - (O) Replace Existing Solid Core Wood Door And Hardware. Refer To 6/A112.
 - (P) Replace existing classroom sink. Refer to Plumb.
 - (Q) Sand, prime, & paint glass panel exterior doors. Refer to spec. for hardware.
 - (R) Install new EPDM roof membrane, and install structural porcelain tile pedestal paver system. Outdure Mineral Tile, or approved equal. GC to confirm warranty compatibility with roof membrane prior to submitting.
 - (S) Remove existing radiator
 - (T) Refurbish Existing Glass Panel Door, refer to sheets A112 & A113.
 - (U) Refurbish Existing Glass Transom. Scrape plant off glass, sand frame, re-paint.
 - (V) Repair rusted lintel and water damage at window
 - (W) Provide new laminated glass at floor to ceiling windows. Refer to spec. manual.
 - (X) Remove existing shelf and patch wall.
 - (Y) Remove and Cap existing Wall Fan
 - (Z) Install new roller shades. Refer to spec. Field verify all dimensions.
- Z-1: (5) Panels @ 3'-4" x 7'-10"
 Z-2: (3) Panels @ 3'-4" x 7'-10"
 Z-3: (3) Panels @ 2'-8" x 7'-10", plus additional blackout shades
 Z-4: (1) Panel @ 2'-2" x 5'-6"
 Z-5: (1) Panel @ 3'-6" x 7'-10"
 Z-6: (2) Panels @ 1'-7" x 7'-7" & (2) Panels @ 2'-6" x 7'-7"
- (AA) Patch hole in floor from old toilet.
 - (BB) Existing steel stair to be repaired. Refer to Structural Report.
 - (CC) Existing steel guardrail to be replaced. Refer to Sheet A116.
 - (DD) Remove existing rubber sheet flooring & prep floor for new VCT.
 - (EE) Replace faucet on existing sink.
 - (FF) Remove sink, replace p-lam counter, and re-install sink.
 - (GG) Add new 1x8 wood trim to fill gap between casework and wall. Cut around pipes.
 - (HH) Replace existing 1x6 wood casing at both sides of cased opening.
 - (II) Remove existing ceramic tile floor, and prep for new VCT.
 - (JJ) Existing power poles to remain.



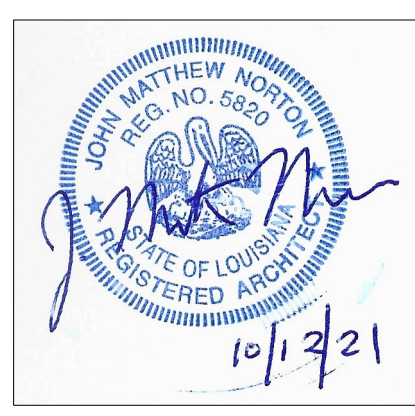
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5625 Loyola Ave., New Orleans, LA

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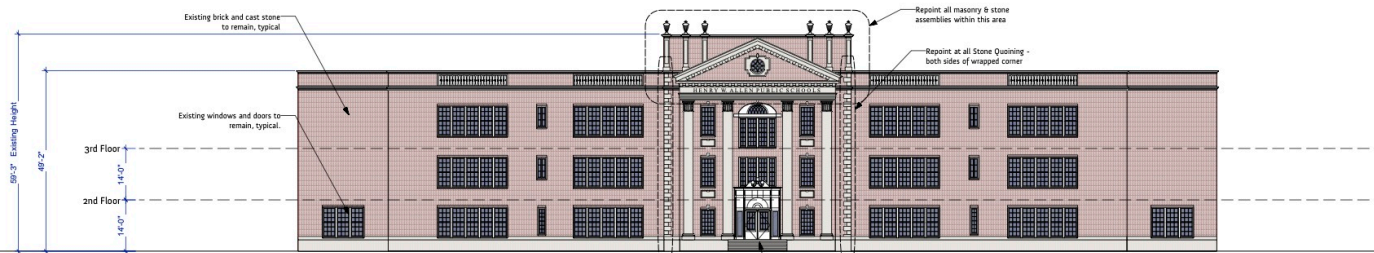
Date	To	Use / Restriction
10/12/21	Owner	100% CDs
11/1/21	Owner	Bidding/Permit

Progress
Release

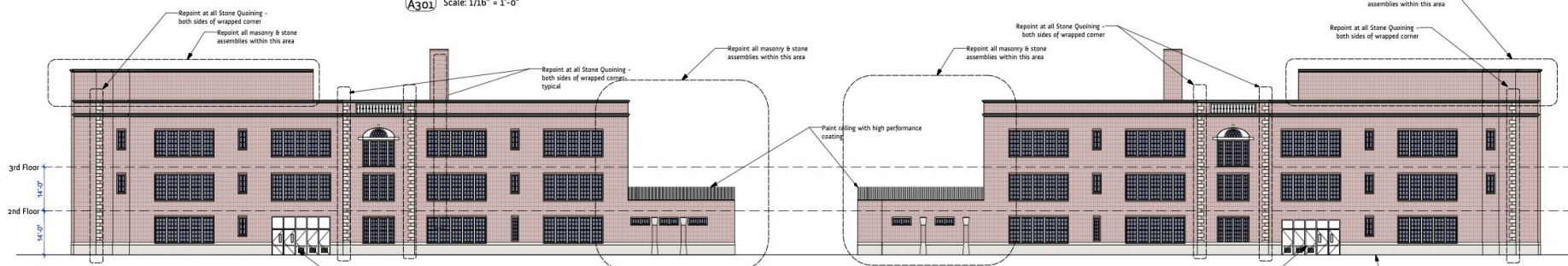


Project No. 2111 Drawn By n

2nd Floor
A102



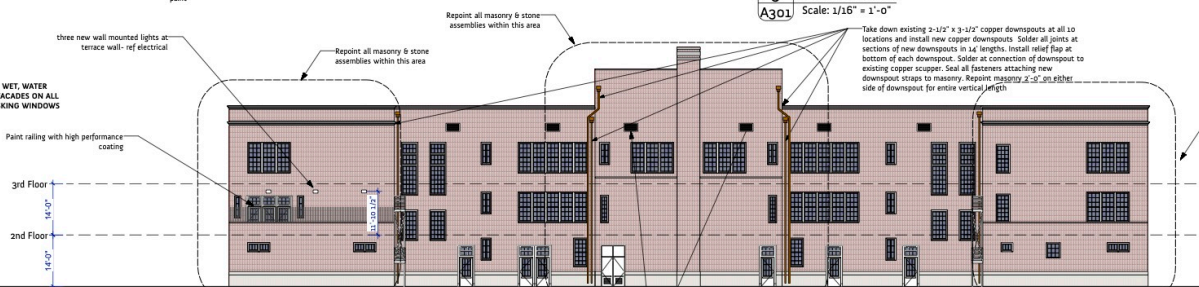
1 Front Elevation
Scale: 1/16" = 1'-0"



2 Side Elevation
Scale: 1/16" = 1'-0"

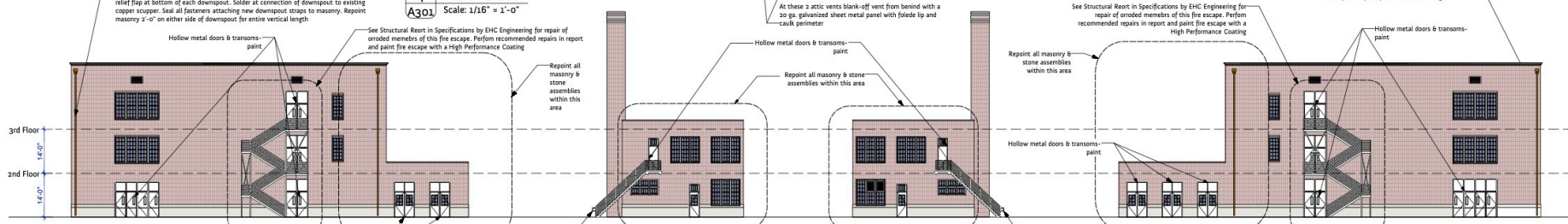
3 Side Elevation
Scale: 1/16" = 1'-0"

GENERAL NOTE: APPLY 2 COAT, WET ON WET, WATER REPELLENT TO EXTERIOR FACE OF ALL FACADES ON ALL BRICK AND LIMESTONE SURFACES, MASKING WINDOWS AS NOTED IN SPECIFICATIONS.



4 Back Elevation
Scale: 1/16" = 1'-0"

NOTE: ALL WOOD WINDOWS & WOOD DOORS, PAINT WITH MARINE PAINT SEMI-GLOSS WHITE, WITH MARINE PAINT PRIMER, RUSTOLUUM "TOPSIDE" OR EQUAL. HOLLOW METAL DOORS AND TRANSOMS AT GROUND FLOOR TO BE PAINTED WITH LATEX S SPECIFIED



5 Courtyard Elevation
Scale: 1/16" = 1'-0"

6 Courtyard Elevation
Scale: 1/16" = 1'-0"

7 Courtyard Elevation
Scale: 1/16" = 1'-0"

8 Courtyard Elevation
Scale: 1/16" = 1'-0"



ARCHITECTS

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Date	To	Use / Restriction
10/12/21	Owner	100% CDs
11/12/21	Owner	Bidding / Permitting

Progress



Project No. 1212 Drawn By rac

Exterior Elevations
A300