



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.

Type of application: Design Review Interim Zoning Districts Appeal Moratorium Appeal

Property Location 2221 Filmore Ave

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Scott Welty

Applicant Address 3021 42nd St.

City Metairie State Louisiana Zip 70001

Applicant Contact Number 504-931-1665 Email scott@weltyarchitecture.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name Sinesio Canseco

Property Owner Address 5217 Elysian Fields Ave

City New Orleans State Louisiana Zip 70122

Property Owner Contact Number 504-975-2856 Email sinesiocanseco@yahoo.com

PROJECT DESCRIPTION

The project includes the new construction of a retail grocery store for Canseco's Market. The proposed project is 11,646 sf on the first floor and 2,958 sf on the 2nd floor. The project will include on-site parking for 25 spaces including (2) accessible spaces. On an adjacent lot, there will be (11) parking spaces provided bring the total to 36 parking spaces.

REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review

- Character Preservation Corridor
- Riverfront Design Overlay
- Enhancement Corridor
- Corridor Transformation
- Greenway Corridor
- Others as required

Non-Design Overlay District Review

- Development over 40,000 sf
- Public Market
- Parking Lots with over 10 spaces or loading zones
- Wireless Antenna/Tower
- Educational Facility

- Mural Reviews
- Electric Utility Substations and Transmission Lines
- CBD FAR Bonus
- Changes to Approved Plans
- DAC Review of Public Projects
- Others as required

ADDITIONAL INFORMATION

Current Use Former Church and School (Vacant at this time) Proposed Use Retail Grocery Store

Square Number 4056 Lot Number 1 Permeable Open Space (sf) 8547 sf

New Development?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Addition?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Tenant Width	<u>NA</u>
Existing Structure(s)?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Renovations?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Building Width	<u>89'-2"</u>
Change in Use?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Existing Signs?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Lot Width (sf)	<u>165'-8.5"</u>
New Sign(s)?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Lot Area (sf)	<u>26338 sf</u>	BuildingArea (sf)	<u>14604 gsf</u>



DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One digital copy)

1. SITE PLAN

- ✓ North arrow, scale, and date of plan
- ✓ Location, dimensions, and area of permeable open space
- ✓ Name, address of the professional who prepared the plan
- ✓ Legend of symbols, patterns, and abbreviations used
- ✓ The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- ✓ Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- ✓ Location and dimensions of buildings and structures, including total floor area and distance from property lines
- ✓ Location of refuse storage locations
- ✓ Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- ✓ Fence location, height, and materials

2. FLOOR PLAN

- ✓ Indicating the dimensions and square footage of proposed development
- ✓ Room use
- ✓ Location of all walls, doors, and windows
- ✓ Location of all plumbing fixtures
- ✓ Location of major appliances/mechanical equipment
- ✓ Stairway location
- ✓ Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- ✓ Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- ✓ Location of all exterior lighting, including those mounted on poles and walls
- ✓ Types, style, height, and the number of fixtures
- ✓ Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- ✓ Proposed Signage with overall height, width, and materials
- ✓ Building Elevation (including building width and height)
- ✓ Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- ✓ Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- ✓ All landscape plans shall meet the minimum requirements of site plans
- ✓ Legend defining all symbols, patterns, and abbreviations used
- ✓ Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- ✓ Description of all tree preservation measures on-site and in the public right-of-way
- ✓ Width, depth, and area of landscaped area(s)
- ✓ Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- ✓ Photographs of the subject site and/or building

8. NARRATIVE

- ✓ Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- ✓ Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000

DESIGN REVIEW NARRATIVE

CANSECO'S MARKET AT FILMORE AVE

Project Description

The project includes the new construction of a retail grocery store for Canseco's Market. The proposed project is 11,646 sf on the first floor and 2,958 sf on the 2nd floor. The project will include on-site parking for 25 spaces including (2) accessible spaces. On an adjacent lot, there will be (11) parking spaces provided bring the total to 36 parking spaces.

Site Description

The site (2221 Filmore Ave) is a 26,338sf corner lot and fronts Filmore Ave. with Marigny St at the east side. The west property line is an adjacent commercial lot including a bank (2201 Filmore) and restaurant (5315 Elysian Field Ave). The rear (north) property line is a residential lot and a vacant residential lot (5326 Marigny St). The vacant residential lot is under sale contract with Owner of Canseco's Market. This lot will be used for additional parking serving the grocery store.

Zoning and CZO Compliance

The site is zoned S-B2 Suburban Pedestrian-Oriented Corridor Business District per zoning ordinance No:28240, Calendar No:32,820 dated October 17, 2019. Additionally, the property resides in the EC Enhancement Corridor Overlay District. The project meets the goals of the S-B2 district because it is a pedestrian-oriented business along a corridor street. Our proposed design is intended to be compatible with the adjacent neighborhood by limiting its scale to below that which is allowed in the residential district. Additionally, the exterior material uses of face brick and fiber cement siding represent the same character as the surrounding neighborhood. The stormwater prevention plan and landscape design plan are included in the proposed documents.

Additional Data:

Main Lot: Grocery Store and 25 Parking Spaces	Secondary Lot: Parking Additional Parking Only
2221 FILMORE AVE., LA 70122 S-B2 Suburban Pedestrian-Oriented Corridor Business District EC Enhancement Corridor Design Overlay District LOT 1,2,3,4 SQ 4056	5326 Marigny St S-RS: Suburban Single-Family Residential District EC Enhancement Corridor Design Overlay District Lot 5 SQ 4056



Welty Architecture, llc

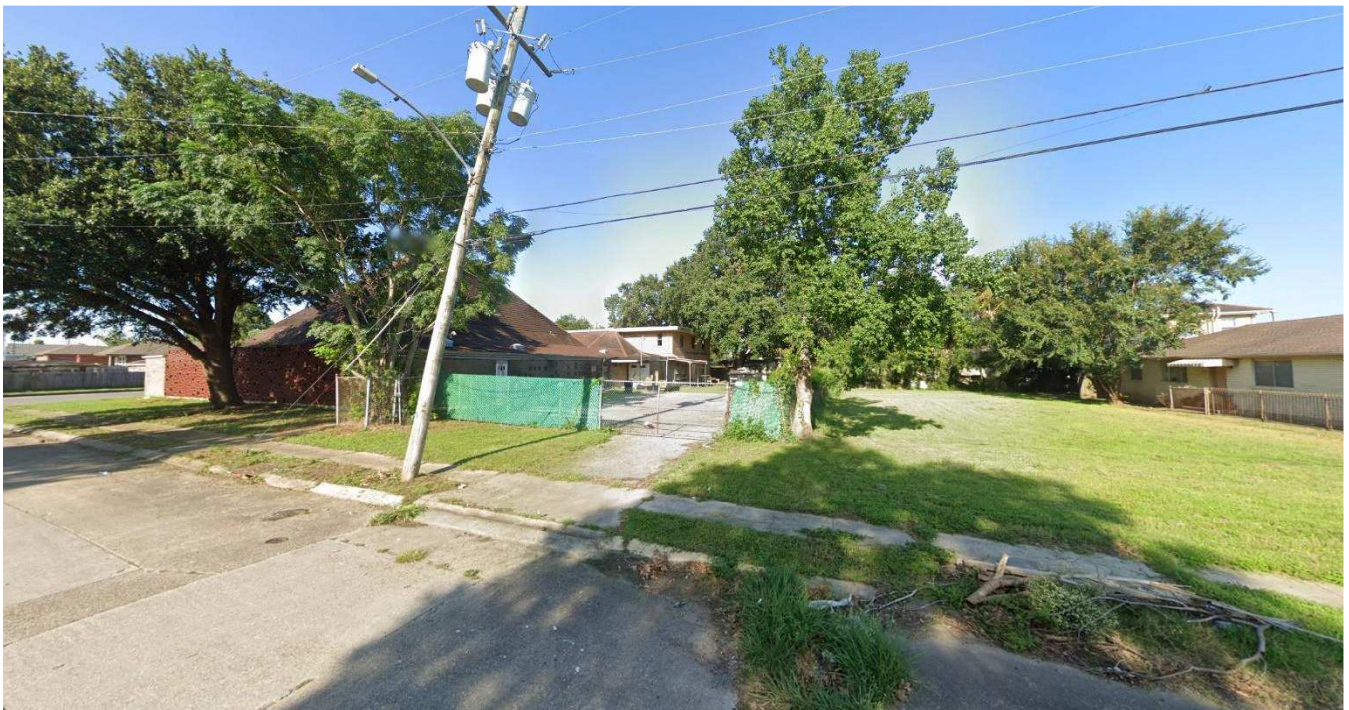
Scott J Welty
Architect, NCARB, LEED AP

56 Spanish Fort Blvd
New Orleans, LA 70124

Tel: 504-931-1665
Email: scott@weltyarchitecture.com

SITE PHOTOS
2221 FILMORE AVE
CANSECO'S MARKET AT FILMORE AVE

SITE PHOTOS PRIOR TO DEMOLITION



Welty Architecture, llc

Scott J Welty
Architect, NCARB, LEED AP

56 Spanish Fort Blvd
New Orleans, LA 70124

Tel: 504-931-1665
Email: scott@weltyarchitecture.com

SITE PHOTOS
2221 FILMORE AVE
CANSECO'S MARKET AT FILMORE AVE

SITE PHOTOS AFTER BUILDING DEMOLITION



Welty Architecture, Ilc

Scott J Welty
Architect, NCARB, LEED AP

56 Spanish Fort Blvd
New Orleans, LA 70124

Tel: 504-931-1665
Email: scott@weltyarchitecture.com

ZONING ANALYSIS

MUNICIPAL ADDRESS: 2221 FILMORE AVE., LA 70122
 ZONING DISTRICT: S-R2
 Suburban Pedestrian-Oriented Corridor Business District
 EC
 Enhancement Corridor Design Overlay District
 LOT 12.3.4
 THIRD DISTRICT
 CITY OF NEW ORLEANS,
 ORLEANS PARISH, LOUISIANA
 Tax ID: 38W42801
 SUBMISSION NAME: ST RAPHAEL I

PARKING REQUIREMENTS: TABLE 22-1. RETAIL, GOODS ESTABLISHMENTS, 1 PER 500 GFA
 (20) PARKING SPACES INCLUDING (1) ADA
 11,962 SF 50 SF = 24 PARKING SPACES REQUIRED | 25 SPACES PROVIDED

BICYCLE REQUIREMENTS: TABLE 22-1. RETAIL, GOODS ESTABLISHMENTS, 1 PER 500 GFA
 (3) SPACE REQUIRED | (4) SPACE PROVIDED

LOADING REQUIREMENTS: TABLE 22-3. COMMERCIAL & INSTITUTIONAL USE

(1) LOADING SPACE REQUIRED | (1) LOADING SPACE PROVIDED

LOT AREA:	MAX. 10,000 SF	ACTUAL: 26,338 SF	LOT WIDTH:	ACTUAL: 118'-0"	MIN.: 100'-0"
MAX. FLOOR AREA:	MAX. 25,000 SF	ACTUAL: 11,877 SF	LOT DEPTH:	ACTUAL: 170'-0"	MIN.: 100'-0"
FRONT YARD:	ACTUAL: 10'-0"	MIN.: 5'	REAR YARD:	ACTUAL: 71'-0"	MIN.: NONE
INTERIOR SIDE YARD:	ACTUAL: 10'-0"	MIN.: NONE	CORNER SIDE YARD:	ACTUAL: 5'-0"	MIN.: NONE TO MAX. 12'

BUILDING HEIGHT: MIN. PERMEABLE OPEN SPACE:
 ACTUAL: 20'-0" (MEAN (2 STORY))
 MAX.: 40'
 MIN.: 20% (567' 9 SF)

ZONING ANALYSIS NOTES

PURPOSE OF THE SUB-PEDESTRIAN-ORIENTED CORRIDOR BUSINESS DISTRICT

The Sub-Pedestrian-Oriented Corridor Business District is intended for clusters of pedestrian-oriented business uses generally located along corridors. The district regulations are designed to encourage compatibility with adjacent or nearby suburban residential uses and maintain the pedestrian-oriented character of the area.

14.3.B.1. DESIGN STANDARDS FOR NON-RESIDENTIAL USES

The following standards shall apply to all sites except single and two family dwellings:

- The primary entrance for each business shall be oriented to the street.
 - The ground floor of newly constructed commercial buildings and commercial spaces within mixed-use buildings shall contain a minimum transparency of fifty percent (50%) on the primary street and windows shall be constructed of transparent glass. opaque, highly tinted, or reflective glass is prohibited. transparency into the building shall be maintained.
 - The first floor of commercial buildings and commercial spaces of mixed-use structures shall be designed with a minimum ceiling height of twelve (12) feet.
 - Security bars, if installed, shall be on the inside of windows. Roll-up or accordion security grilles are permitted on the ground floor when constructed of a see-through, non-solid material.
2. The following standards shall apply to all sites that meet the applicability thresholds of Section 4.5. Development Plan and Design Review:
- Where appropriate, buildings shall provide climate protection through the incorporation of overhangs, arcades, balconies, and other architectural features.
 - A strong visual connection shall be made between the building design and the existing character of the area. The overall building design, including its height and bulk, should be compatible with the surrounding neighborhood and provide a pedestrian environment through the use of visually active ground level treatments. The design and site development shall adhere to the character and scale of the surroundings.
 - Landscaping, window treatments, and landscape treatments shall be coordinated to provide visual continuity, quality, and consistency.

21.6.B. ACCESSIBILITY RAMP

- Accessibility ramps are permitted in a required front, side, or rear yard.
- Ramps may extend or project into a required rear yard without limitation.
- Weather protection may be provided over the ramp and landing, provided there is a two (2) foot, clear distance between the awning or canopy and any lot line.

21.6.C. MECHANICAL EQUIPMENT

1. Ground-based mechanical equipment, including, but not limited to, heating, ventilation, air-conditioning, and air-conditioning (HVAC) units, swimming pool equipment, and back-up electrical generators, may be located only in an interior side or rear yard and shall be located at least five (5) feet from a rear lot line and three (3) feet from any side lot line, where at least two (2) feet of clear distance remains open to the sky. Ground-based mechanical equipment is prohibited in a front or corner side yard.

2. However, any existing ground-based mechanical equipment that does not comply with the location requirements as of the date of adoption of this Ordinance is considered legally conforming and may be replaced and repaired.

3. All approved ground-based mechanical equipment, including, but not limited to, HVAC units, shall be screened when readily visible from the public right-of-way, including alleys. Screening materials may be masonry, wood, or landscape, and shall effectively screen mechanical equipment so no portion is readily visible from the public right-of-way. Color and texture of any screening material shall be compatible with the color and texture of the principal building on the site. If ground-based mechanical equipment is screened by an existing structure, fence, or landscape, such that it is not readily visible from that public right-of-way, it will be considered to have met these requirements.

4. Ground-based mechanical equipment shall be constructed above base floor elevation (BFE). When applicable, if the equipment would be constructed so that it will be higher than a fence in the interior side yard, it may not be located within the interior side yard.

5. Any non-mounted mechanical equipment shall be set back, at least six (6) feet from any wall of the building to permit safe access. Building and landscape shall be designed to screen the equipment from the public right-of-way.

14.3.B.1. DESIGN STANDARDS FOR NON-RESIDENTIAL USES

The following standards shall apply to all sites except single and two family dwellings:

- The primary entrance for each business shall be oriented to the street. If residential dwellings are located above the ground floor, separate street level access is required for residential access.
- The ground floor of newly constructed commercial buildings and commercial spaces within mixed-use buildings shall contain a minimum transparency of fifty percent (50%) on the primary street and windows shall be constructed of transparent glass. opaque, highly tinted, or reflective glass is prohibited. transparency into the building shall be maintained. Any windows shall consist of individual letters and numerals, without the use of any background.
- The first floor of commercial buildings and commercial spaces of mixed-use structures shall be designed with a minimum ceiling height of twelve (12) feet.

21.6.F. MECHANICAL EQUIPMENT

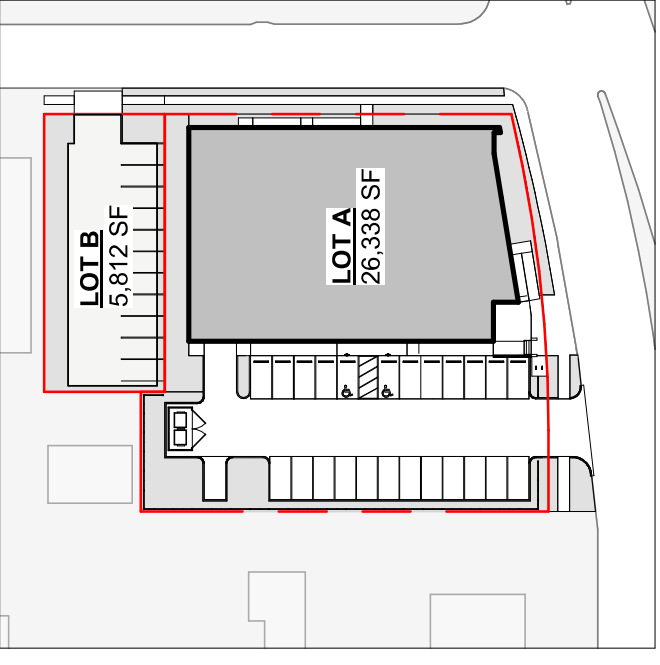
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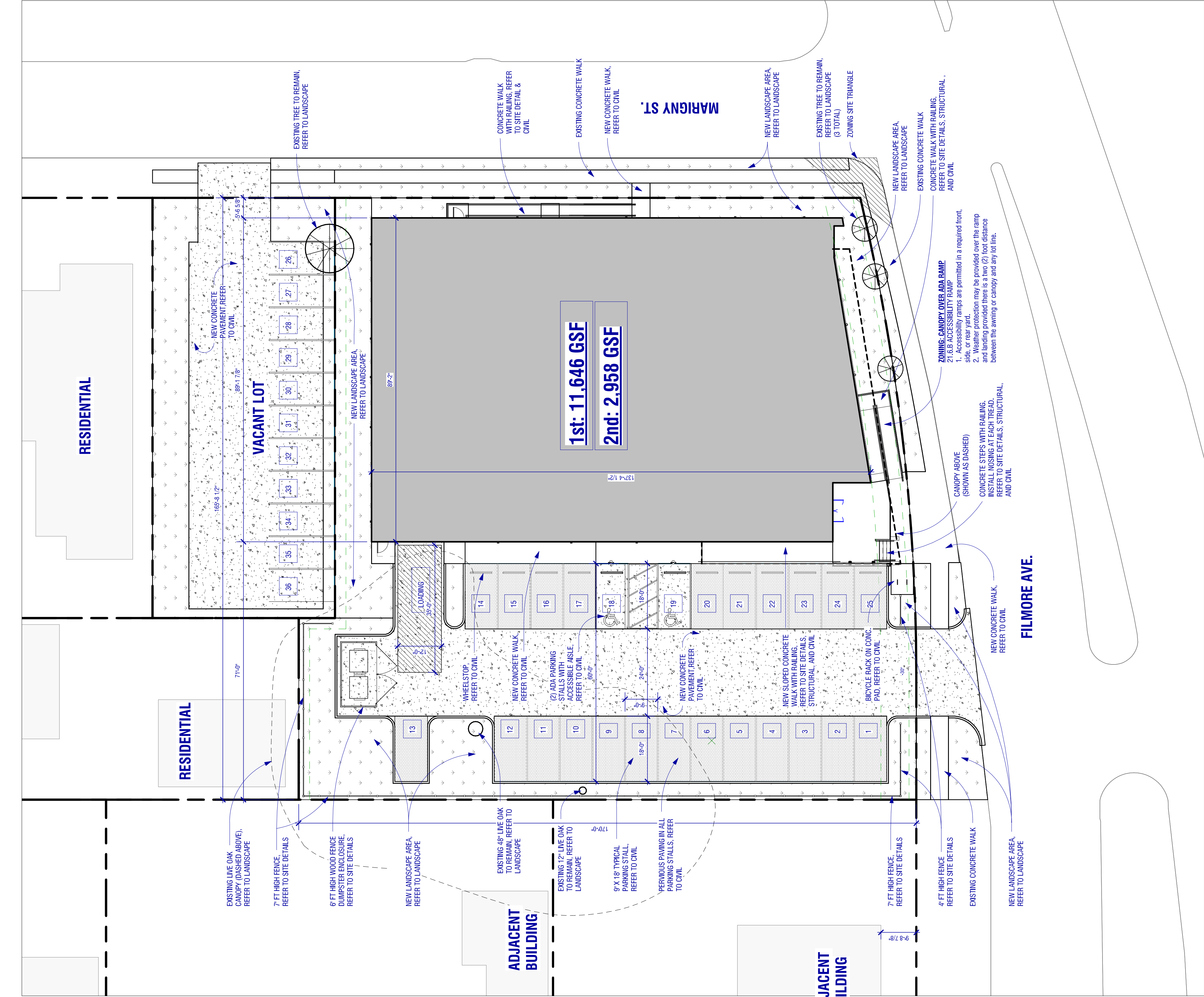
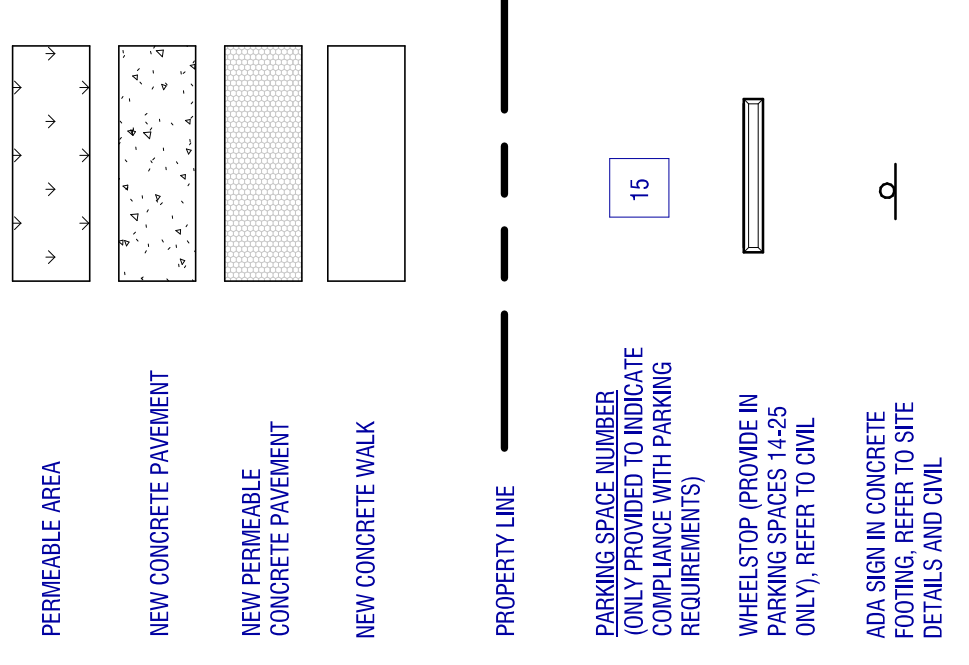
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5. Any non-mounted mechanical equipment shall be set back, at least six (6) feet from any wall of the building to permit safe access to the lot and shall not be visible from the public right-of-way.

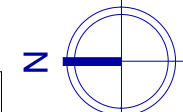
SITE - LOT AREAS



SITE PLAN LEGEND



1 00 SITE PRINT
 1/16" = 1'-0"
 1/800



CANSECO'S MARKET

COMMERCIAL NEW CONSTRUCTION

2221 FILMORE AVE.
 New Orleans, LA 70001

SINESIO CANSECO



SEAL

DESIGN DEVELOPMENT

The building requirements of this Ordinance shall be subject to the following: 1. The building shall be constructed in accordance with the applicable code requirements. 2. The building shall be constructed in accordance with the applicable code requirements. 3. The building shall be constructed in accordance with the applicable code requirements.

NOTE: The intent of the Ordinance is to provide a framework for the design and construction of the work by the Contractor. The Contractor shall be responsible for the design and construction of the work by the Contractor. The Contractor shall be responsible for the design and construction of the work by the Contractor.

WA PROJECT NO: 20-014
 PROJECT ISSUE DATE: 1-07-2021
 REV. # REVISION DESCRIPTION DATE

SHEET TITLE: SITE PLAN

DRAWN BY: Author

A050

The drawings and specifications of which this is a part, shall be read in conjunction with the project manual. The drawings shall take precedence over the specifications in the event of a conflict. The drawings shall be interpreted, copied, or used in whole or in part without the written permission of the architect.

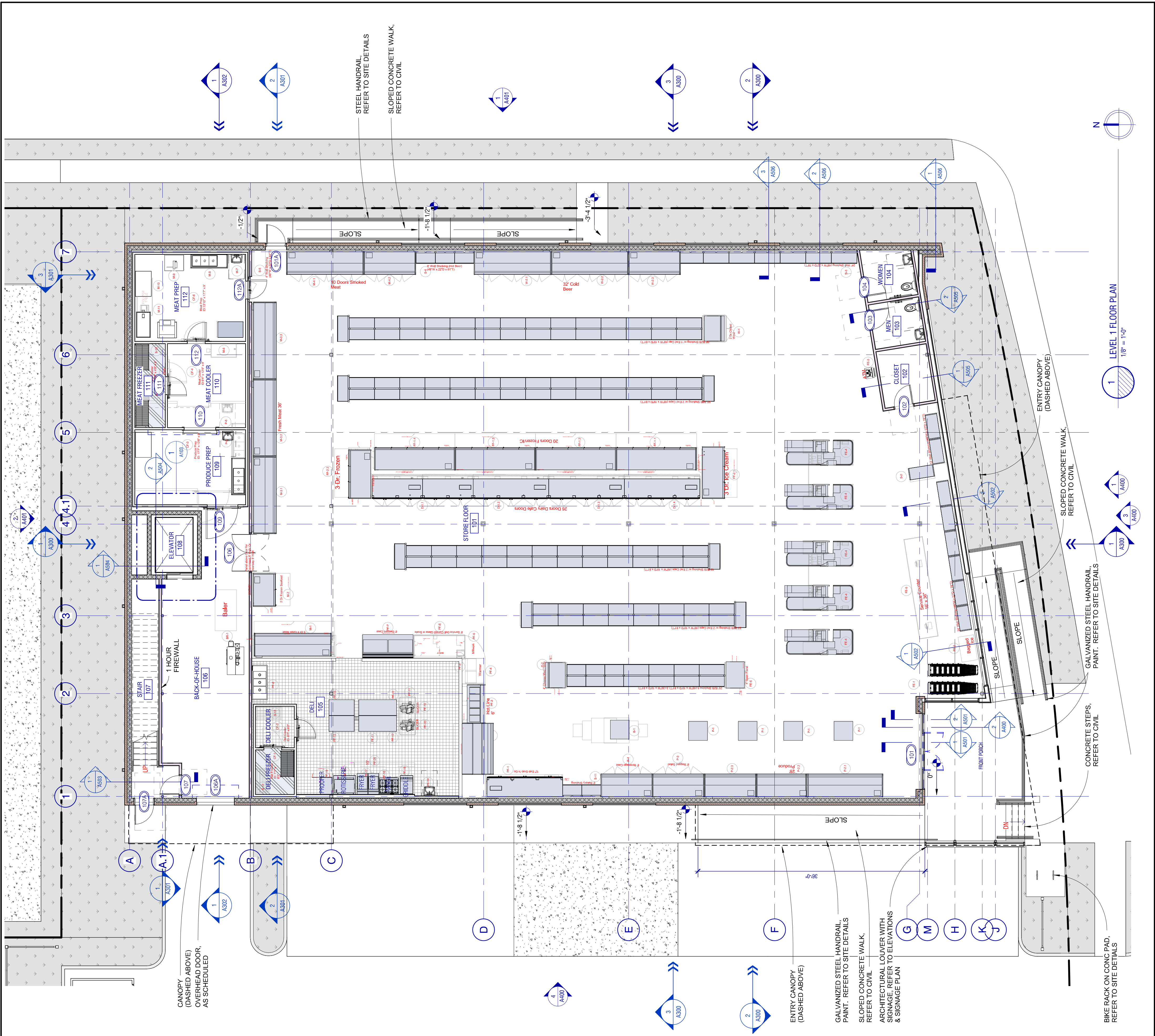
NOTE: The intent of the Contract Documents is to include all items necessary for proper installation and completion of the work by the Contractor. The Contract Documents are complementary, and it is the responsibility of the Contractor to ensure that all items are included in the Contract Documents. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for obtaining all necessary materials from the appropriate sources to produce the indicated results.

WA PROJECT NO: 20-014
PROJECT ISSUE DATE: 1-07-2021
REV. # REVISION DESCRIPTION DATE

SHEET TITLE:
FIRST FLOOR PLAN

DRAWN BY: Author

A101



AREA SCHEDULE		
Level	Name	Area
01 LEVEL	PREP	848 SF
01 LEVEL	STORAGE	192 SF
01 LEVEL	KITCHEN	1,093 SF
01 LEVEL	SALES AREA	3,897 SF
		11,946 SF
02 LEVEL	STORAGE	2,868 SF
		2,868 SF
		14,604 SF

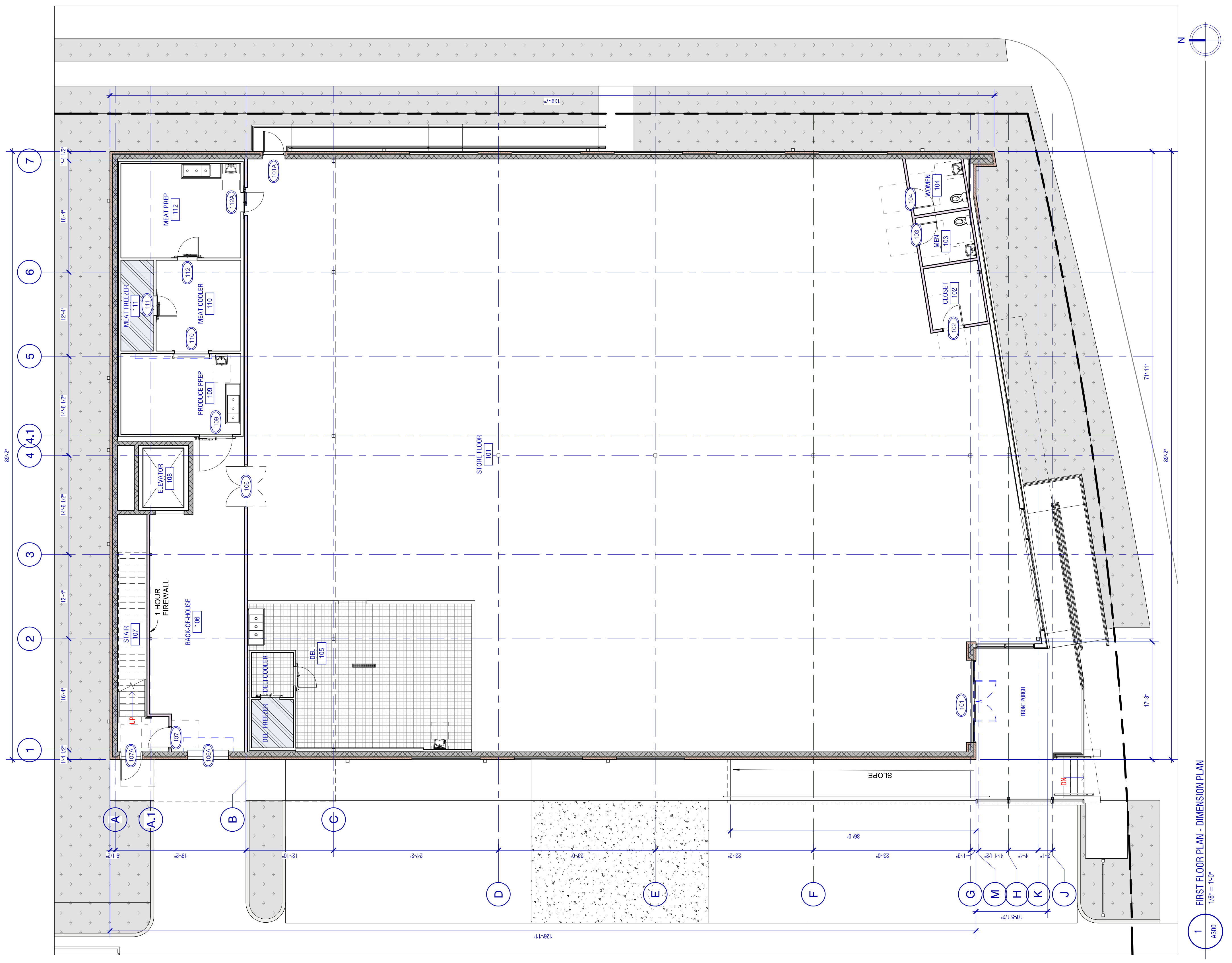
This drawing is the property of the architect. It shall not be reproduced, copied, or used in whole or in part without the written permission of the architect.

NOTE: The intent of the Contract Documents is to include all items necessary for proper installation and completion of the work by the Contractor. The Contract Documents are complementary, and in the event of a conflict, the Contract Documents shall be read in the order listed on the cover sheet. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

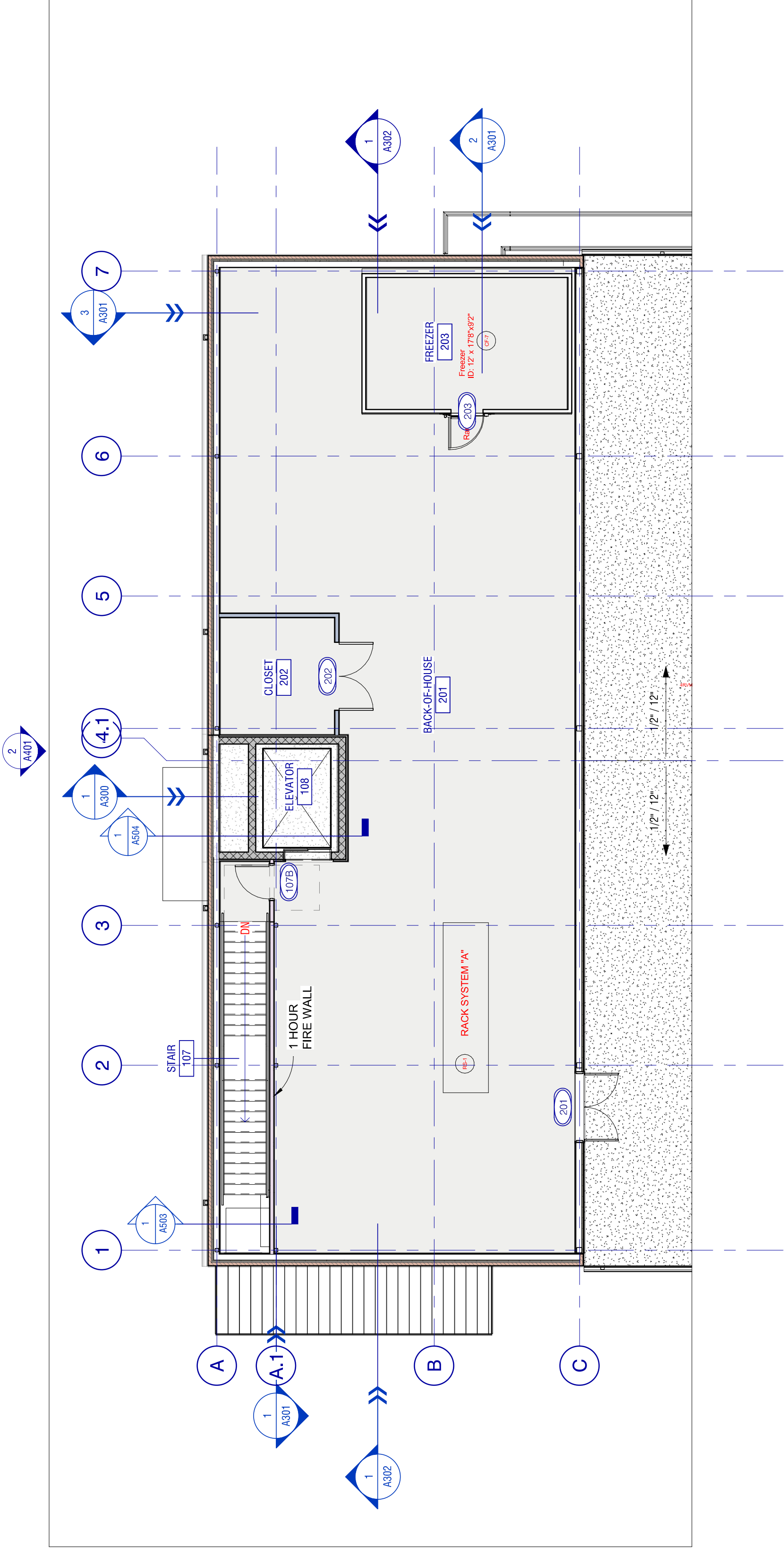
WA PROJECT NO: 20-014
PROJECT ISSUE DATE: 1-07-2021
REV. # REVISION DESCRIPTION DATE

SHEET TITLE:
FIRST FLOOR PLAN - DIMENSION PLAN

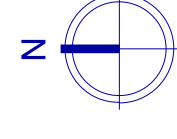
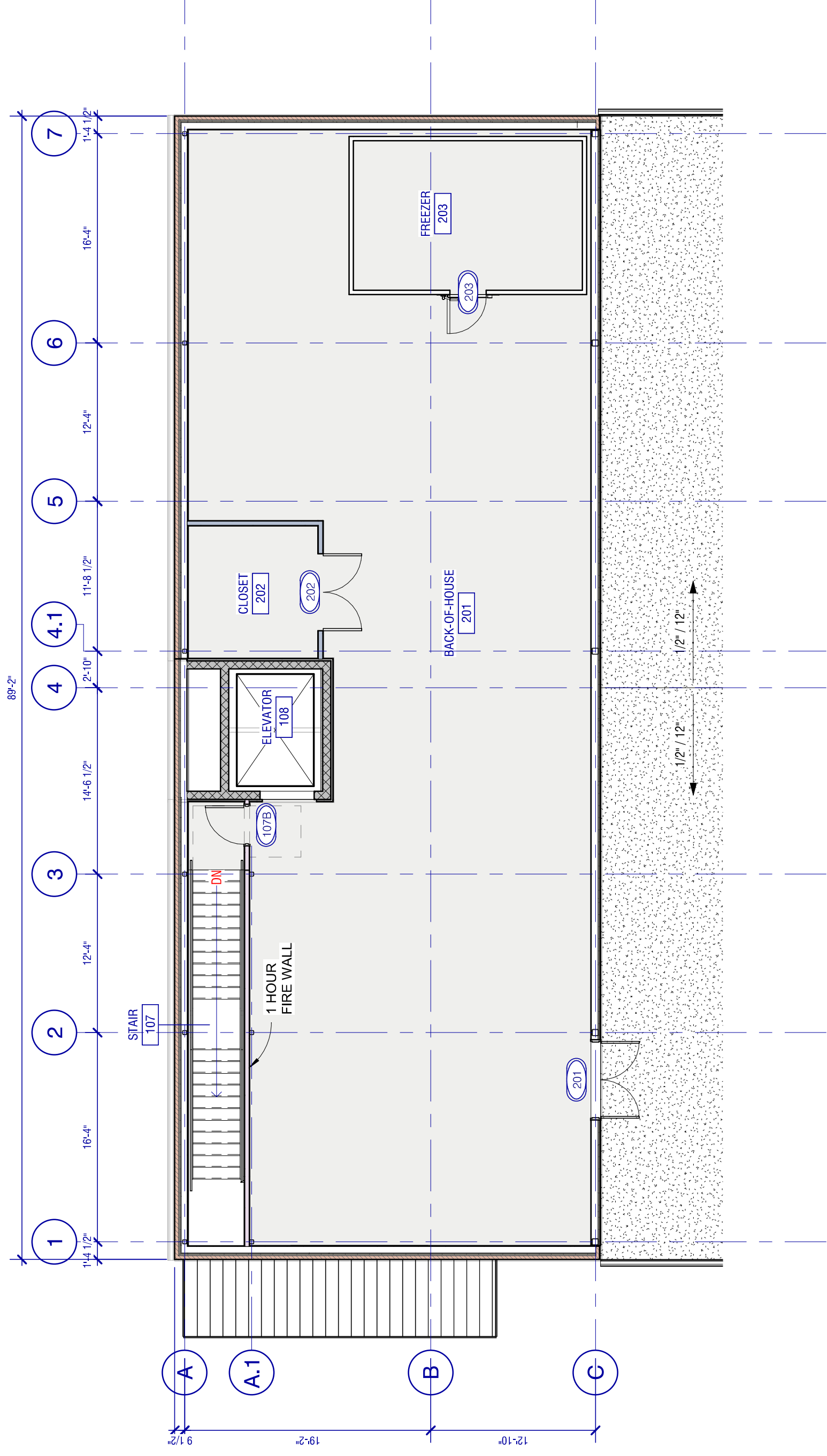
DRAWN BY: Author
A101A



1 FIRST FLOOR PLAN - DIMENSION PLAN
1/8" = 1'-0"



1 SECOND FLOOR PLAN
1/8" = 1'-0"



2 SECOND FLOOR DIMENSION PLAN
1/8" = 1'-0"

NO.	CEILING NOTE	DESCRIPTION
1.	CEILING NOTE 1	

The architect is not responsible for the design of the lighting fixtures, which are the responsibility of the lighting contractor. The drawings shall not be reproduced, copied, or used in whole or in part without the written permission of the architect.

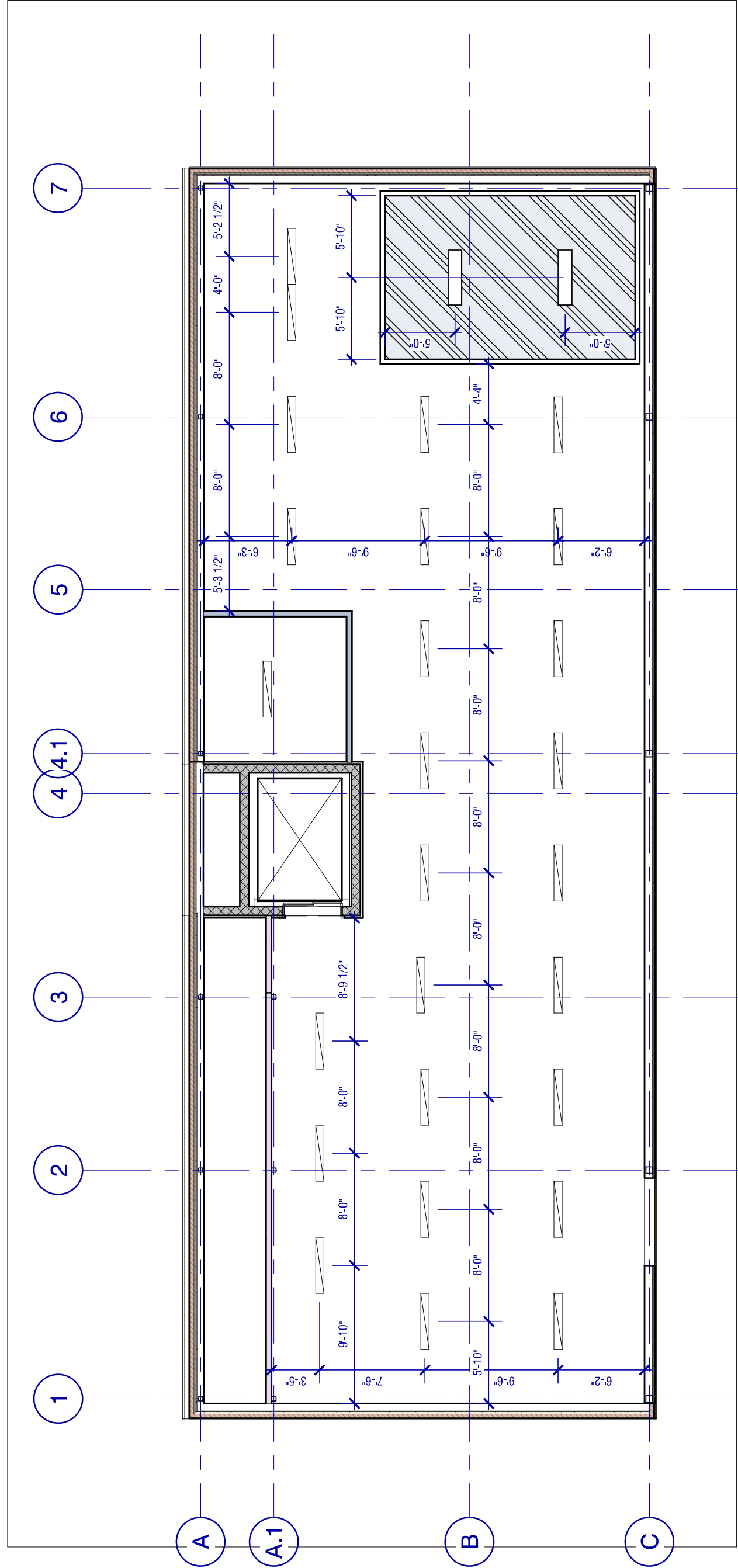
NOTE: The intent of the Ceiling Schedule is to indicate fixture locations for proper coordination of the work by the Contractor. The Contractor shall be responsible for the coordination of the lighting fixtures with the Ceiling Schedule and for the installation of the lighting fixtures in accordance with the manufacturer's instructions. The Contractor shall be responsible for the installation of the lighting fixtures in accordance with the manufacturer's instructions.

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REV. # REVISION DESCRIPTION DATE

SHEET TITLE:
CEILING PLAN

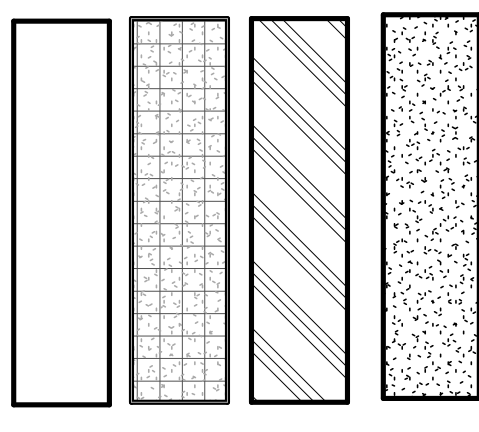
DRAWN BY: Author

A200

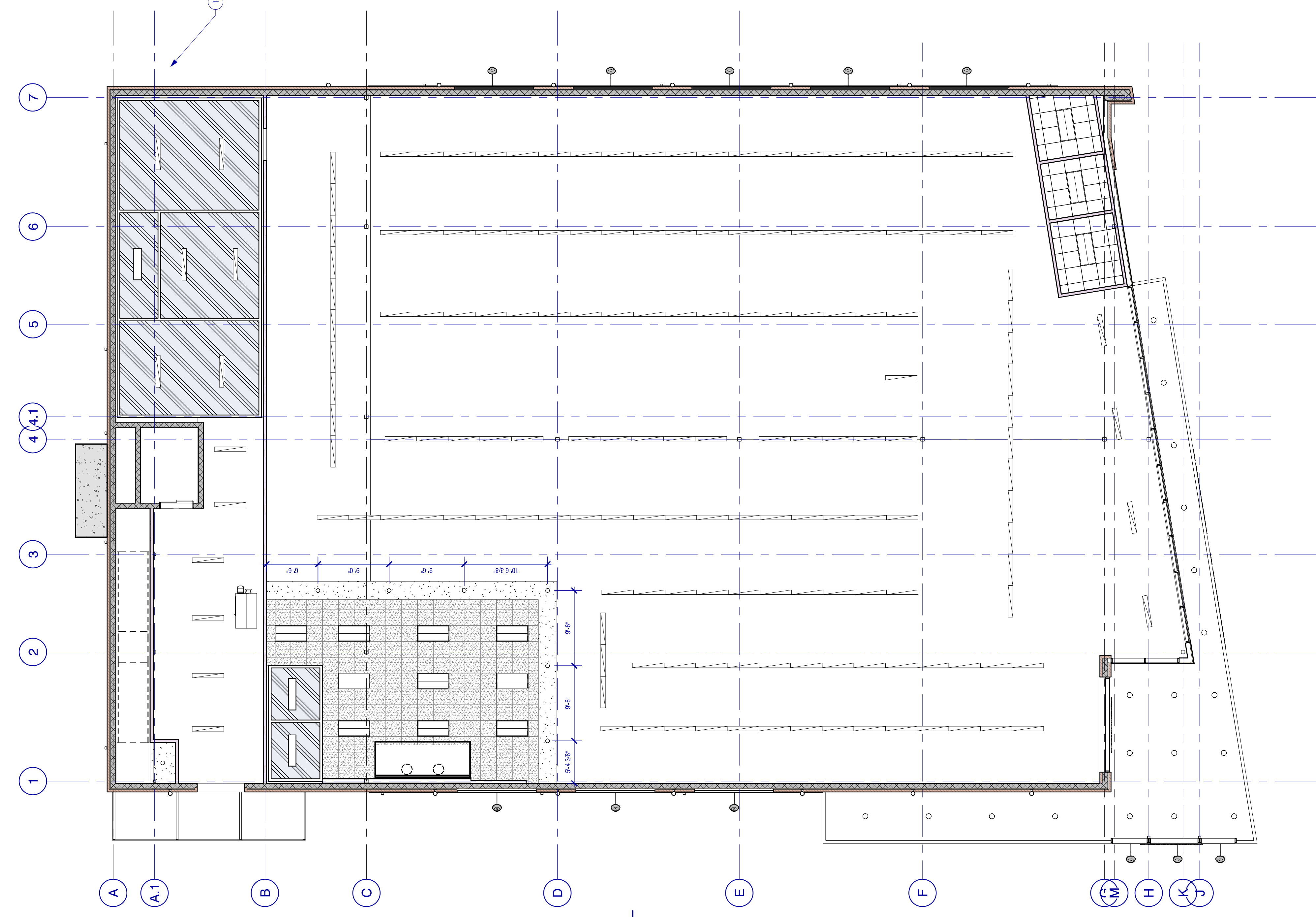
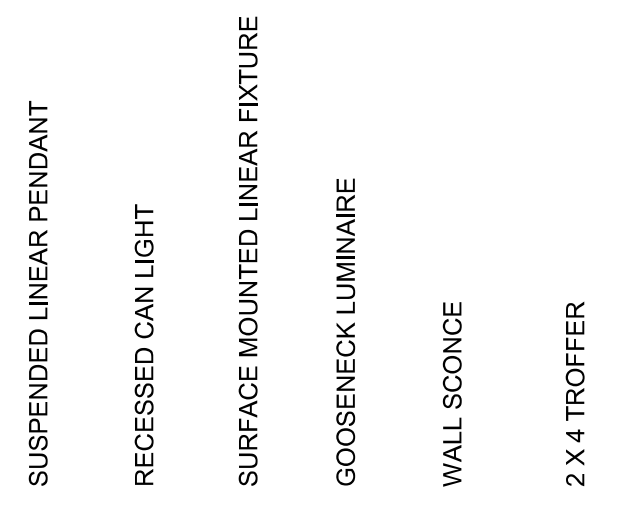


2 LEVEL 2 CEILING
1/8" = 1'-0"

CEILING TYPE



FIXTURE TYPE



1 LEVEL 1 CEILING
1/8" = 1'-0"



SEAL

NO.	ELEVATION NOTE 1	DESCRIPTION
1	ELEVATION NOTE 1	

WA PROJECT NO: 20-014
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EXTERIOR ELEVATIONS

DRAWN BY: Author

A400

DRAWING 1/A400 - PRIMARY STREET FACADE
 ENTIRE FACADE: 1,640 SF
 GLAZED FACADE: 790 SF

DRAWING 2/A400 - PRIMARY STREET FACADE
 ENTIRE FACADE: 190 SF
 GLAZED FACADE: 140 SF

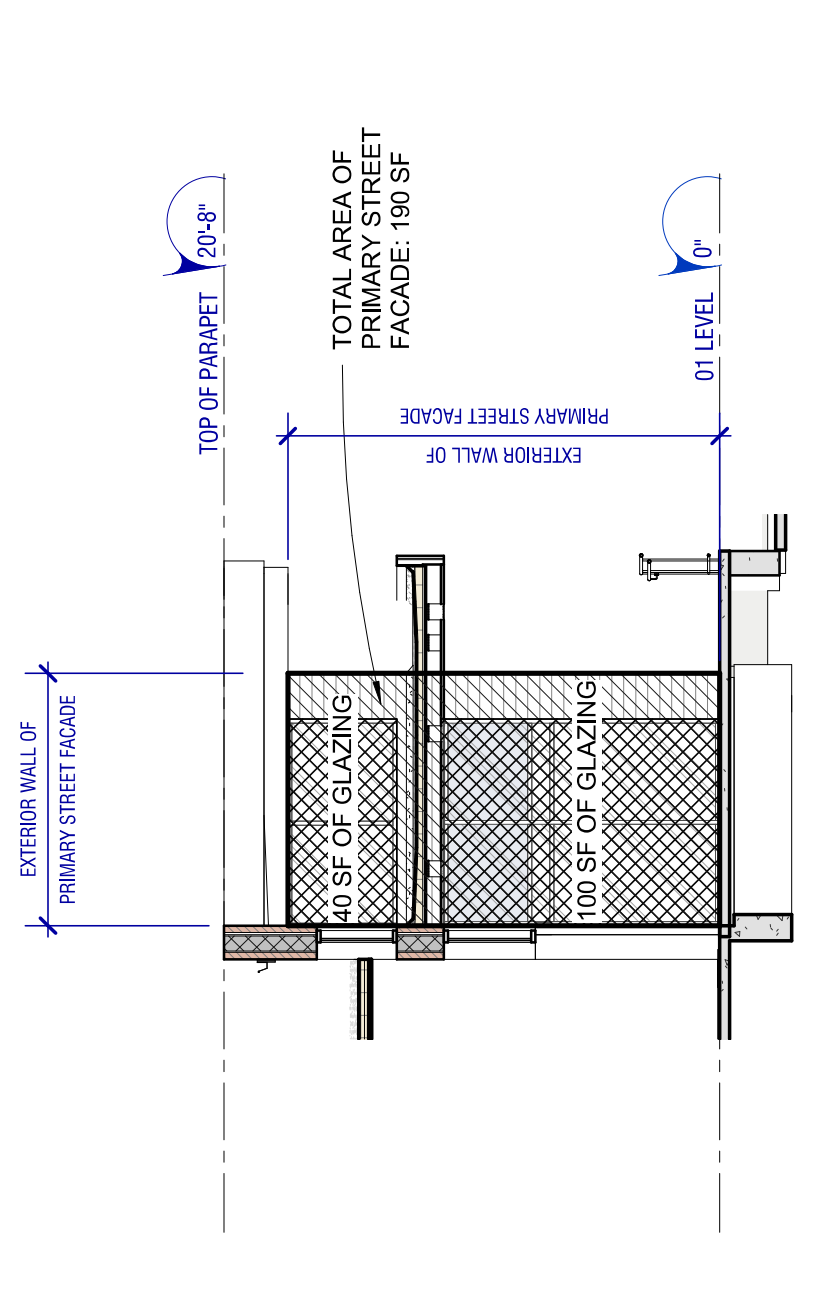
TOTAL - ENTIRE FACADE: 1,830 SF
 TOTAL - GLAZED FACADE: 930 SF

PERCENTAGE OF PRIMARY FACADE GLAZED: 51%

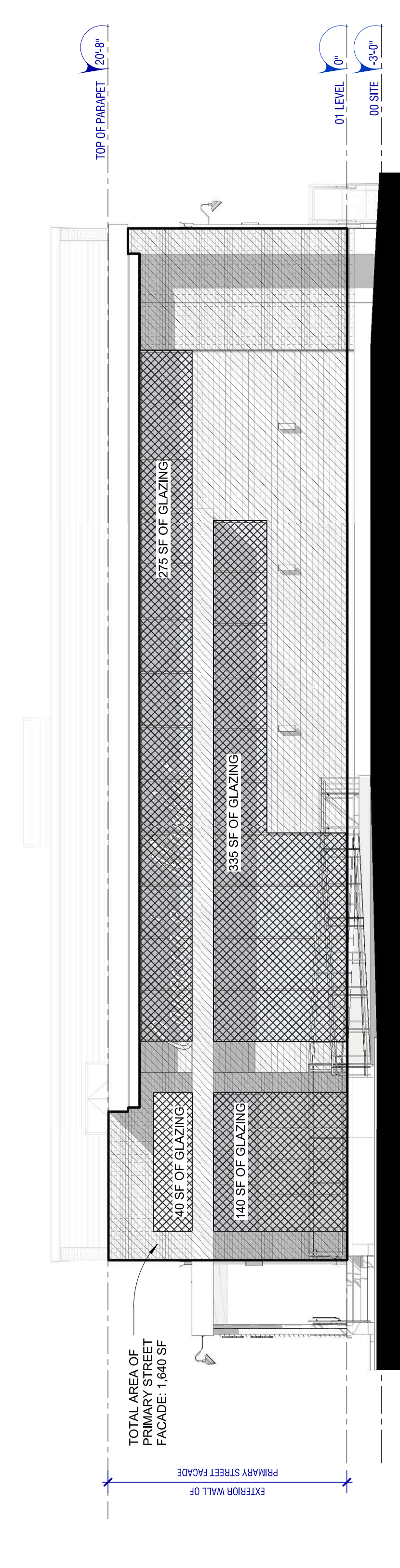
GLAZING CALCULATION FOR PRIMARY STREET FACADE(S)
 $1/8" = 1'-0"$

TUBE ARCHITECTURAL DS-800S VAC LIGHTING

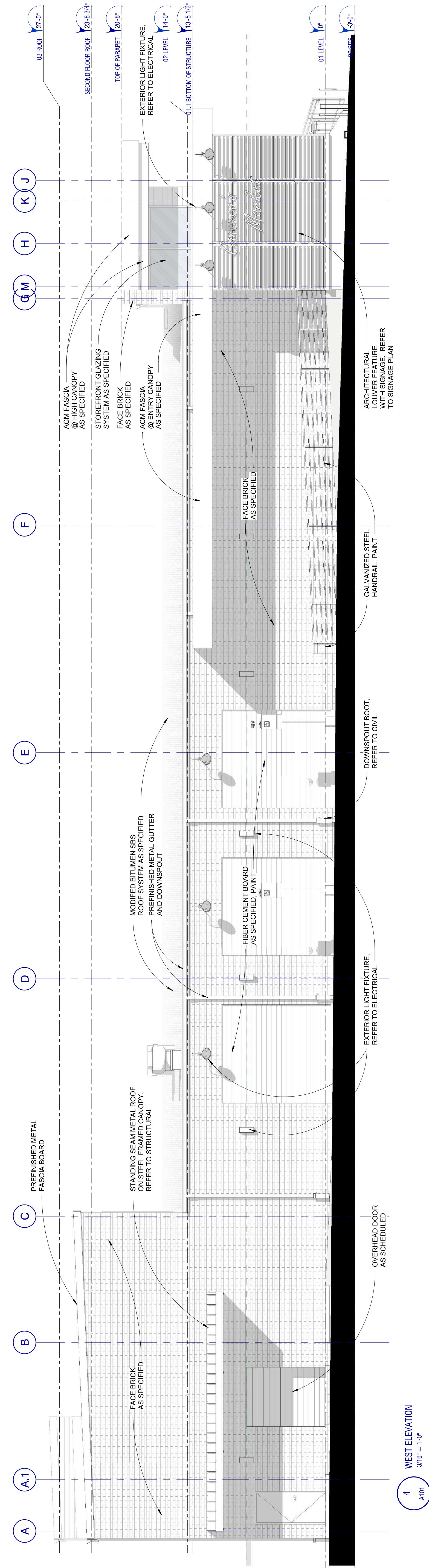
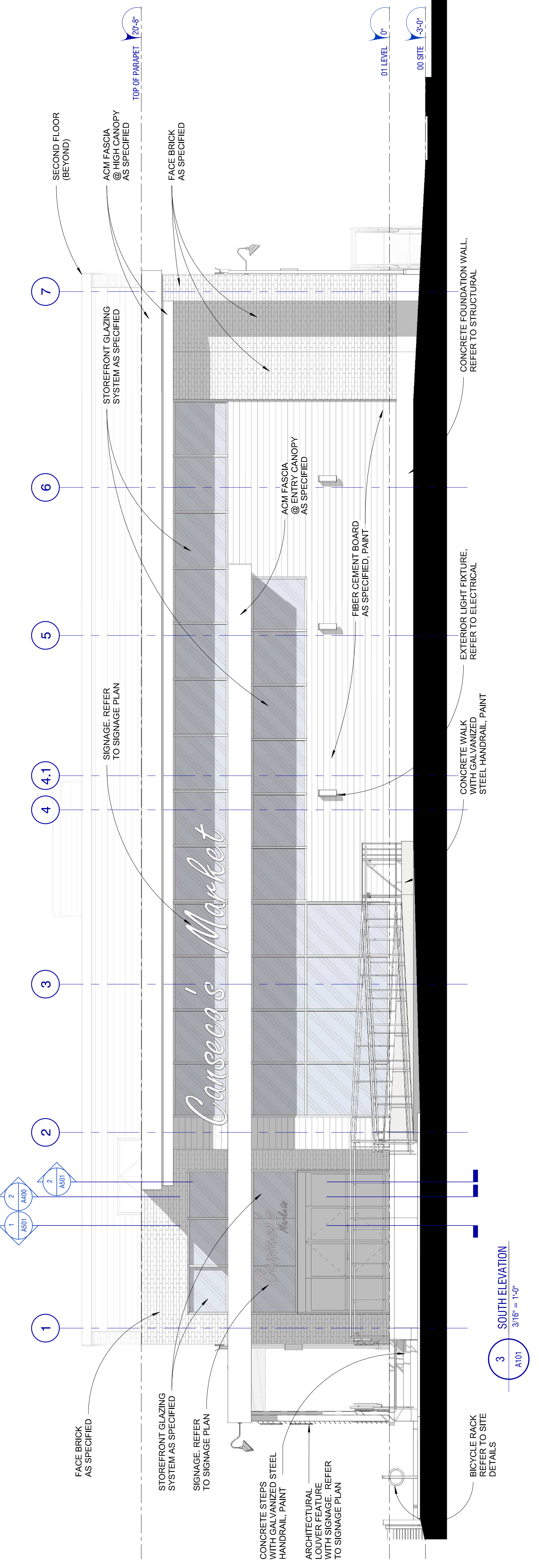
Model	Beam Spread	Beam Diameter	Beam Length	Beam Angle	Beam Diameter @ 100'	Beam Diameter @ 200'	Beam Diameter @ 300'	Beam Diameter @ 400'	Beam Diameter @ 500'	Beam Diameter @ 600'	Beam Diameter @ 700'	Beam Diameter @ 800'	Beam Diameter @ 900'	Beam Diameter @ 1000'
DS-800S	10°	1.0"	100'	10°	1.0"	2.0"	3.0"	4.0"	5.0"	6.0"	7.0"	8.0"	9.0"	10.0"

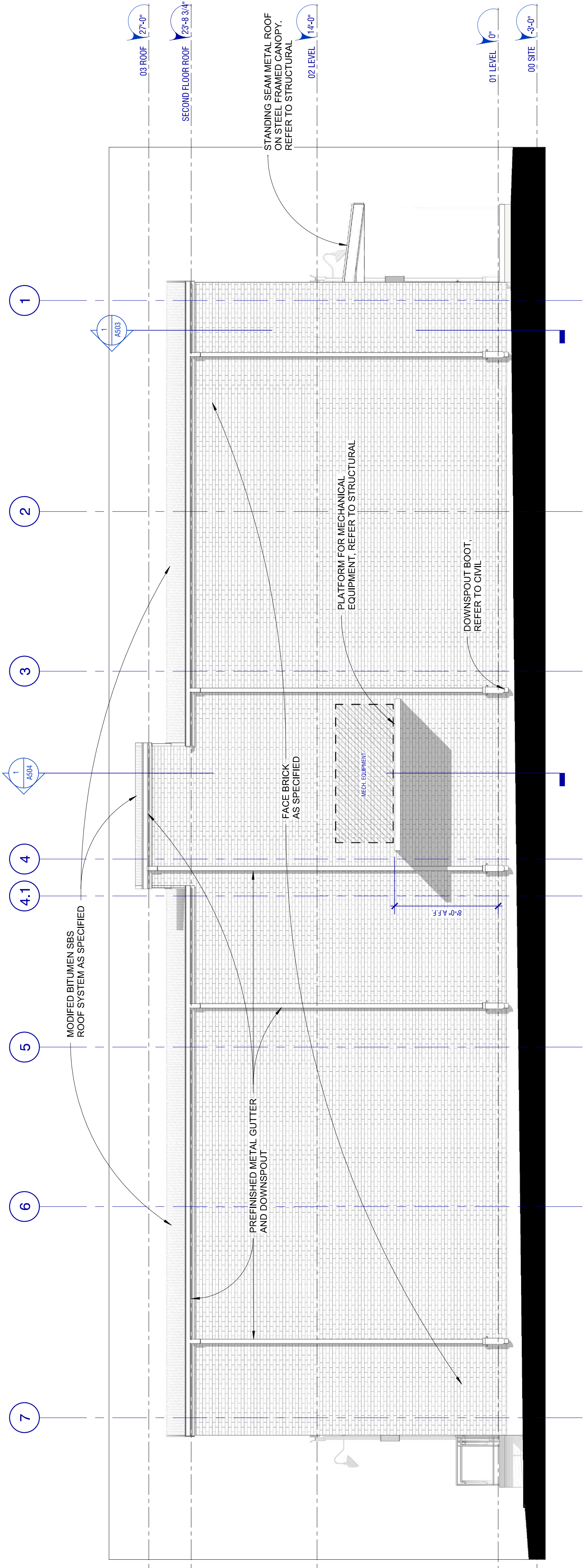


2 WALL SECTION AT ENTRY - GLAZING CALCULATION
 $1/8" = 1'-0"$

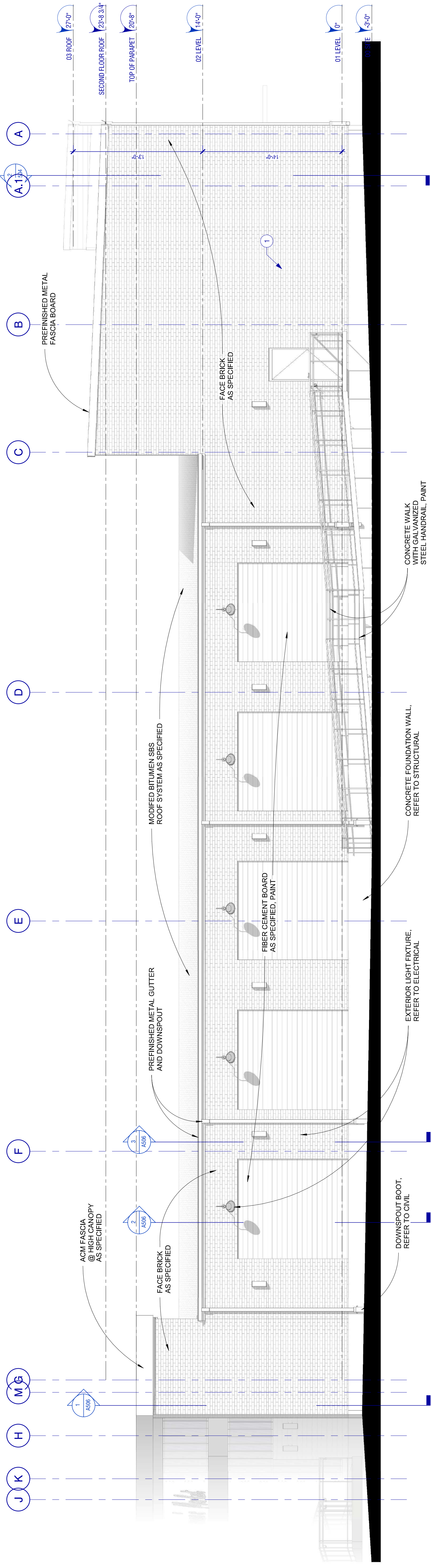


1 SOUTH ELEVATION - GLAZING CALCULATION
 $1/8" = 1'-0"$





2 NORTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"



DESIGN DEVELOPMENT

SEAL

The architect warrants that the drawings are prepared in accordance with the professional standards of the architect and that the drawings shall be reproduced, copied, or used in whole or in part without the written permission of the architect.

NOTE: The client of the Contract Documents is to include all necessary permits, licenses, and approvals for the project and to coordinate all work with the Contractor. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the project and for coordinating all work with the Contractor. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the project and for coordinating all work with the Contractor. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals for the project and for coordinating all work with the Contractor.

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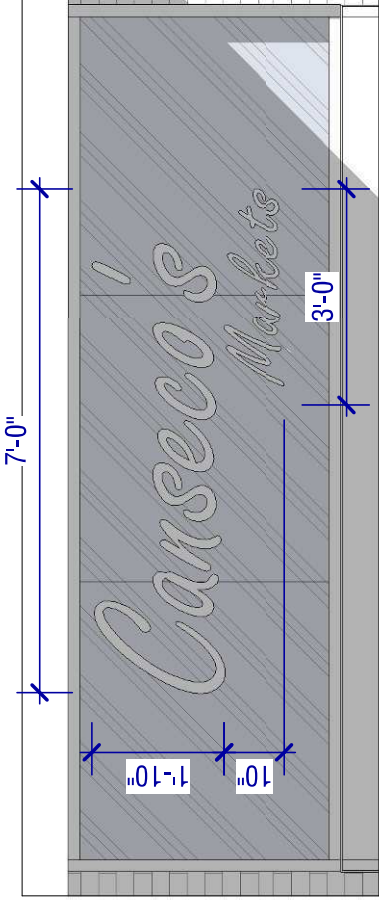
SHEET TITLE:
SIGNAGE PLAN

DRAWN BY: Author

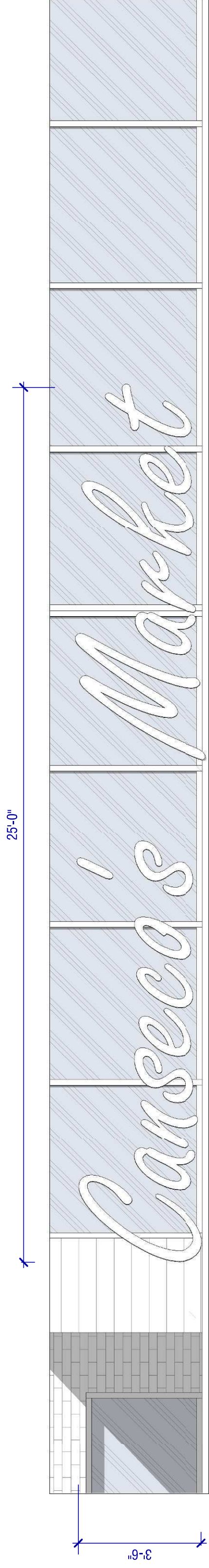
A800

INFORMATION FOR SIGN NO. 2

SIGN NO. 2:
*LETTERS APPLIED TO GLASS
*FONT STYLE: *Canseco's Market*
*ACRYLIC FRONT COVER TO BE COLORED:



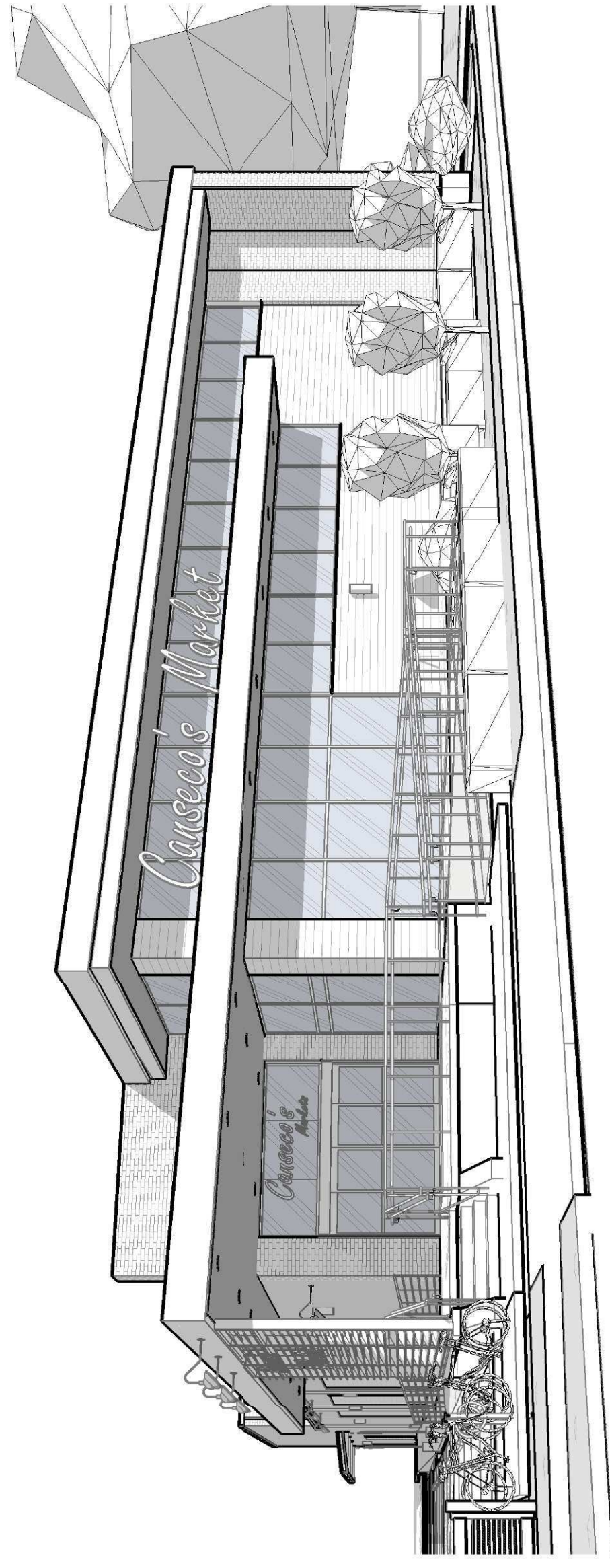
6 SOUTH ELEVATION - SIGN NO. 2
3/8" = 1'-0"



5 SOUTH ELEVATION - SIGN NO. 1
3/8" = 1'-0"

INFORMATION FOR SIGN NO. 1

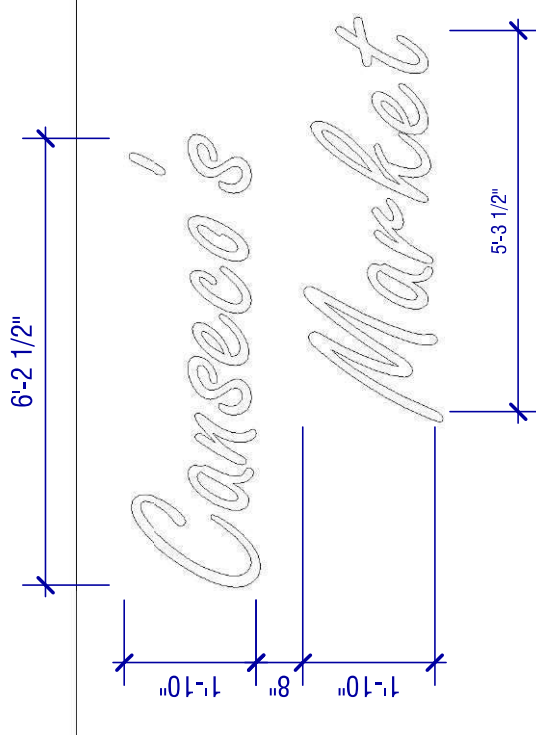
SIGN NO. 1:
*LOW POWER, LED ILLUMINATED STAINLESS STEEL (5" INCH) CHANNEL LETTERS WITH ACRYLIC FRONTS
*LETTERS SUPPORTED BY GALVANIZED UNISTRUT AND WITH SUPPORTS COORDINATED WITH ARCHITECT AND STRUCTURAL ENGINEER DURING THE SUBMITTAL PROCESS.
*FONT STYLE: *Canseco's Market*
*UNISTRUT SUPPORTS TO BE FACTORY PRIMED AND PAINTED.
*ACRYLIC FRONT COVER TO BE COLORED:



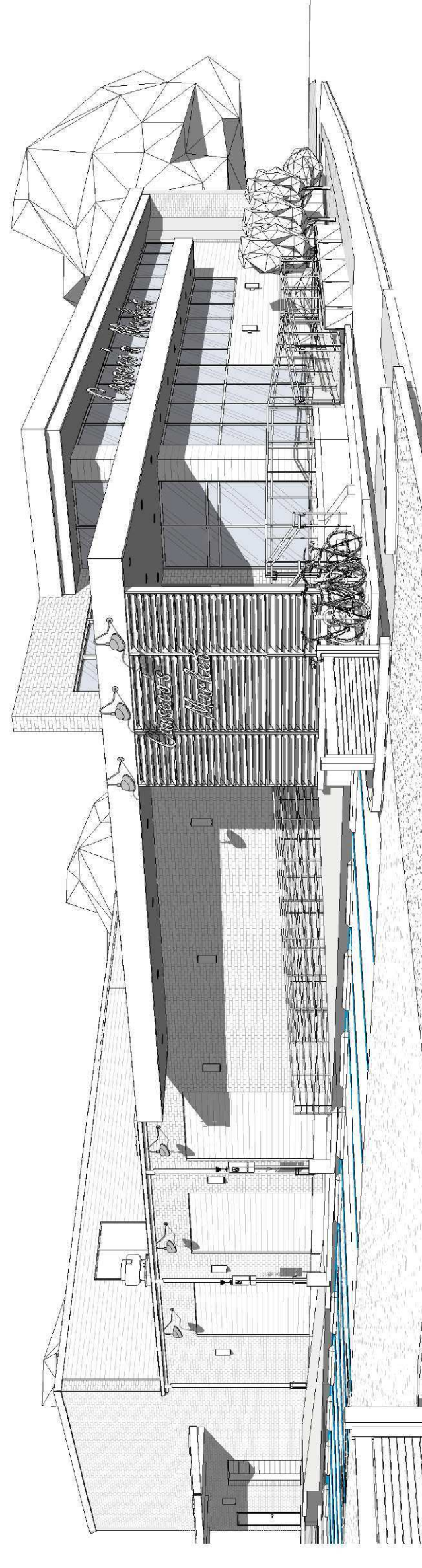
4 SOUTH ELEVATION - SIGN NO. 1 AND SIGN NO. 2

INFORMATION FOR SIGN NO. 3

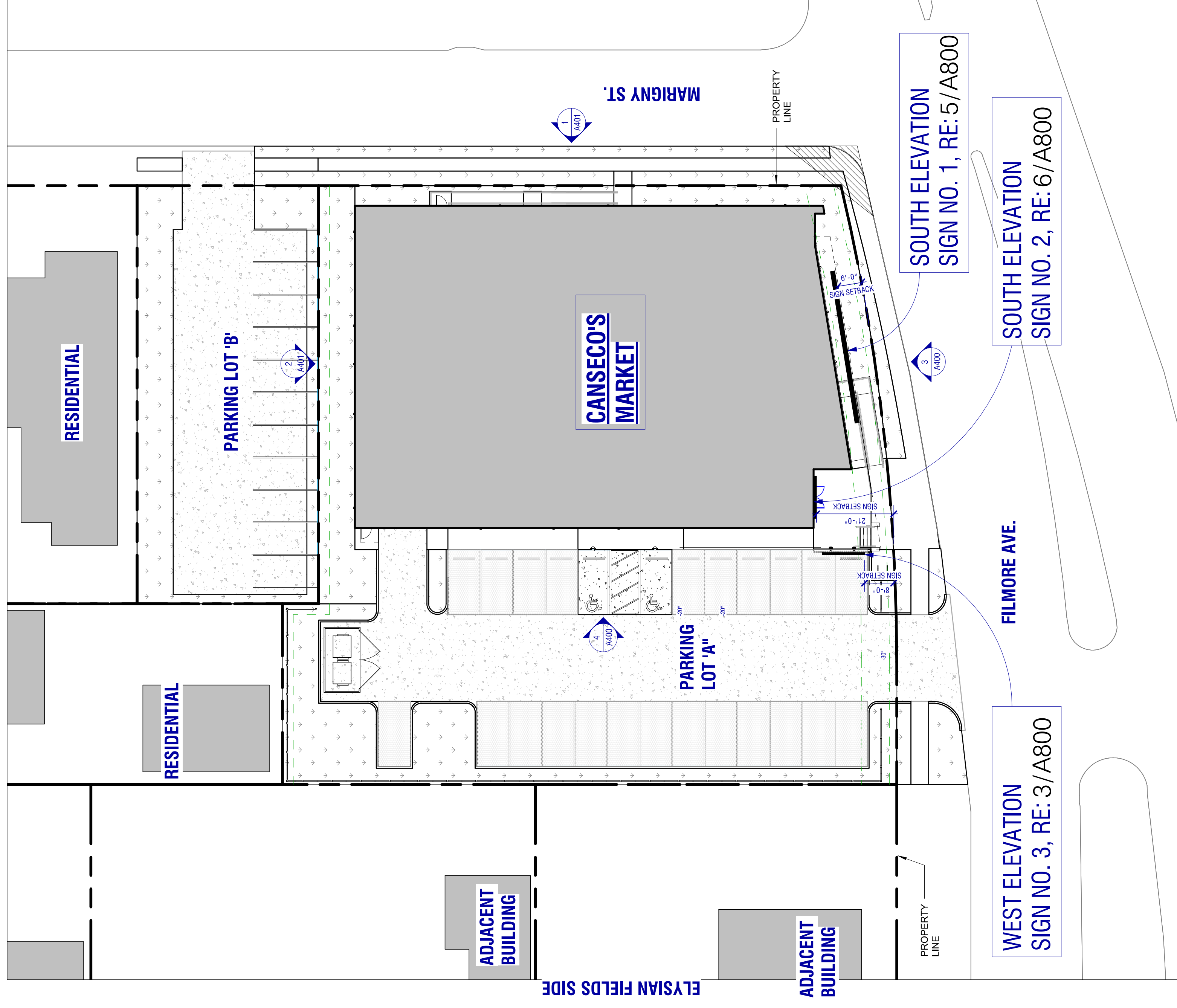
SIGN NO. 3:
*PAINTED ALUMINUM DIE-CUT LETTER
**FONT STYLE: *Canseco's Market*
**PAINT COLOR:



3 WEST ELEVATION - SIGN NO. 3
3/8" = 1'-0"

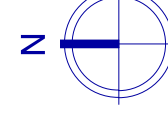


2 WEST ELEVATION - SIGN NO. 3



1 00 SITE PLAN - SIGNAGE
1" = 20'-0"

*REFER TO SHEET A400 AND A401 FOR EXTERIOR ELEVATIONS





CANSECO'S MARKET

COMMERCIAL NEW
CONSTRUCTION

2221 FILMORE AVE.
New Orleans, LA 70001

SINESIO CANSECO



SEAL

BIM 360://Canseco Market at Filmore Ave/Cansecos_R20_B.rvt

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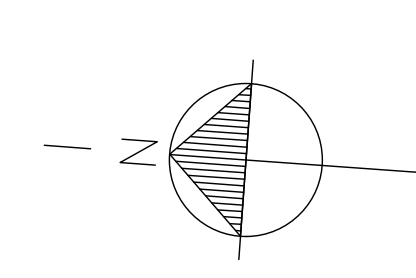
NOTE: The intent of the Contract Documents is to include all items necessary for proper installation and completion of the work by the Contractor. The Contract Documents are complementary, and in the event of a conflict, the Contract Documents shall be read in the following order of priority: 1. Specifications, 2. Drawings, 3. Addendum, 4. General Conditions, 5. Contract Documents and Materials Schedule from time to time necessary to produce the indicated result.

REV. #	REVISION DESCRIPTION	DATE
WA PROJECT NO:	20-014	
PROJECT ISSUE DATE:	1-07-2021	

SHEET TITLE:
RENDERINGS

DRAWN BY: Author

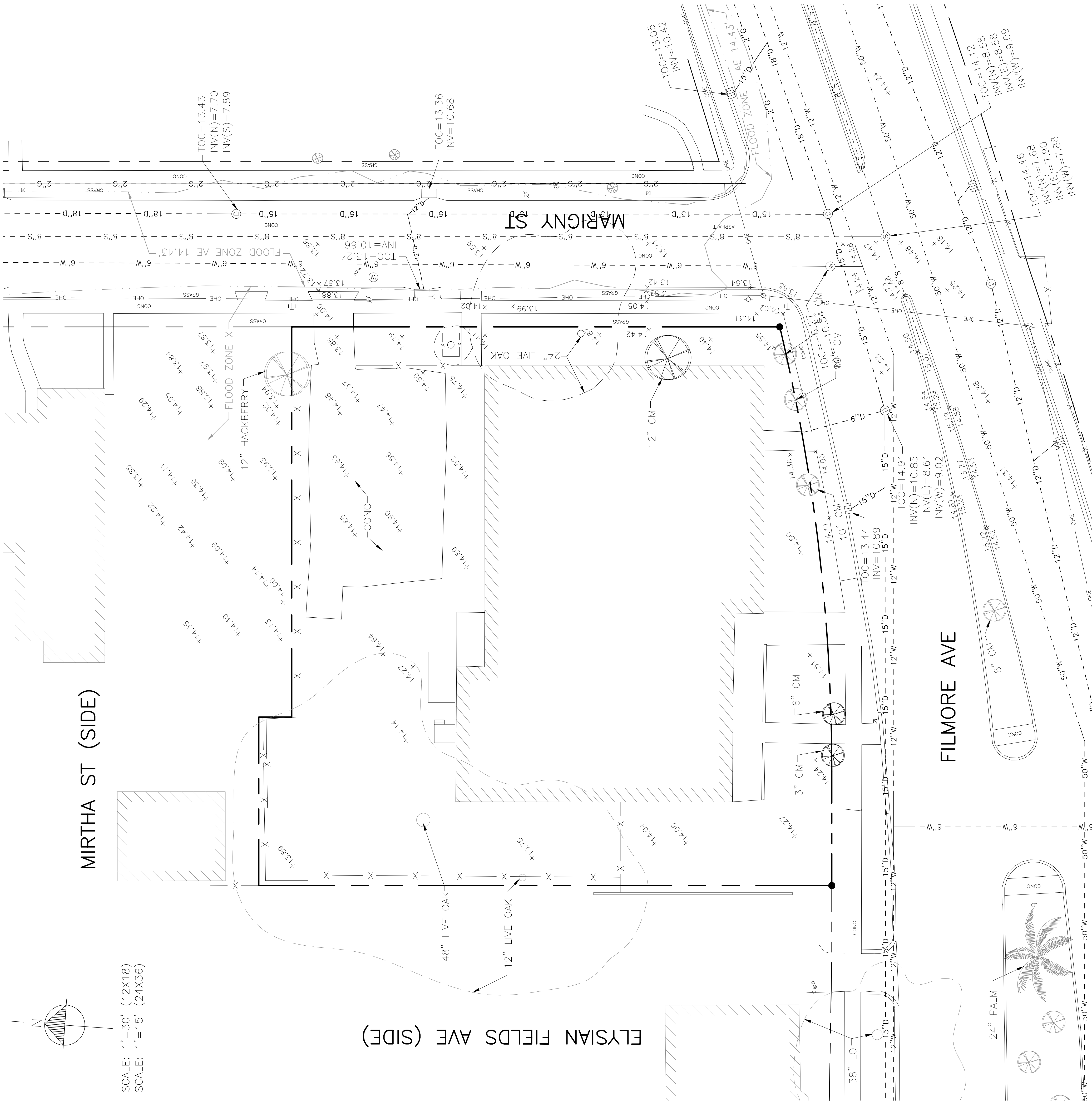
A900



SCALE: 1"=30' (12X18)
SCALE: 1"=15' (24X36)

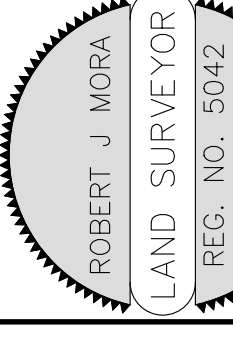
MIRTHA ST (SIDE)

ELYSIAN FIELDS AVE (SIDE)



VICINITY MAP
NOT TO SCALE

PREPARED FOR WELTY ARCHITECTURE.
I HEREBY CERTIFY THIS PLAN REPRESENTS AN ACCURATE AND COMPLETE SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION.



REV. NO.	DATE	DESCRIPTION

DRAWN BY: BATTURE
CHECKED BY: BATTURE
DATE: OCTOBER 26, 2020
5110 PERRE ST. NEW ORLEANS, LA 70115
PHONE 504.333.2844 FAX 504.338.2722
BATTURE.COM BATTURE@BATTURE.COM



EXISTING CONDITIONS

SHEET NUMBER: C1

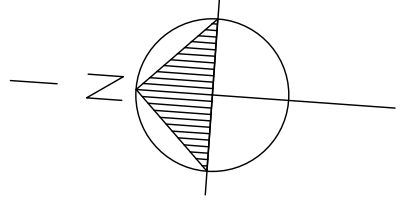
LEGEND

★	LIGHT POLE	○	OVERHEAD ELEC.
—	GUY WIRE	— (SIZE) D —	DRAIN LINE
—	POWER POLE	— T —	UG TELEPHONE
—	FIRE HYDRANT	— (SIZE) S —	SEWER LINE
—	WATER METER	— (SIZE) G —	GAS LINE
○	WATER MANHOLE	— (SIZE) W —	WATER LINE
○	SEWER MANHOLE	□	BUILDING
○	SEWER CLEANOUT	○	TREE
○	DRAIN MANHOLE	○	LITTLE TREE
○	DRAIN CLEANOUT	○	PALM TREE
○	DROP INLET, ROUND	+	CROSS SET
○	DROP INLET, SQUARE	+	MAG NAIL FOUND
○	WATER MANHOLE	+	CATCH BASIN
○	TELEPHONE MANHOLE	+	MAILBOX
○	TELEPHONE REPEATER	+	TEL. #
○	POST	+	TRAFFIC SIGNAL
○	GAS VALVE	+	TELEPHONE REPEATER
○	GAS BOX	+	TEL. #
○	GAS MANHOLE	+	TRAFFIC SIGNAL
○	TRASH CAN	+	TELEPHONE REPEATER

- NOTES:
- THE FOLLOWING DOES NOT REPRESENT A BOUNDARY SURVEY.
 - REFERENCE BOUNDARY SURVEY FOR PROPERTY DIMENSIONS AND PROPERTY LINE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LA ONE CALL: (1-800-272-3020).
 - NO TITLE RESEARCH OR UTILITY SERVICE RESEARCH WAS PERFORMED BY THE SURVEYOR.
 - NO TITLE RESEARCH OR UTILITY SERVICE RESEARCH WAS PERFORMED BY THE SURVEYOR.
 - NO TITLE RESEARCH OR UTILITY SERVICE RESEARCH WAS PERFORMED BY THE SURVEYOR.
 - ELEVATIONS AND BEARINGS SHOWN ARE BASED ON GPS MEASUREMENTS, LSU CAGNET, VRS, NORTH AMERICAN DATUM (1983) LAMBERT CONFORMAL CONIC PROJECTION, LOUISIANA SOUTH ZONE, STATE PLANE COORDINATE SYSTEM, US SURVEY FEET, CAIRO DATUM (CAIRO DATUM=NAVD88+20.43).
 - SOME FEATURES NOT DRAWN TO SCALE FOR CLARITY.

CANSECO'S GROCERY
2221 FILMORE AVE
GENTILLY, NEW ORLEANS

Call before you dig.
1-800-272-3020



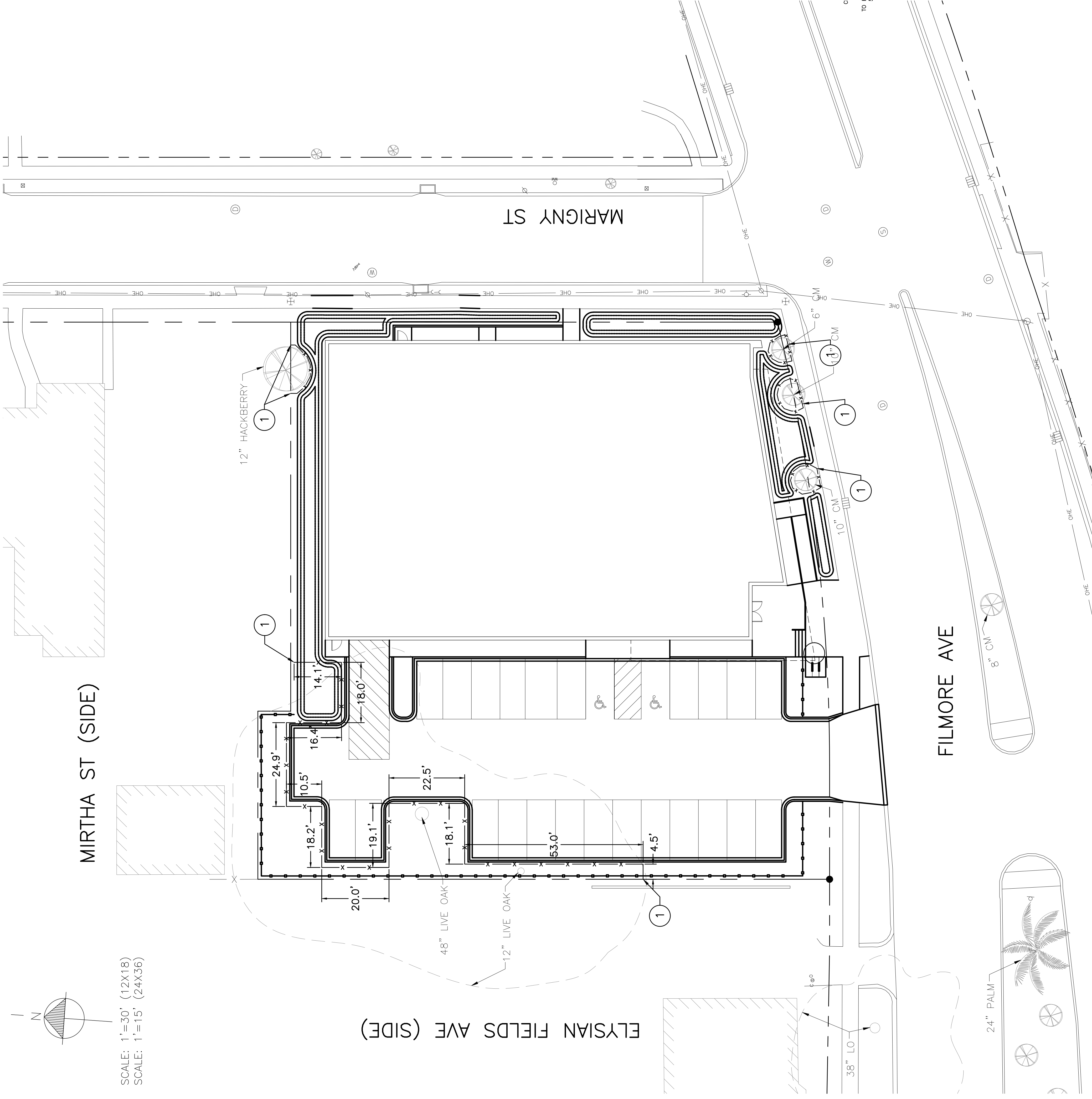
SCALE: 1" = 30' (12X18)
SCALE: 1" = 15' (24X36)

MIRTHA ST (SIDE)

ELYSIAN FIELDS AVE (SIDE)

MARIGNY ST

FILMORE AVE



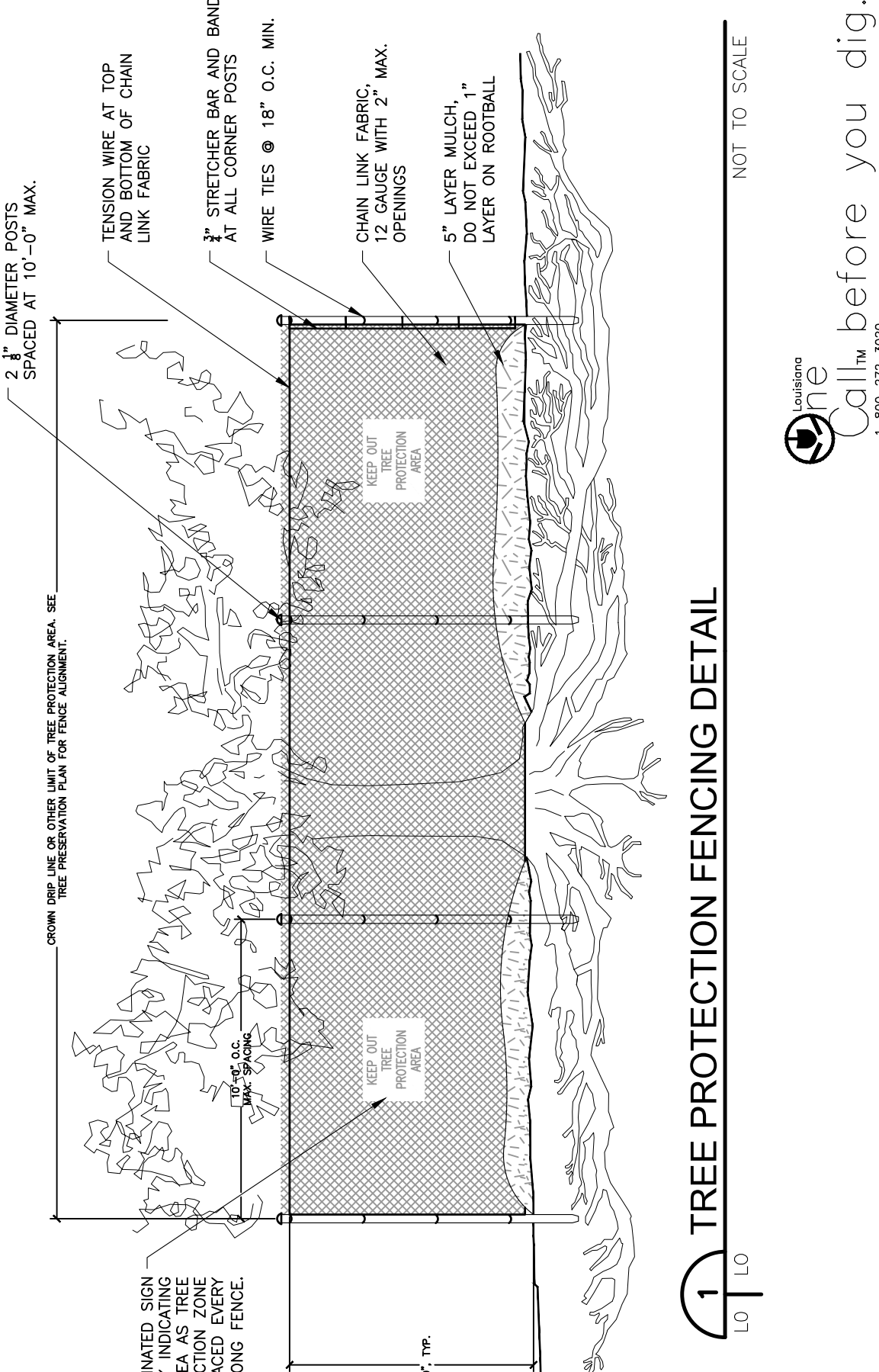
TREE PROTECTION LEGEND

1 TREE PROTECTION ZONE, INSTALL TREE PROTECTION FENCING. SEE DETAIL 1, THIS SHEET. REFER TO PARKS AND PARKWAYS STANDARDS FOR MORE INFORMATION

TREE PROTECTION NOTES:

- CONTRACTOR AND SUB-CONTRACTOR SHALL TAKE EVERY MEASURE TO PROTECT AND PRESERVE EXISTING TREES, SHRUBS, PALMS AND ALL SUBSEQUENT CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR WILL BE HELD ACCOUNTABLE FOR ANY UNAPPROVED ACTIVITY OCCURRING WITHIN TREE PROTECTION ZONES AND WILL BE REQUIRED TO RETAIN A CERTIFIED ARBORIST TO MAKE NECESSARY REPAIRS/RESTORATIONS AS SEEN FIT BY LANDSCAPE ARCHITECT AND LICENSED ARBORIST.
- BEFORE COMMENCEMENT OF ANY WORK, TREE PROTECTION ZONES SHALL BE ESTABLISHED AND PROTECTED FROM DAMAGE BY INSTALLATION OF THE TREE PROTECTION FENCING AS SHOWN ON THE TREE PROTECTION PLAN. THE ESTABLISHMENT OF THESE ZONES SHALL BE APPROVED, IN WRITING, BY THE LANDSCAPE ARCHITECT.
- THE EXTENT OF TREE PROTECTION ZONES IS DETERMINED BY THE CRITICAL ROOT ZONE, FOR PROPER PROTECTION OF EXISTING VEGETATION AND TREES REFER TO THE STANDARDS OF NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS.
- THE EXTENT OF THE TREE PROTECTION FENCE SHALL BE AS SHOWN ON THE PLANS. THIS FENCE SHALL REMAIN IN POSITION AND IN GOOD CONDITION DURING THE ENTIRE COURSE OF THE CONSTRUCTION PROJECT.
- TEMPORARY REMOVAL AND/OR RECONFIGURATION OF THE TREE PROTECTION AREA WILL BE ALLOWED FOR DEMOLITION AND CONSTRUCTION OF SPECIFIC ITEMS WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL REQUEST FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER PRIOR TO BEGINNING WORK IN TREE PROTECTION ZONES.
- TEMPORARY VEHICULAR ACCESS BE REQUIRED WITHIN THE TREE PROTECTION AREA. ROOTS SHALL BE PROTECTED BY PLACING THREE 3/4" PLYWOOD MATS ON THE GROUND SURFACE TO PREVENT SOIL COMPACTION.
- SURFACE DRAINAGE CONTAINING MATERIALS SUCH AS CONCRETE, MORTAR, SOIL CEMENT, VEHICLE WASH OFF, FUELS, OR ANY OTHER ITEMS THAT WILL CONTAMINATE SOIL SHALL NOT BE ALLOWED TO DRAIN INTO OR ACROSS THE TREE PROTECTION AREA.
- FIRES SHALL NOT BE LIT IN A LOCATION WHERE THEIR FLAMES CAN EXTEND TO WITHIN 25 FEET OF THE FOLIAGE OR LIMBS OF ANY TREES. GROUND FIRES ARE NEVER PERMITTED ON SITE.
- IF 360 DEGREE EXCAVATORS ARE USED DURING CONSTRUCTION, AT NO TIME IS THE EXCAVATING ARM TO EXTEND OVER THE POSITION OF THE TREE PROTECTION FENCE.
- REMOVAL OF EXISTING PAVED SURFACES WITHIN THE TREE PROTECTION AREA SHOULD BE UNDERTAKEN CAREFULLY TO MINIMIZE DISTURBANCE TO EXISTING TREE ROOTS BENEATH. HAND HELD TOOLS OR SMALL MECHANIZED EQUIPMENT SHALL BE USED TO REMOVE THE EXISTING SURFACES. DEMOLITION DEBRIS SHALL BE REMOVED FROM THE TREE PROTECTION AREA IMMEDIATELY. EXPOSED ROOTS SHALL BE PROTECTED BY BEING COVERED WITH SAND. COMPLETION OF THE DEMOLITION ACTIVITY OR AT THE END OF EACH WORKING DAY TO PREVENT DESICCATION. SAND SHOULD BE DRY, CLEANED, AND FREE OF ANY SEEDS.
- EXCAVATION FOR CONSTRUCTION WITHIN THE TREE PROTECTION AREA SHALL BE PERFORMED WITH HAND TOOLS OR SMALL MECHANIZED EQUIPMENT. DAMAGE TO THE BARK SURFACE OF EXPOSED ROOTS SHALL BE MINIMIZED. ALL WORK WITHIN THE TREE PROTECTION AREAS SHOULD BE PHOTO DOCUMENTED AND INCLUDED IN THE PAY APPLICATIONS AND/OR THE CONSTRUCTION LOGS. PHOTOS SHOULD DOCUMENT PRE-EXISTING CONDITIONS, AS WELL AS DURING AND POST CONSTRUCTION IN THESE AREAS.
- SEE UTILITY NOTE 11 ON SHEET L2.1 FOR REQUIREMENTS WHEN INSTALLING UTILITIES NEAR EXISTING TREES.

- IN CASES WHERE ROOTS MUST BE REMOVED TO FACILITATE CONSTRUCTION, ROOTS SHALL BE PRUNED BY A CERTIFIED ARBORIST. EXPOSED ROOTS SHALL BE COMPLETELY COVERED WITH SAND UPON COMPLETION OF THE CONSTRUCTION ACTIVITY OR AT THE END OF EACH WORKING DAY TO PREVENT DESICCATION. PRUNING SHALL BE DONE AFTER REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT.
- DEMOLITION OF EXISTING STRUCTURES SHALL BE PERFORMED BY LOUISIANA LICENSED ARBORIST. NEW STRUCTURES SHALL BE PERFORMED BY LOUISIANA LICENSED ARBORIST WITH PERMIT. PRUNING SHALL BE DONE ONLY AFTER REVIEW AND APPROVAL BY PROJECT LANDSCAPE ARCHITECT.
- IF TREE CANOPY IS REMOVED TO FACILITATE TEMPORARY OR NEW CONSTRUCTION, ROOT PRUNING SHALL OCCUR IN THE APPROPRIATE AREA AT THE DIRECTION OF A LOUISIANA LICENSED ARBORIST WITH PERMIT TO COMPENSATE FOR THE CANOPY LOSS.
- BEFORE ANY WORK OCCURS UNDER THE DRIFLINE OF THE TREE CANOPY, BUT OUTSIDE OF THE TREE PROTECTION FENCE, OCCURS, A 3/4" THICK PLYWOOD MAT, CONTINUOUS MUST BE PLACED ATOP THE SOIL TO PROTECT EXISTING TREE ROOTS.
- CONTRACTOR TO RETAIN A LOUISIANA LICENSED ARBORIST THROUGHOUT CONSTRUCTION. ARBORIST SHALL OBTAIN AS MANY PERMITS FROM PARKS AND PARKWAYS AS REQUIRED DURING CONSTRUCTION TO COMPLETE THE WORK REQUIRED.
- MULCHING: ALL WORK TO BE DONE BY A LOUISIANA LICENSED ARBORIST WITH PERMIT.
- 18.1. CROWN CLEANING: SELECTIVE PRUNING TO REMOVE DEAD, DISEASED AND/OR BROKEN BRANCHES 1 INCH IN DIAMETER AND LARGER.
- 18.2. CROWN REDUCTION: PRUNING TO PROVIDE VERTICAL CLEARANCES.
- 18.3. FERTILIZATION: SUB-SURFACE LIQUID PRESSURE INJECTION METHOD. MIX SHALL BE A COMBINATION OF THE FOLLOWING INGREDIENTS MIXED IN WATER:
 - 18.3.1. ROOT STIMULATOR (SUCH AS BUT NOT LIMITED TO ROOTS, SUPERTHRIVE, BIOPACK, OR SIMILAR PRODUCT)
 - 18.3.2. MYCORRHIZAL FUNGI INOCULANT
 - 18.3.3. ORGANIC SOIL CONDITIONER (SUCH AS, BUT NOT LIMITED TO KEMP, A-35, OR SIMILAR PRODUCT)
19. USE PINE STRAW MULCH APPLIED 3 INCHES DEEP FROM THE DRIFLINE TO WITHIN 3-4 INCHES OF THE BASE OF THE TREE'S BASE TO PROVIDE ORGANIC MATTER, CONSERVE SOIL MOISTURE, IMPROVE SOIL STRUCTURE, AND PREVENT SOIL COMPACTION.



1 TREE PROTECTION FENCING DETAIL

NOT TO SCALE



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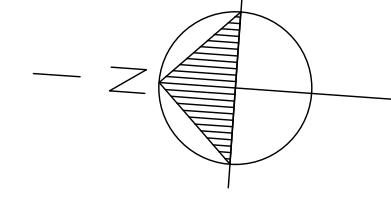
REV.	NO.	DATE	DESCRIPTION

DESIGNED BY: BATTURE
CHECKED BY: BATTURE
DATE: OCTOBER 26, 2020
3100 PERRET ST., NEW ORLEANS, LA 70115
504.885.7200
batture.com

BATTURE LLC
engineers • land surveyors

TREE PROTECTION PLAN

SHEET NUMBER: **LO**



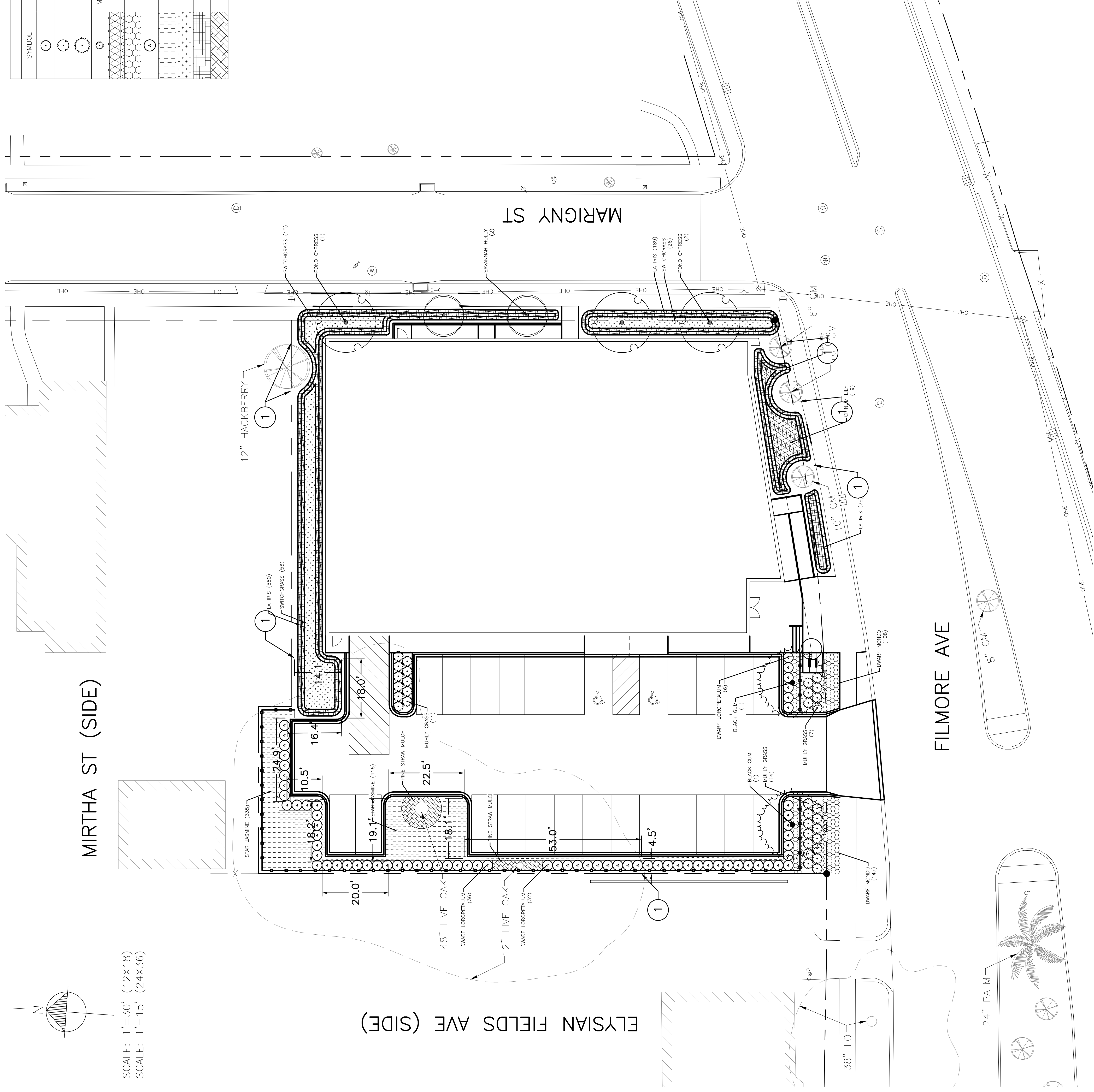
SCALE: 1"=30' (12X18)
SCALE: 1"=15' (24X36)

MIRTHA ST (SIDE)

ELYSIAN FIELDS AVE (SIDE)

MARIGNY ST

FILMORE AVE



PLANT SCHEDULE						
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE	SPACING	NOTES
○	Savannah Holly	Ilex x attenuata Savannah	2	6.5 GAL.	15' O.C. min.	Standard, 2.5" Cal, 10ft HT, 5-6ft Spr
○	Pond Cypress	Toxodum ascendens	3	3" CAL.	15' O.C. min.	Single Trunk, 12H, 6.5' min. canopy clearance, dominant leader with 5' min. crutch height
○	Black Gum	Nyssa sylvatica	2	3" CAL.	20' O.C. min.	Single Trunk, 12H, 6.5' min. canopy clearance, dominant leader with 5' min. crutch height
○	Mulch Grass (mixture)	Muhlenbergia capillaris & White Grass	32	3 GAL.	3' O.C.	Planting in areas shown on plan; full, dense randomly in areas shown on plan; full, dense
○	Critium Lily	Critium americanum	19	3 GAL.	3' O.C.	full, dense, specimen
○	Dwarf Mondo	Ophiopogon japonicus	112	4" pots	8" O.C.	full, dense, planted as groundcover
○	Dwarf Loropetalum	Loropetalum chinensis	72	3 GAL.	3' O.C.	full, dense, 36" height min., plant as continuous hedge, see hedge planting detail
○	Star Jasmine	Trachelospermum jasminoides	752	1 GAL.	12" O.C.	full, dense, specimen
○	Switchgrass	Panicum virgatum	97	3 GAL.	3' O.C.	full, dense, specimen
○	LA Iris	Iris gigantea/iriseae	1015	1 GAL.	12" O.C.	full, dense, planted as groundcover
○	Pine Straw Mulch	-	464 SY	MULCH	-	3" Layer on all planting areas, 1" max. layer over all existing tree roots

PLANTING NOTES:

- ALL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY. CONTRACTOR IS TO CONDUCT INDEPENDENT ASSESSMENT IN ORDER DETERMINE QUANTITIES NECESSARY TO MEET DESIGN INTENT.
- THE INSTALLATION OF ALL PLANT MATERIALS WITHIN THE PUBLIC RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARD SPECIFICATION OF THE NEW ORLEANS DEPARTMENT OF PARKS AND PARKWAYS:
 - SECTION 32 90 00 PLANTING
 - SECTION 32 92 19 SEEDING
 - SECTION 32 92 23 SODDING
 - SECTION 32 94 13 LANDSCAPE EDGING
 - SECTION 32 91 13 SOIL PREPARATION
- ANY SUBSTITUTION IS MADE TO THE PLANT SPECIES, SIZES, AND SPECIFICATIONS SHOWN ON THIS PLAN MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

CANSECO'S GROCERY
2221 FILMORE AVE
GENTILLY, NEW ORLEANS

REV. NO.	DATE	DESCRIPTION

DESIGNED BY:
BATTURE

CHECKED BY:
BATTURE

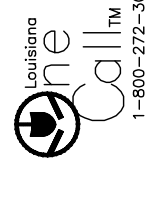
DATE:
OCTOBER 26, 2020

2010 PERRET ST., NEW ORLEANS, LA 70115
504.581.1234
www.batture.com

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PLANTING
PLAN

SHEET NUMBER:
L1



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