

1 SELECTIVE DEMOLITION SITE PLAN  
Scale: 1" = 30'-0"

**DEMO SITE PLAN NOTES**

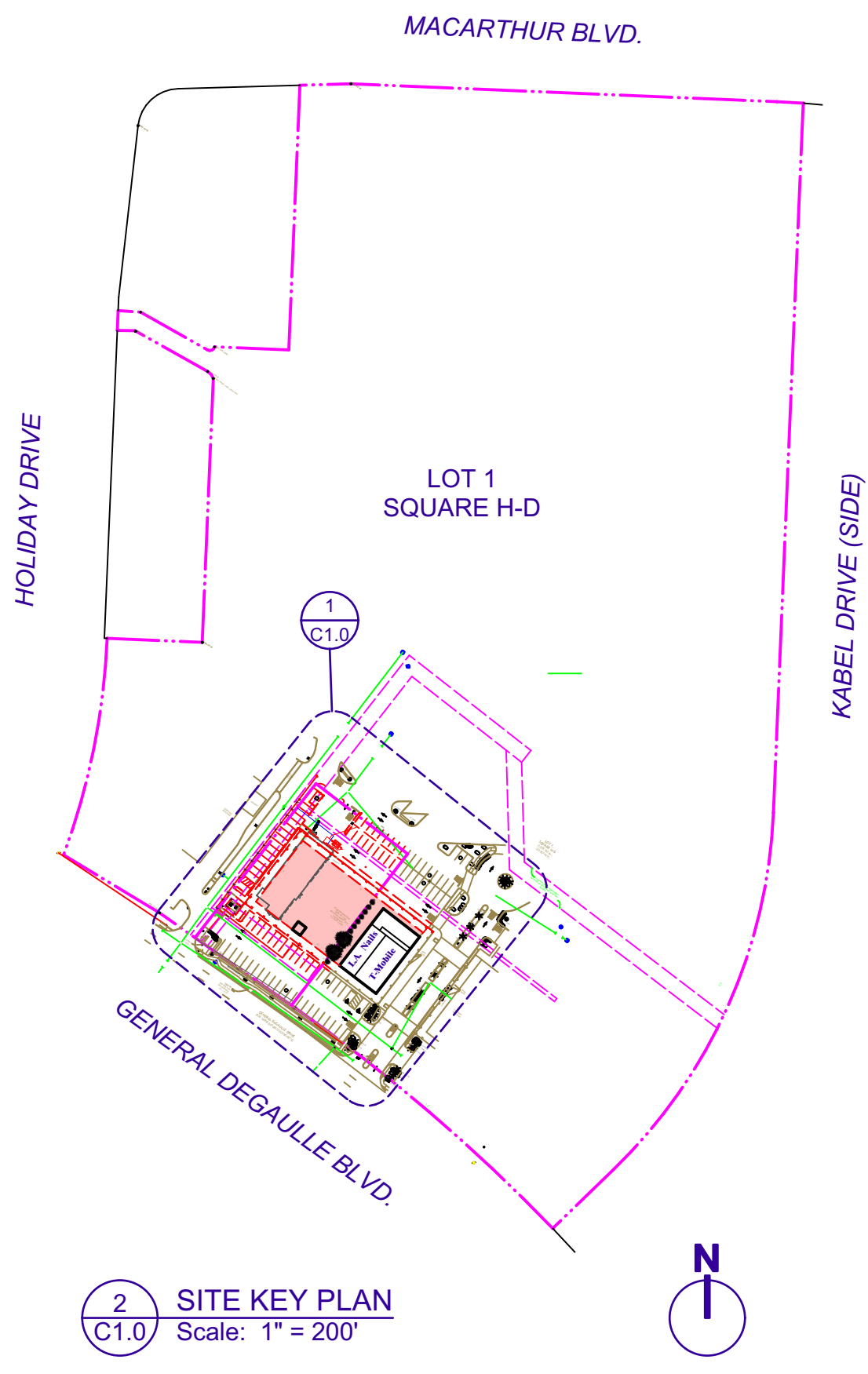
- Scope Of Work: Partial demolition of existing Building 'B': Removing the building's structure, canopies, walkways & paving as shown on the Site Demo plan. The portion of the building that will remain will include two existing tenant spaces (L. A. Nails & Sprint), plus one new tenant space. The building's size will be reduced from 20,000 SF to 5,828.3 SF.
- An 153 ft. x 280 ft. Lease Areal is to be created for a future one-story building and associated parking.
- All existing paving is concrete.

**GENERAL DEMOLITION NOTES**

- Conduct demolition operations and remove debris to ensure minimal interference with roads, streets, walks and other adjacent occupied and used facilities. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas. Promptly dispose of all demolished materials. Do not allow demolished materials to accumulate on site. Legally transport and dispose of all demolished materials.
- Demolition Contractor to survey the condition of the building to determine whether removing any element might result in a structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition. Do not demolish any load bearing walls or construction that will compromise the structural integrity of the portion of the structure scheduled to remain. Notify the Architect of any structural issues arising from demolition.
- Total scope of demolition may not be covered on this sheet. Review all sheets in the Construction Documents to determine total scope of demolition.
- It is the intent of these demolition notes to remove all the existing construction as indicated on the drawings which conflict with the intent of the new construction.
- Contractor shall coordinate all demolition work, whether indicated on the drawings or not, with new construction as required.
- Contractor shall notify the Architect of any existing conditions that are exposed during construction that may affect or interfere with any new work.
- Demolish and remove components in an orderly and careful manner.
- Demolition of electrical devices, wiring, conduit, etc. to be performed by an electrician licensed in the state of Louisiana.
- Removal of plumbing fixtures, supply and drain lines to be performed by a plumber licensed in the state of Louisiana.
- Existing utilities servicing the tenant spaces to remain are to remain in service during selective demolition.
- Protect existing items which are not indicated to be removed.
- Protect existing supporting structural elements and adjacent area not scheduled for work.
- Refer to EXCERPT FROM ALGIERS - CFA LEASE notes below for additional information regarding Scope of Landlord's Work.

**KEY DEMOLITION NOTES**

- D1 Remove portion of Building 'B' shaded in RED: Roof, exterior walls, interior partitions, doors & windows, automatic sprinkler system & riser, wood structural members (beams & columns), foundation & piles. RE: Sht. A1.1 for additional information.
- D2 Portion of existing Building 'B' to remain: Existing tenant L.A. Nails, Sprint and new Tenant Space 'C'. Total square footage remaining = 5,828.3. RE: Sht. A1.0 for Floor Plan.
- D3 Existing Electrical Room to remain until new electrical feed is established to the tenant spaces (3) to remain.
- D4 Remove concrete walk, foundation & piles.
- D5 Lease Line of New Lease Area
- D6 Remove existing concrete columns. RE: Sht. A1.1 for additional information.
- D7 Remove existing concrete block dumpster enclosure.
- D8 Remove concrete curb.
- D9 Remove concrete paving and all parking spaces within new Outparcel Property Lines.



2 SITE KEY PLAN  
Scale: 1" = 200'

**EXCERPT FROM ALGIERS - CFA LEASE**

**Section 1. Scope of Landlord's Work.** Landlord will perform the following Landlord's Work (which will be shown on the "Approved Plans" as defined in Section 2 and which is required for Tenant to proceed with the construction of its restaurant building (the "Building") and all related improvements (the "Tenant's Work")):

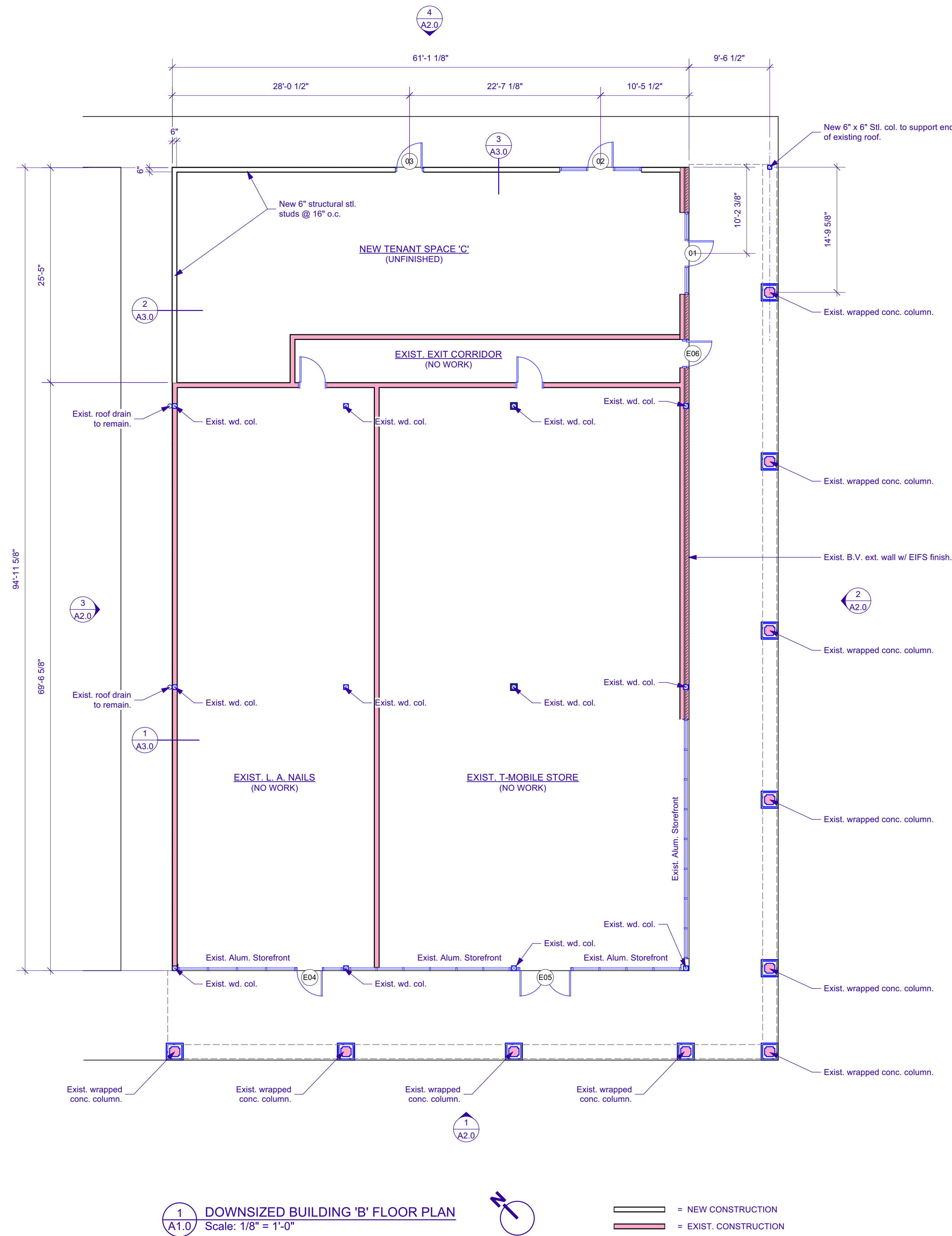
- Demolition and removal of all existing buildings and other vertical improvements on the Land, including foundations and any pilings at least three (3) feet below grade.
- All excavation, over-excavation, cut and fill work to remove existing foundation and to deliver a rough-graded pad for the Building footprint; provided, however, the drive aisle on the Land running parallel and in closest proximity to General DeGaulle Drive (the "Drive Aisle") and those certain fourteen (14) parking spaces on the Land existing between General DeGaulle Drive and the Drive Aisle will remain on the Land. Any necessary rough-grading work by Landlord will be done in accordance with the "Earthwork Performance Criteria" attached to this Lease as Exhibit E-1.
- Construction and installation of any utilities. All utility lines (including, without limitation, the telephone, data, and electric utility lines) must be extended to the Tenant's Limits of Construction, which are depicted in red on Exhibit E-4 attached hereto and at locations designated by Tenant and approved by Landlord. The work will be done in compliance with the "Utility Criteria" in Section 4, below. Utilities include electricity, water (domestic and irrigation), gas, telephone, internet, and sanitary sewer. Tenant will designate the locations for utility installation by delivering Tenant's utility plan to Landlord.
- Completion of Land-facing exterior wall of L.A.Nails, and new sidewalk abutting the new exterior wall of L.A.Nails, as generally depicted on Exhibit E-4 attached hereto.
- The relocation of Landlord's dumpster area to the Adjacent Property, and other aspects of "Owner work" depicted on Exhibit E-5 attached hereto.

No.	Date	Issue Notes

Designed By	GNK	Date	3/11/2020
Drawn By	GNK	Revision	
Checked By		Project ID	19-23
Reviewed By		Drawn Date	19-23
			C1.0 (Site Plan (General))
			CAC (In House)
			19-23_Prelim.vwk
			Per Date

Project Title	RENOVATION TO ALGIERS PLAZA BUILDING 'B'
Address	4000 General DeGaulle Blvd. New Orleans, LA
Sheet Title	SITE PLAN - DEMOLITION
Scale	AS NOTED
Sheet No.	C1.0

**GARY N. KRASNOW**  
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7734 WALMSLEY AVE NEW ORLEANS, LA 70125  
TEL: 504-865-1937 FAX: 866-659-6774  
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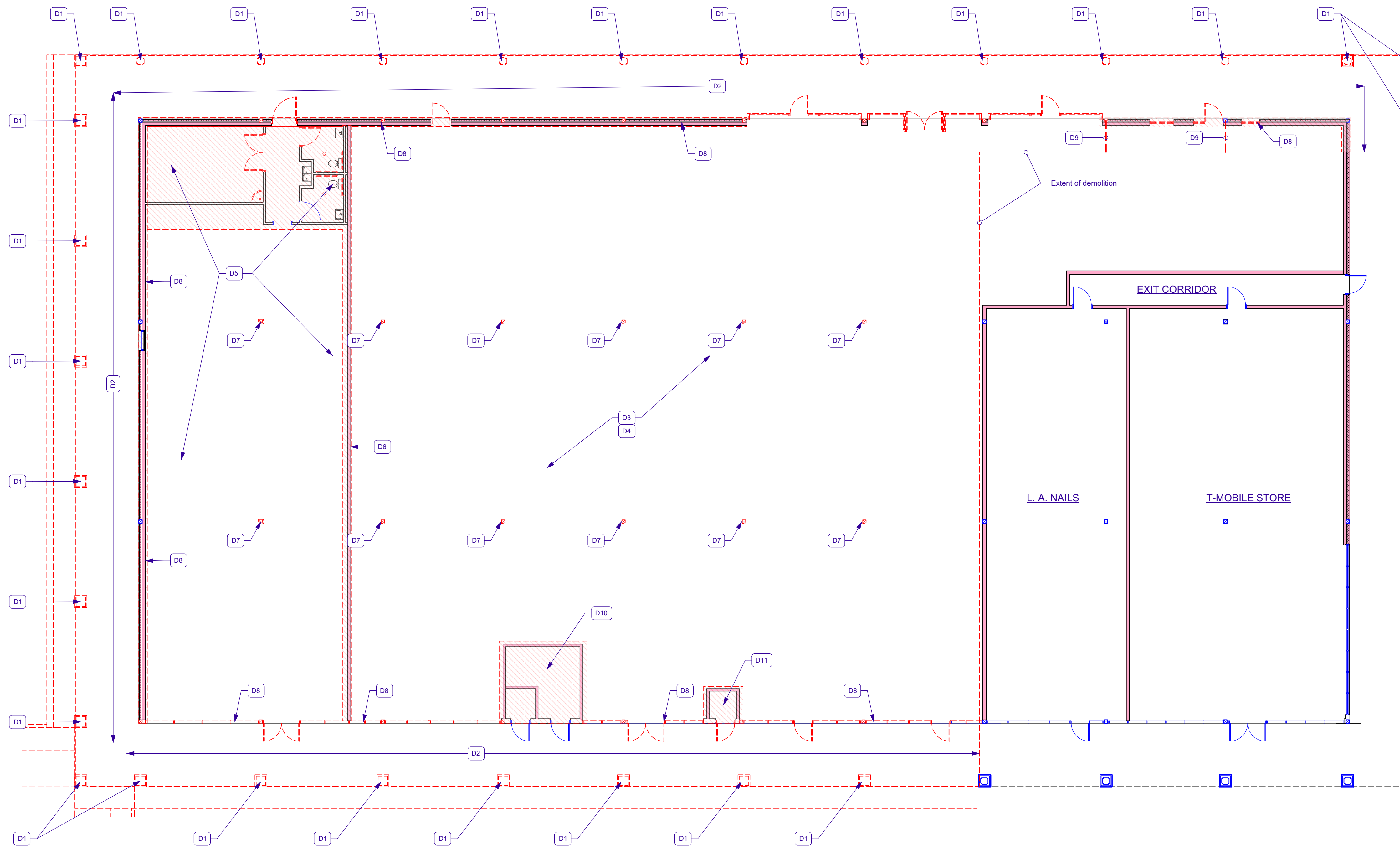
**NOTES**

1. Building Construction Type (Existing): IBC-2015: Type V-B, Unprotected, NO Automatic Sprinkler System [NFPA Type V (000)].
2. Contractor shall field verify all dimensions and existing conditions.
3. Should a discrepancy exist between field conditions and the Drawings that would cause a change in the work, the Contractor shall notify the Architect of such discrepancy(ies) prior to construction of that portion of the work.
4. All dimensions are rough to rough, or center line, u.o.n.
5. In all cases of discrepancies between written and scale dimensions, written dimensions shall override scale dimensions. DO NOT SCALE THE DRAWINGS.
6. Door numbers prefixed with an "E" are existing doors to remain. Re: Door Schedule for sizes & description.
7. Doors shall be readily opened from the side of exit travel at all times the building is occupied.
8. Interior walls and ceilings to have Class A or B finishes (flame spread 0-25, 26-75, respectively; smoke developed 0-450)
9. Insulation and insulation assemblies will conform to the requirements of Section 720, International Building Code (IBC), 2015 Edition.
10. Concealed insulation will have a flame spread of 0-75 and a smoke developed of 0-450.
11. Exposed insulation shall have a flame spread of 0-25 and a smoke developed of 0-450.
12. Safety glazing will be installed in all hazardous locations.
13. All gypsum board to be 5/8" unless otherwise noted.
14. Hand-operated fire extinguishers will be provided in accordance with NFPA 10.
15. Re: Sht. A3.0 for Window Type Elevations (W-1, W-2, etc.).
16. Re: Sht. A3.0 for Door Schedule.
17. Refer to Sht. A1.1 for Selected Demolition Plan and Notes.

1  
A1.0 **DOWNSIZED BUILDING 'B' FLOOR PLAN**  
Scale: 1/8" = 1'-0"

— = NEW CONSTRUCTION  
- - - = EXIST. CONSTRUCTION

Project Title		RENOVATION TO ALGIERS PLAZA BUILDING 'B' 4000 General DeGaulle Blvd. New Orleans, LA	
Scale		AS NOTED	
Sheet No.		A1.0 of 2	
Project Title	FLOOR PLAN		
Developed By	GNK	Date	10/31/18
Drawn By	GNK	Revision	
Checked By	GNK	Project ID	19-23
Reviewed By	GNK	Drawings	A1.0 (Floor Plan-1)
Submitted By	GNK	CAO File Name	19-23_Prelim.vwx
Project Manager		Per Date	
GARY N. KRASNOW ARCHITECT, L.L.C. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 E-MAIL: gntarch@gatt.net		FAX: 866-559-6774 E-MAIL: gntarch@gatt.net	
Issue Notes		Date	
No.		Date	



1 BUILDING 'B' SELECTIVE DEMOLITION PLAN  
A1.1 Scale: 1" = 10'-0"

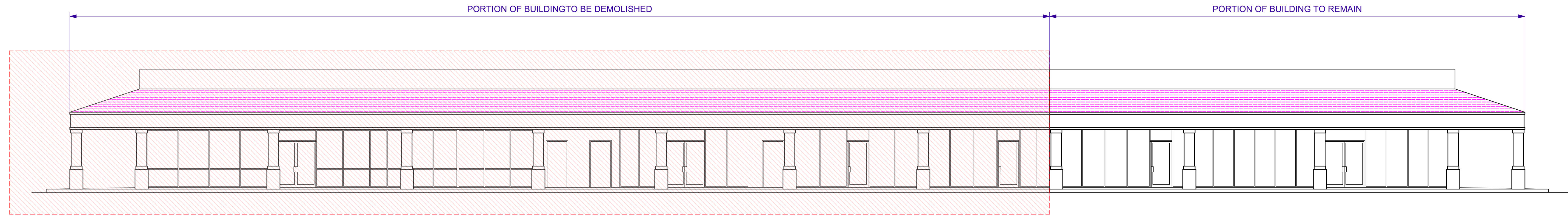
**GENERAL DEMOLITION NOTES**

1. Conduct demolition operations and remove debris to ensure minimal interference with roads, streets, walks and other adjacent occupied and used facilities. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas. Promptly dispose of all demolished materials. Do not allow demolished materials to accumulate on site. Legally transport and dispose of all demolished materials.
2. Demolition Contractor to survey the condition of the building to determine whether removing any element might result in a structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition. Do not demolish any load bearing walls or construction that will compromise the structural integrity of the portion of the structure scheduled to remain. Notify the Architect of any structural issues arising from demolition.
3. Total scope of demolition may not be covered on this sheet. Review all sheets in the Construction Documents to determine total scope of demolition.
4. It is the intent of these demolition notes to remove all the existing construction as indicated on the drawings which conflict with the intent of the new construction.
5. Contractor shall coordinate all demolition work, whether indicated on the drawings or not, with new construction as required.
6. Contractor shall notify the Architect of any existing conditions that are exposed during construction that may affect or interfere with any new work.
7. Demolish and remove components in an orderly and careful manner.
8. Demolition of electrical devices, wiring, conduit, etc. to be performed by an electrician licensed in the state of Louisiana.
9. Removal of plumbing fixtures, supply and drain lines to be performed by a plumber licensed in the state of Louisiana.
10. Existing utilities servicing the tenant spaces to remain are to remain in service during selective demolition.
11. Protect existing items which are not indicated to be removed.
12. Protect existing supporting structural elements and adjacent area not scheduled for work.

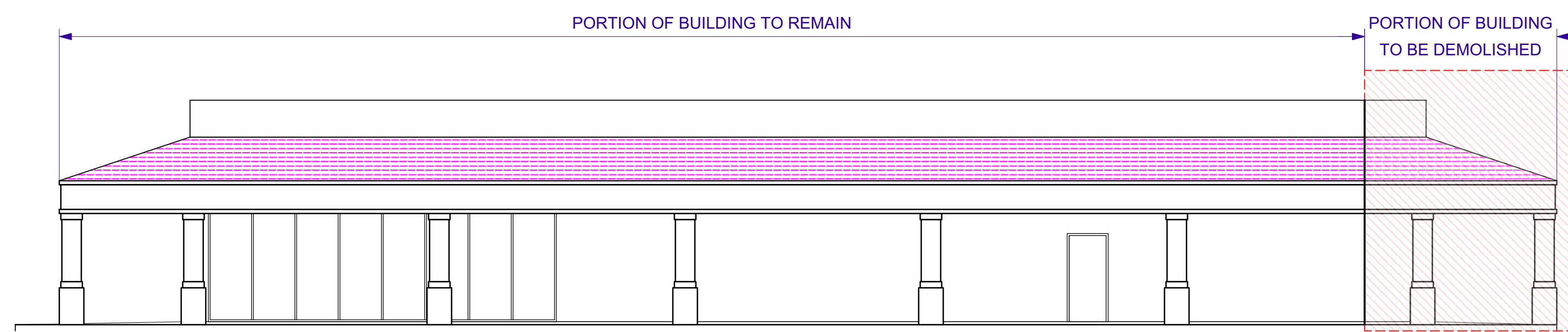
**KEYED DEMOLITION NOTES**

- D1 Remove existing concrete column.
- D2 Remove concrete walk, roof, rafters, soffit, lights and sprinkler piping.
- D3 Remove concrete foundation, including piles, in portion of Building 'B' scheduled to be demolished.
- D4 Remove roof and roof structure in portion of Building 'B' scheduled to be demolished.
- D5 Remove all interior partitions, finishes, fixtures in former Mattress Firm tenant space.
- D6 Remove existing tenant demising wall in its entirety.
- D7 Remove existing wood column and beams above.
- D8 Remove exterior wall in its entirety: Wall structure, columns, finishes, doors and windows.
- D9 Remove end of beam above, from existing exterior wall to new exterior wall. RE: Sht. A1.0 Floor Plan for location of new exterior wall and wall section
- D10 Existing Electrical Room to remain until new electrical feed is established to the tenant spaces (3) to remain.
- D11 Remove existing automatic sprinkler system: Sprinkler riser, closet, all piping and heads.

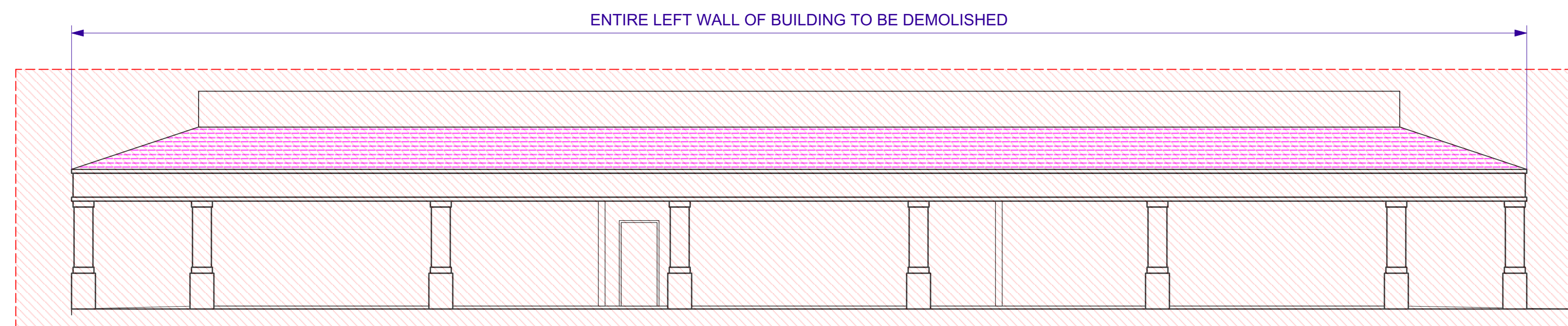
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Sheet Title BUILDING 'B' SELECTIVE DEMOLITION PLAN		Sheet No. A1.1 of 2	
Project No. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 E-MAIL: gntarch@gatt.net		Project ID 19-23 Revision A1.1 [Demolition Plan-1] CAD File Name 19-23_Prelim.vwk Plot Date	
Designed By GNK	Checked By GNK	Reviewed By Submitted By	Project Manager
Date 3/15/2020		Revision	
No.		Date	
Issue Notes			



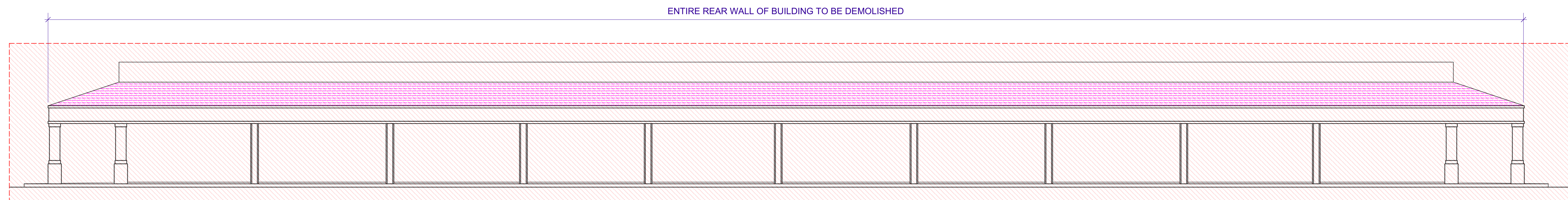
1 EXISTING FRONT ELEVATION  
Scale: 1/8" = 1'-0"



2 EXISTING RIGHT SIDE ELEVATION  
Scale: 1/8" = 1'-0"



3 EXISTING LEFT SIDE ELEVATION  
Scale: 1/8" = 1'-0"



4 EXISTING REAR ELEVATION  
Scale: 1/8" = 1'-0"

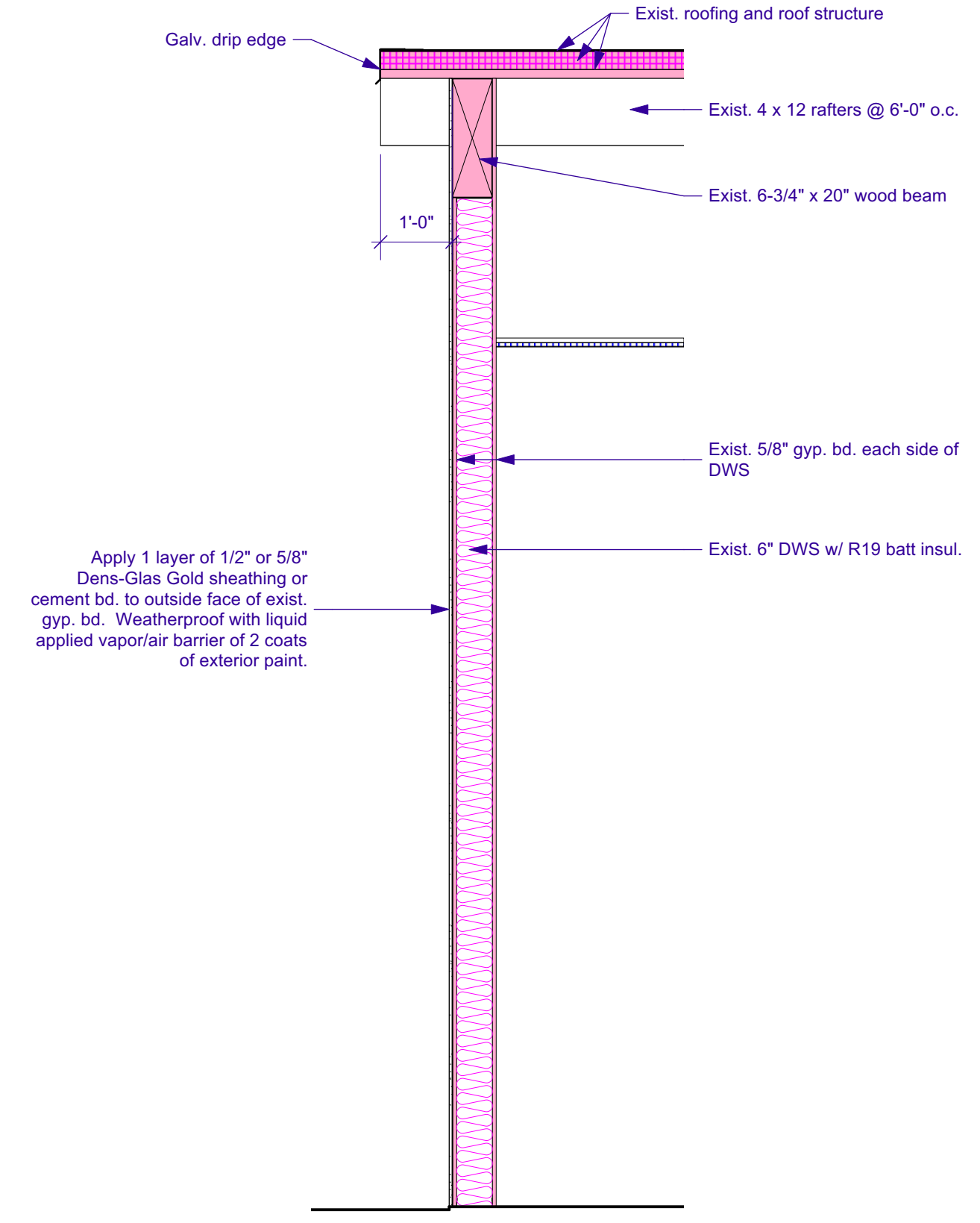
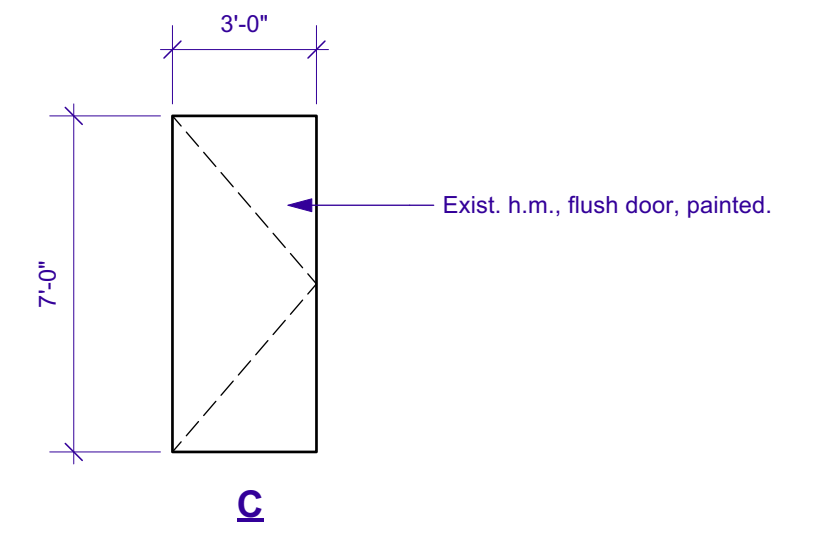
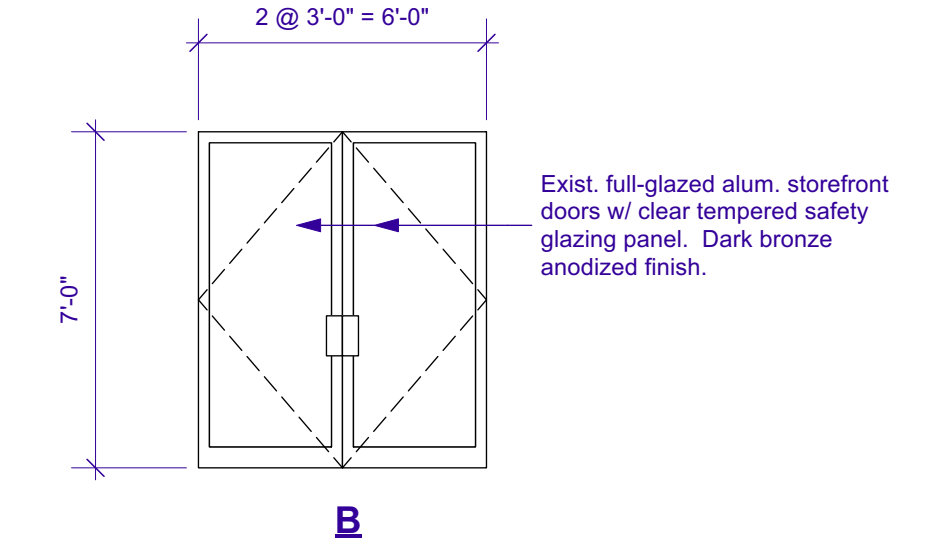
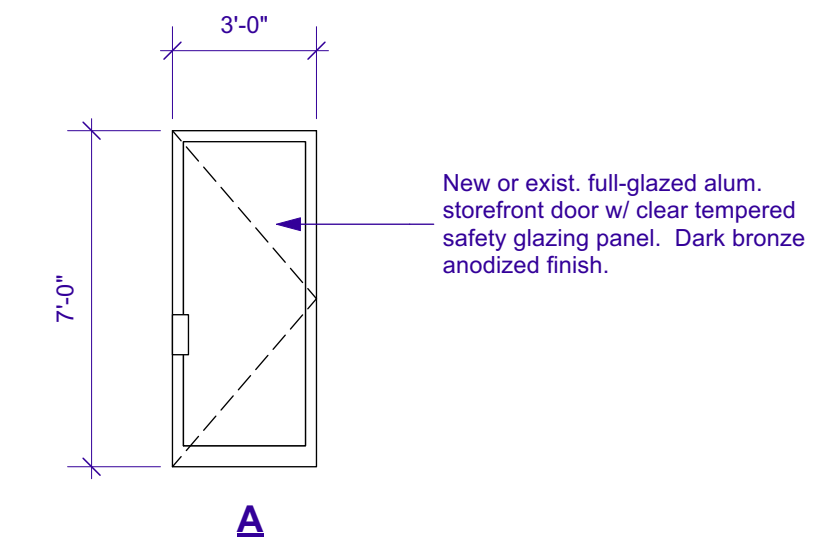
Project Title		RENOVATION TO ALGIERS PLAZA BUILDING 'B' 4000 General DeGaulle Blvd. New Orleans, LA	
Scale		AS NOTED	
Sheet No.		A2.0 of 2	
Project Title	EXISTING EXTERIOR ELEVATIONS DEMOLITION	Project No.	
Client		Project Manager	
Architect	GARY N. KRASNOW ARCHITECT, L.L.C. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 E-MAIL: gntarch@gatt.net	Designer	GNK
Contractor		Checker	GNK
Reviewer		Reviewed By	
Scale		Scale	
Date	3/10/2020	Revision	
Project ID	19-23	Revision	A2.0 (Arch/Devl/Sched-1)
Revision	19-23_Prelim.vwx	Revision	19-23_Prelim.vwx
No.		Date	
Issue Notes			

**Door Schedule**

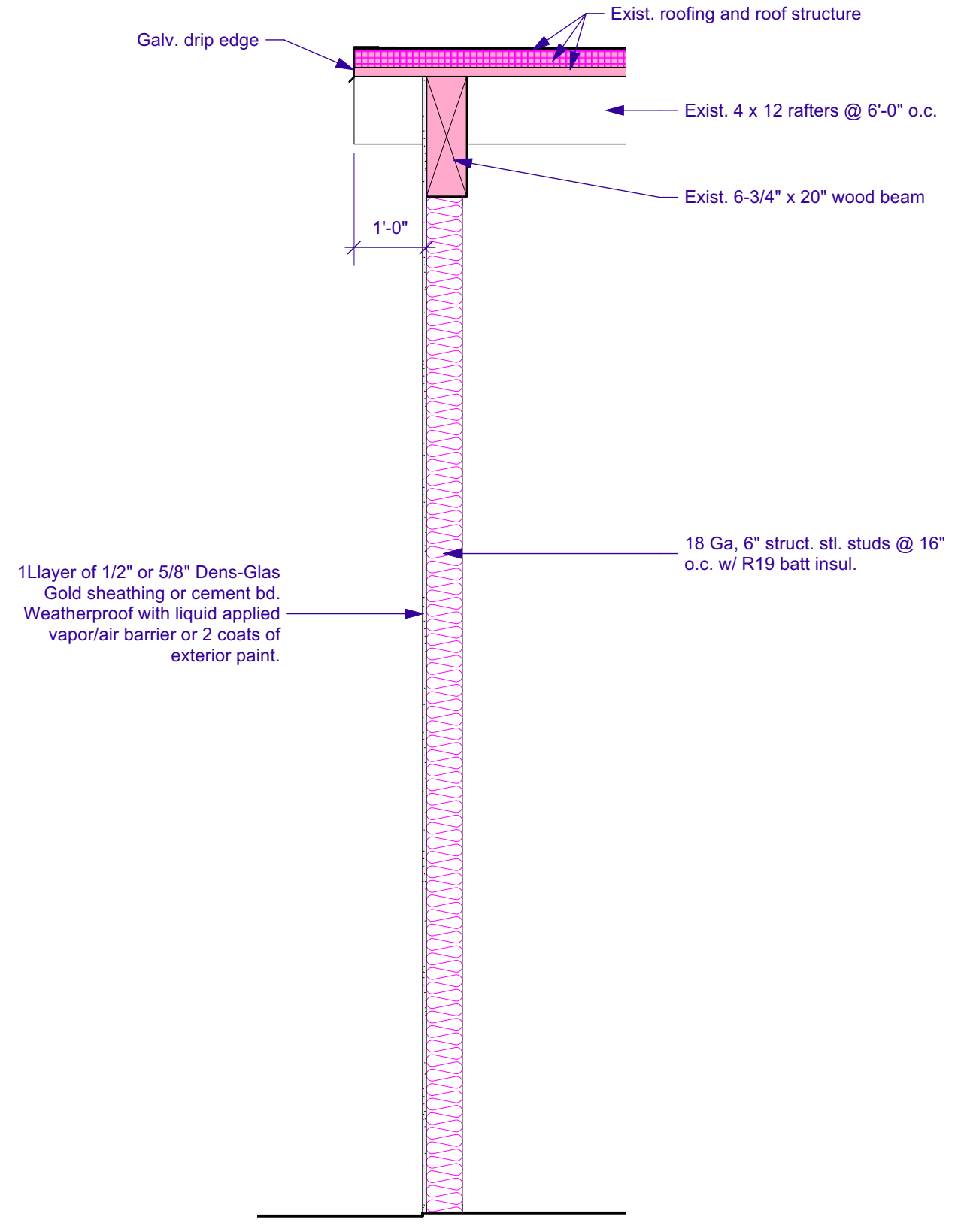
Mark	Nominal Size			Door Style	Slab Style	Side Lights	Door Frame			Fire Rating	Door Slab	Accessories	Door Elev. Type	Description	Hardware Set Desc.	Comments
	Width	Height	Thickness				L Sideit Wid	R Sideit Wid	Head Detail							
01	3'0"	7'0"	1 3/4"	Swing Simple	Glass	✓	3'0"	3'0"	---	---	---	---	A	Full-glazed alum. storefront	Push/Pull	See note 3.
02	3'0"	7'0"	1 3/4"	Swing Simple	Glass	✓	3'0"	3'0"	---	---	---	---	A	Full-glazed alum. storefront	Push/Pull	See notes 2,3.
03	3'0"	7'0"	1 3/4"	Swing Simple	Solid	•	0"	0"	---	---	---	---	A	Full-Glazed alum. storefront	Push/Pull	See note 3.
E 04	3'0"	7'0"	1 3/4"	Swing Simple	Glass	•	0"	0"	---	---	---	---	A	Full-glazed Alum. Storefront.	Exist.	See notes 4,5.
E 05	6'0"	7'0"	1 3/4"	Swing Bi-part	Glass	•	0"	0"	---	---	---	---	B	Full glazed Alum. Storefront.	Existing	See notes 4,5.
E 06	3'0"	7'0"	1 3/4"	Swing Simple	Solid	•	0"	0"	---	---	---	---	C	Exist., ext. h.m.	Exist.	See notes 1,2,4,5.

- Notes:**
1. All lock / latchesets to have lever handles.
  2. Paint door & frame.
  3. Verify all door hardware with the Owner.
  4. All doors w/ an "E" prefix are existing doors to remain.
  5. Existing hardware to remain.

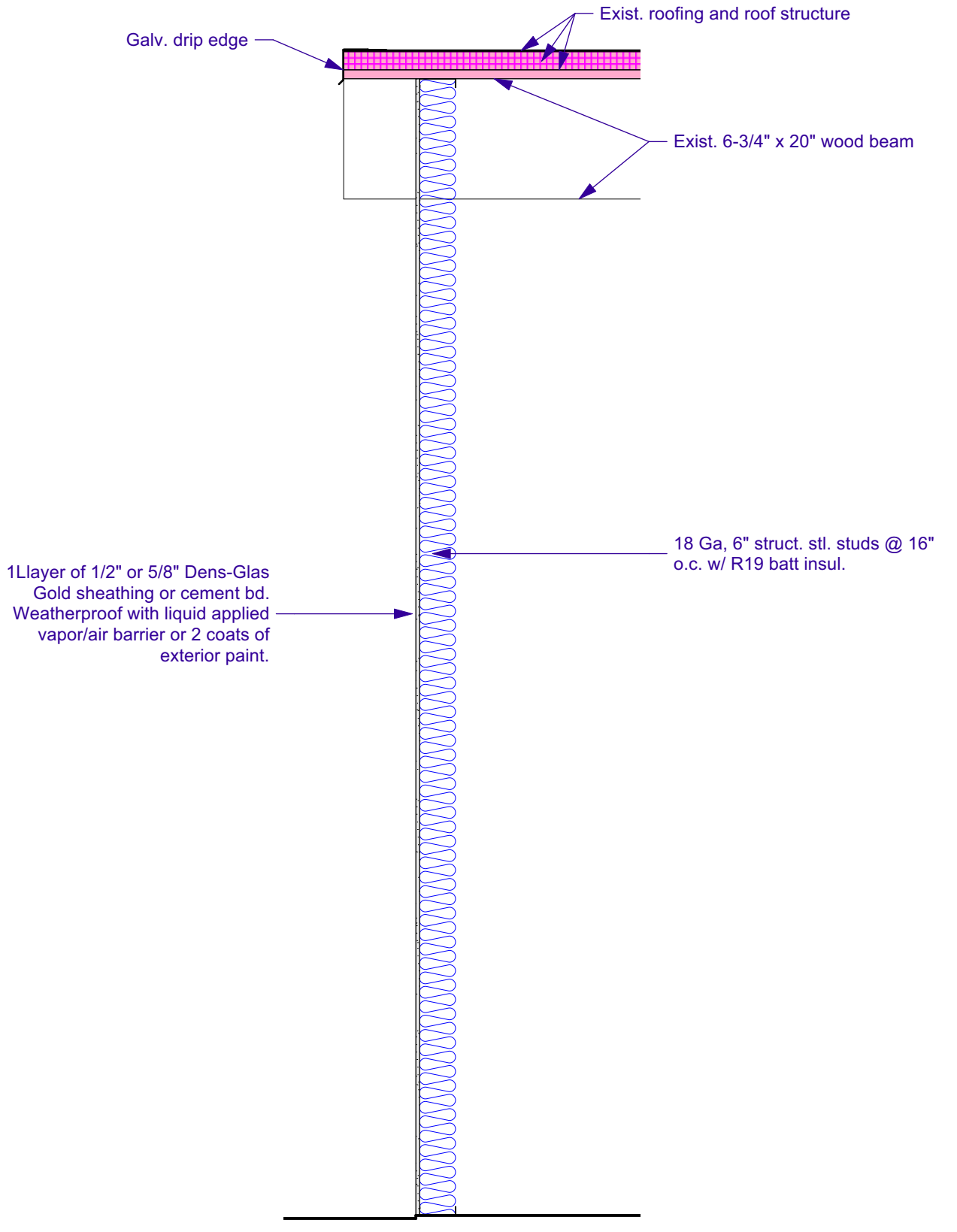
**Door Type Elevations 1/4" = 1'-0"**



1 SECTION @ EXISTING DEMISING WALL  
Scale: 1/2" = 1'-0"

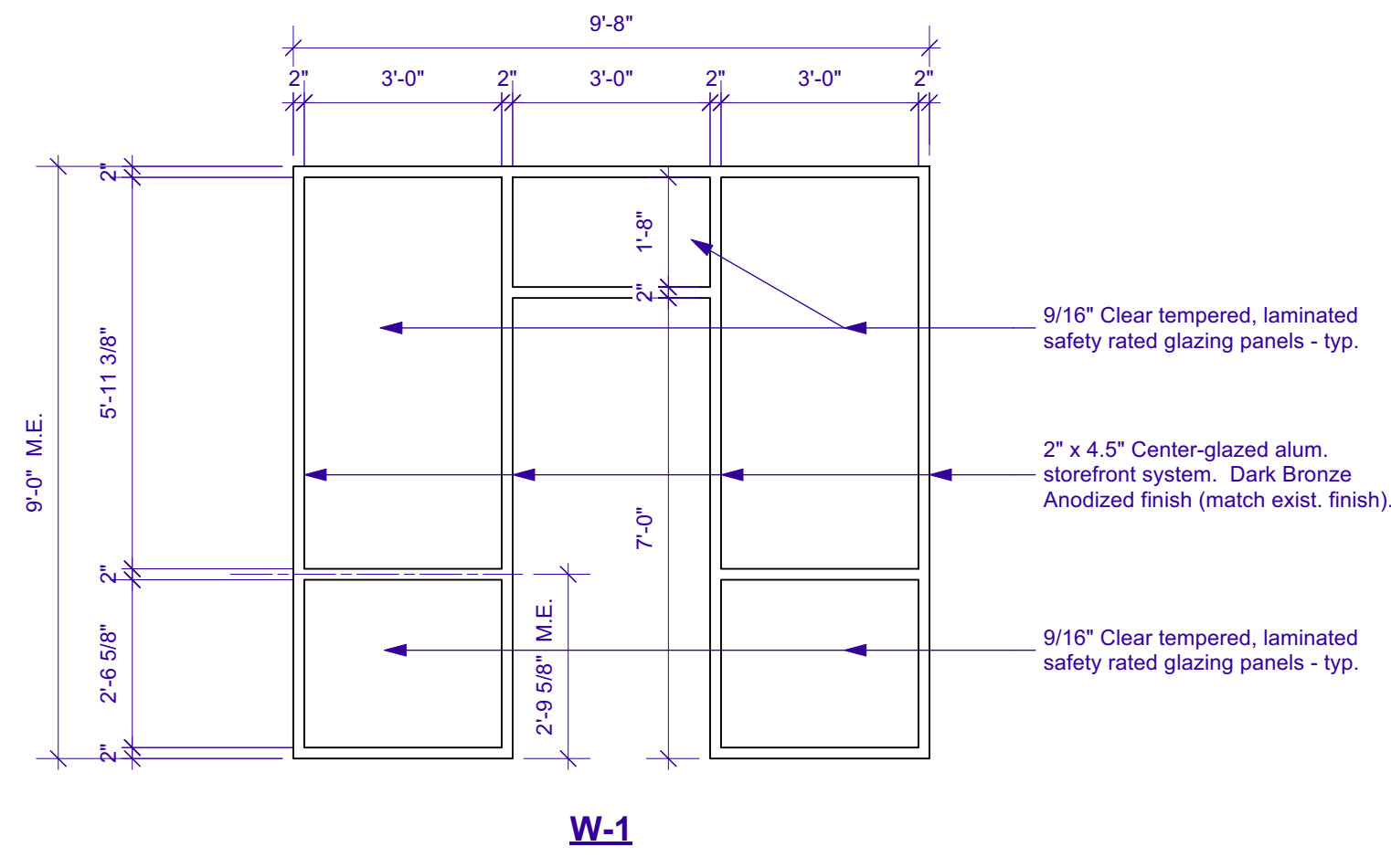


2 WALL SECTION @ NEW SIDE WALL  
Scale: 1/2" = 1'-0"



3 WALL SECTION @ NEW REAR WALL  
Scale: 1/2" = 1'-0"

**Exterior Window Elevation Types 3/8" = 1'-0"**



W-1

Date: 3/20/2020		Revision:		Project ID: 19-23		Drawing Title: A3.0 (Wall Sections-M-1)		CAD File Name: 19-23_Prelim.vwk		Per Date:	
Designed By: GNK		Drawn By: GNK		Checked By:		Reviewed By:		Submitted By:		Project Manager:	
<b>GARY N. KRASNOW</b> ARCHITECT, L.L.C. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-659-6774 E-MAIL: gntarch@gatt.net		RENOVATION TO ALGIERS PLAZA BUILDING 'B' 4000 General DeGaulle Blvd. New Orleans, LA		DOOR SCHEDULE WALL SECTIONS		Scale: AS NOTED		Sheet No. A3.0 of 2		Issue Notes No. Date	



1 PH1 BUILDING 'B' FRONT



2 PH1 BUILDING 'B' LEFT SIDE

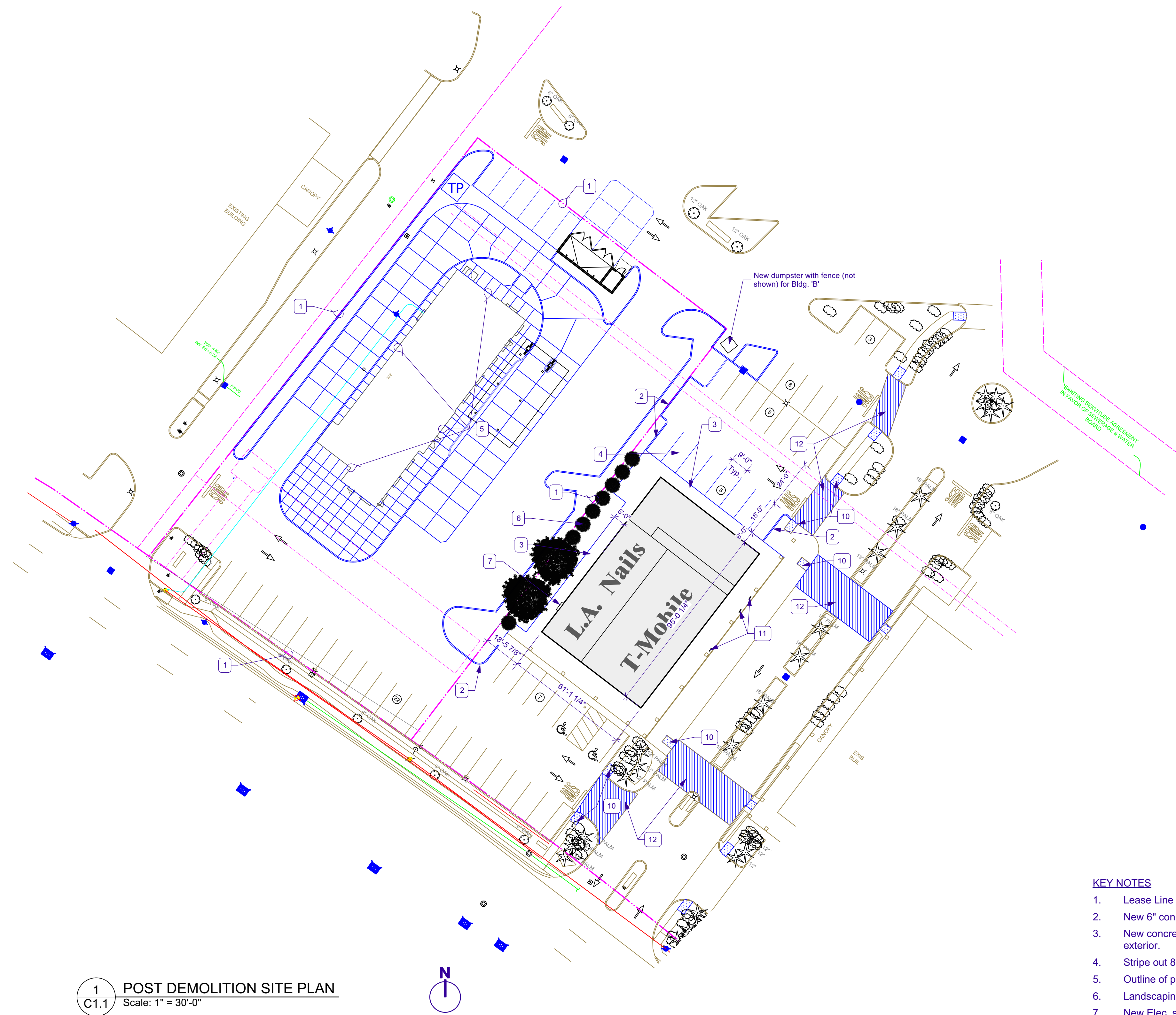


3 PH1 BUILDING 'B' REAR



4 PH1 BUILDING 'B' RIGHT SIDE

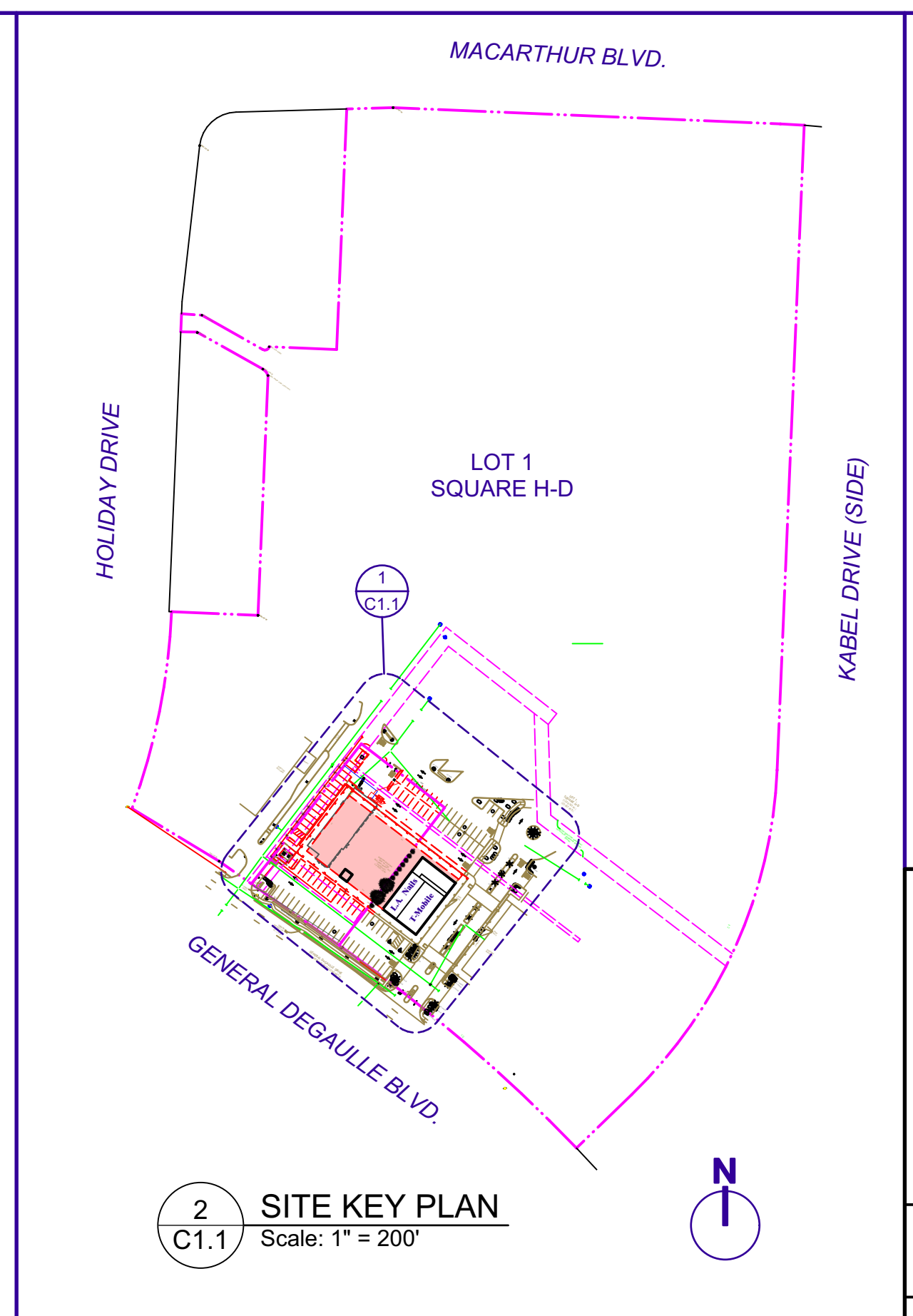
Issue Notes	
Date	No.
3/18/2020	
Revision	
Project ID	19-23
Revision No.	PH1 [Building Photos]
Revision Date	19-23_Prelim.vwx
Prepared By	GNK
Drawn By	GNK
Checked By	GNK
Reviewed By	
Submitted By	
Project Manager	
<b>GARY N. KRASNOW</b> ARCHITECT, L.L.C. 7734 WALMSLEY AVE NEW ORLEANS, LA 70125 TEL: 504-865-1937 FAX: 866-659-6774 E-MAIL: gntarch@gatt.net	
Project Title: RENOVATION TO ALGIERS PLAZA Building 'B' 4000 General DeGaulle Blvd. New Orleans, LA Sheet Title: BUILDING 'B' PHOTOS	
Scale: AS NOTED	
Sheet No. PH1 of 2	



1 POST DEMOLITION SITE PLAN  
C1.1 Scale: 1" = 30'-0"

**KEY NOTES**

1. Lease Line of New Lease Area.
2. New 6" concrete curb.
3. New concrete walk to be installed as part of re-design of Bldg. 'B' exterior.
4. Stripe out 8 new parking spaces.
5. Outline of proposed new building in Lease Area (N.I.C.).
6. Landscaping along side of building TBD.
7. New Elec. service.
8. N/A
9. Remove transformer pad and transformers. New TP to be located in lease area.
10. Exist. tactile strip
11. Exist. bike rack
12. Existing stamped concrete ( brick pattern).



2 SITE KEY PLAN  
C1.1 Scale: 1" = 200'

Designed By	GNK	Date	12/22/2020
Drawn By	GNK	Revision	
Checked By		Project ID	19-23
Reviewed By		Revision Desc	C1.0 (Site Plan (General))
Submitted By		CAC File Name	19-23_Prelim.vwx
Project Manager		Plot Date	

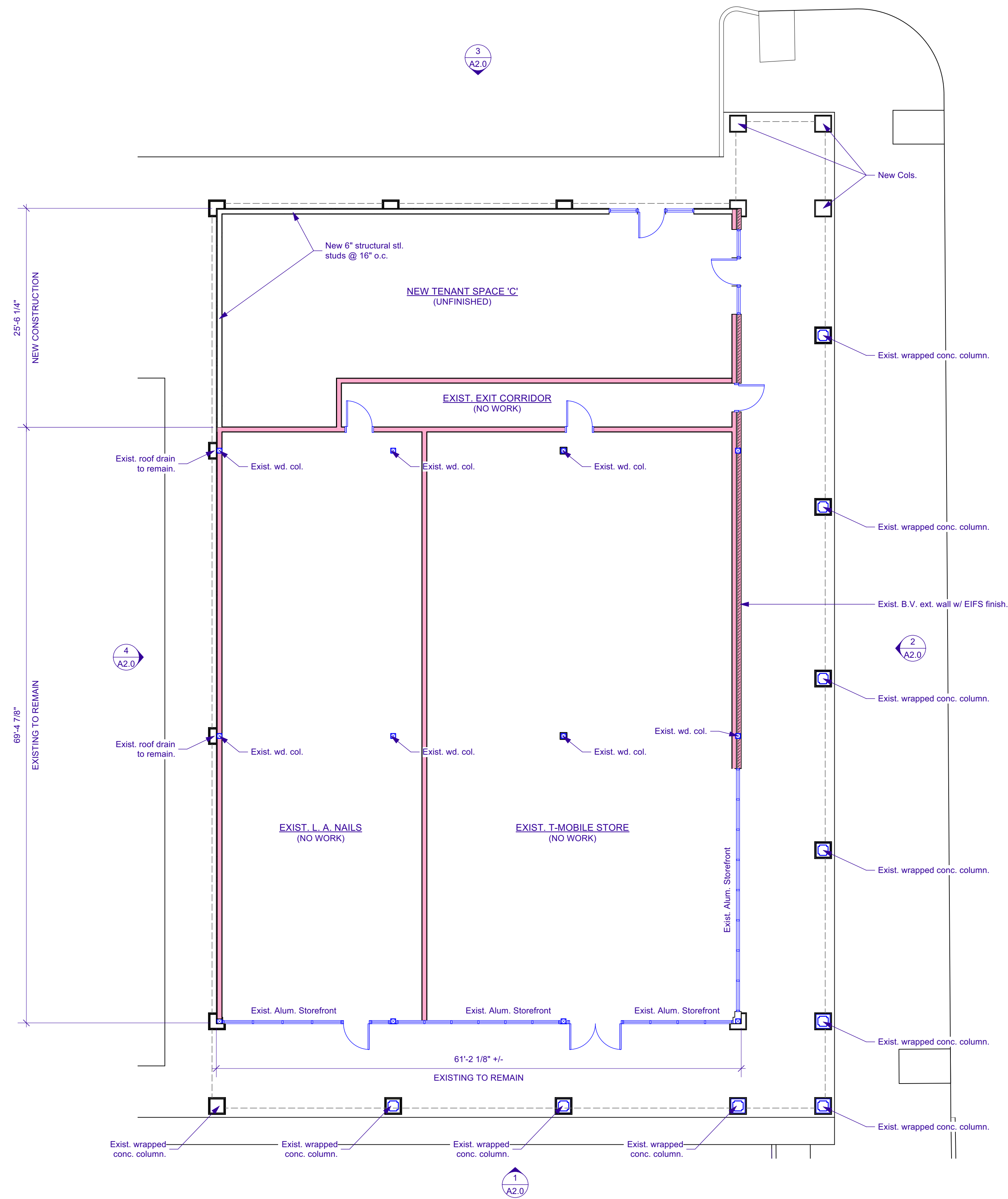
**GARY N. KRASNOW**  
ARCHITECT, L.L.C.  
7734 WALMSLEY AVE NEW ORLEANS, LA 70125  
TEL: 504-865-1937 FAX: 866-659-6774  
E-MAIL: gntarch@gatt.net

PROJECT: RENOVATION TO ALGIERS PLAZA BUILDING 'B'  
4000 General DeGaulle Blvd. New Orleans, LA  
SHEET: POST DEMO SITE

Scale: AS NOTED

Sheet No. C1.1 of 2

No.	Date	Issue Notes



1 FLOOR PLAN  
A1.0 Scale: 1/8" = 1'-0"

No.	Date	Issue Notes

Drawn By	GNK	Date	10/31/18
Checked By	GNK	Project ID	19-23
Reviewed By		Drawing Code	A1.0 [Floor Plan-1]
Submitted By		CAD File Name	19-23_Prelim.vwx
Project Manager		Plot Date	

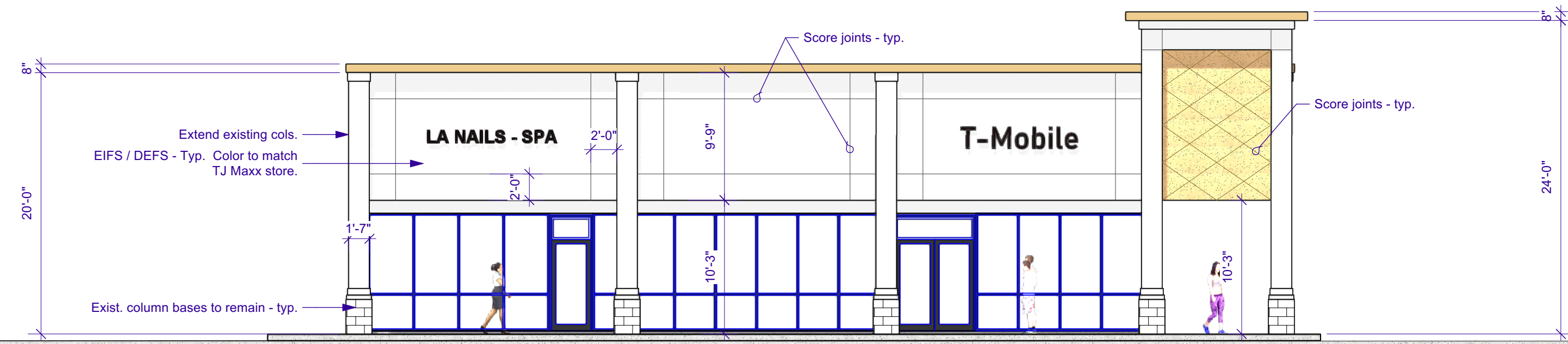
**GARY N. KRASNOW**  
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7734 WALMSLEY AVE NEW ORLEANS, LA 70125  
TEL: 504-865-1937 FAX: 866-899-4774  
E-MAIL: gkrasnow@gnk.net

Project Title  
**RENOVATION TO ALGIERS PLAZA BUILDING 'B'**  
4000 General DeGaulle Blvd.  
New Orleans, LA

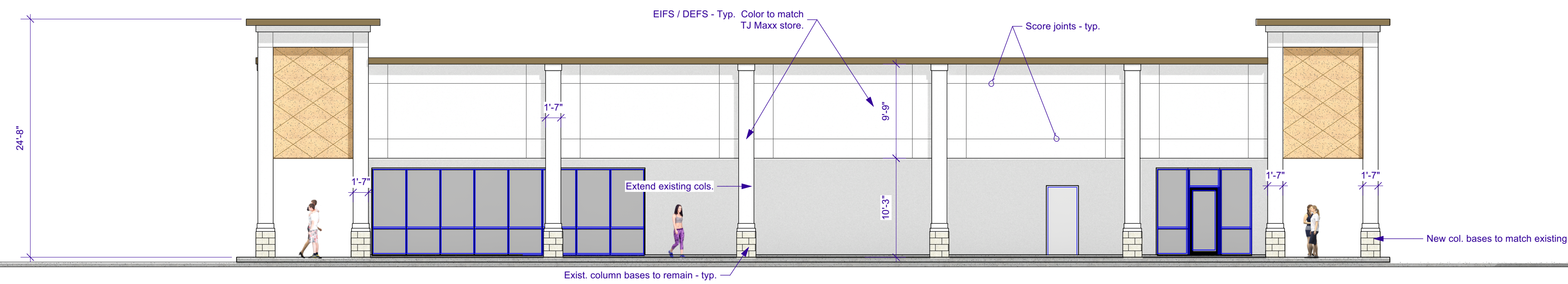
Sheet Title  
**FLOOR PLAN**

Scale	AS NOTED
Sheet No.	A1.0 of 2

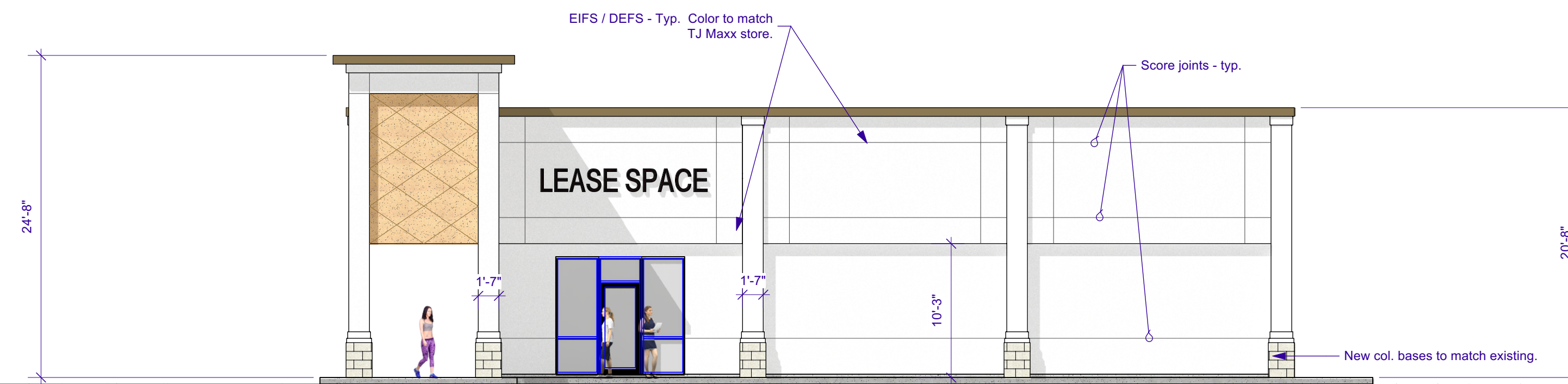




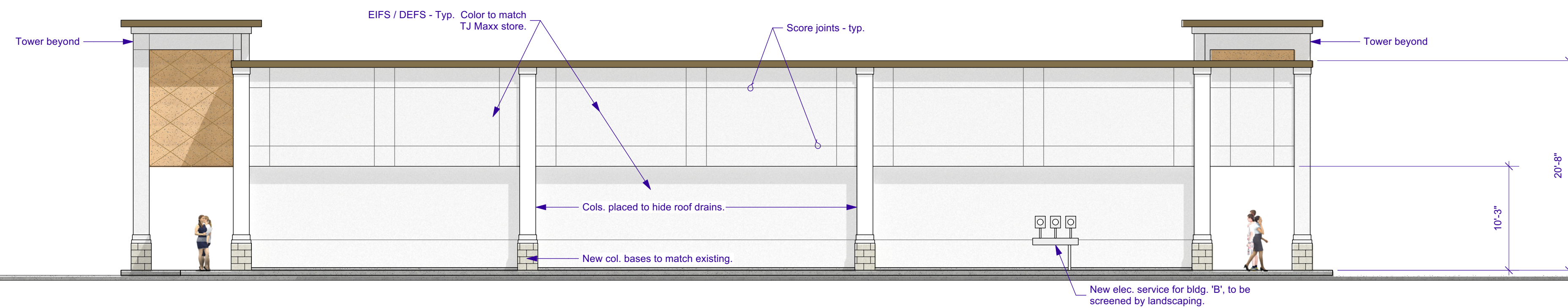
1 FRONT ELEVATION  
A2.0 Scale: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
A2.0 Scale: 1/8" = 1'-0"



3 REAR ELEVATION  
A2.0 Scale: 1/8" = 1'-0"



4 LEFT SIDE ELEVATION  
A2.0 Scale: 1/8" = 1'-0"

Issue Notes															
No.	Date														
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Drawn	1/17/2021														
Checked By	GNK														
Project ID	19-23														
Drawn By	A2.1 (Elevations-M-1)														
Scale	1/8" = 1'-0"														
File Name	19-23_Prelim.vwx														
Plot Date															
<table border="1"> <tr> <td>Designed By</td> <td>GNK</td> </tr> <tr> <td>Drawn By</td> <td>GNK</td> </tr> <tr> <td>Checked By</td> <td></td> </tr> <tr> <td>Reviewed By</td> <td></td> </tr> <tr> <td>Submitted By</td> <td></td> </tr> <tr> <td>Project Manager</td> <td></td> </tr> </table>		Designed By	GNK	Drawn By	GNK	Checked By		Reviewed By		Submitted By		Project Manager			
Designed By	GNK														
Drawn By	GNK														
Checked By															
Reviewed By															
Submitted By															
Project Manager															
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<p>Project Title: <b>RENOVATION TO ALGIERS PLAZA BUILDING 'B'</b> 4000 General DeGaulle Blvd. New Orleans, LA Sheet Title: <b>EXTERIOR ELEVATIONS</b></p>															
Scale: AS NOTED															
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