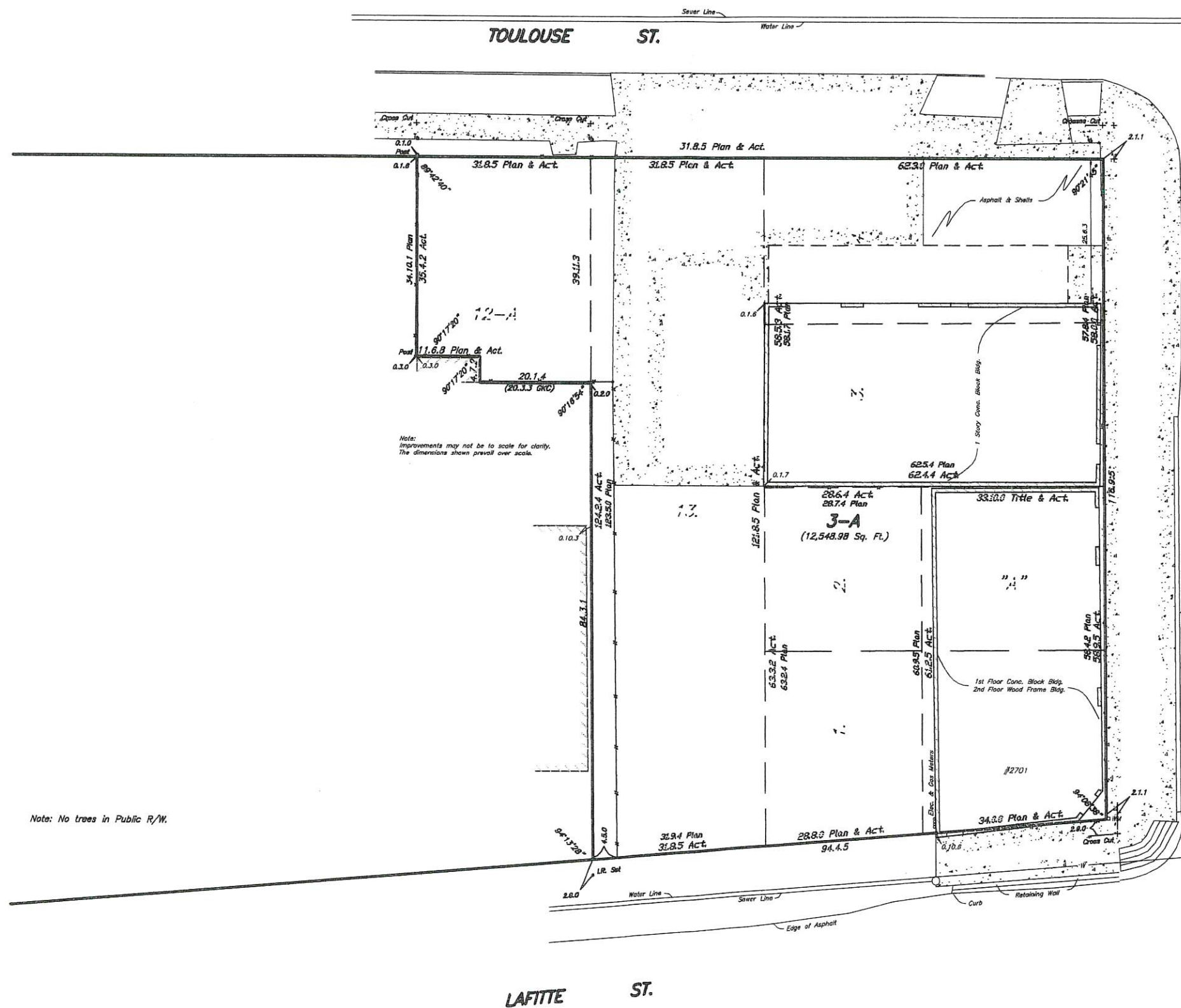


SQ. NO. 360
SECOND DISTRICT ORLEANS PARISH
 NEW ORLEANS, LA
A Resubdivision of Original Lots 1 & 2 and Lots "A", 3, 4, 13 and 12-A into Lot 3-A.

N. WHITE ST. SIDE



N. BROAD ST.



THE SURVEY AND THE INSTRUMENTS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN DESCRIPTION FURNISHED TO THE SURVEYOR AND NO REPRESENTATION IS MADE BY THE SURVEYOR AS TO THE ACCURACY OF THE DATA FURNISHED. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLETING THE DATA FOR THIS SURVEY.

THE FEDERAL BUREAU OF INVESTIGATION FLOOD HAZARD BOUNDARY MAP INDICATES THAT THE ABOVE DESCRIBED PROPERTY IS LOCATED IN FLOOD ZONE A-3 (+1.5)

Date: February 20, 2009 Scale: NTS

This plot represents an actual ground survey made by me or under my direct supervision and control and conforms to the requirements for the Minimum Standards for Property Boundary Surveys as found in Louisiana Administrative Code TITLE 46:XXI, Chapter 25 for a Class "C" survey. Made at the request of Sam Smith.

Gilbert, Kelly & Couturie, Inc., Surveying & Engineering
 2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

The New Orleans Jazz Club

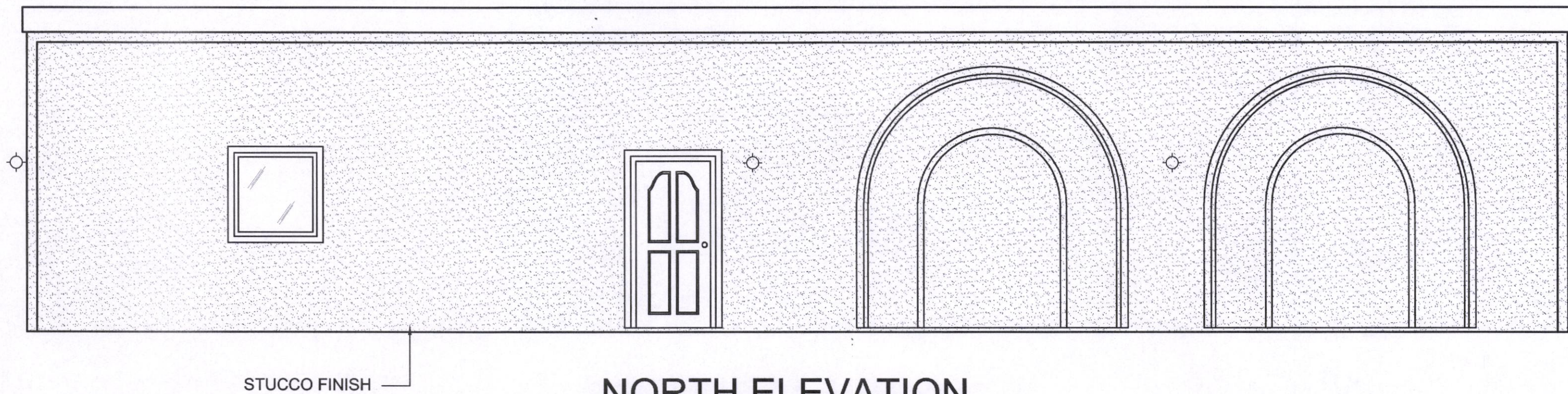
NOTES:

- 1) ALL DIMENSIONS ARE TO CENTERLINES OR FACE OF STUDS, CENTERLINES OF COLUMNS, OR FACE OF BRICK.
- 2) VERIFY ALL SITE CONDITIONS AND ADDITION LOCATION PRIOR TO CONSTRUCTION.
- 3) ALL MATERIAL SHALL BE NEW AND U.L. LISTED.
- 4) NO WORK SHALL BE CONCEALED UNTIL APPROVED BY LOCAL INSPECTORS.
- 5) ALL CONSTRUCTION SHALL COMPLY WITH ALL CITY, STATE AND LOCAL CODES.
- 6) ALL ELECTRICAL WORK SHALL BE IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, OSHA, STATE AND LOCAL CODES.
- 7) CONTRACTOR TO GUARANTEE WORK FOR ONE YEAR.
- 8) CONTRACTOR SHALL FURNISH WATER AND POWER AT EXISTING SOURCES.
- 9) CAULKING ON EXTERIOR SHALL BE THIOKAL CAULK.
- 10) PAINT GRADE TO BE SHERWIN WILLIAMS OR EQUAL. ALL WORK TO RECEIVE 3 COATS. COLOR SELECTION BY OWNER.
- 11) PROVIDE CLEAN-UP ON A REGULAR BASIS. NO TRASH STORED IN THE BUILDING.
- 12) ALL BATT INSULATION SHALL HAVE A CLASS "A" (0-25) FLAME SPREAD RATING IN COMPLIANCE WITH APPLICABLE CODE.
- 13) USE 6" STUDS AT ALL PLUMBING WALLS.
- 14) GRANITE TOPS WITH 4" SPLASH IN KITCHEN.
- 15) SIMULATED MARBLE TOPS WITH 4" SPLASH IN BATHS.
- 16) NO FURRED CEILINGS UNLESS OTHERWISE NOTED.
- 17) A/C MOUNTS IN ATTIC OVER G.I. DRIP PAN & DRAIN.
- 18) GAS FIRED W.H. MOUNTS IN UTILITY ROOM (SEE PLAN).
- 19) ALL CORNERS SHALL BE PROPERLY BRACED FOR WIND LOADS. A 48" SHEATHING SHALL BE PROVIDED EVERY 20 FEET OF WALL LENGTH.
- 20) EACH SLEEPING ROOM SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS.
- 21) WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" AND MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".
- 22) EACH EGRESS WINDOW FROM SLEEPING ROOMS MUST HAVE MINIMUM GLASS AREA OF NOT LESS THAN 5 SQ. FT. FOR GROUND FLOOR WINDOW AND NOT LESS THAN 5.7 SQ. FT. FOR SECOND STORY WINDOW.
- 23) ALL SLEEPING AREAS SHALL BE PROTECTED WITH U.L. APPROVED SMOKE DETECTORS. THESE SHALL BE WIRED TO THE 110 VOLT HOUSE CURRENT AND MEET DESIGN CRITERIA AS REQUIRED BY UL DESIGN 268. THEY SHALL BE INSTALLED NO FURTHER THAN 10 FEET FROM ANY SLEEPING ROOMS, NO CLOSER THAN 6" FROM WALL OR CEILING, DEPENDING ON WHERE MOUNTED.
- 24) BATHROOM VENTILATORS SHALL BE SIZED SUFFICIENT TO EXCHANGE VOLUME OF AIR EQUAL TO (MIN.) 5 CYCLES PER HOUR.
- 25) PREFABRICATED FIREPLACES SHALL BE U.L. APPROVED AND SHALL BE INSTALLED PER MANUFACTURES' RECOMMENDATIONS.
- 26) ALL FRAMING MATERIAL TO BE #2 DENSE SYP.
- 27) PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" IN HEIGHT (CABO-1995 315.3)
- 28) ALL LUMBER EXPOSED TO THE WEATHER SHALL BE NATURALLY DURABLE OR PRESSURE TREATED (YELLOW).
- 29) FOLLOW LOCAL BUILDING CODE FOR TERMITE AND DECAY PROTECTION.
- 30) DEPTH OF NOTCHES AT ENDS OF FLOOR JOISTS NOT TO EXCEED 1/4" DEPTH.
- 31) BRIDGING REQUIRED BETWEEN FLOOR JOIST EXCEEDING 8 FT. SPAN.
- 32) DOUBLE FLOOR JOISTS REQUIRED UNDER ALL WALLS.
- 33) FOLLOW LOCAL BUILDING CODE FOR DRAFT STOPPING AND FIRE STOPPING.
- 34) ALL ANCHOR STRAPS AND HANGERS TO BE GALVANIZED AND INSTALLED TO MANUFACTURES' SPECIFICATIONS.
- 35) ALL REBAR REINFORCEMENT TO MEET ASTM-A615 (GRADE 60).
- 36) WHERE DISCREPANCY BETWEEN DRAWINGS AND BUILDING CODE, BUILDING CODE TAKES PRECEDENCE.
- 37) REFER TO TABLE 1705.1 OF STANDARD BUILDING CODE FOR FASTENING SCHEDULE.
- 38) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 30" AND 38", RESPECTIVELY MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS, SPIRAL STAIR WAYS AND WINDERS SHALL HAVE THE REQUIRED HANDRAILS LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OF SAFETY TERMINALS. THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. (INTERNATIONAL CODE-2000 315.1).

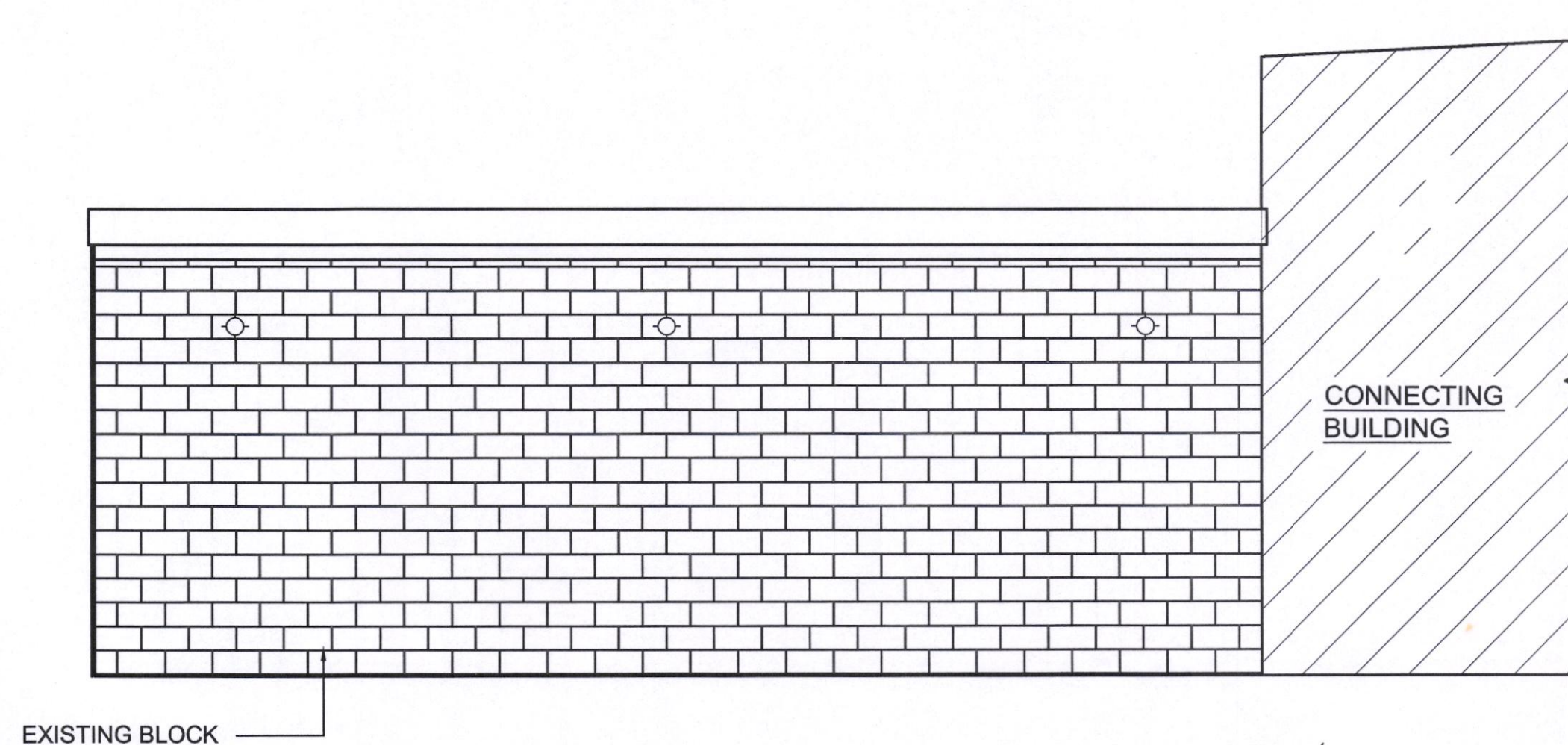




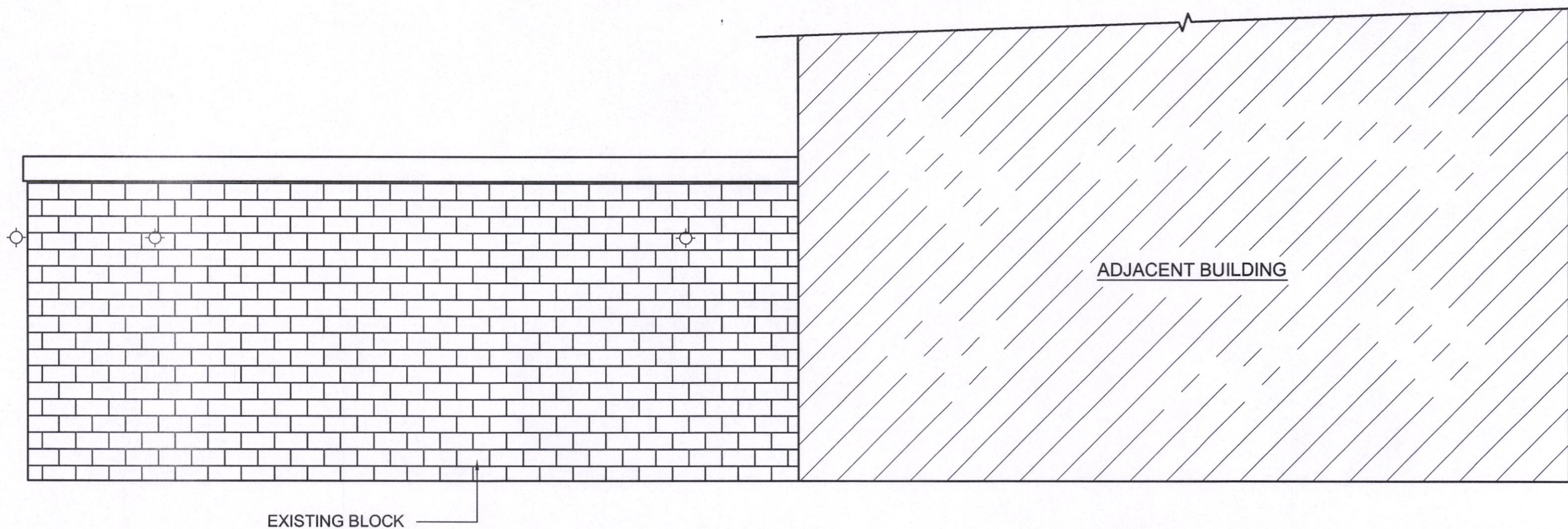
EAST ELEVATION



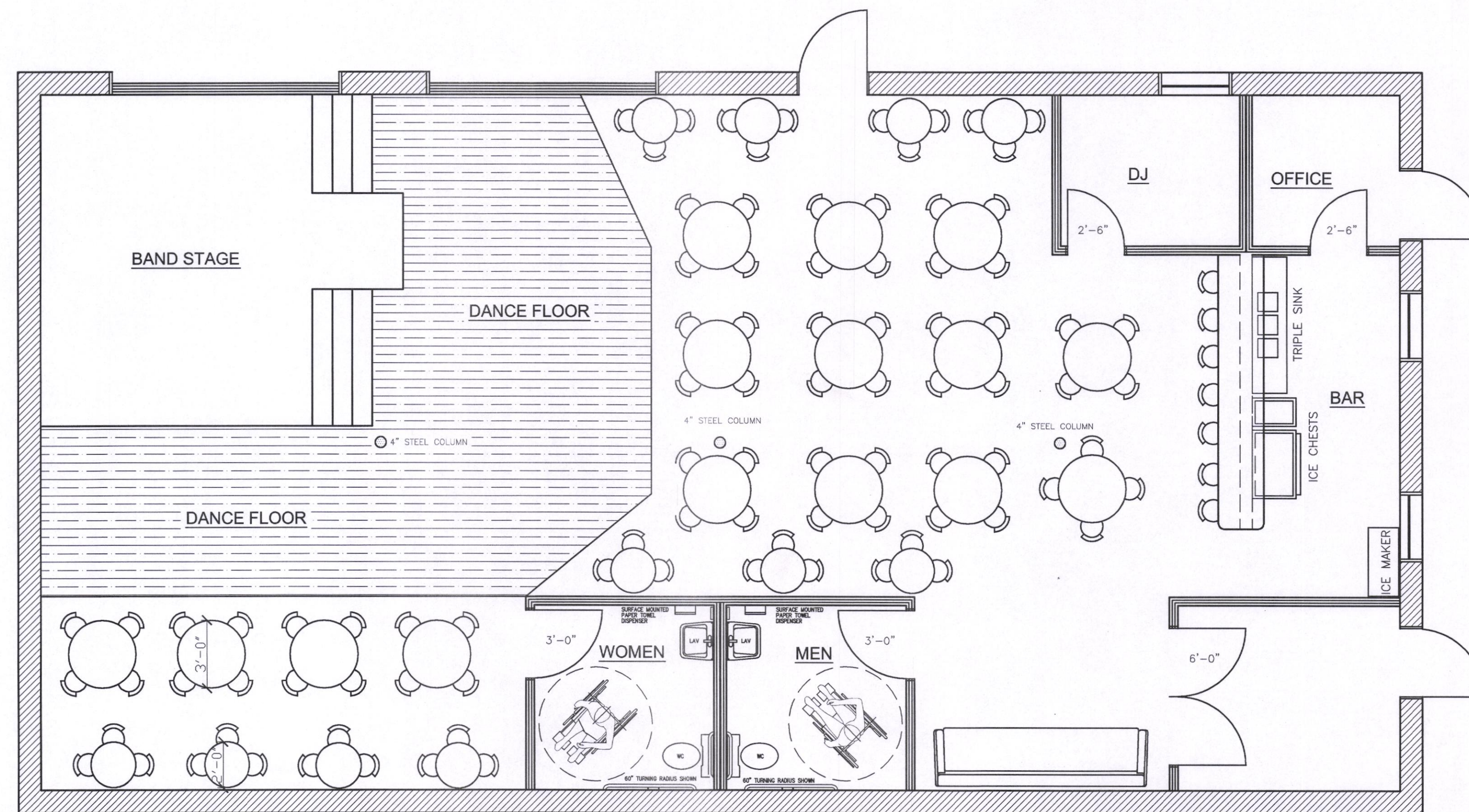
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



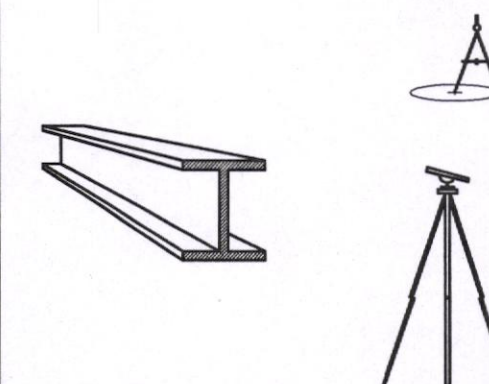
SEATING PLAN

**LEONARD HIRSCH
ENGINEER**

**PAUL BROWN
DESIGNER**

1316 LOWERLINE ST.
NEW ORLEANS, LA. 70118

504 715-5103 (LEN)
847 941-2453 (PAUL)



**SAMUAL SMITH'S
JAZZ CLUB**
2458 BROAD STREET
NEW ORLEANS, LOUISIANA

APPROVALS

OWNER: SAM SMITH
TENANT

PHASE

- ☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☒ CONSTRUCTION DOCUMENTS

RELEASED FOR

- ☐ INFORMATION
☐ ESTIMATING/BIDDING
☒ CONSTRUCTION

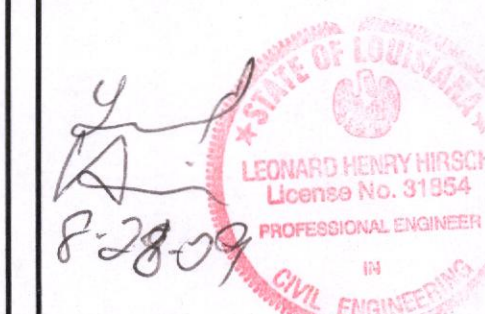
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<input type="checkbox"/>	<input type="checkbox"/>

PROJECT

HOUSE RAISING

ENGINEER SEAL



DRAWN BY PAUL BROWN

DATE: 3/23/2009

SCALE: 1/4" = 1'-0"

PROJECT #

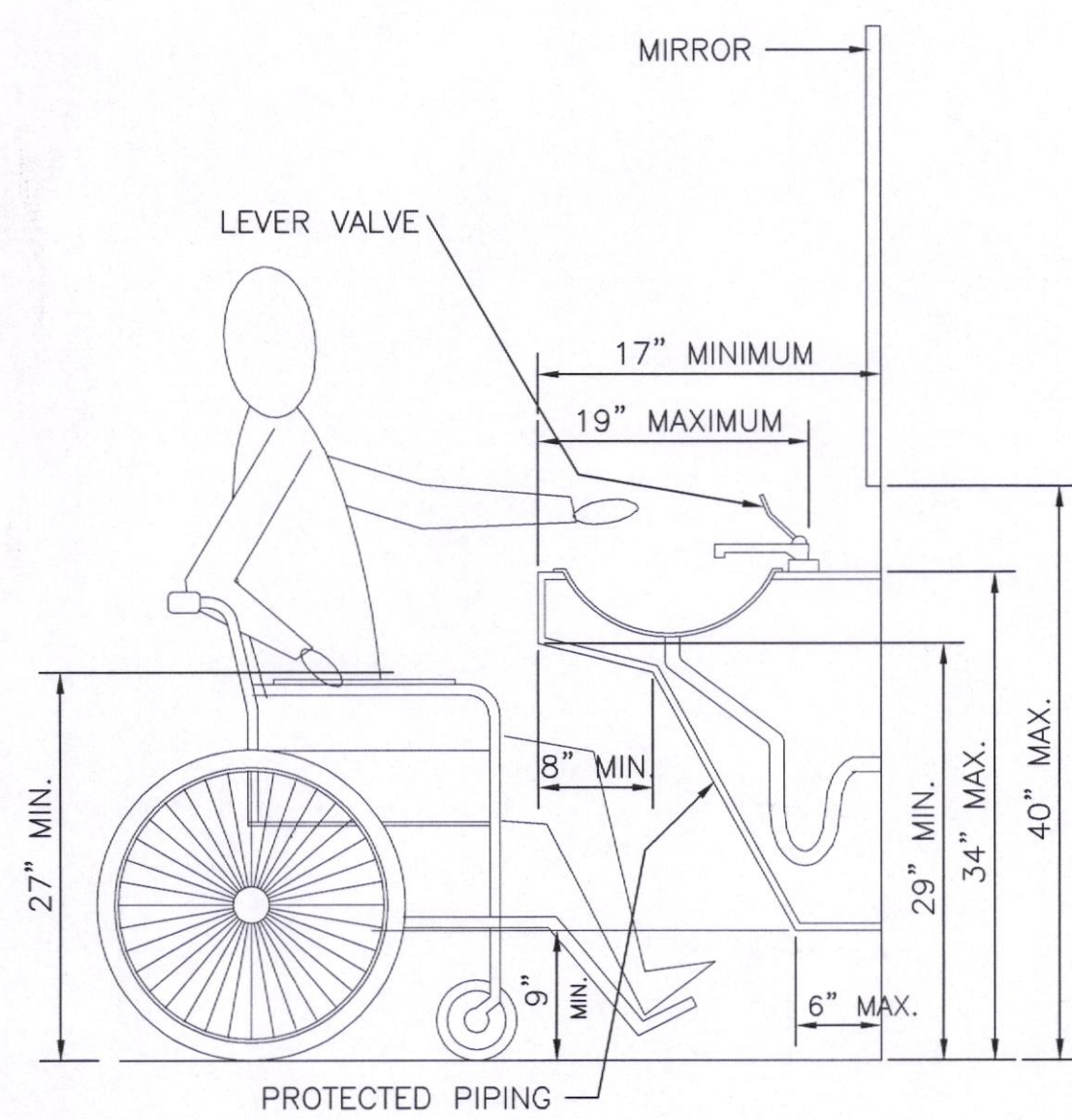
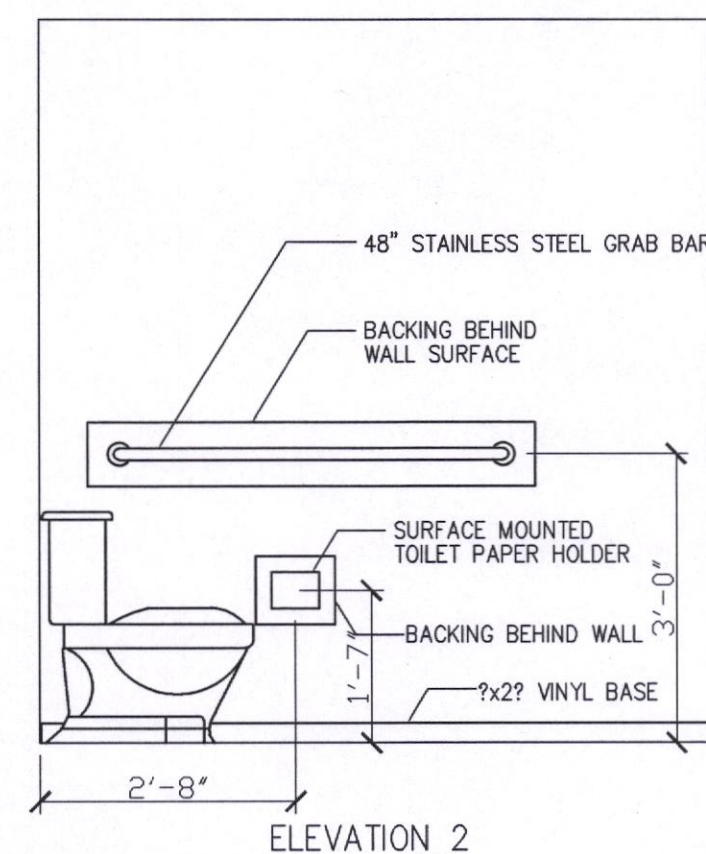
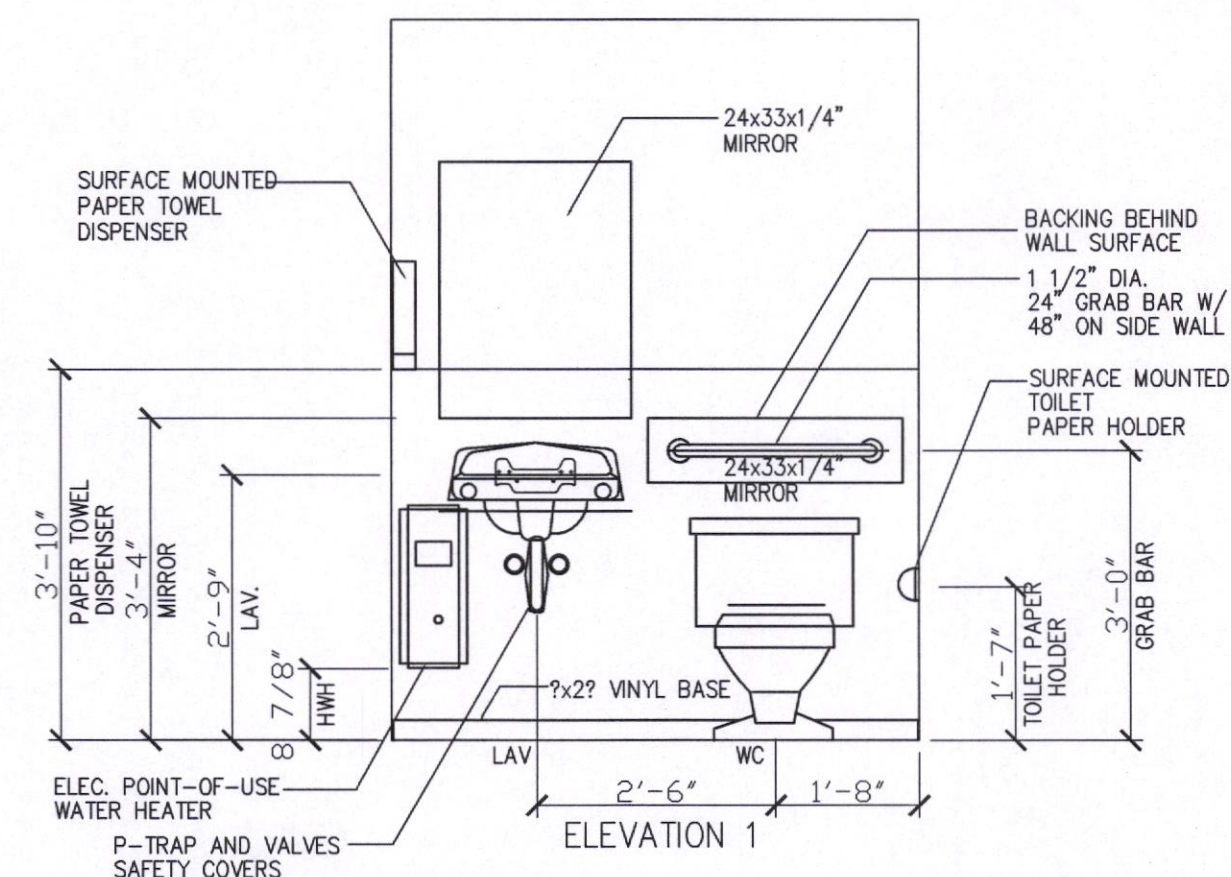
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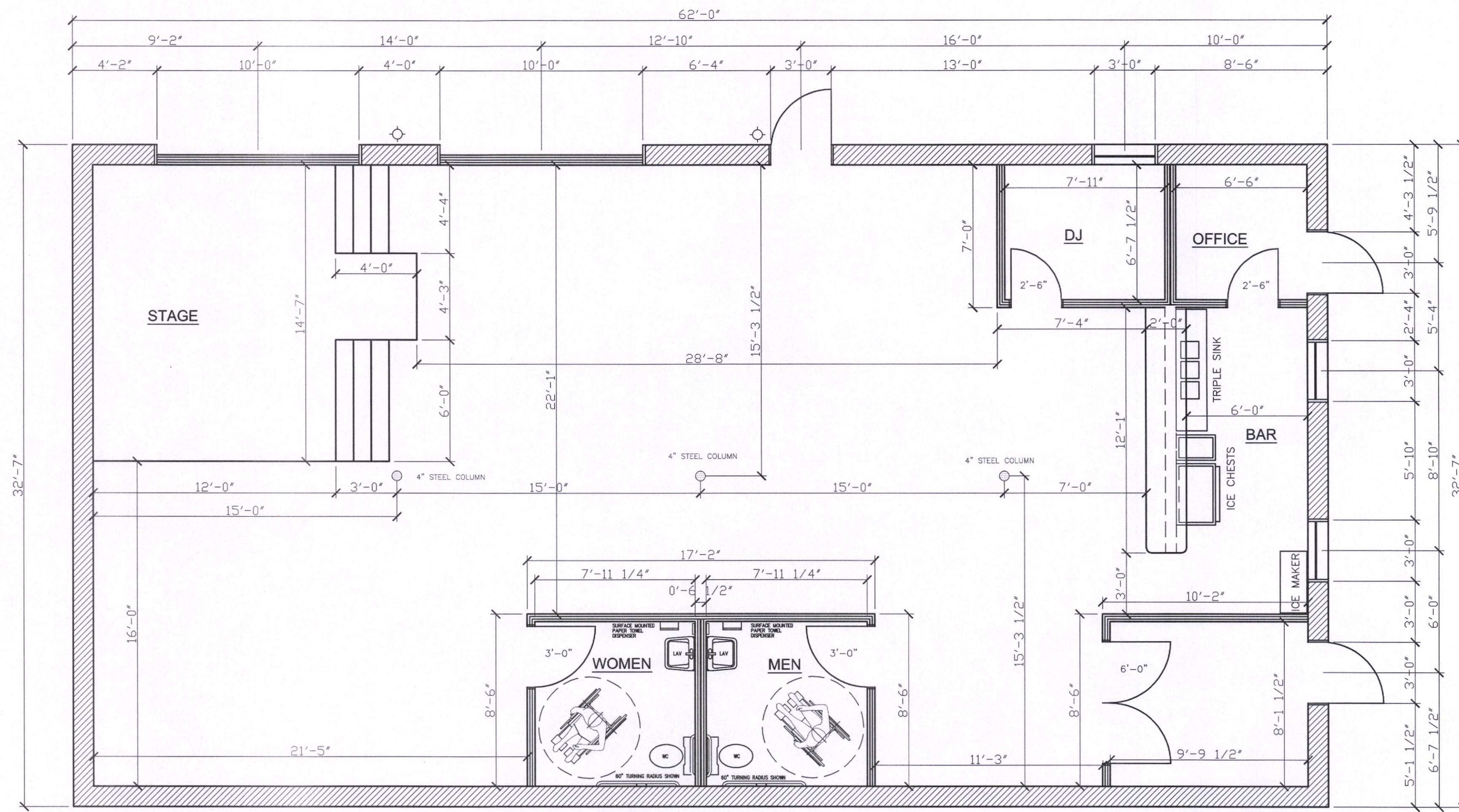
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SHEET NUMBER

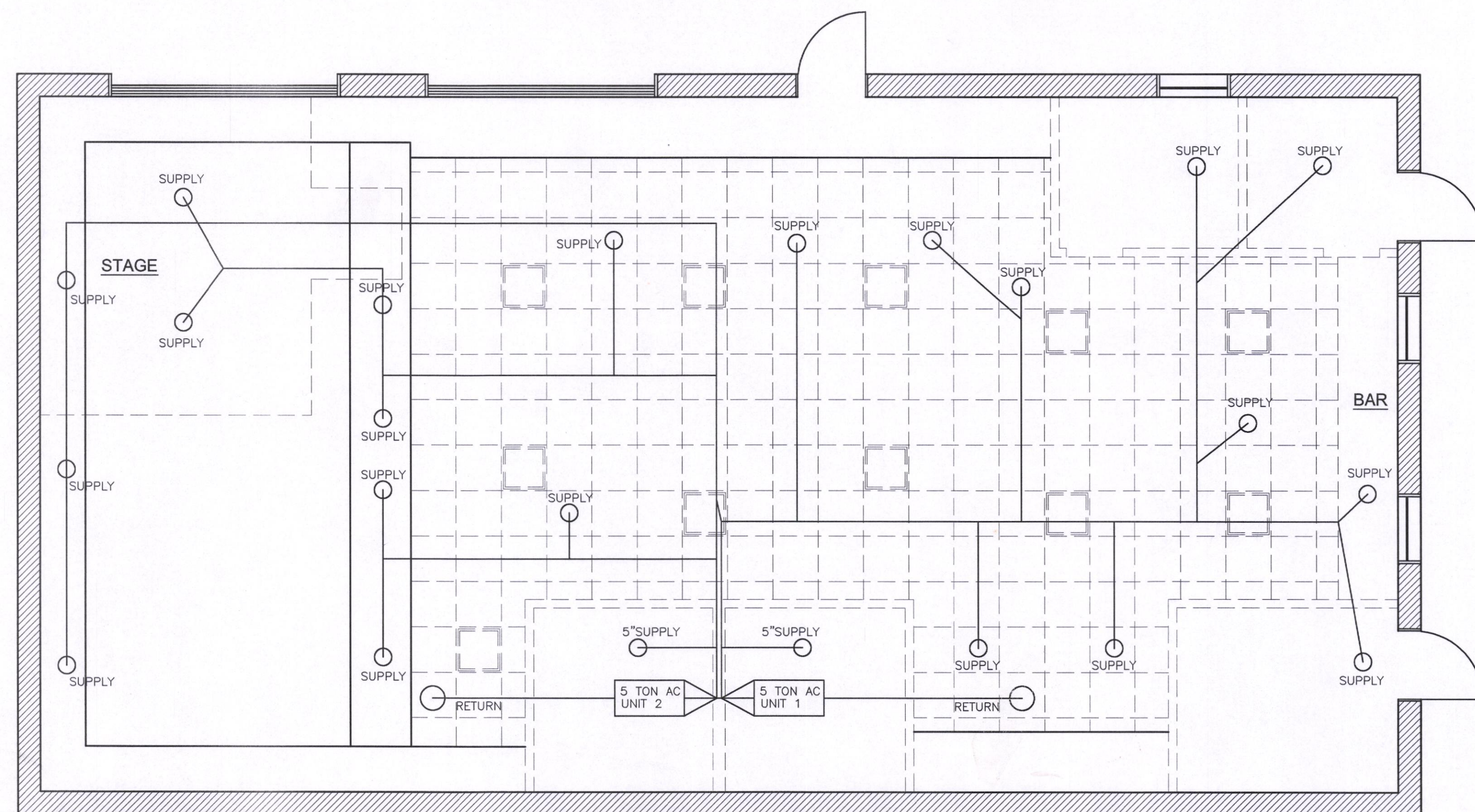
A-1



WASHROOM ELEVATIONS



MAIN FLOOR PLAN



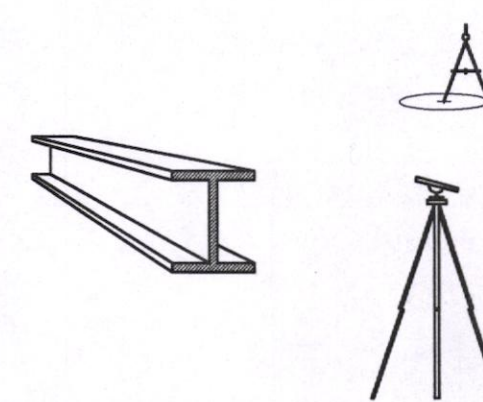
MECHANICAL PLAN

LEONARD HIRSCH
ENGINEER

PAUL BROWN
DESIGNER

1316 LOWERLINE ST.
NEW ORLEANS, LA. 70118

504 715-5103 (LEN)
847 941-2453 (PAUL)



SAMUAL SMITH'S
JAZZ CLUB
2458 BROAD STREET
NEW ORLEANS, LOUISIANA

APPROVALS

OWNER: SAM SMITH
TENANT

PHASE

- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
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RELEASED FOR

- ☐ INFORMATION
- ☐ ESTIMATING/BIDDING
- ☒ CONSTRUCTION

REVISED

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PROJECT

HOUSE RAISING

ENGINEER SEAL

LEONARD HENRY HIRSCH
License No. 31554
PROFESSIONAL ENGINEER
8-28-09

DRAWN BY PAUL BROWN

DATE: 3/23/2009

SCALE: 1/4" = 1'-0"

PROJECT #

FILE NAME:

PLOT DATE:

CHECKED

SHEET NUMBER

A-2

NOTE
THIS IS AN EXISTING BUILDING THAT IS STRUCTURALLY SOUND AND NO CHANGES ARE TO BE MADE.

ALL WORK TO BE DONE ARE PARTITION WALLS, DRYWALL, DROP CEILING, ELECTRICAL, HVAC, AND EXTERIOR COSMETIC WORK.

ALL EXTERIOR DOORS AND WINDOWS ARE EXISTING AND WILL REMAIN.

ELECTRICAL

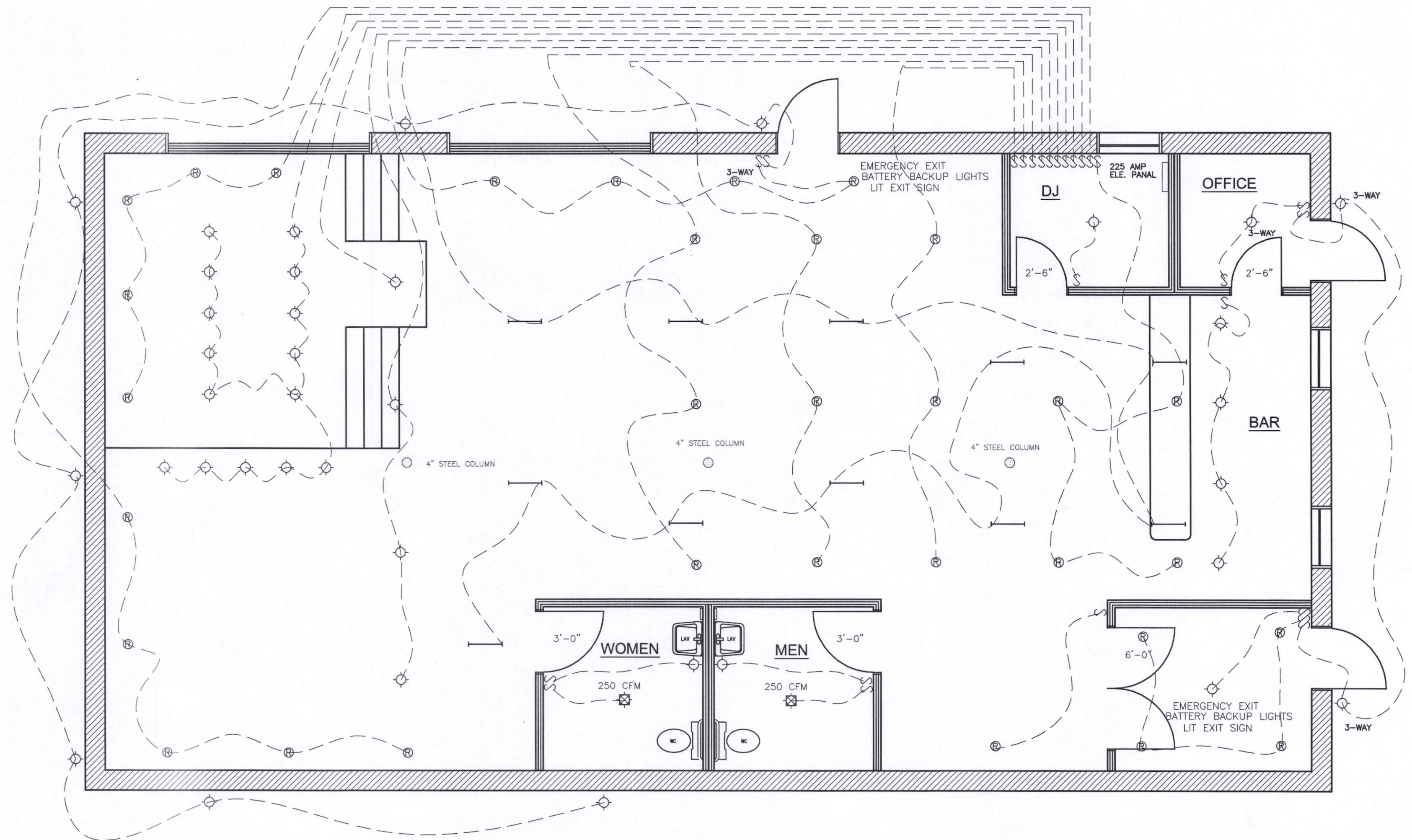
- 1) WORK AND MATERIALS SHALL COMPLY WITH OR EXCEED THE NATIONAL ELECTRICAL CODE. MATERIALS SHALL BEAR UNDERWRITER'S LABORATORIES, INC. SEAL.
- 2) THE ELECTRICAL WORK CONSISTS OF, BUT IS NOT LIMITED TO, THE FOLLOWING:
INSTALLATION AS INDICATED OR SCHEDULED ON THE DRAWINGS.
 - A) METAL CONDUIT WIRING SYSTEM FROM EXISTING ELECTRIC PANEL TO SUPPLY POWER, LIGHTING, HEATING, AIR CONDITIONING CONTROLS AND EQUIPMENT.
- 3) CONDUIT: IN CONCRETE SHALL BE RIGID HEAVY WALL WITH 5 FEET OF BUILDING. ELSEWHERE, EXCEPT AS NOTED, SHALL BE ELECTRIC METALLIC TUBING (THIN WALL). ELECTRIC, GENERAL CABLE, OLSONITE OR PHILLIPS-DODGE. NO WIRE SMALLER THAN NO. 12.
- 4) WIRE AND CABLE (600) VOLT: SOFT DRAWN COPPER, ASTM B33. CONDUCTORS NO. 8 AWG AND SMALLER, SOLID: OTHERS, CLASS "B" STRANDING. INSULATION- CONDUCTORS NO. 6 OR LARGER, THW THERMOPLASTIC; OTHER CONDUCTORS - TW.
- 5) SWITCHES AND RECEPTACLES: LEVITAN EXCEPT WHERE NOTED OTHERWISE. ALL WIRE AND CABLE - ANACONDA, GENERAL.
- 6) PULL BOXES AND JUNCTIONS BOXES: AS REQUIRED BY CODE.
- 7) EQUIPMENT, FIXTURES AND APPLIANCES: AS INDICATED ON SCHEDULE. HEATING/AIR CONDITIONING CONTROLS: PROVIDED BY OTHERS.
- 8) ALL ELECTRICAL SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, 1996 EDITION.
- 9) ALL WIRE TO 600V #12 THHN OR AS OTHERWISE NOTED.
- 10) ALL WIRING IN CONDUIT EMT SIZE PER CODE.
- 11) UNDERGROUND CONDUIT 3/4" MINIMUM GALV. SERVICE GROUND BONDED TO BUILDING STRUCTURAL STEEL.
- 12) INSTALL ALL DECORATIVE FIXTURES AS PER ALLOWANCE.
- 13) RUN CONDUIT AND HARDWIRE ALL AIR CONDITIONERS, FURNACES, (IF APPLICABLE) AS PER PLAN.
- 14) SMOKE DETECTORS SHALL BE HARDWIRED (120V) AND INSTALLED IN ACCORDANCE WITH CURRENT ILLINOIS STATE CODE.
- 15) THE ELECTRICAL CONTRACTOR INCLUDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT FOR THE INSTALLATION OF A COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
- 16) THIS CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF OR HERSELF WITH THE PLANS AND SHALL VERIFY EXISTING CONDITIONS AT THE SITE BEFORE THE EXPENSE OF THE CONTRACTOR.
- 17) THE ELECTRICAL CONTRACTOR SHALL PROVIDE COPPER WIRE THROUGHOUT. MINIMUM BRANCH WIRING SHALL BE #12 A.W.G., TYPE TW, COPPER TO THW COPPER (EXTERIOR), 600 VOLT RATED INSULATION. CIRCUITS #6 A.W.G. OR LARGER SHALL BE TYPE THW COPPER. GROUND WIRES SHALL BE SIZED AS NOTED ON THE PLANS OR AS REQUIRED BY CODE AND SHALL BE GREEN.
- 18) CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY AND/OR THE LANDLORD FOR WORK REQUIRED UNDER THIS CONTRACT FOR THE COMPLETE INSTALLATION OF THE ELECTRICAL SERVICE AT THE VOLTAGE AND LOCATION AS SHOWN ON THE DRAWINGS. PROVIDE MATERIAL AND/OR LABOR AS REQUIRED BUT NOT FURNISHED BY THE UTILITY AND/OR OWNER.
- 19) THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND FAULT PROTECTED GROUNDED OUTLETS AT ALL BATHROOM, SHOWER ROOMS, AND EXTERIOR OUTLETS, AS REQUIRED BY CODE.
- 20) ALL MATERIAL & EQUIPMENT TO BE U.L. APPROVED INSTALLATION TO MEET ALL STATE & LOCAL CODES & IN A WORKMANSHIP MANNER.
- 21) CONCEAL ALL CONDUIT WHERE POSSIBLE.
- 22) EXPOSED CONDUIT TO RUN PARALLEL TO BUILDING STEEL.
- 23) CHECK 3-PHASE MOTORS FOR PROPER ROTATION.
- 24) ALL WEATHER EXPOSED ELECTRICAL EQUIPMENT SHALL BE WEATHERPROOF TYPE 3R.
- 25) ALL LIGHT FIXTURES AR TO BE BULBED AND TESTED. ALL OUTLETS ARE TO BE TESTED DURING TRIM.
- 26) ALL BUILDING CIRCUITS ARE TO BE NEATLY LABELED N BREAKER PANEL COVER.
- 27) ALL RECESSED LIGHTS TO BE IN BASE BID.

GYPSUM WALLBOARD

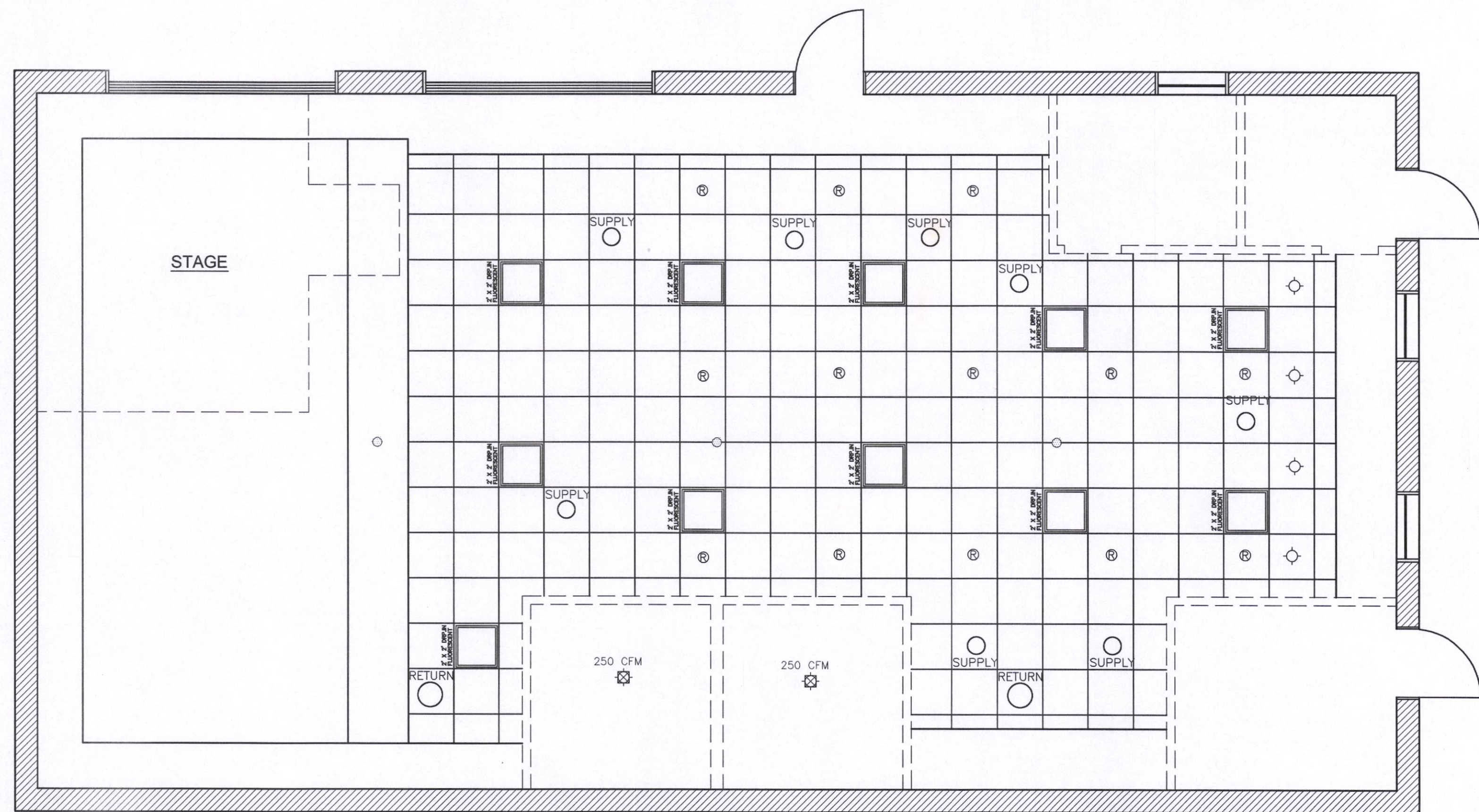
- A) JOB CONDITIONS:
 - 1) TEMPERATURE: MAINTAIN RANGE BETWEEN 55 DEGREES F. TO 70 DEGREES F. FOR 24 HOURS BEFORE, DURING, AND AFTER GYPSUM WALLBOARD AND JOINT TREATMENT APPLICATION.
 - 2) VENTILATION: PROVIDE NATURAL OR MECHANICAL VENTILATION DURING AND FOLLOWING ADHESIVES AND JOINT TREATMENT APPLICATION.
- B) GYPSUM WALLBOARD:
 - 1) REGULAR BOARD: ASTM C36, 5/8 INCH WITH TAPERED EDGES.
 - 2) FIRE-RATED BOARD: ASTM C36, TYPE "X", 5/8 INCH WITH TAPERED EDGES.
 - 3) WATER-RESISTANT BOARD: ASTM C630, 1/2 INCH, REGULAR GRADE, TAPERED EDGES.
 - 4) BACKING BOARD: ASTM C442, 3/8 INCH, SQUARE EDGES.
- C) FASTENERS: USE ONLY SCREWS (TYPE W) WHICH ARE SELF-DRILLING, SELF-TAPPING, BUGLE HEAD WITH POWER-DRIVEN TOOL OF RECOMMENDED LENGTHS.
- D) JOINT TREATMENT MATERIALS: JOINT TAPE - ASTM C475, PERFORATED. JOINT COMPOUND - ASTM C475, POWDERED JOINT COMPOUND AND TAPING AND TAPING COMPOUND.
- E) GENERAL APPLICATION METHODS: USE WALLBOARD OF MAXIMUM LENGTHS TO MINIMIZE END JOINTS. STAGGER END JOINTS WHEN THEY OCCUR. LOCATE END JOINTS AS FAR AS POSSIBLE FROM CENTER OF WALL OR CEILING. ABUT WALLBOARD WITHOUT FORGING. NEATLY FIT ENDS AND EDGES OF WALLBOARD. DO NOT PLACE BUTT ENDS AGAINST TAPERED EDGES. SUPPORT ENDS AND EDGES OF WALLBOARD PANELS ON FRAMING OR FURRING MEMBERS EXCEPT FOR FACE LAYER OF DOUBLE LAYER AND WHERE ENDS ARE BACK-BLOCKED AND FLOATED.
- F) TAPING AND FINISHING JOINTS: INSTALL IN 3 COATS, SANDING EACH TO PROVIDE SMOOTH, FLUSH, TRUE SURFACE READY FOR PAINTING AND/OR DECORATING.

9.2 TILE WORK

- A) JOB CONDITIONS: WHEN USING PORTLAND CEMENT MORTAR SET AND GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50 DEGREES F. AND RISING. COMPLY WITH MINIMUM TEMPERATURE RECOMMENDATIONS OF MANUFACTURERS FOR BONDING AND GROUTING MATERIALS IN OTHER THAN PORTLAND CEMENT.
- B) THIN SET ALL WALLS.
- C) IN SHOWER AND TUB RECESSES, PROVIDE 1/2 INCH PORTLAND CEMENT BOARD (FIBERGLASS REINFORCED) ON WALLS AS BASE FOR CERAMIC TILE.
- D) CERAMIC MOSAIC WALL TILES: CERAMIC MOSAICS, COLOR BY THE OWNER, INCLUDE BASES, CAPS, STOPS, RETURNS, TRIMMERS AND OTHER SHAPES TO FINISH INSTALLATION, TO MATCH TILE FOR THE SCHEDULED AREA.
- E) INSTALLATION - CERAMIC TILE: PREPARE SURFACE, FIT, SET OR BOND, GROUT, AND CLEAN IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE TILE COUNCIL OF AMERICAN STANDARDS.



ELECTRICAL PLAN



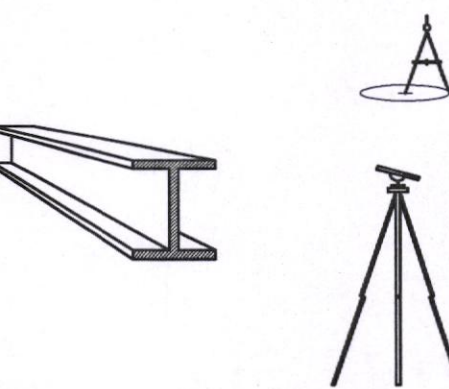
REFLECTIVE CEILING PLAN

LEONARD HIRSCH
ENGINEER

PAUL BROWN
DESIGNER

1316 LOWERLINE ST.
NEW ORLEANS, LA. 70118

504 715-5103 (LEN)
847 941-2453 (PAUL)



SAMUAL SMITH'S
JAZZ CLUB
2458 BROAD STREET
NEW ORLEANS, LOUISIANA

APPROVALS

OWNER: SAM SMITH
TENANT

PHASE

- ☐ SCHEMATIC DESIGN
☐ DESIGN DEVELOPMENT
☒ CONSTRUCTION DOCUMENTS

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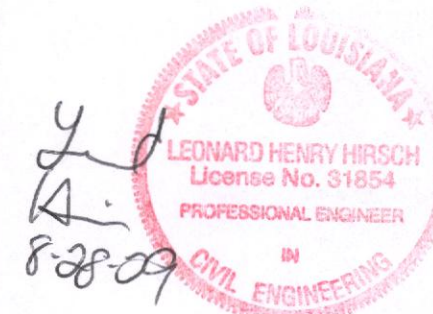
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PROJECT

HOUSE RAISING

ENGINEER SEAL



DRAWN BY PAUL BROWN

DATE: 3/23/2009

SCALE: 1/4" = 1'-0"

PROJECT #

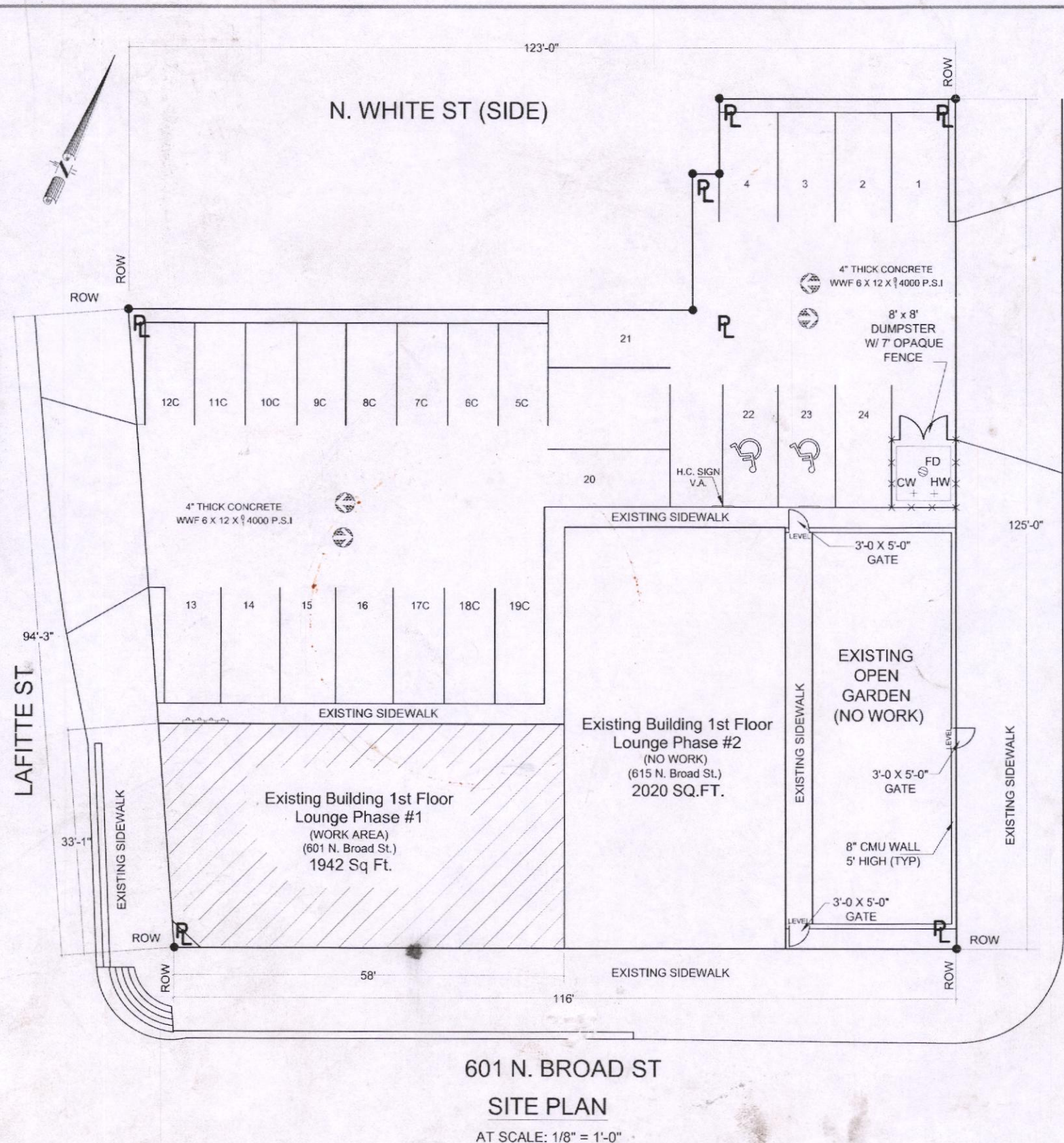
FILE NAME:

PLOT DATE:

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SHEET NUMBER

A-3

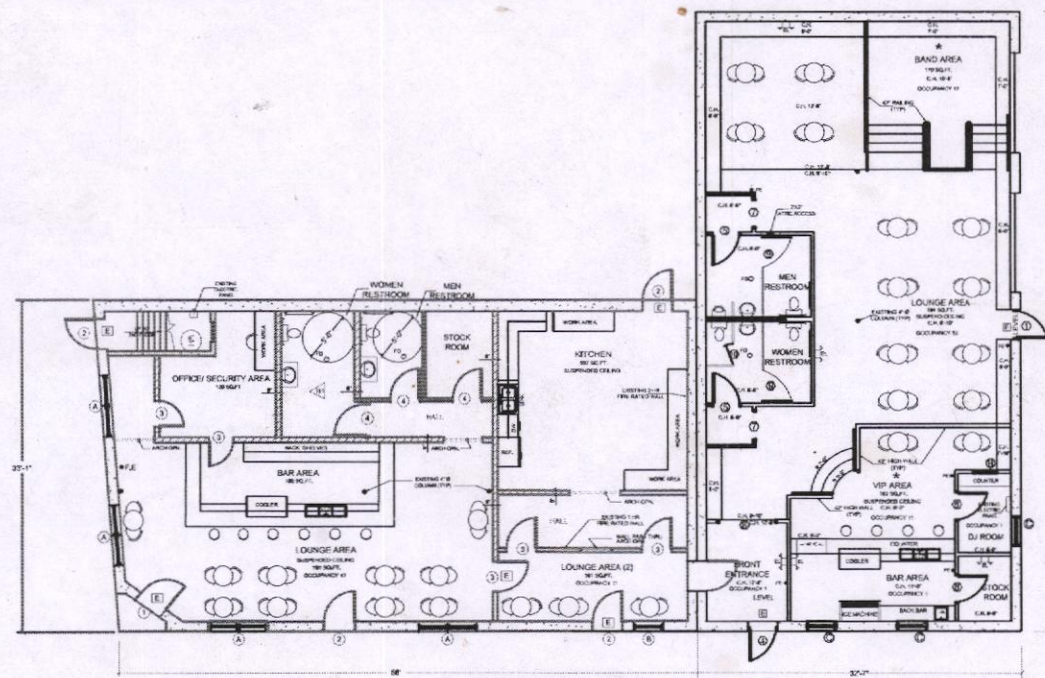


SCOPE OF WORK

1. RENOVATION TO EXTEND EXISTING 1 ST FLOOR LOUNGE INTO ADJACENT BUILDING SPACE TO COMBINE BOTH PHASES.
2. NO HVAC WORK IS REQUIRED IN THIS SPACE.
3. MODIFY ELECTRICAL AS REQUIRED.
4. THERE WILL BE NO STRUCTURAL CHANGES TO THIS EXISTING SPACE.
5. KITCHEN AREAS WILL PROVIDE SANDWICHES ONLY.

OCCUPANCY LOAD FOR PHASE #1

OFFICE/SECURITY AREA SQ. FT = 120 OR 2 EMPLOYEES
 BAR AREA SQ. FT = 160 OR 2 EMPLOYEES
 KIT AREA SQ. FT = 507 OR 3 EMPLOYEES
 LOUNGE AREA (1) = 707 SQ. FT / 15 SQ. FT = 47
 LOUNGE AREA (2) = 161 SQ. FT / 15 SQ. FT = 11
 OCCUPANCY LOAD TOTAL = 65 PEOPLE



NOTE:

SEE REF. SHT.#1, #2, & #3 FOR SITE PLAN @ 615 N. BROAD ST. LOCATION WITH ADDITIONAL DIMENSIONS DETAILS AND GENERAL NOTES.

Design Drafting Services, LLC
 LaPlace, La.

Proposed Lounge Restored part Floor Plan Mr. Sam Smith		801 & 615 N. Broad St. New Orleans, La.	
JOB NO.	OWNER'S DWG NO.	DWG NO.	REV.
		A-1	

DRAWN BY	ELBERT	DATE	06/19
CHECKED BY		DATE	
ENCL.		DATE	
SUPP.		DATE	
PROJECT		DATE	
CLIENT		DATE	
SCALE AS SHOWN			

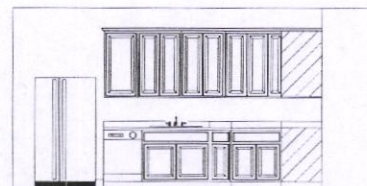
NO.	DATE	BY	DESCRIPTION

SCHEDULE OF OPENINGS		
NO.	SIZE	DESCRIPTION
1	3668	EXISTING EXTERIOR DR.
2	3668	EXISTING EXTERIOR DR.
3	3068	EXISTING INTERIOR DR.
4	3668	EXISTING INTERIOR DR.
		(ARCH) CASED OPENING
A		EXISTING DOUBLE HUNG W/ FROSTED GLASS
B		EXISTING DOUBLE HUNG W/ FROSTED GLASS

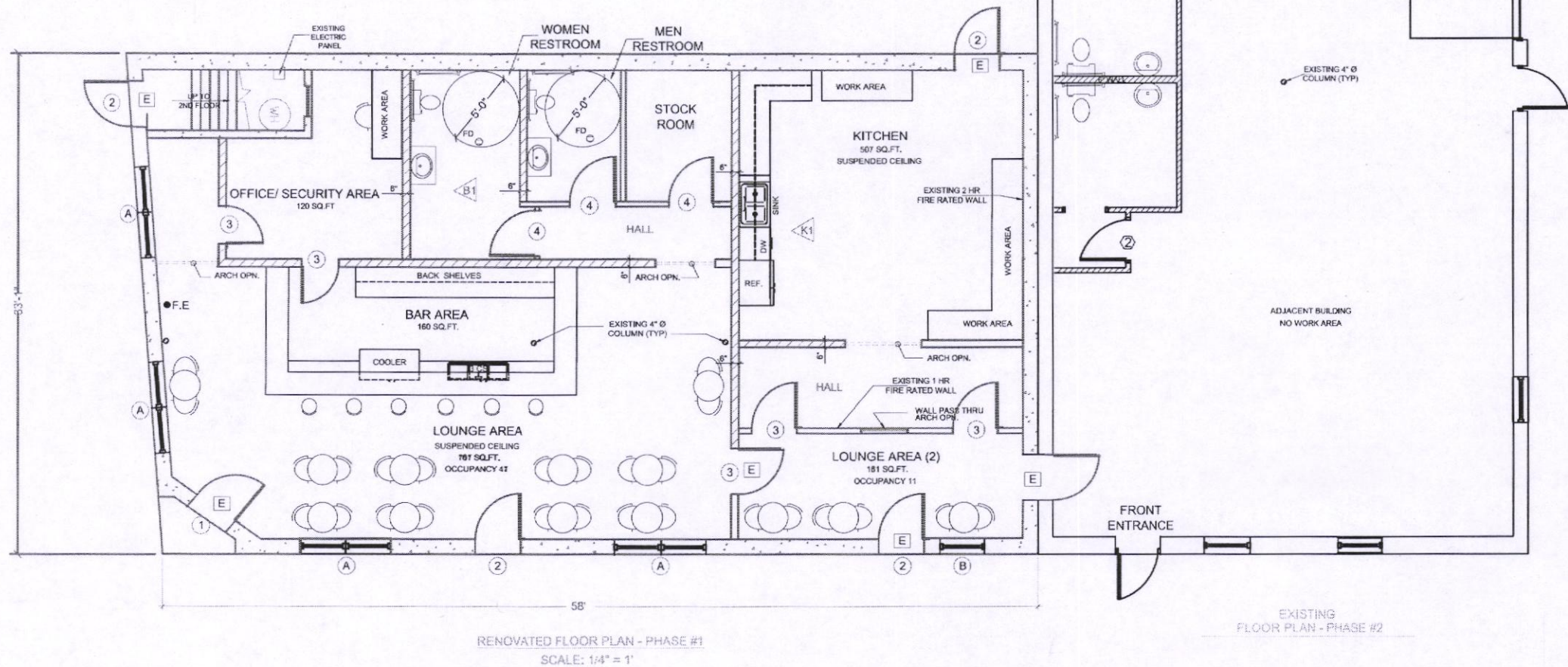
LEGEND		LEGEND	
MARK	DESCRIPTION	MARK	DESCRIPTION
EL	EMERGENCY LIGHT 120V - BATTERY BACK-UP	○	BAR STOOL
E	EXIT SIGN - BATTERY BACK-UP	⊕	TABLE AND CHAIRS
●F.E	FIRE EXTINGUISHER	HS	HAND SINK
FD	FLOOR DRAIN	3CS	3 COMPARTMENT SINKS
\$	SINGLE POLE SWITCH	MS	MOP SINK
GFIC	GROUND FAULT INTERRUPTER CIRCUIT OUTLET - 120V	WH	EXISTING ELECTRIC WATER HEATER
⊕	DUPLEX CONVENIENCE OUTLET - 120V	A/C	EXISTING ELECTRIC AIR CONDITIONER
	EXISTING WALL	—	EXISTING 1 HR RATED WALL
—	2X4 @ 16" O.C. WALL w/ 1 HR FIRE RATED	—	EXISTING 2 HR RATED WALL



B-1
BATH ELEVATION SCALE 1/4"
SEE FLOOR PLAN

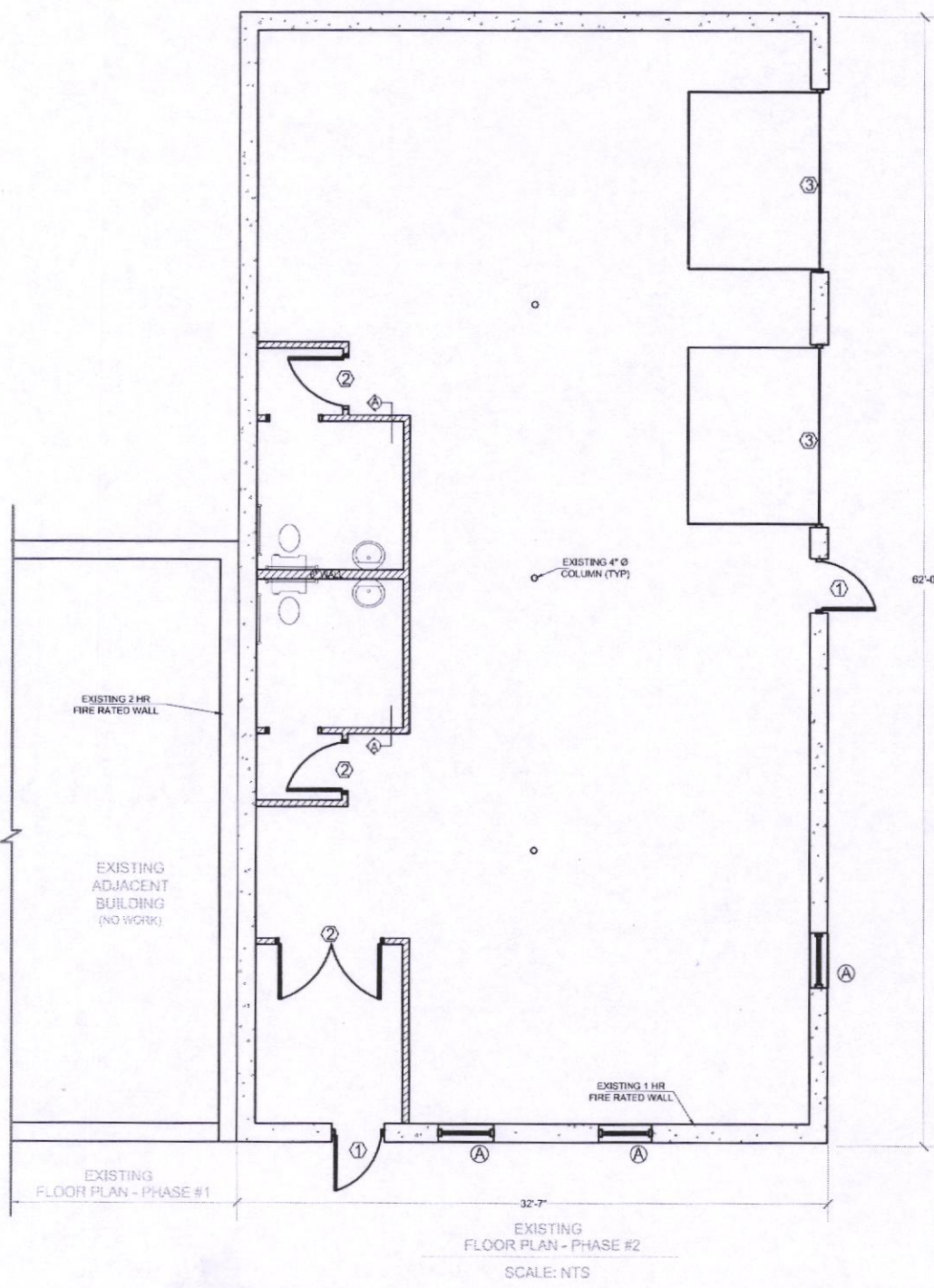


K-1
KITCHEN ELEVATION SCALE 1/4"
SEE FLOOR PLAN



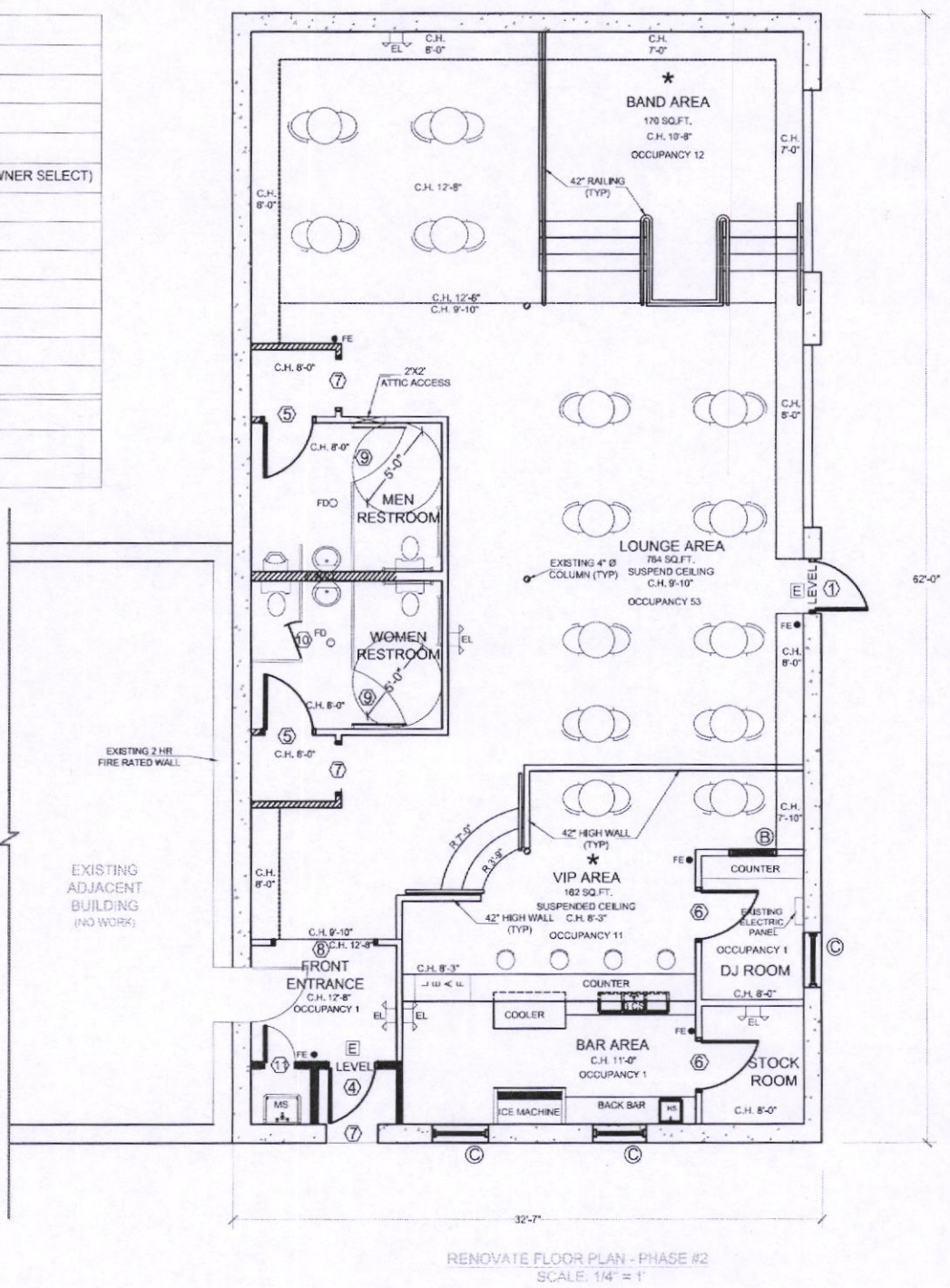
Design Drafting Services, LLC.
LaPlace, La.
CELL (512) 96A-7770
elaportel@msn.com

Proposed Lounge
Restored part Floor Plan
Mr. Sam Smith
601 N. Board St. New Orleans, LA.
JOB NO. CLIENT'S DWD NO. DWD NO. REV.
A-2



SCHEDULE OPENING		
MARK	SIZE	DESCRIPTION
①	3'-0" X 7'-0"	EXISTING EXTERIOR DOOR
②	VARIES	EXISTING INTERIOR DOOR
③	VARIES	EXISTING OVERHEAD GARAGE DOOR
④	3'-0" X 7'-0"	NEW 1 HR FIRE RATED EXTERIOR DOOR (OWNER SELECT)
⑤	3'-0" X 6'-8"	NEW INTERIOR S.C. DOOR W/ CLOSURE
⑥	3'-0" X 6'-8"	NEW INTERIOR S.C. DOOR
⑦	3'-0" X 7'-0"	NEW CASING OPENING
⑧	6'-0" X 7'-0"	NEW CASING OPENING
⑨	3'-0" X 5'-0"	PARTITION DOOR
⑩	2'-0" X 5'-0"	PARTITION DOOR
⑪	2'-0" X 6'-8"	NEW 1 HR FIRE RATED DOOR
Ⓐ	2'-0" X 3'-0"	EXISTING FIXED GLASS WINDOW
Ⓑ	5'-0" X 3'-0"	NEW FIXED GLASS WINDOW
Ⓒ	2'-0" X 3'-0"	NEW FIXED SAFETY GLAZING WINDOW

NOTE:
SEE REF. SHIT #1, #2, & #3 FOR SITE PLAN @ 615 N. BROAD ST. LOCATION WITH ADDITIONAL DIMENSIONS DETAILS AND GENERAL NOTES.
* NOTE: BAND & VIP AREA ARE 1 HR FIRE RATED CONSTRUCTION



Design Drafting Services, LLC
LaPlace, La.

Proposed Lounge
Restored part Floor Plan
Mr. Sam Smith

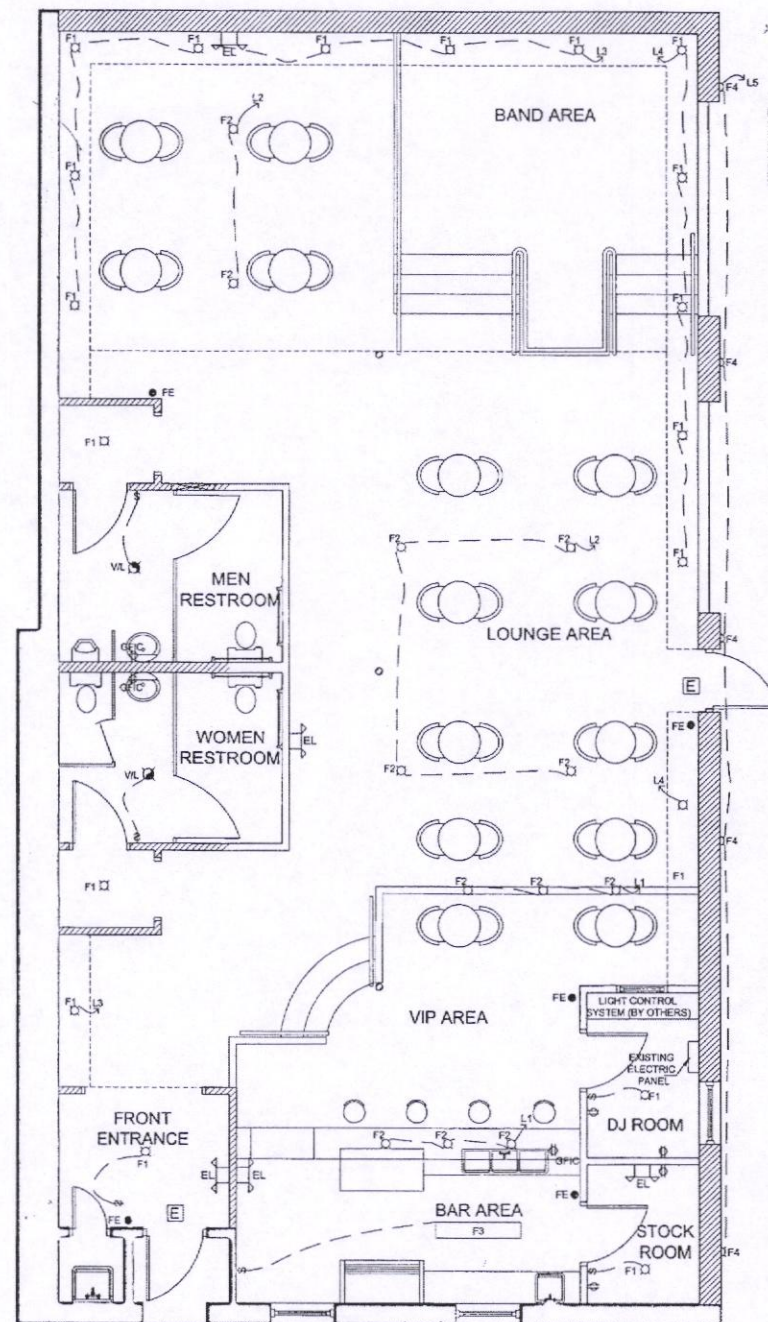
815 N. Board St. New Orleans, LA

JOHNSON, J. ELBERT DATE 06/19
CHECKED BY DATE
ENGR. DATE
DEPT. DATE
PROJECT DATE
CLIENT DATE

NO. DATE BY DESCRIPTION REVISIONS

SCALE: AS SHOWN

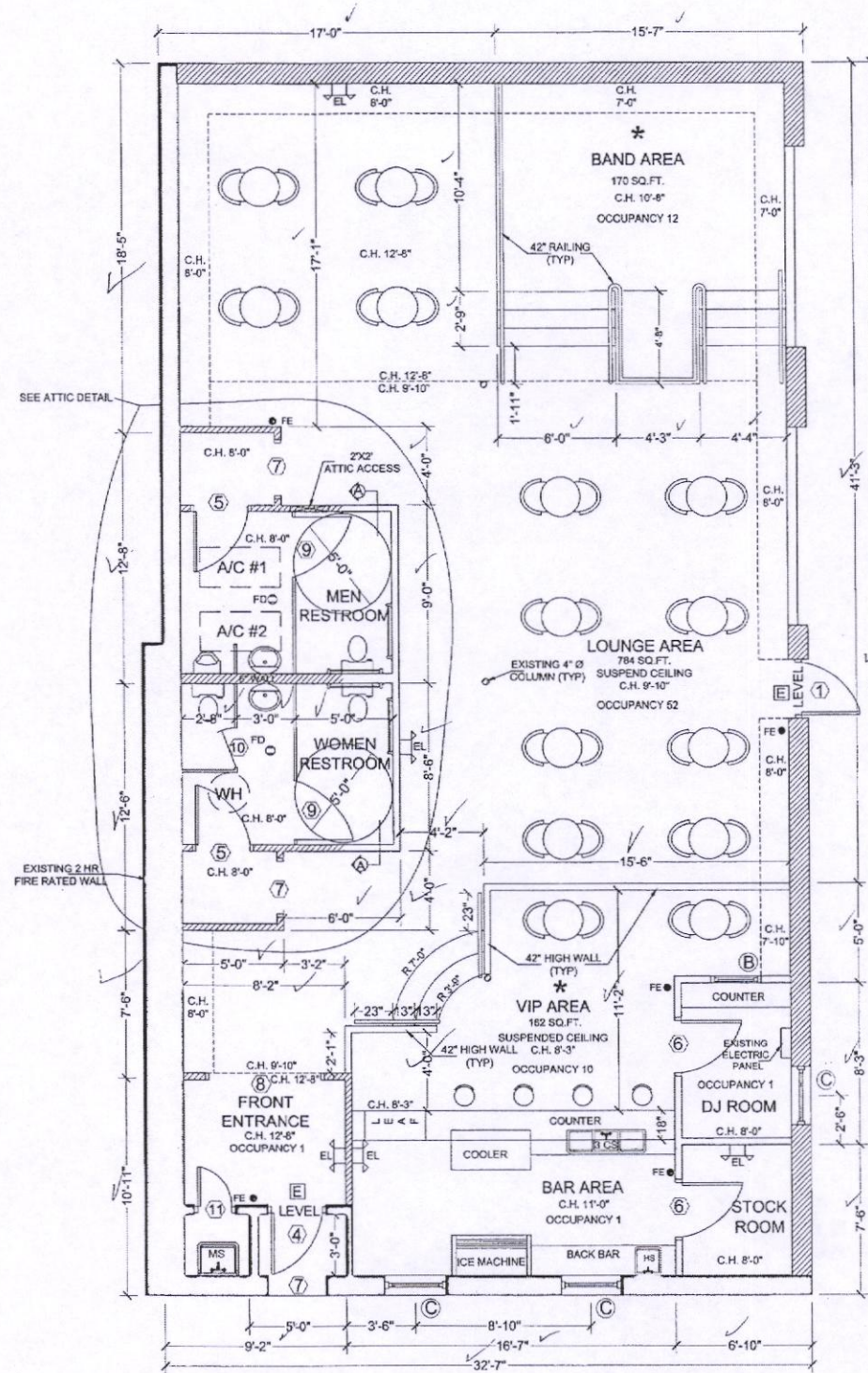
OWNER'S DWG NO. REV. A-3



ELECTRICAL PLAN
SCALE: 1/4" = 1'

PLUMBING FIXTURE CODE	
Front Entrance	= 1 Employee
D.J. Room	= 1 Employee
Bar Area	= 2 Employees
VIP Area	162 S.F. + 30 S.F. = 6
Lounge Area	784 S.F. + 30 S.F. = 27
Band Area	170 S.F. + 30 S.F. = 6

TOTAL OCCUPANCY = 43 PEOPLE



RENOVATE FLOOR PLAN
SCALE: 1/4" = 1'

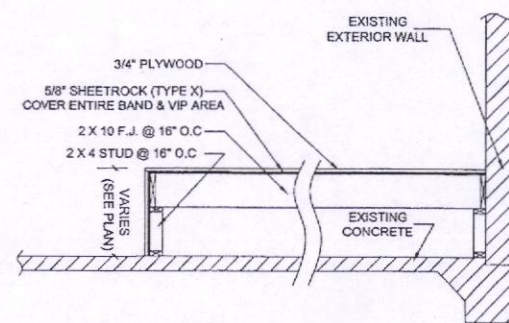
* NOTE: BAND & VIP AREA ARE 1 HR FIRE RATED CONSTRUCTION

- NOTES: ALL ELECTRICAL WIRING
1. Electrical shall comply with the 2008 NFPA 70, National Electrical Code for State of Louisiana, and the International Building Code 2009. For New Orleans Projects to conform to the New Orleans Amendments to the IBC 2009 articles 101.4.1., 106.1, 2701.
 2. Electrical installations in hollow spaces, vertical shafts, and ventilation or air handling ducts shall be so made that possible spread of fire or products of combustion will not be substantially increased. Openings around electrical penetrations through fire-rated walls, partitions, floors, or ceilings shall be fire stopped using approved methods to maintain the fire resistance rating in accordance with NFPA 70:300-2.1.
 3. Provide service equipment, panels, circuit breakers and fuses with adequate interrupting amp capacity rating in accordance with NFPA 70:110-9.
 4. Working minimum clearance space in front of electrical switches, circuit breakers, panel boards, switch boards, etc., shall comply with NFPA 70:161-16.
 5. Receptacles in bathrooms of commercial, industrial and all other non-dwelling occupancies shall provide ground-fault circuit-interrupter protection for personnel in accordance with NFPA 70:210.8c(1).
 6. Service equipment grounding and bonding is to be in accordance with NFPA 70:250-43, 250-23, 250-71 and 250-72.
 7. The grounded neutral conductor shall be run to each service disconnecting means and shall be bonded to each in accordance with NFPA 70:250-23b.
 8. Provide electrical equipment ground conductor in accordance with NFPA 70:250-91b and NFPA 70:250-95.
 9. No conductor shall be used in a manner that its operating temperature will exceed that designation for the type of insulated conductor involved in accordance with NFPA 70:310-10.
 10. Interior metal water piping systems and exposed structural steel that is likely to become energized shall be bonded to the service equipment enclosure in accordance with NFPA 250-80.
 11. All electrical outlets located within six feet of any water holding containers must have ground fault circuit interrupter protection.
 12. For buildings having an occupancy of 50 or more all electrical wiring shall be in raceways.

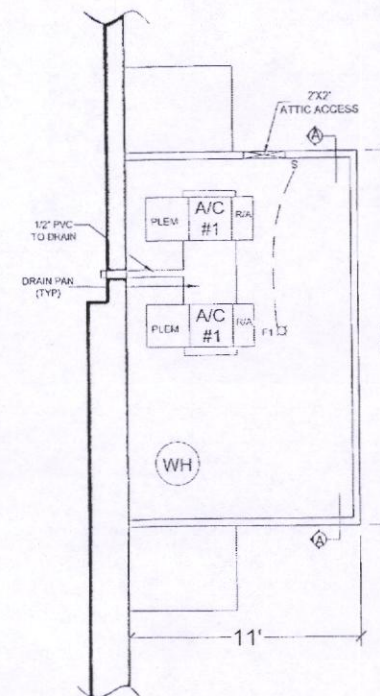
SCHEDULE OPENING		
MARK	SIZE	DESCRIPTION
①	3'-0" X 7'-0"	EXISTING EXTERIOR DOOR
②	VARIES	EXISTING INTERIOR DOOR
③	VARIES	EXISTING OVERHEAD GARAGE DOOR
④	3'-0" X 7'-0"	NEW 1 HR FIRE RATED EXTERIOR DOOR (OWNER SELECT)
⑤	3'-0" X 6'-8"	NEW INTERIOR S.C. DOOR W/ CLOSURE
⑥	3'-0" X 6'-8"	NEW INTERIOR S.C. DOOR
⑦	3'-0" X 7'-0"	NEW CASED OPENING
⑧	6'-0" X 7'-0"	NEW CASED OPENING
⑨	3'-0" X 5'-0"	PARTITION DOOR
⑩	2'-0" X 5'-0"	PARTITION DOOR
⑪	2'-0" X 6'-8"	NEW 1 HR FIRE RATED DOOR
Ⓐ	2'-0" X 3'-0"	EXISTING FIXED GLASS WINDOW
Ⓑ	6'-0" X 3'-0"	NEW FIXED GLASS WINDOW
Ⓒ	2'-0" X 3'-0"	NEW FIXED SAFETY GLAZING WINDOW

LEGEND	
MARK	DESCRIPTION
EL	EMERGENCY LIGHT 120V - BATTERY BACK-UP
E	EXIT SIGN - BATTERY BACK-UP
FE	FIRE EXTINGUISHER
FD	FLOOR DRAIN
SP	SINGLE POLE SWITCH
GFCI	GROUND FAULT INTERRUPTER CIRCUIT OUTLET - 120V
DC	DUPLEX CONVENIENCE OUTLET - 120V
VIL	VENT LIGHT - 120V
F1	DOMES - RECESSED LIGHT- 120W
F2	150W HID RECESSED CANOPY FIXTURE
F3	2-40W - SURFACE FLUORESCENT 48" WITH COVER
F4	OUTSIDE WALL HUNG UNIT WITH COVER - 120V
BS	BAR STOOL
TC	TABLE AND CHAIRS
HS	HAND SINK
3CS	3 COMPARTMENT SINKS
MS	MOP SINK
WH	EXISTING ELECTRIC WATER HEATER
A/C	EXISTING ELECTRIC AIR CONDITIONER
---	EXISTING 1 HR RATED WALL
---	EXISTING 2 HR RATED WALL
---	EXISTING WALL
---	NEW 2X4 @ 16" O.C. WALL
---	NEW 1 HR FIRE RATED WALL

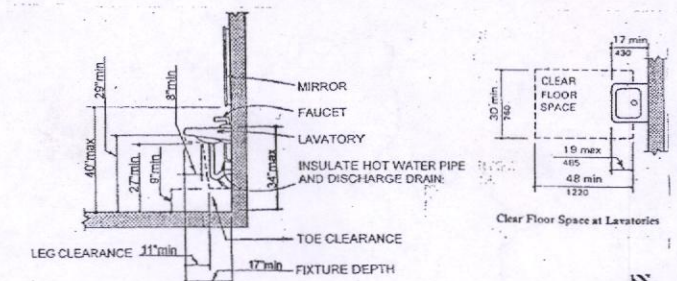
GREAT SOUTH ENGINEERS, INC.	
3443 ESPLANADE AVENUE NEW ORLEANS, LA 70119	SUITE 252 TEL: (504) 627-9416
SCALE: <i>As Noted</i>	APPROVED BY: <i>BT</i>
DATE: <i>06-11-2012</i>	
PROPOSED LOUNGE IN EXISTING BUILDING 615 NORTH BROAD STREET - NEW ORLEANS, LA 70119	
FLOOR PLAN & ELECTRIC PLAN	DRAWING NUMBER <i>REF.</i>



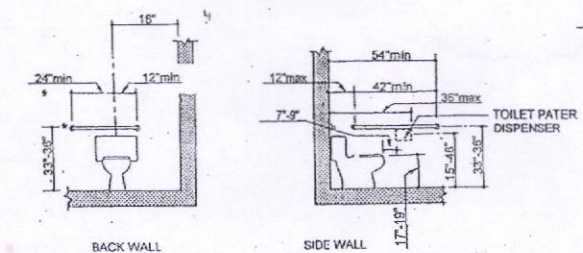
BAND & VIP AREA SECTION DETAIL
AT SCALE: NTS



ATTIC DETAIL PLAN
SCALE: 1/4" = 1'



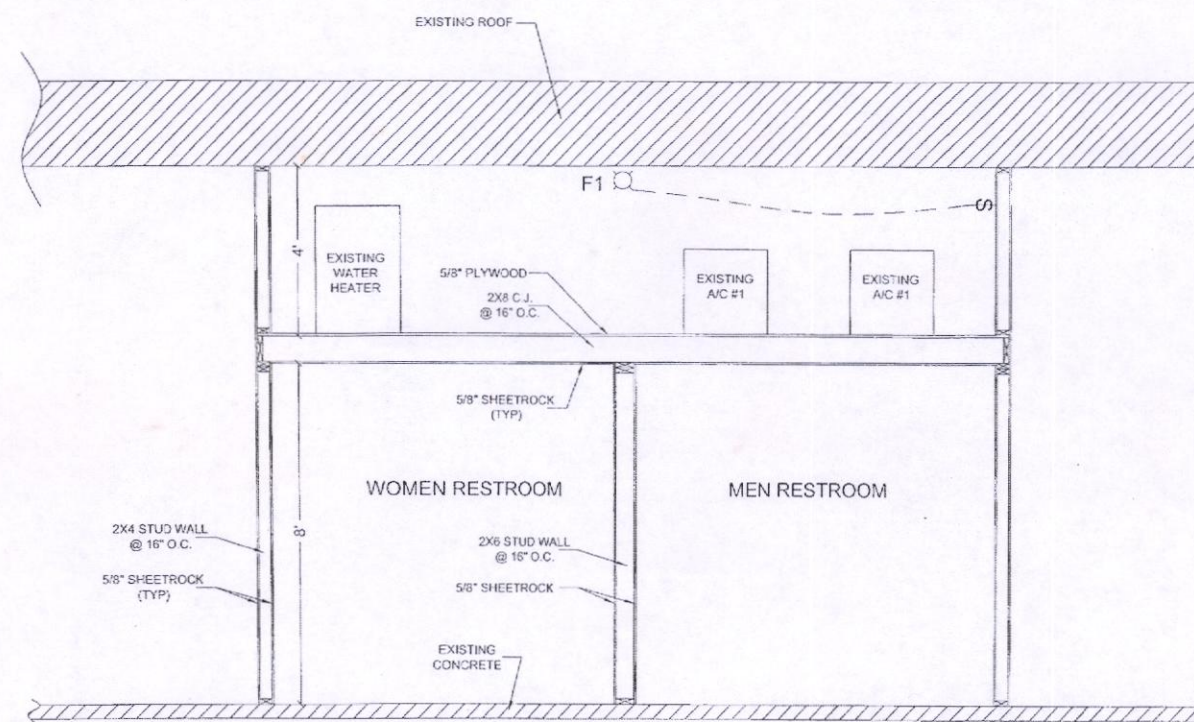
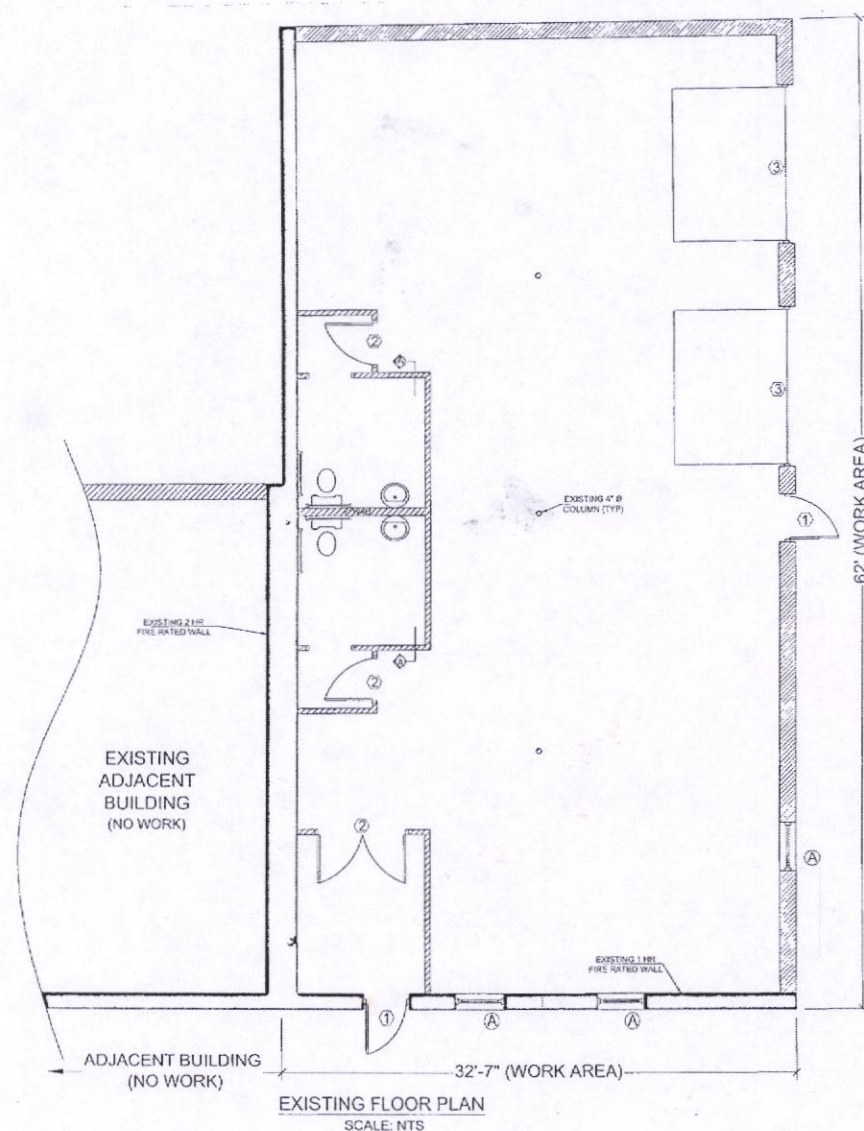
LAVATORY CLEARANCES
SCALE: NOT TO SCALE



GRAB BARS AT WATER CLOSET
SCALE: NOT TO SCALE

INTERIOR ENVIRONMENT:

1. Toilet room floors shall have a smooth, hard, nonabsorbent surface that extends upward onto the walls at least 6" per IBC Sec. 1210.1.
2. Walls within 2' of urinals and water closets shall have a smooth, hard, nonabsorbent surface to a height of 4' above the floor, and except for structural elements, the materials used in such walls shall be of a type that is not adversely affected by moisture per IBC Section 1201.2.



SECTION A-A DETAIL
AT SCALE: NTS

GREAT SOUTH ENGINEERS, INC.	
3443 ESPLANADE AVENUE NEW ORLEANS, LA 70119	SUITE 252 TEL: (504) 827-0416
SCALE: <i>As Noted</i>	APPROVED BY: <i>BT</i>
DATE: <i>06/11/2012</i>	
PROPOSED LOUNGE IN EXISTING BUILDING 615 NORTH BROAD STREET - NEW ORLEANS, LA 70119	
MISCELLANEOUS DETAILS	DRAWING NUMBER REF. 3

Google Maps

2701 Lafitte Ave

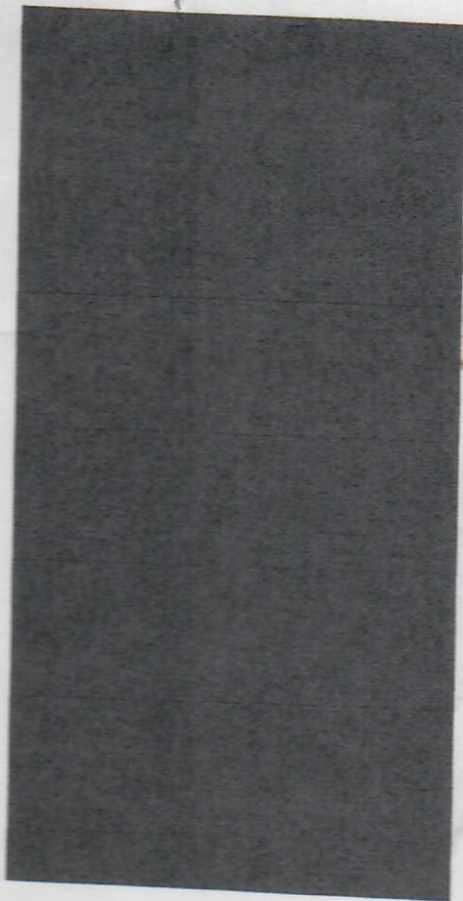
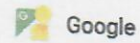


Image capture: Sep 2019 © 2020 Google

New Orleans, Louisiana



Street View



Google Maps US-90

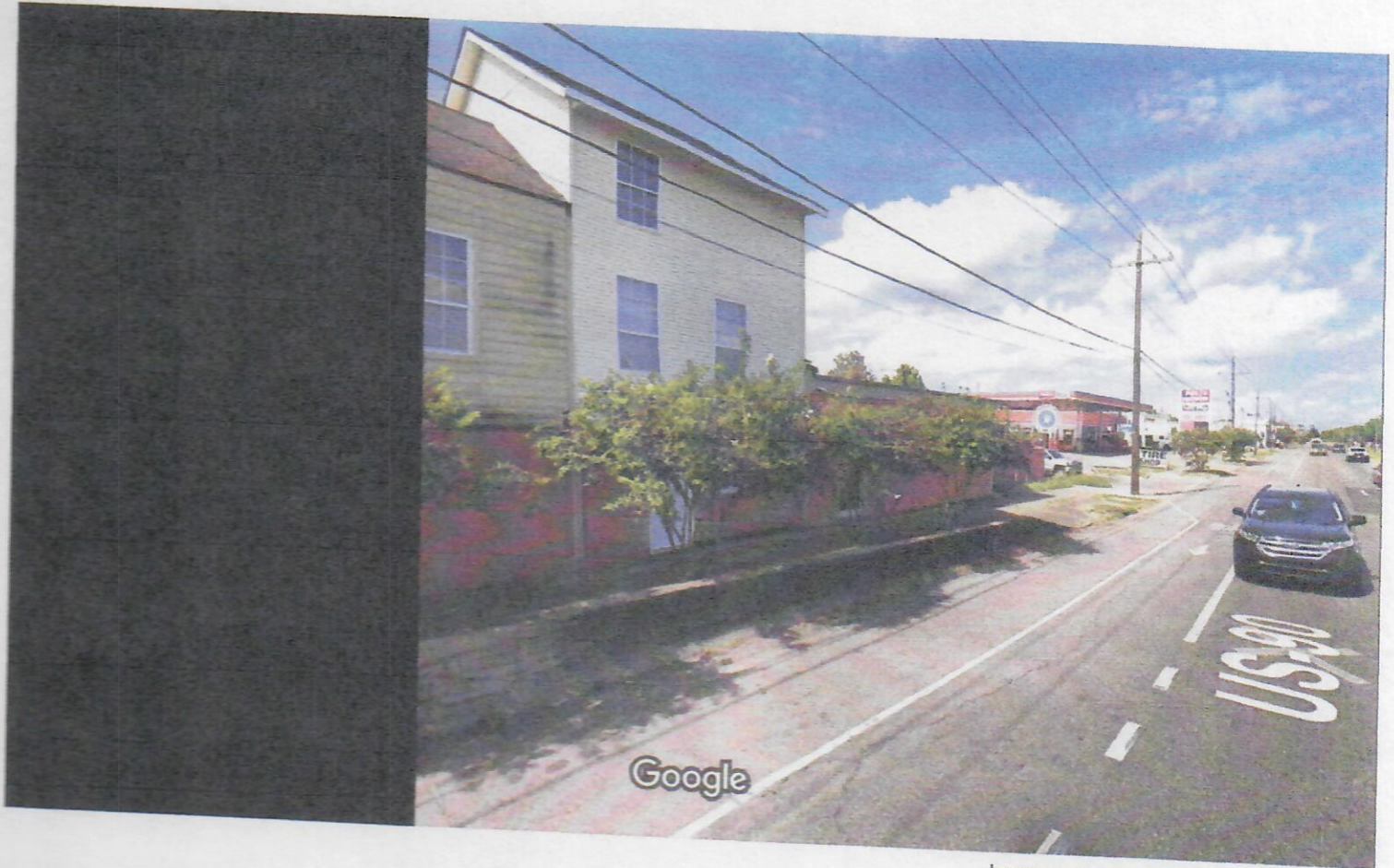
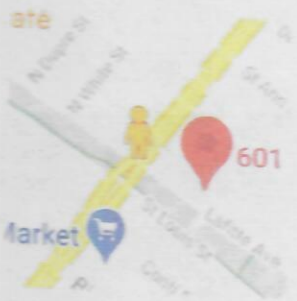


Image capture: Sep 2019 © 2020 Google

New Orleans, Louisiana



Street View



Google Maps 2701 Lafitte Ave

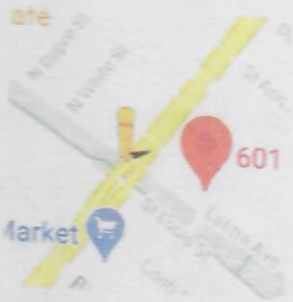


Image capture: Sep 2019 © 2020 Google

New Orleans, Louisiana



Street View

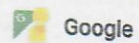


Google Maps 2700 Toulouse St



Image capture: Aug 2019 © 2020 Google

New Orleans, Louisiana



Street View



A photograph of a residential street scene. In the foreground, there is a concrete sidewalk and a grassy area. To the left, a house with a red garage door is visible. In the background, there are more houses, including a yellow one, and a car parked on the street. The word "Google" is visible in the bottom left corner.

Street View



Google Maps

2714 Toulouse St

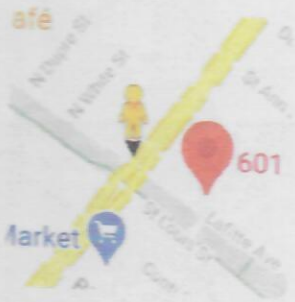


Image capture: Aug 2019 © 2020 Google

New Orleans, Louisiana



Street View



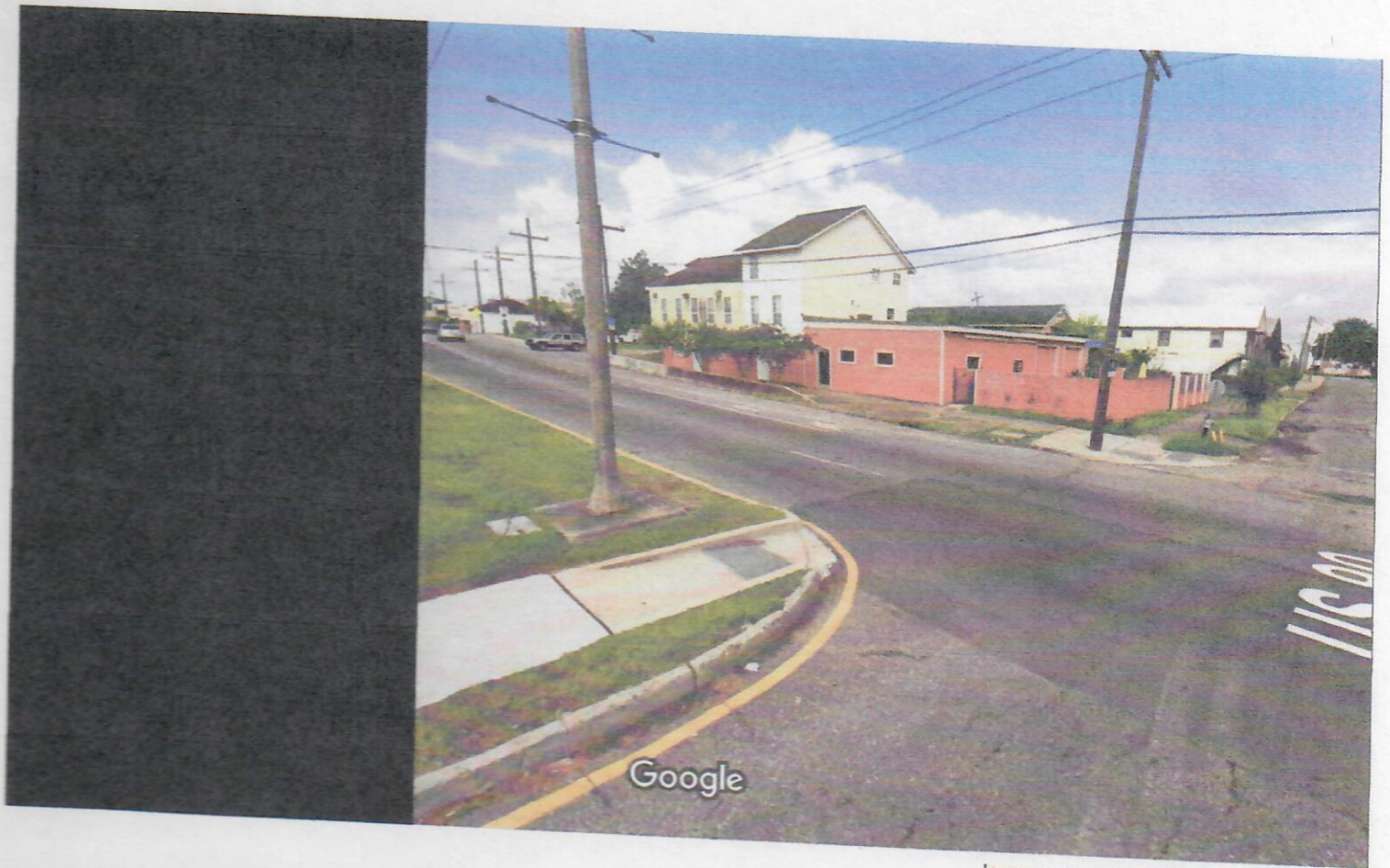
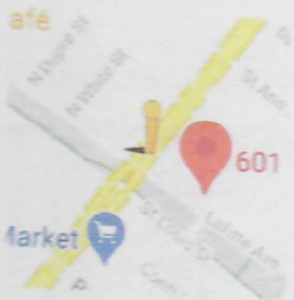


Image capture: Aug 2019 © 2020 Google

New Orleans, Louisiana



Street View



600 US-90

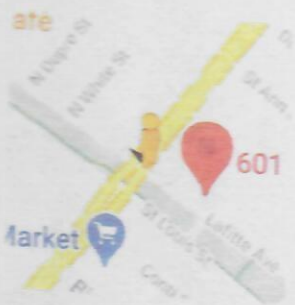


Image capture: Nov 2019 © 2020 Google

New Orleans, Louisiana



Street View



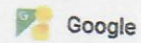
Google Maps

US-90



Image capture: Sep 2019 © 2020 Google

New Orleans, Louisiana



Street View

