

MLK New Duplex

(Three Bedroom + One Bedroom Studio)

2526-2528 MLK Blvd. • New Orleans, LA

A Blue Crescent Enterprises Project

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THESE PLANS WERE PREPARED BY STUDIO DESIGN AND ENGINEERING FOR A SPECIFIC CLIENT AND LOCATION. THESE PLANS ARE TO BE REVIEWED BY A QUALIFIED ARCHITECT OR ENGINEER TO ENSURE PROPER STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING REQUIREMENTS. THESE PLANS ARE THE INTELLECTUAL PROPERTY OF STUDIO DESIGN AND ENGINEERING AND CANNOT BE USED, ALL OR IN PART, FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN CONSENT OF SDI.

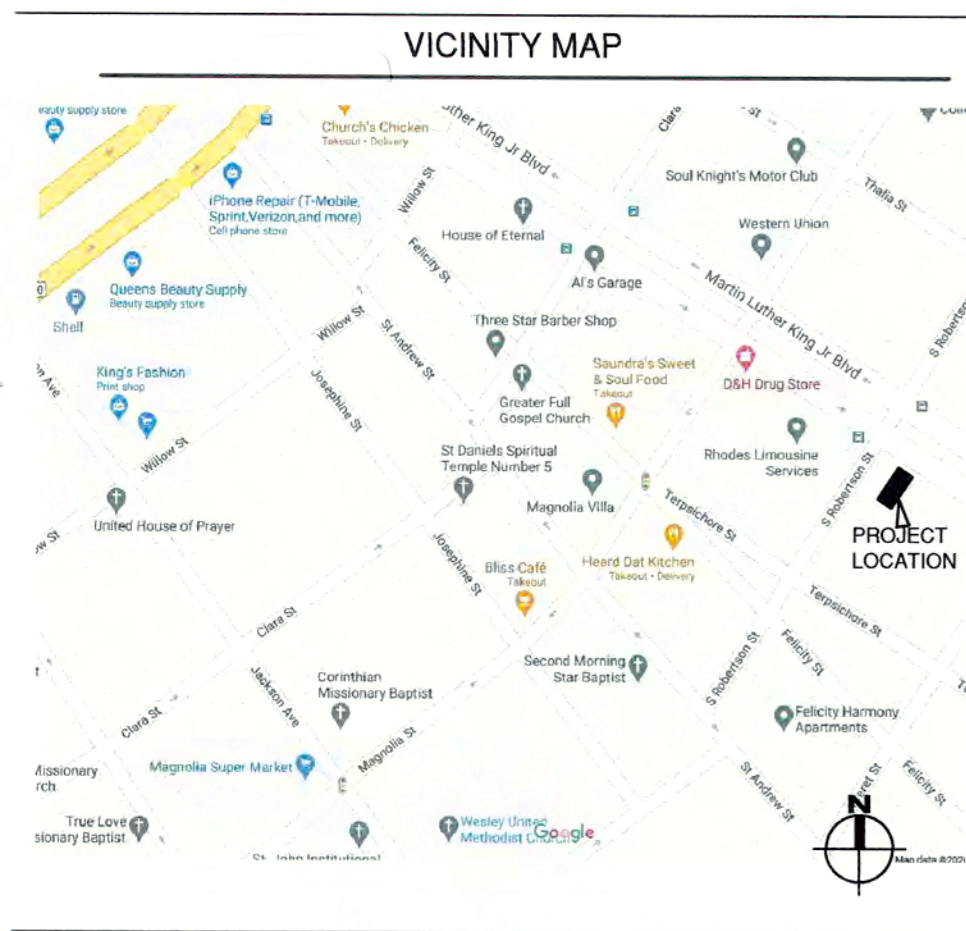
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.



REVISION HISTORY	
NO.	DESCRIPTION

SHEET TITLE
**TITLE SHEET
 PROJECT INFO
 SURVEY**

PROJECT#: **2206**
 PHASE: **CD**
 DRAFTER: **CHS**
 CHECKER: **TS**
 SCALE: **AS SHOWN**
 ISSUED: **09/29/20**
 SHEET#
A0.0



BUILDING INFORMATION

OCCUPANCY: RESIDENTIAL
 ZONING: HU-RM1
 CONSTRUCTION TYPE: TYPE V
 BUILDING HEIGHT: 15'-0"
 BUILDING STORIES: RAISED FOUNDATION SINGLE STORY
 BUILDING S/F: 1,400 SF
 SECTION:
 SQUARE: 385
 LOT NUMBER: 068
 LOT SIZE: 4,016 SF

INDEX OF COMMON SYMBOLS

DRAWING MARK: FLOOR PLAN (SCALE: 1/4" = 1'-0")

NORTH ARROW

BUILDING SECTION MARK

SECTION MARK

EXTERIOR ELEVATION MARK

INTERIOR ELEVATION MARKS

DETAIL MARK

REVISION MARK

TAGS: LINE 2, LINE 1, ROOM, DOOR, WALL, FURNITURE, COLUMN

DATUM MARK

ROOM NAME

SCOPE OF WORK

- CONSTRUCT A NEW PIER SUPPORTED DUPLEX UNIT
- DEMOLISH EXISTING HOUSE. SAVE THE EXISTING FRONT FACADE.
- EXCAVATE FOR NEW PIER FOUNDATION.
- CONSTRUCT NEW SINGLE STORY RAISED DUPLEX WITH 2x WOOD FRAMING WITH RELATED SITE FLATWORK.

BUILDING DATA/DESIGN CRITERIA

- THESE PLANS WERE DRAWN IN ACCORDANCE WITH THE DESIGN CRITERIA OUTLINED IN THE 2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AS REQUIRED FOR AREAS WHERE BASIC WIND SPEEDS EQUAL OR EXCEED 130 MPH. ALSO, PERTAINING TO DESIGN CRITERIA IN R301.2.1.1, THE DESIGN FOLLOWS THE AMERICAN FOREST AND PAPER ASSOCIATION (AF&PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM). NOT ALL SPECIFICATIONS, ARE EXPRESSLY NOTED ON THE PLANS, THEREFORE, IT IS THE RESPONSIBILITY OF INDIVIDUAL BUILDERS AND/OR CONTRACTORS TO COMPLY WITH THE FOLLOWING CODES.
- R301.2.1.2 INTERNAL PRESSURE: WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENINGS PROTECTED FROM WIND BORNE DEBRIS OR THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE. GLAZED OPENING PROTECTION FOR WIND BORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886 REFERENCE THEREIN. EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16 IN. AND A MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO-STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH A ATTACHMENTS HARDWARE PROVIDED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE R301.2.1.2 OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE PROVISIONS OF THE IBC.
- LIGHT VENTILATION AND HEATING - BATHROOMS - ALL BATHROOMS AND WATER CLOSETS COMPARTMENTS OR SIMILAR ROOMS SHALL BE PROVIDED WITH A WINDOW NOT LESS THAN 3 SQUARE FEET WITH ONE-HALF OF WHICH MUST BE OPERABLE. WINDOW SHALL NOT BE REQUIRED IF MECHANICAL VENTILATION IS PRODUCING A CHANGE OF AIR EVERY 12 MINUTES IS PROVIDED. ALL EXHAUSTS SHALL BE VENTED DIRECTLY TO THE OUTSIDE.
- PROVIDE NOMINAL SIZE 1/2" O.S.B. (OR PLYWOOD) SHEATHING ON ENTIRE HOUSE FRAMING FOR CONT. LOAD PATH CONNECTION, 6" O.C. PERIMETER AND 12" O.C. INTERIOR
- PROVIDE "SIMPSON HU214" JOIST HANGERS (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) AT ALL JOIST TO BEAM AND JOIST TO JOIST CONNECTIONS.
- PROVIDE "SIMPSON LSU26" RAFTER CONNECTOR (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) AT ALL RAFTER TO LEDGER BOARD CONNECTIONS.
- PROVIDE "SIMPSON H2.5A OR H8" STRAPS (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) FROM RAFTER TO TOP PLATES AS REQUIRED AND WHERE APPLICABLE.
- PROVIDE "SIMPSON LST18" STRAPS (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) FROM STUDS TO BAND BEAM.
- PROVIDE "SIMPSON CS16 COILED STRAPS (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) EMBEDDED IN CMU PIERS ATTACHED TO (2)2x12 BAND BEAM.
- PROVIDE "SIMPSON RR CONNECTOR (OR APPROVED EQUAL THAT MEETS OR EXCEEDS REQUIREMENTS) FROM RAFTER TO RIDGE BOARD.
- PROVIDE "SIMPSON HPAHD" TO HOLD DOWN ANCHORS AT THE ENDS OF ALL SHEAR PANELS/WALLS.
- ALL "ROOF SHEATHING" SHALL BE MIN. 1/2" THICK CDX PLYWOOD ANCHORED WITH 8 PENNY COMMON NAILS 6" O.C.
- USE 6 NAILS "PER ROOF SHINGLES"
- GABLE END CONSTRUCTION BUILT SIMILAR TO AND CONNECT WITH WALL STUDS BELOW.
- BRACE "GABLE END" AGAINST LATERAL LOADS WITH BLOCKING AT 4" O.C.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY APPARATUS REQUIRED IN ORDER TO ASSURE FOR THE HEALTH AND WELFARE OF THE GENERAL PUBLIC, THE OWNERS, AND ANY WORKERS.
- ALL REMOVED TOPSOIL OR GRAVEL SHALL BE STORED AND USED FOR FINISH GRADING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS MATERIAL PRIOR TO FINISH GRADING.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS.
- EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEP CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.
- PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.
- TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
- UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH OWNER AND COMPILER A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK.
- DISPOSE OF ALL DEMOLISHED MATERIALS AS PER LOCAL CODES.

INDEX OF DRAWINGS

A0.0 TITLE SHEET, VICINITY MAP, BUILDING DATA, SYMBOLS LEGEND, SCOPE OF WORK, INDEX OF DRAWINGS, SURVEY

A0.1 DEMOLITION SITE PLAN, REFERENCE PHOTOS

A1.0 ELEVATION CERTIFICATE, SITE PLAN, DETAILS

A1.1 FOUNDATION PLAN, FLOOR FRAMING PLAN, DETAILS

A2.0 ADDITION FLOOR PLAN, SCHEDULES, FLOOR FINISHES PLAN, INTERIOR ELEVATIONS

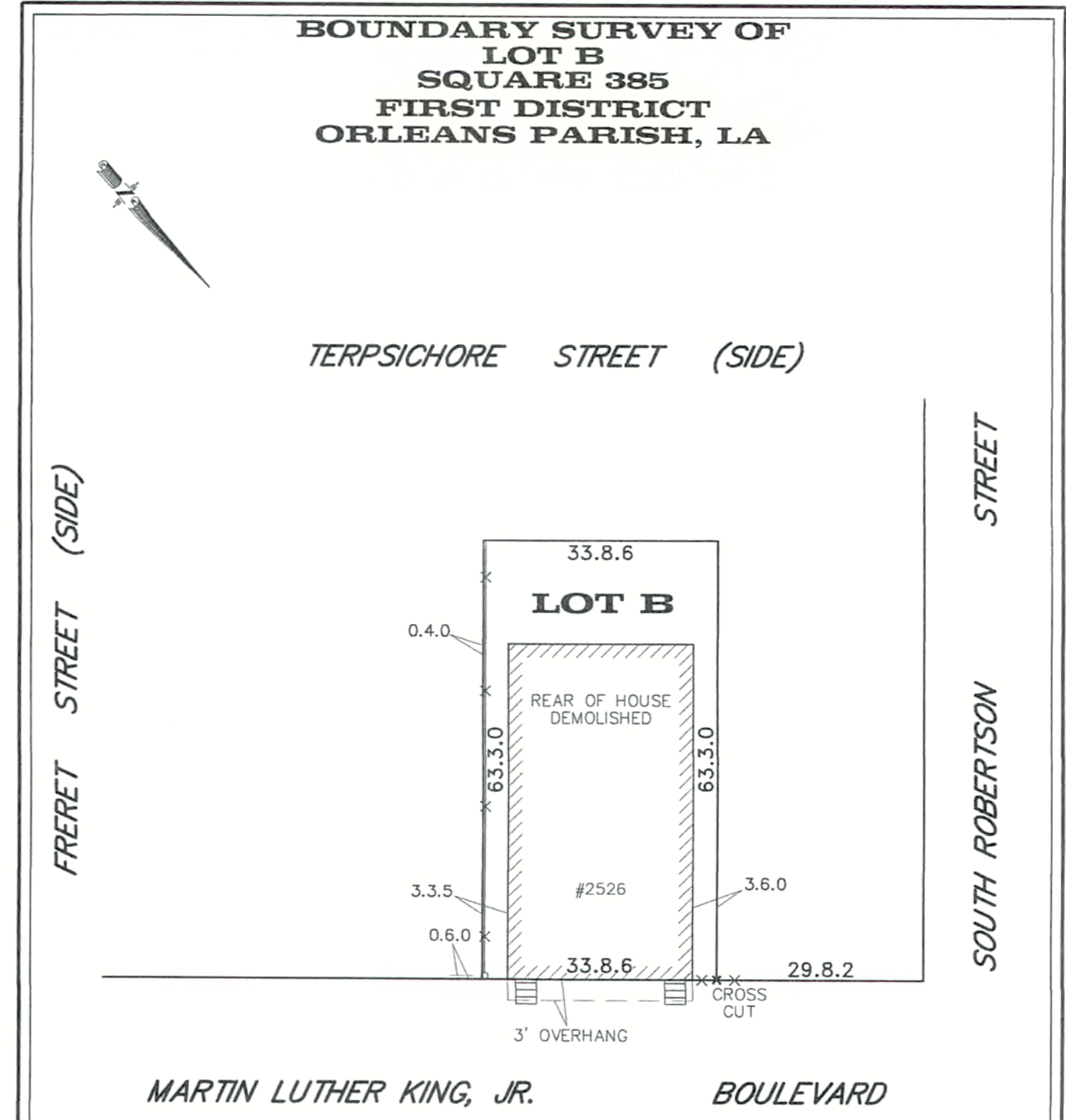
A3.0 EXTERIOR ELEVATIONS, REPAIR PICTURES

A4.0 WALL TYPES, TYPICAL WALL SECTION, DETAILS

A5.0 CEILING FRAMING PLAN, ROOF FRAMING PLAN

U1.0 HVAC PLAN, PLUMBING PLAN, DETAILS, RISER DIAGRAM ELECTRICAL POWER PLAN, ELECTRICAL LIGHTING PLAN

SP1.0 OUTLINE SPECIFICATIONS



GENERAL NOTES

ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1 REFERENCE PLAN #1: A PLAN OF SURVEY BY GILBERT, KELLY & COUTURE, INC., SURVEYING & ENGINEERING DATED APRIL 4, 2005, REVISED JULY 15, 2005

THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED BY THE SURVEYOR.

ELEVATION NOTES

THIS IS TO CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: SEPTEMBER 30, 2016 FLOOD ZONE: X COMMUNITY PANEL: 225203 0229 F

BASE FLOOD ELEVATION: N/A

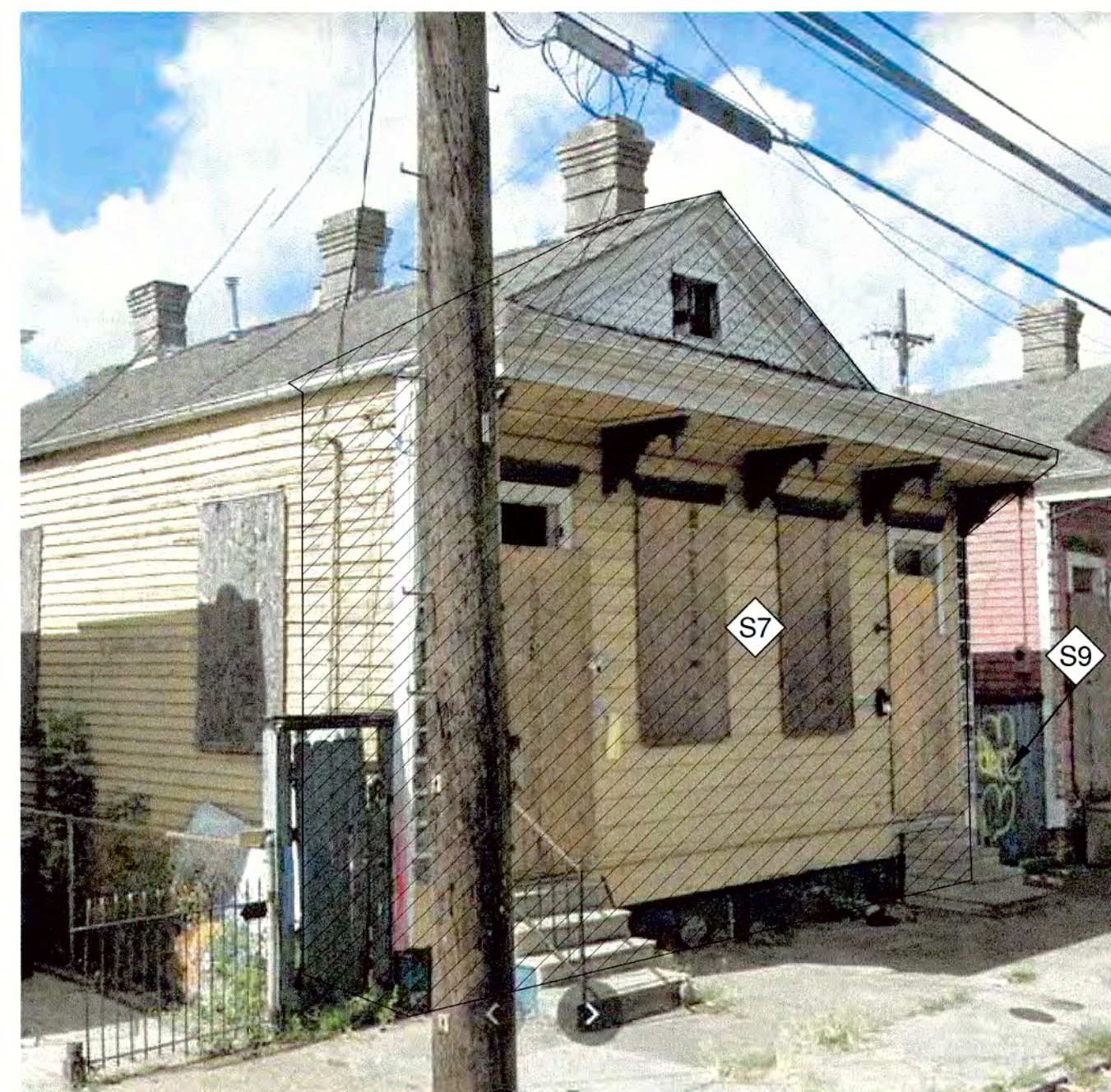
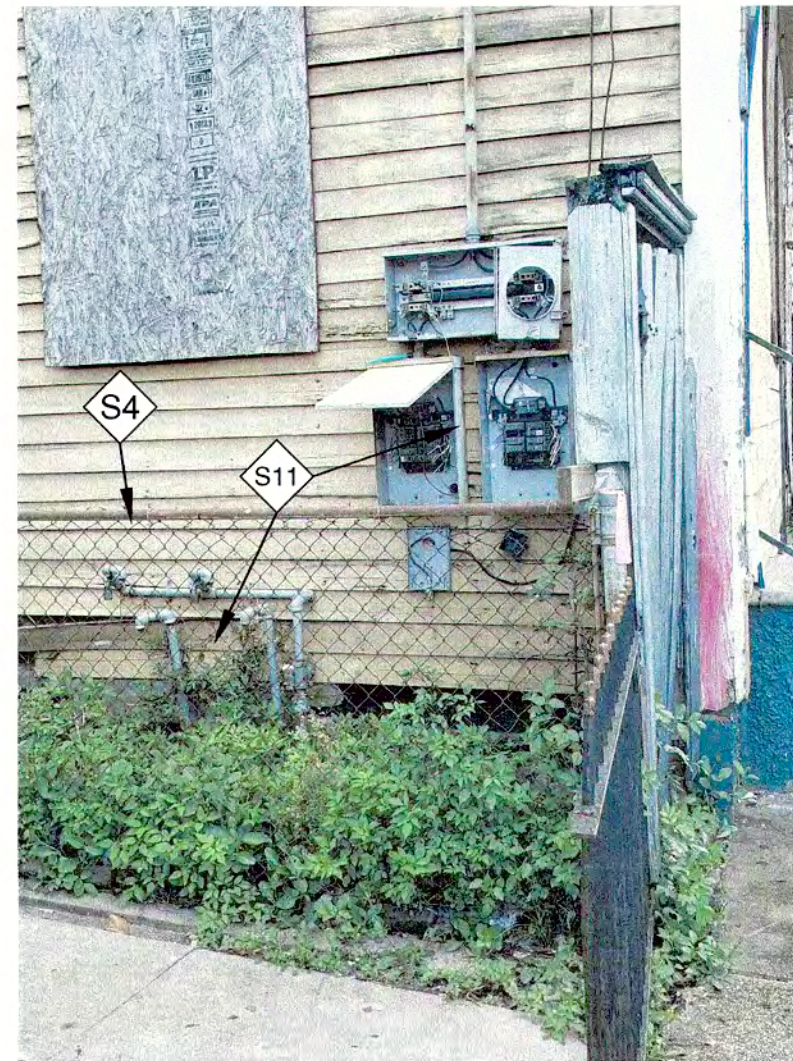
R.W. KREBS
 PROFESSIONAL LAND SURVEYING, LLC
 RICHMOND W. KREBS, SR., PLS
 3445 N. CAUSEWAY BLVD, SUITE 201
 METairie, LA 70002
 PHONE: (504) 889-9616
 FAX: (504) 889-9616
 E-MAIL: info@rwlkrebs.com
 WEB: www.rwlkrebs.com

DATE: MAY 29, 2020 DRAWN BY: WRB
 SCALE: 1" = 20' CHECKED BY: NDK
 JOB #: 200872

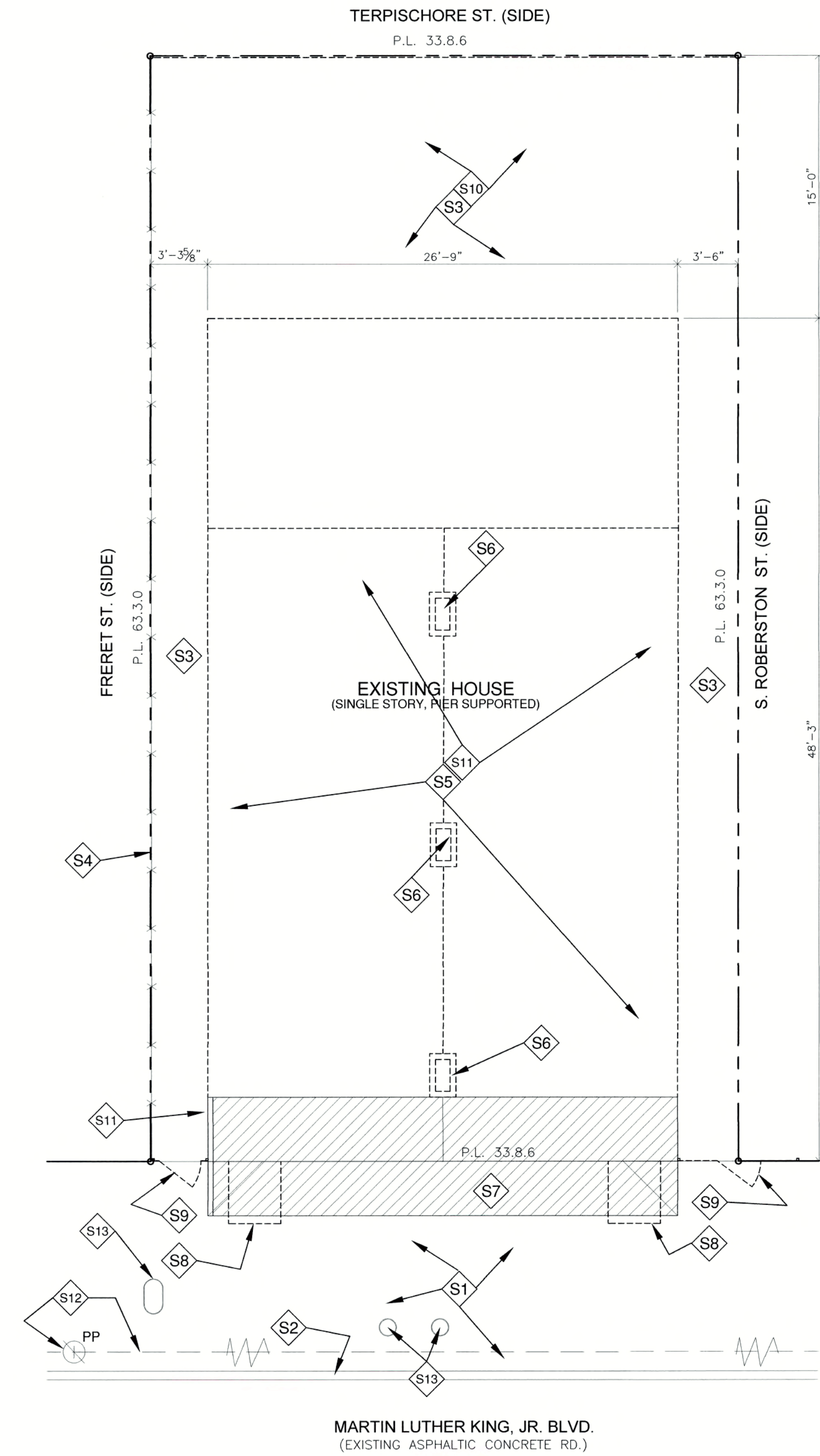
1 SURVEY
 SCALE: AS SHOWN

SITE PLAN EXISTING/DEMO KEYNOTES

- S1 EXISTING CONCRETE WALK
- S2 EXISTING BARRIER CURB
- S3 EXISTING GRASSY AREA
- S4 EXISTING CHAINLINK FENCE
- S5 REMOVE EXISTING WOOD STRUCTURE AND FOUNDATION DOWN TO NATIVE SOIL
- S6 REMOVE EXISTING CHIMNEY AND RELATED FIREPLACE AND FOUNDATION
- S7 KEEP EXISTING FRONT FACADE (HATCHED AREA). PROVIDE ADEQUATE SHORING AND BRACING
- S8 REMOVE EXISTING CONCRETE STEPS AND METAL RETAILING
- S9 REMOVE EXISTING WOOD FENCE AND GATE.
- S10 REMOVE EXISTING CONCRETE THIS AREA DOWN TO NATIVE SOIL
- S11 REMOVE EXISTING ELECTRICAL AND GAS LINES AND METERS. CAP LINES.
- S12 REMOVE EXISTING PLUMBING AND SEWER LINES. CAP LINES TO MUNICIPAL WATER SUPPLY AND SEWER.
- S13 EXISTING POWER POLE AND OVERHEAD POWER LINE
- S14 EXISTING UTILITY METERS



2 REFERENCE PHOTOS
EXISTING-DEMOLITION
SCALE: N.T.S.



MARTIN LUTHER KING, JR. BLVD.
(EXISTING ASPHALTIC CONCRETE RD.)



1 SITE PLAN
EXISTING-DEMOLITION
SCALE: 3/16" = 1'-0"

Drawings Prepared By
Studio Design, LLC
Design And CAD Drafting Service
Claude H. Shelton II
(504) 319-0197
studio3design.arch.drafting@gmail.com

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CERTIFIED CORRECT
STATE OF LOUISIANA
THOMAS M. SMITH
License No. 21950
PROFESSIONAL ENGINEER
9/28/20
CIVIL ENGINEERING

REVISION HISTORY

NO.	DESCRIPTION	DATE	NAME

SHEET TITLE

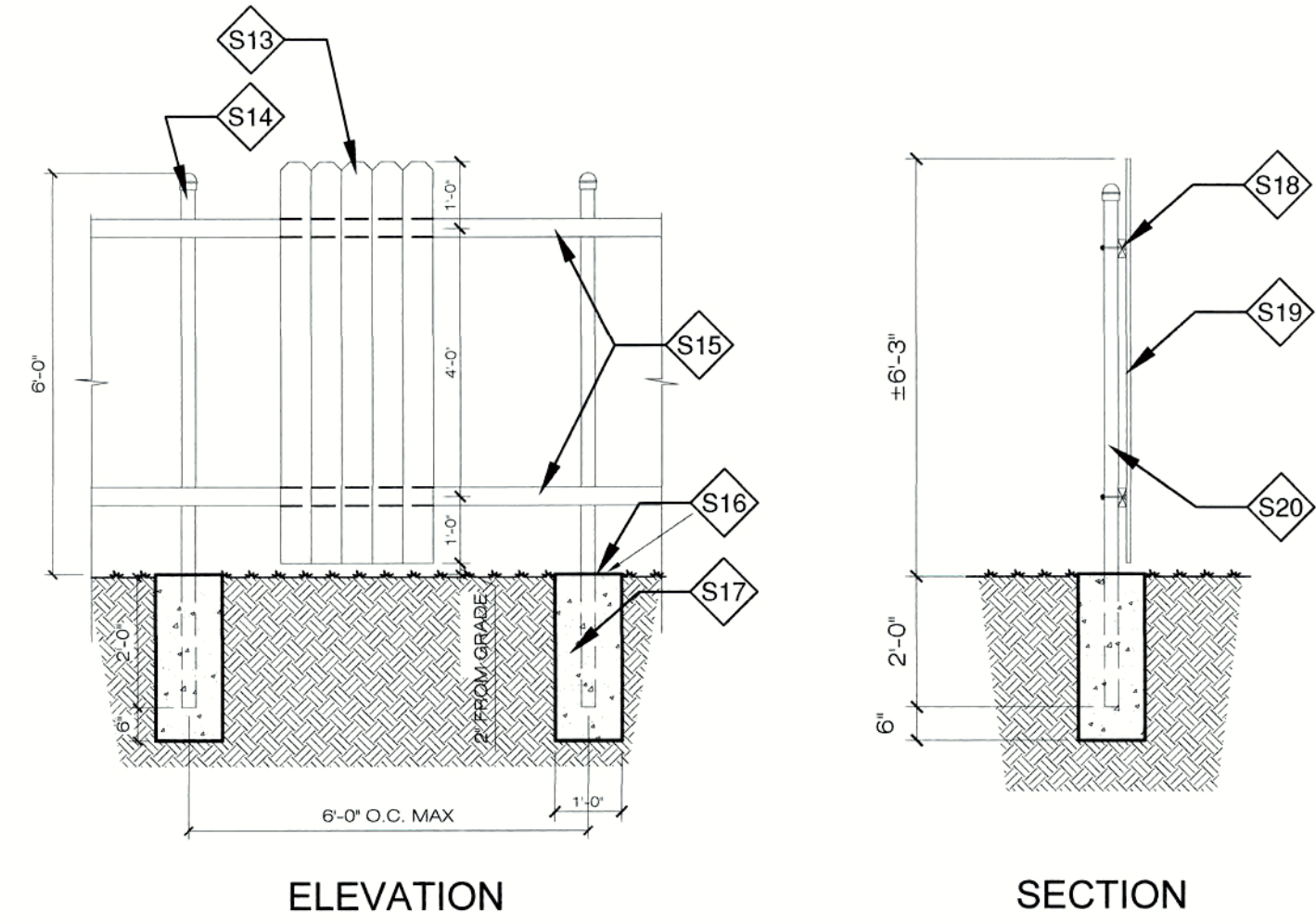
DEMO. SITE PLAN AND DEMO. FLOOR PLAN

PROJECT#: 2206
PHASE: CD
DRAFTER: CHS
CHECKER: TS
SCALE: AS SHOWN
ISSUED: 09/29/20

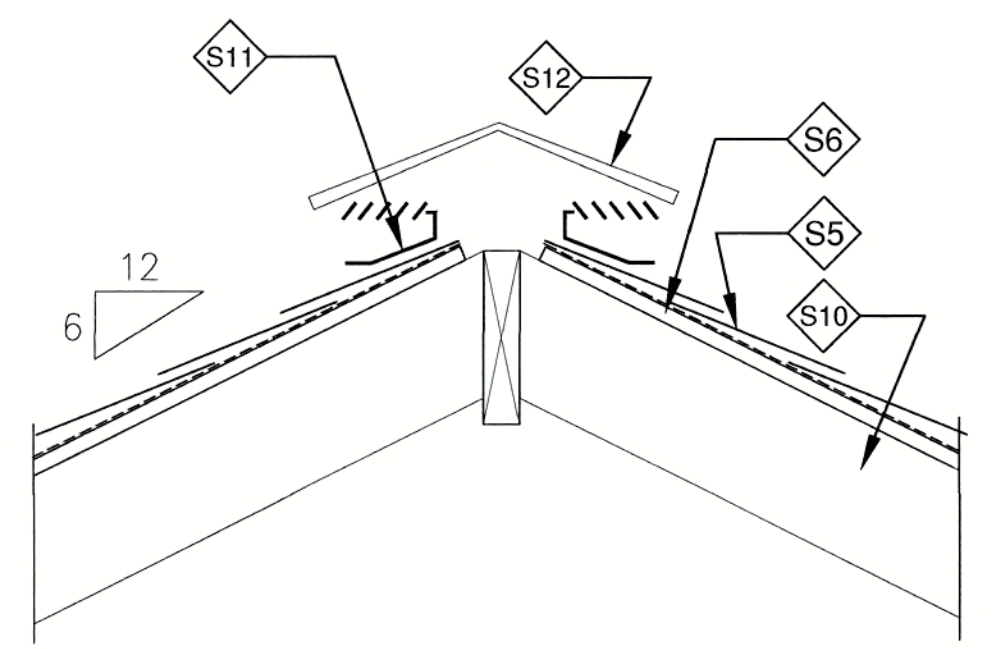
SHEET#
A0.1

SITE/ROOF PLAN KEYNOTES:

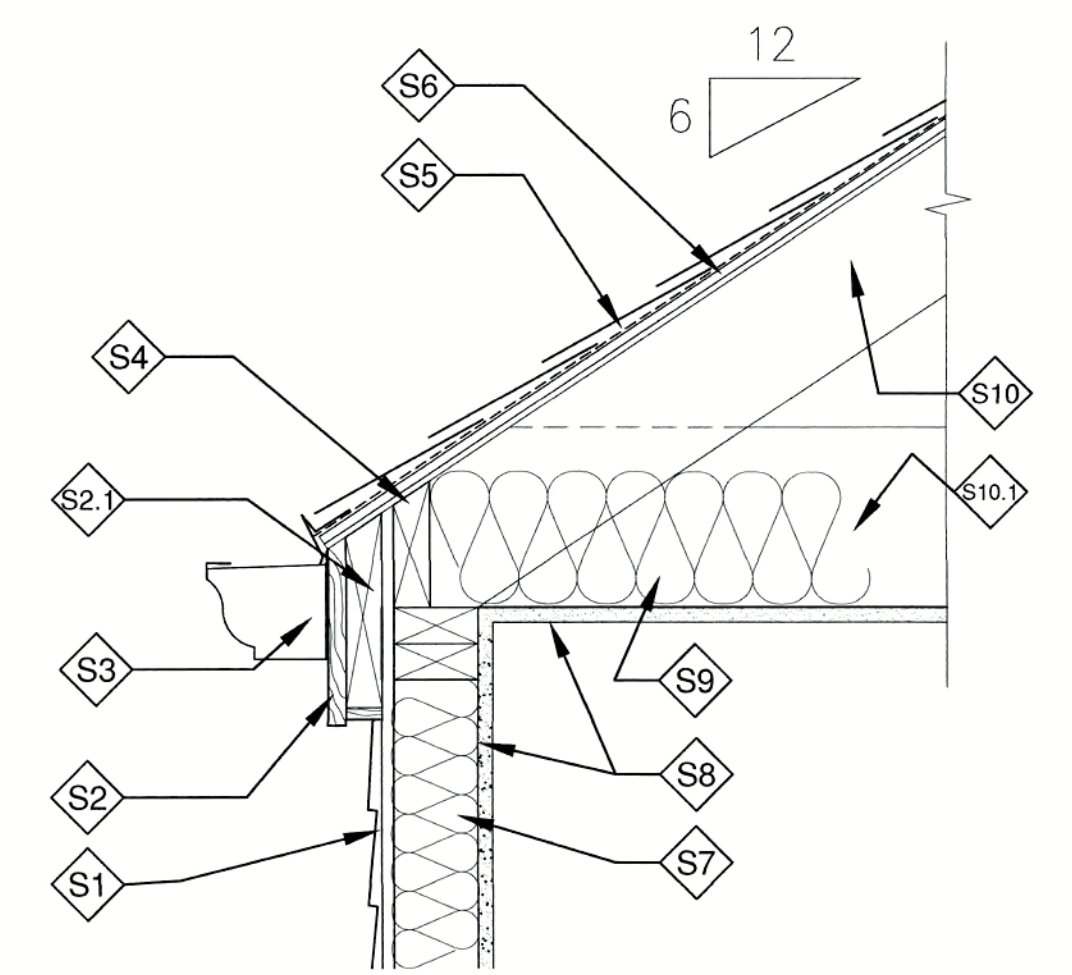
- S1 HARDI-PLANK SOFFIT (RATED MATERIAL)
- S2 1"x8" HARDI-FASCIA
- S3 2x SUB-FASCIA
- S4 7" PREFINISHED ALUMINUM K-STYLE GUTTER
- S5 2x4 BLOCKING MEMBERS
- S6 FIBERGLASS SHINGLED ON #15 FELT
- S7 3/8" CDX PLYWOOD SHEATHING
- S8 BATT. INSULATION R19
- S9 5/8" FIRE CORE GYPSUM BD.
- S10 BATT INSULATION R30
- S11 2x6 RAFTERS @ 24" O.C.
- S12 2x8 CEILING JOIST @ 16" O.C.
- S13 SCREW RIDGE VENT TO ROOF DECK
- S14 CONTINUOUS METAL RIDGE VENT WITH LOUVERS
- S15 1 X 6 NO. 2 SMOOTH CEDAR FENCE BOARDS MOUNT BOARDS TOWARD YARD SIDE OF POSTS
- S16 2 1/2" DIA. GALVANIZED POSTS AND CAPS
- S17 NO. 2 PRESSURE TREATED 2 X 4 PINE BOLTED TO POSTS WITH GALVANIZED FASTENERS AS REQUIRED - PAINT
- S18 PARGE CONCRETE ABOVE GRADE
- S19 3500 PSI CONCRETE FOOTING
- S20 2 X 4 PRESSURE TREATED NAILER
- S21 1 X 6 CEDAR BOARDS
- S22 GALVANIZED POST



5 TYPICAL WOOD FENCE
SCALE: 3/8" = 1'-0"



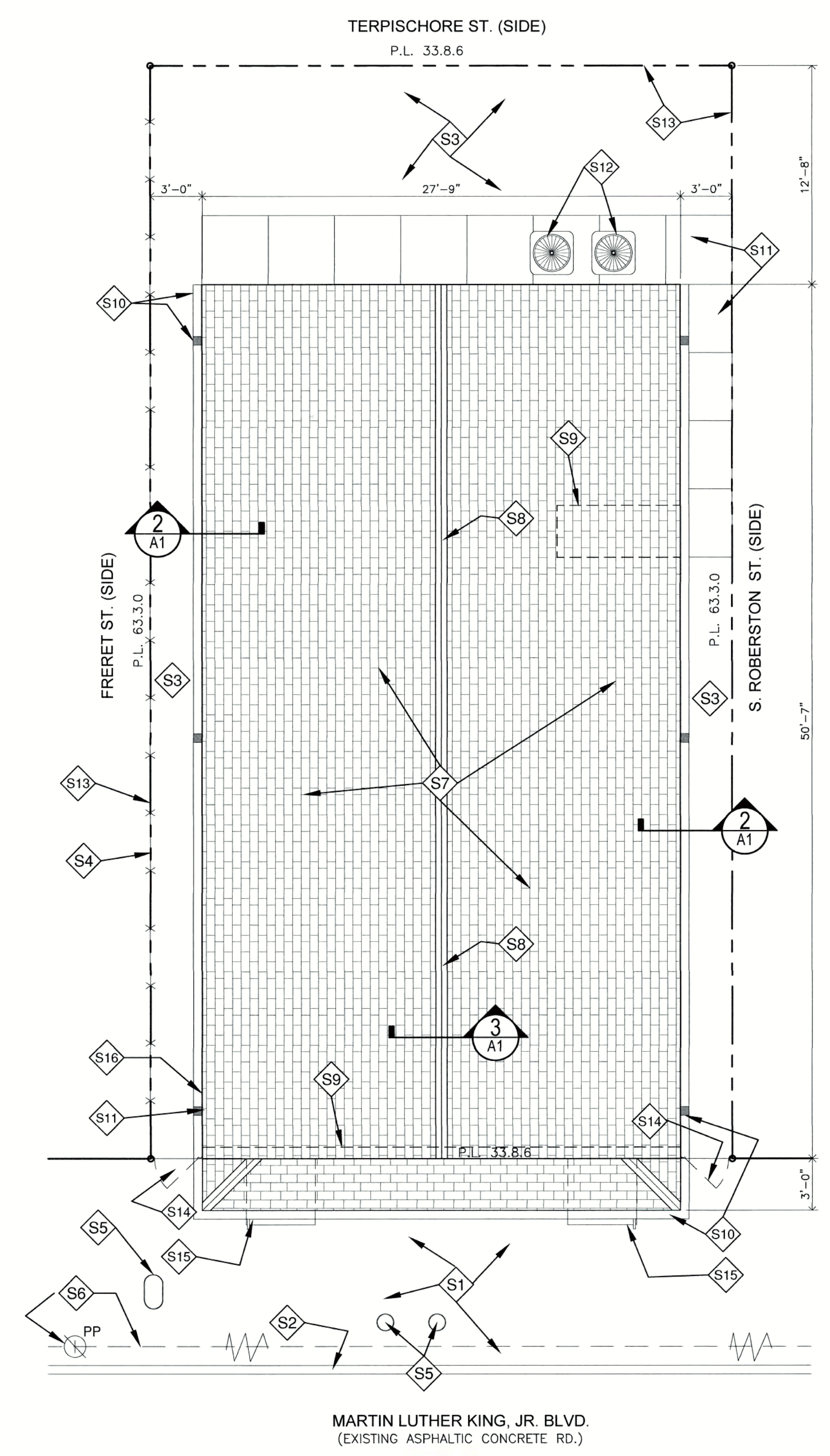
4 RIDGE VENT
SCALE: 1" = 1'-0"



3 TYPICAL ROOF EDGE
SCALE: 1" = 1'-0"

SITE/ROOF PLAN KEYNOTES:

- S1 EXISTING CONCRETE WALK
- S2 EXISTING BARRIER CURB
- S3 EXISTING GRASSY AREA
- S4 EXISTING CHAINLINK FENCE
- S5 EXISTING UTILITY METERS
- S6 EXISTING POWER POLE AND OVERHEAD POWER LINE
- S7 FIBERGLASS SHINGLES ON 15# FELT OR ICE & WATER SHEILD
- S8 CONTINUOUS RIDGE VENT
- S9 LINE OF BUILDING BELOW
- S10 PRE-FINISHED DOWNSPOUT AND GUTTER SYSTEM, COLOR BY OWNER
- S11 4" THICK 4000 PSI CONCRETE SIDE WALK WITH CONTROL JOINTS 5'-0" MAX. O.C. AND EXPANSION JOINTS EVERY 20'-0"
- S12 CONDENSING UNITS AND PLATFORM, LOCATION TO BE DETERMINED
- S13 7" TREATED WOOD PRIVACY FENCE
- S14 DECORATIVE WOOD FENCE AND GATE SIMILAR TO PREVIOUS, BY OWNER
- S15 PRECAST CONCRETE STAIR AND PRE-FINISHED METAL RAILING BELOW
- S16 GAS AND ELECTRIC METER PREVIOUS LOCATION FINAL LOCATION TBD



2 SITE/ROOF PLAN
SCALE: 3/16" = 1'-0"

**DEPARTMENT OF SAFETY & PERMITS
CITY OF NEW ORLEANS**

PERMIT NO: _____ DATE: _____
 ADDRESS: 2526 MLK JR BLVD - 70113 SUBDIVISION: N/A
 DISTRICT: 1ST SQUARE: 385 LOTS: B

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (BFE)	FREEBOARD (ADD 1 FT FOR A AND V ZONES)
225 203	0229	F	9/30/16	X	N/A N.A.V.D.	+1ft =

MINIMUM FLOOR ELEVATION: _____ N.A.V.D.
 IN ADDITION TO THE FEMA ELEVATIONS, THE FOLLOWING CONDITIONS MUST ALSO BE MET:
 A. TOP OF SLABS ON GRADE OR FILL MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE.
 B. PIER CONSTRUCTION: TOP OF PIERS (UNDERSIDE OF SILLS) MUST HAVE AT LEAST 18" CLEARANCE BENEATH THE STRUCTURE. IN ADDITION, THE LOWEST FLOOR MUST BE AT LEAST 36" ABOVE THE HIGHEST POINT OF CURB IN FRONT OF THE LOT OR SITE. (IF NO CURB, USE CENTERLINE OF STREET).
 C. ALL MECHANICAL OR PLUMBING EQUIPMENT SERVICING THE BUILDING MUST BE LOCATED AT OR ABOVE THE REQUIRED FLOOR ELEVATION.
 D. SLABS FOR ATTACHED GARAGES MUST BE AT THE REQUIRED FLOOR ELEVATION OR BE CONSTRUCTED OF WATER-RESISTANT MATERIALS WITH PROPER VENTING IN 2 WALLS.
 E. DETACHED GARAGES WITH PLUMBING MUST BE AT THE REQUIRED FLOOR ELEVATION.
 F. CONSTRUCTION BENCHMARK MUST BE SET AT REQUIRED MINIMUM FLOOR ELEVATION OR GREATER. (ADD 1 FOOT FOR A & V-ZONES)

APPROVED FOR CITY BY: _____

1. CERTIFICATE OF CONSTRUCTION BENCHMARK
(FOR PERMIT OFFICIAL USE ONLY)
 EXISTING HIGHEST TOP OF CURB ELEVATION: -0.55' N.A.V.D.
 EXISTING HIGHEST CENTERLINE OF STREET: -0.12' N.A.V.D.
 ADD 3ft to curb, if no curb use the centerline of street
 + 3ft = _____

EXISTING LOT ELEVATIONS (PROPERTY CORNERS OR EDGE)
 FRONT (RIGHT): -0.2' N.A.V.D. FRONT (LEFT): 0.2' N.A.V.D.
 REAR (RIGHT): 0.0' N.A.V.D. REAR (LEFT): 0.1' N.A.V.D.
 OTHER: 2.87' N.A.V.D.
 DESCRIBE: EXISTING HOUSE
 DESCRIPTION OF CONSTRUCTION BENCHMARK: 600 NAIL SET IN POWER POLE AT #2524.
 NAIL SET ON WEST SIDE OF POLE.

ELEVATION OF CONSTRUCTION BENCHMARK: 2.35' N.A.V.D. (SEE NOTE F.)
 REFERENCE BENCHMARK USED TO ESTABLISH CONSTRUCTION BENCHMARK: ALCO
 ELEVATION OF REFERENCE BENCHMARK: 8.8' N.A.V.D.

SIGNATURE: _____ DATE: MAY 11, 2020
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

2. CERTIFICATE OF TOP OF FORM OR TOP OF PIER ELEVATION
(To be submitted before pouring concrete for slab construction or framing floor for pier construction)

AS BUILT ELEVATIONS: FORM _____ N.A.V.D. PIER _____ N.A.V.D.

PIER CONSTRUCTION:
 ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE CONSTRUCTED WITH WATER-RESISTANT MATERIALS AND THE FIRST FLOOR MUST BE AT OR ABOVE THE MINIMUM FLOOR ELEVATION (B.F.E.).

V ZONES ONLY:
 BOTTOM OF LOWEST HORIZONTAL STRUCTURAL MEMBER _____ N.A.V.D.
(Must be submitted before framing begins)

IN V ZONES, ALL ENCLOSURES BELOW THE B.F.E. MUST BE DESIGNED WITH BREAK-AWAY WALLS CONSTRUCTION.

SIGNATURE: _____ DATE: _____
(L.A. REGISTERED PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER) (SEAL)

3. FILLING, GRADING, DRAINAGE, SIDEWALK AND DRIVEWAY CERTIFICATION AND AFFIDAVIT
(To be submitted before Use & Occupancy Certificate can be issued)

THIS WILL CONFIRM THAT ALL FILLING, GRADING, DRAINAGE, SIDEWALKS AND DRIVEWAYS HAVE MET THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE CODE OF THE CITY OF NEW ORLEANS.

OWNER: _____ DATE: _____
 APPLICANT: _____ DATE: _____ (NOTARY)

IS LOT PROPERLY FILLED TO GRADE? YES NO
(minimum lot slope, rear to front, 1 inch every 20 feet)

ARE SIDEWALKS PROPERLY INSTALLED? YES NO
 ARE DRIVEWAYS PROPERLY INSTALLED? YES NO
 ARE RETAINING WALLS REQUIRED? YES NO
 (if yes, then on which side(s)) RIGHT LEFT REAR
 ARE EQUIPMENT SLABS, SUCH AS A/C COMPRESSORS, AT MINIMUM FLOOR ELEVATION? YES NO
 DO ATTACHED GARAGES IN A-ZONES THAT ARE BELOW MINIMUM FLOOR ELEVATION, HAVE PROPER VENTING AND WATERPROOFING? YES NO N/A

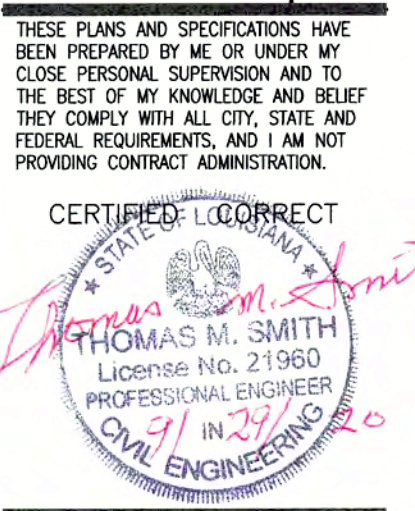
SIGNATURE: _____ DATE: _____
(L.A. REGISTERED PROFESSIONAL CIVIL ENGINEER) (SEAL)

THE LATEST FEMA ELEVATION CERTIFICATE MUST ACCOMPANY PART 3 OF THIS FORM WHEN SUBMITTED TO THE DEPARTMENT OF SAFETY AND PERMITS. 2016

1 ELEVATION CERTIFICATE
SCALE: N.T.S.



MLK New Duplex
 (Three Bedroom + One Bedroom Studio)
 2526 MLK Blvd. • New Orleans, LA
 A Blue Crescent Enterprises Project



REVISION HISTORY

NO.	DESCRIPTION	DATE	NAME

SHEET TITLE
NEW SITE/ROOF PL FOUNDATION PLAN AND DETAILS

PROJECT#: 2206
 PHASE: CD
 DRAFTER: CHS
 CHECKER: TS
 SCALE: AS SHOWN
 ISSUED: 09/29/20
 SHEET#
A1.0
 3 OF 10

FOUNDATION DETAIL KEYNOTES

- FD1 CLASS 5 PILING
- FD2 10-MIL POLYETHYLENE VAPOR BARRIER- TYP.
- FD3 (2) #5 CONT. TOP & (3) #5 BOTTOM WITH #3 TIES @ 18" O.C.
- FD4 4000 PSI CONCRETE (MIN.)
- FD5 #5x 3'-8" 2 EACH PIER
- FD6 8"x8"x16" REINFORCED CMU PIERS, FILL ALL CELLS WITH CONCRETE, 4000 PSI, CENTER CMU PIER ON GRADE BEAM, TYP.
- FD7 TERMITE SHIELD
- FD8 (2) 2x10 TREATED WOOD BEAM
- FD9 SOLE PLATE SET IN AN CONTINUOUS BEAD OF ADHESIVE SEALANT
- FD10 1/2" SHEATHING, ON 2x4 FRAMING
- FD11 SIMPSON HETA 20, (2) PER PIER, EMBED IN CONCRETE FILLED PIER 20" ATTACH TO (2) 2x12 BAND BEAM, TYP.
- FD12 SIMPSON HHUS410 JOIST HANGAR AT EACH JOIST, TYPICAL
- FD13 3/4" PLY-WOOD SUB-FLOOR, GLUE AND SCREW
- FD14 2x10 TREATED WOOD FLOOR JOIST
- FD15 SIMPSON STRONG TIE LSTA18 AT EACH STUD

FOUNDATION KEYNOTES

- F1 EDGE OF FLOOR
- F2 WALLS ABOVE, TYPICAL
- F3 CLASS 5 TREATED POLE PILE 35' LONG, DRIVE TO REFUSAL, SEE GENERAL NOTES
- F3.1 4000 PSI REINFORCED GRADE BEAM BELOW. SEE DETAILS 3A AND 3B THIS SHEET
- F4 EXISTING FOUNDATION, FLOOR FRAMING, AND PIERS. INSPECT FOR STRUCTURAL INTEGRITY (REVIEWED BY ENGINEER). IF NEEDED, REPAIR AS DIRECTED. EXTENT OF EXISTING BASED WHAT IS NEEDED TO KEEP THE FRONT FACADE PROPERLY SUPPORTED
- F5 2x6 BRIDGING
- F6 (2) 2x10 TREATED WOOD BEAM
- F7 8"x8"x16" REINFORCED CMU PIERS, FILL ALL CELLS WITH CONCRETE, 4000 PSI, TYP.
- F8 (2) 2x10 TREATED WOOD BAND BEAM
- F9 2x10 TREATED WOOD FLOOR JOIST
- F10 3/4" PLY-WOOD SUB-FLOOR, GLUE AND SCREW

GENERAL FOUNDATION NOTES:

- REINFORCING STEEL FOUNDATION**
- CONCRETE DESIGN IS BASED UPON A MINIMUM COMPRESSION STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (A.C.I. 318-77).
 - ALL CONVENTIONAL REINFORCING STEEL SHALL BE ACT DESIGNATION A-615 (GRADE 60) REINFORCING AND SHALL BE DETAILED AND ACCESSORIES PROVIDED IN ACCORDANCE WITH THE LATEST A.C.I. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES.
 - MESH AND BARS SHALL BE ADEQUATE AND SECURELY SUPPORTED TO PREVENT VERTICAL AND HORIZONTAL MOVEMENT DURING PLACING OF CONCRETE.
 - THE CONTRACTOR SHALL VERIFY ALL DROPS, OFFSETS, BRICK LEDGES AND BLOCK-OUTS ON ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST.
 - REINFORCEMENT SHALL HAVE A MIN. OF 3" COVER IN GRADE BEAM BOTTOM, 3" COVERING BEAM SIDES AND TOPS, 2" COVER IN SLAB TOPS AND BOTTOMS.
 - PROVIDE .006 POLYETHYLENE MEMBRANE UNDER ALL CONCRETE SLABS.
 - ALL SECTIONS SHOWN ARE THE SECTIONS AT MID-SPAN OF GRADE BEAMS UNLESS OTHERWISE SHOWN.
 - PLANS FOR PIPES, CONDUITS, THIMBLES, ETC. TO PASS THROUGH CONCRETE SLAB OR BEAM, MUST NOT CONFLICT WITH REINFORCING.
 - THIS DESIGN TO BE USED ONLY FOR THIS LOCATION.
 - FIELD VERIFY ALL EXISTING DIMENSIONS AND SITE CONDITIONS.

EARTHWORK

- EXCAVATE TO DEPTH AS SHOWN ON PLANS.
- REMOVE ALL VEGETATION, TREE ROOTS, STUMPS, ETC. AS REQUIRED TO REACH FIRM UNDISTURBED NATURAL SOIL PRIOR TO PLACING DIRT FILL.
- FILL TO DEPTH AS SHOWN ON PLANS.
- DIRT FILL SHALL BE PLACED IN 6" TO 8" LOOSE LIFTS AND COMPACTION SHALL BE SUCH AS TO SECURE 95% OF MAX. DRY DENSITY AT OR NEAR OPTIMUM WATER CONTENT.

TERMITE TREATMENT

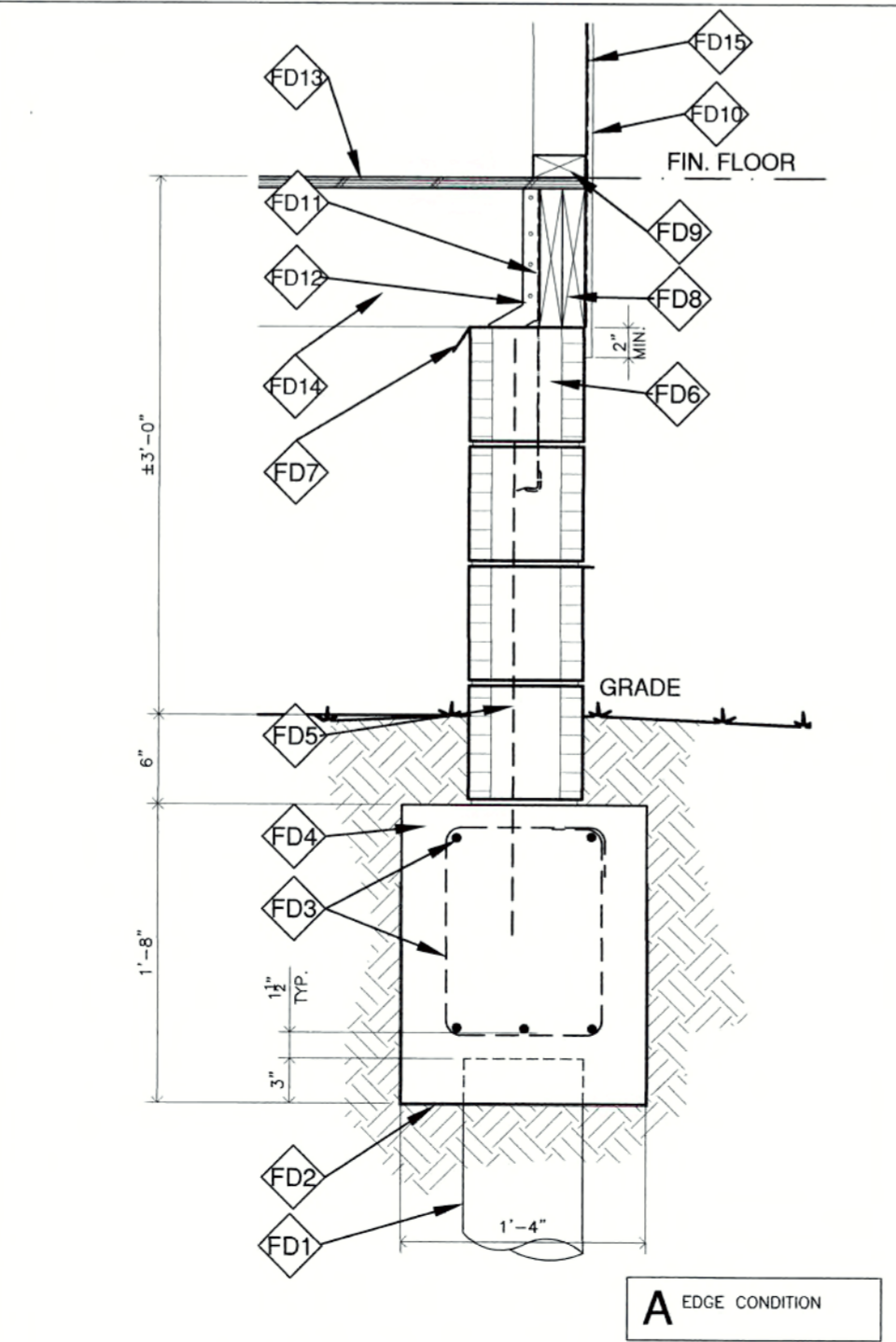
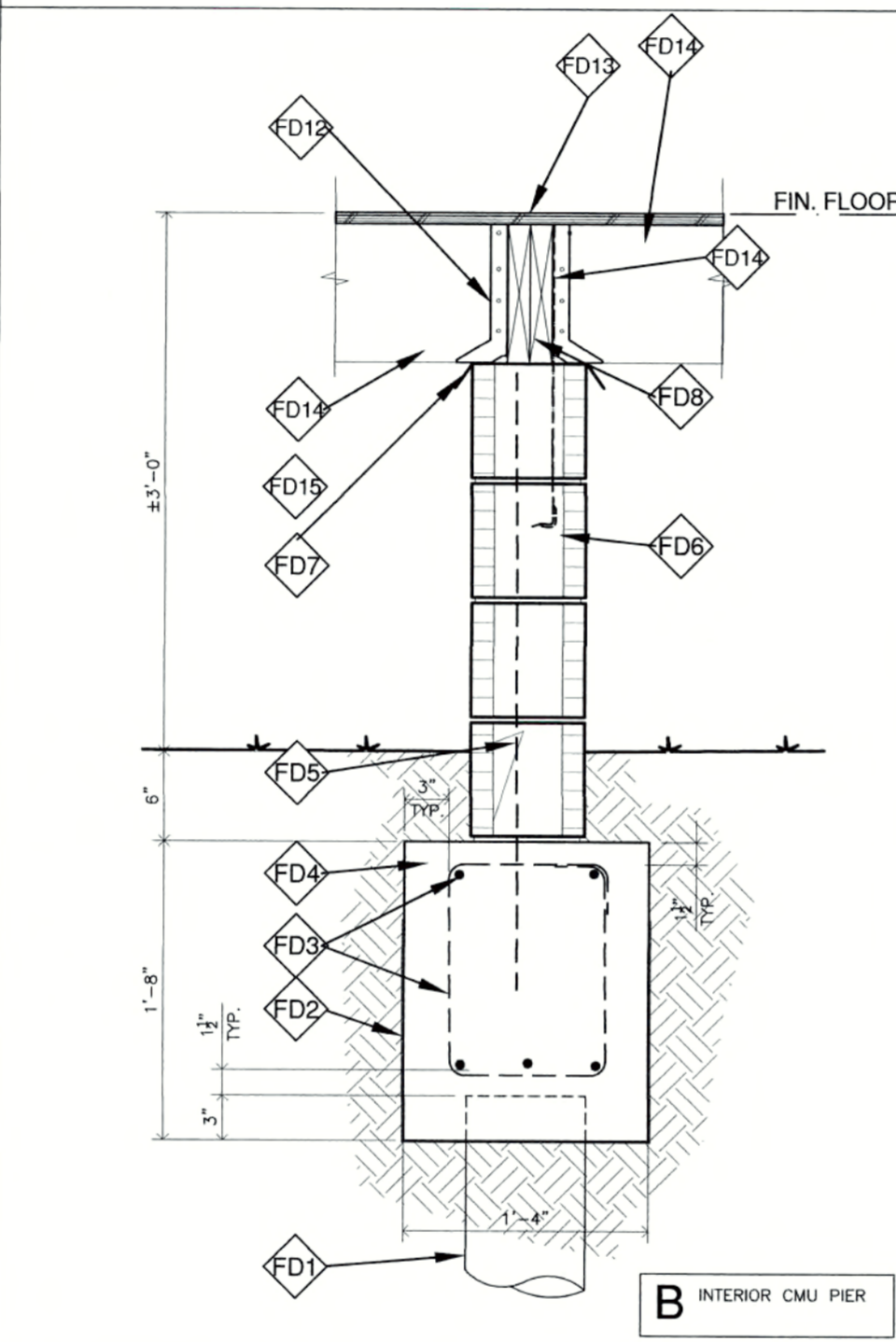
- ALL SOIL UNDER NEW SLAB SHALL BE TREATED BY CERTIFIED TERMITE CONTRACTOR.
- ALL AREAS UNDER RAISED PIERS SHALL BE TREATED BY CERTIFIED TERMITE CONTRACTOR.

DRAINAGE

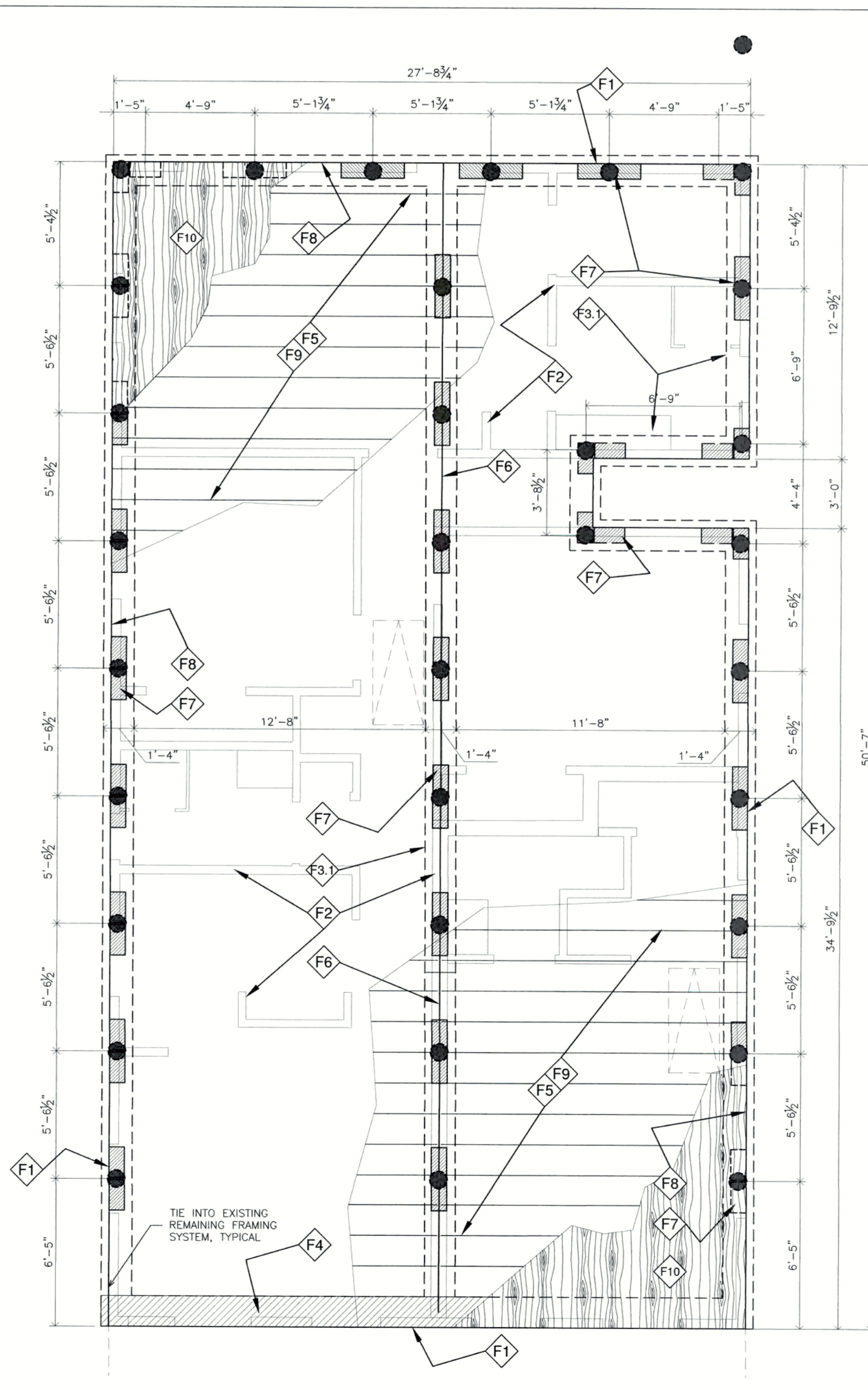
- WHERE WATER IMPACTS THE GROUND FROM A ROOF VALLEY, DOWNSPOUT, SCUPPER, OR OTHER RAIN WATER COLLECTION DIVERSION DEVICES, PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION AND DIRECT THE WATER AWAY FROM THE FOUNDATION.
- FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.

PILE SPECIFICATION:

- PILES ARE TO BE CLASS 5 W/ A 35 FEET TIP EMBEDMENT BELOW NATURAL GRADE OR DRIVEN TO REFUSAL.
- DESIGN LOAD = 4 TONS PER PILE.
- TOTAL PILES = REFER TO PLAN



2 FOUNDATION DETAILS
SCALE: 1" = 1'-0"



1 FOUNDATION/FRAMING PLAN
SCALE: 1/4" = 1'-0"



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REVISION HISTORY

NO.	DATE	NAME	DESCRIPTION

SHEET TITLE
**FOUNDATION PLAN
FLOOR FRAMING
FOUNDATION DTLS.**

PROJECT#: 2206
PHASE: CD
DRAFTER: CHS
CHECKER: TS
SCALE: AS SHOWN
ISSUED: 09/29/20
SHEET#
A1.1
4 of 10

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	N. WALL	E. WALL	S. WALL	W. WALL	CEILING	CLG. HT.	REMARKS
3 BEDROOM									
LIVING/DINING	A	D	E	E	E	E	E	11'-4"	
KITCHEN	B	D	E	E	E	E	V		
LINEN	A	D	E	E	E	E	E	8'-0"	
BATH #1	B	D	F	F	F	F	S	8'-0"	
W/D	B	D	E	E	E	E	E	8'-0"	
BEDROOM #1	A	D	E	E	E	E	E	11'-4"	
CLO.	A	D	E	E	E	E	E	8'-0"	
HALLWAY	A	D	E	E	E	E	E	8'-0"	
BEDROOM #2	A	D	E	E	E	E	E	11'-4"	
CLO.	A	D	E	E	E	E	E	8'-0"	
MASTER BEDROOM	A	D	E	E	E	E	E	11'-4"	
MASTER BATH	B	D	E	E	E	E	E	8'-0"	
WALK-IN CLOSET	A								
1 BEDROOM STUDIO	A	D	E	E	E	E	E	11'-4"	
LIVING/DINING	A	D	E	E	E	E	E	11'-4"	
BEDROOM	A	D	E	E	E	E	E	11'-4"	
BATH #1	B	D	E	E	E	E	E	8'-0"	
W/D	B	D	E	E	E	E	E	8'-0"	
CLO.	A	D	E	E	E	E	E	8'-0"	

GENERAL NOTE: FINISHES - TYPE, GRADE AND COLOR SELECTED BY OWNER.
 NOTE 1: USE MEDIUM RESISTANCE DRYWALL IN WET AREAS.
 NOTE 2: DRYWALL TO BE HUNG AND FINISHED PRIOR TO INSTALLATION OF A/C.
 NOTE 3:
FINISHES CODES
 A. LAMINATE FLOORING D. WOOD BASE, PAINTED G. NONE
 B. CERAMIC TILE E. DRYWALL, PAINTED H. EXISTING
 C. 3/4" PLYWOOD F. DRYWALL TAPE AND FLOAT

DOOR SCHEDULE

MARK	SIZE	FRAME	DOOR MATERIAL	DOOR TYPE	HARDWARE	REMARKS
01	EX					A MATCH EXISTING OPENING
02	2068	WD	MF - 1 3/4"			E SINGLE BF
03	2468	WD	MF - 1 3/4"			C
04	2468	WD	MF - 1 3/8"			E SINGLE BF
05	2668	WD	MF - 1 3/8"			D
06	4068	WD	MF - 1 3/8"			C
07	2068	WD	MF - 1 3/8"			D
08	4068	WD	MF - 1 3/8"			E
09	2868	WD				NOREL, REL - O-CATED
10	2868	WD	MF - 1 3/8"			C
11	2468	WD	MF - 1 3/8"			E SINGLE BF
12	2868	WD	MF - 1 3/8"			C
13	2868	WD	MF - 1 3/8"			D
14	EX					A MATCH EXISTING OPENING
15	2468	WD	MF - 1 3/8"			C
16	2468	WD	MF - 1 3/8"			E SINGLE BF
17	4068	WD	MF - 1 3/8"			D

NOTE 1: STORM DOOR OR SCREEN DOOR
 NOTE 2: USE 2 1/4" WEDGE IRM ON INTERIOR SPACE
 NOTE 3: REINSTALL METAL SECURITY BARS.

DOOR HARDWARE

A 1 ENTRY LATCH 1 DEAD BOLT 1 1/2 PR - 3 1/2x3 1/2 BUTTS 1 METAL THRESHOLD 1 DOOR STOP MUTES WEATHER STRIPPING	D 1 PASSAGE LATCH 1 1/2 PR - 3 1/2x3 1/2 BUTTS 1 DOOR STOP
B 1 ENTRY LATCH 1 DEAD BOLT 1 DUMMAY KNOB 1 PR - 3 1/2x3 1/2 BUTTS 1 HEAD BOLT, CONCEALED 1 SILL BOLT, CONCEALED WEATHER STRIPPING	E 1 BI-FOLD LATCH 1 1/2 PR - 3 1/2x3 1/2 BUTTS
C 1 PRIVACY LATCH 1 1/2 PR - 3 1/2x3 1/2 BUTTS 1 DOOR STOP	F 1 PASSAGE LATCH 1 DUMMAY KNOB 3 PR - 3 1/2x3 1/2 BUTTS 1 HEAD BOLT, CONCEALED 1 SILL BOLT, CONCEALED WEATHER STRIPPING
	G 1 SLIDING DOOR ENTRY LATCH 1 SILL BOLT, CONCEALED 1 METAL THRESHOLD WEATHER STRIPPING

WINDOW SCHEDULE

SIZE	TYPE	FRAME	GLAZING	RATING	REMARKS
A	MATCH EXISTING				
B	3050	VINYL CLAD/SH	VINYL 1" GLASS/INSUL		
C	3040	VINYL CLAD/SH	VINYL 1" GLASS/INSUL		
D	2030	VINYL CLAD/SH	VINYL 1" GLASS/INSUL		FROSTED FINISH

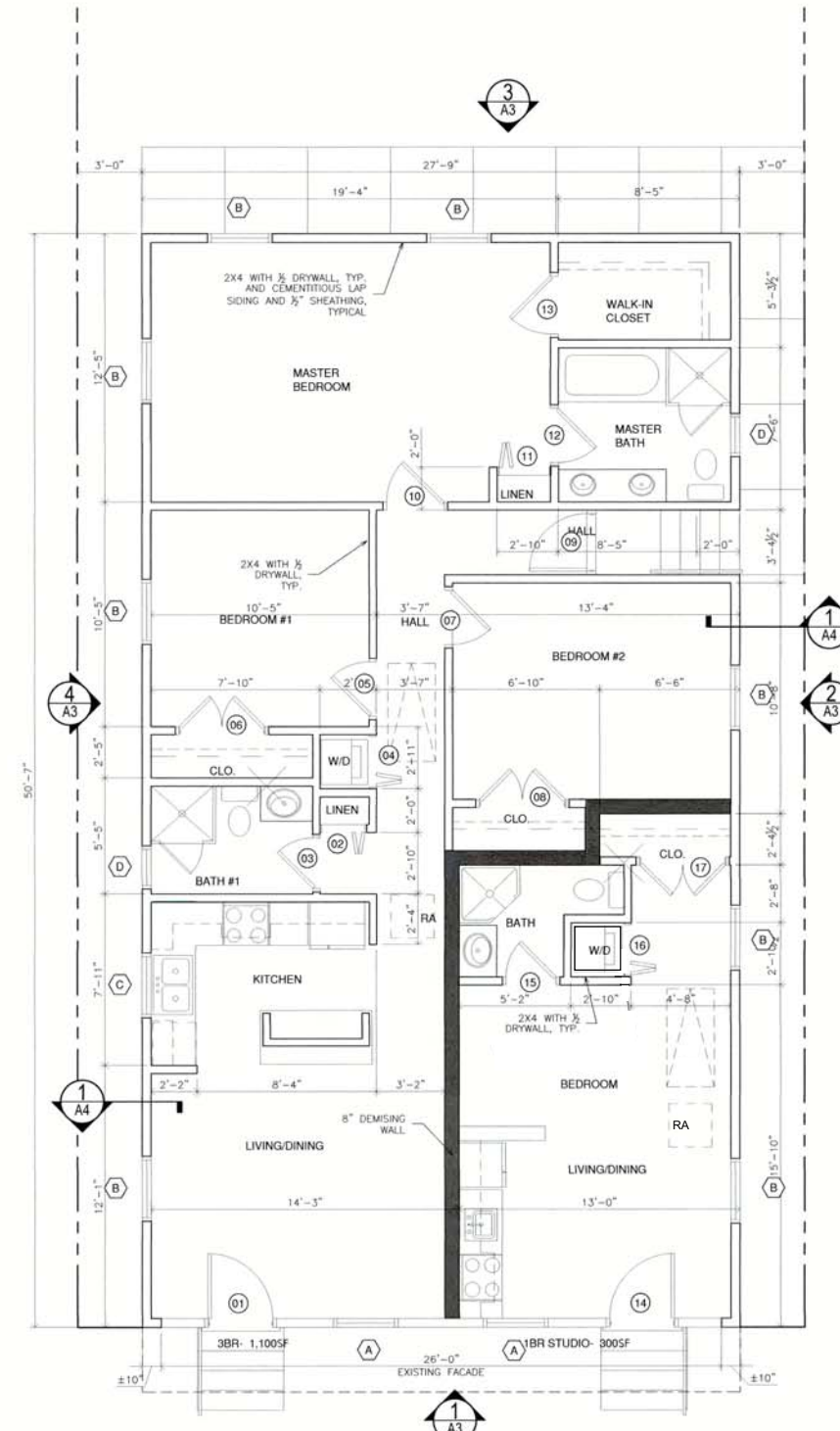
SCHEDULE GENERAL NOTES:
 1. SEE EXTERIOR ELEVATIONS FOR WINDOW ELEVATIONS, FINAL SELECTION BY OWNER.
 2. INSET SCREENS FOR ALL WINDOWS.
 3. PROVIDE PLYWOOD HURRICANE PROTECTION PANELS, NUMBER COORDINATED WITH ATTACHING HARDWARE AS PER CODE.

FLOOR PLAN KEYNOTES

- | | | | |
|---------------------------------------|--|---|--|
| (F1) EXISTING CONCRETE DRIVE | (F8) EXISTING OPENING WITH HEADER | (F15) 16" DEEP PAINTED UTILITY SHELVING | (F22) NEW 2x4 HEADER, SEE FRAMING NOTES, A3, E |
| (F2) EXISTING CONCRETE WALK | (F9) RELOCATED EXISTING FRENCH DOOR WITH NEW WOOD FRAME | (F16) ROD AND SHELF WITH INTERMEDIATE SUPPORTS SPACE EVENLY OR CLOSET ORIGNER SYSTEM | (F23) A/C RETURN AIR ABOVE |
| (F3) EXISTING GRASSY AREA | (F10) NEW WALL INFILL | (F17) NEW AIR IN ATTIC, SEE U1, D | |
| (F4) EXISTING CHARLUNK FENCE | (F11) NEW 205" x 545" ATTIC ACCESS DISAPPEARING STAIRS | (F18) NEW (2) 2x8 BUILT-UP WOOD BEAM WITH 3" PLYWOOD TO RECEIVE EXISTING AND NEW CEILING JOIST, FLOSH WITH BOTTOM OF BEAM | |
| (F5) EXISTING UPPER AND BASE CABINETS | (F12) NEW PANTRY UNIT WITH UPPER CABINET, MATCH EXISTING CABINET STYLE AND FINISH | (F19) TRIPLE 2x4 STUD POST IN WALL, NAKED AND GLEED | |
| (F6) EXISTING STOVE | (F13) NEW UPPER AND BASE CABINETS, MATCH EXISTING CABINET STYLE AND FINISH | (F20) NEW CHARLUNK FENCE, MATCH EXISTING | |
| (F7) EXISTING SAW | (F14) NEW UPPER CABINETS AND OPEN SHELVES, MATCH EXISTING KITCHEN CABINET STYLE AND FINISH | (F21) NEW 4" THICK 5,500 PSI CONCRETE SIDEWALK (HATCHED AREA), WITH CONTROL JOINTS EVERY 5'-0" MAX. AND EXPANSION JOINTS AT 20'-0" MAX., LIGHT BROOD FINISH | |

SYMBOLS LEGEND

- ROOM TAG** NEW OR RENOVATED ROOM/AREA
- ROOM TAG EXISTING ROOM/AREA NO CHANGE
- EXISTING WALL
- NEW WALL/NEW INFILL



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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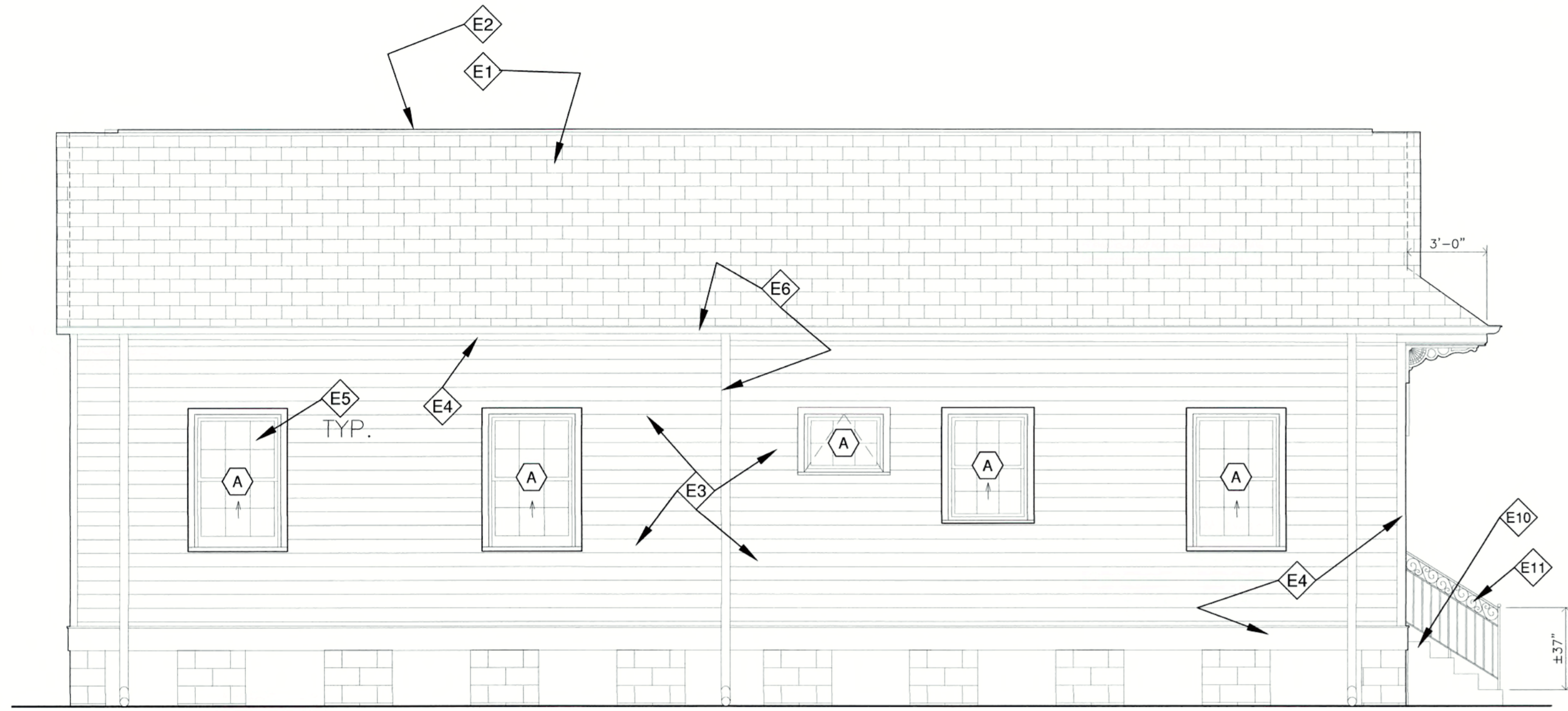
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SHEET TITLE
FLOOR PLAN SCHEDULES

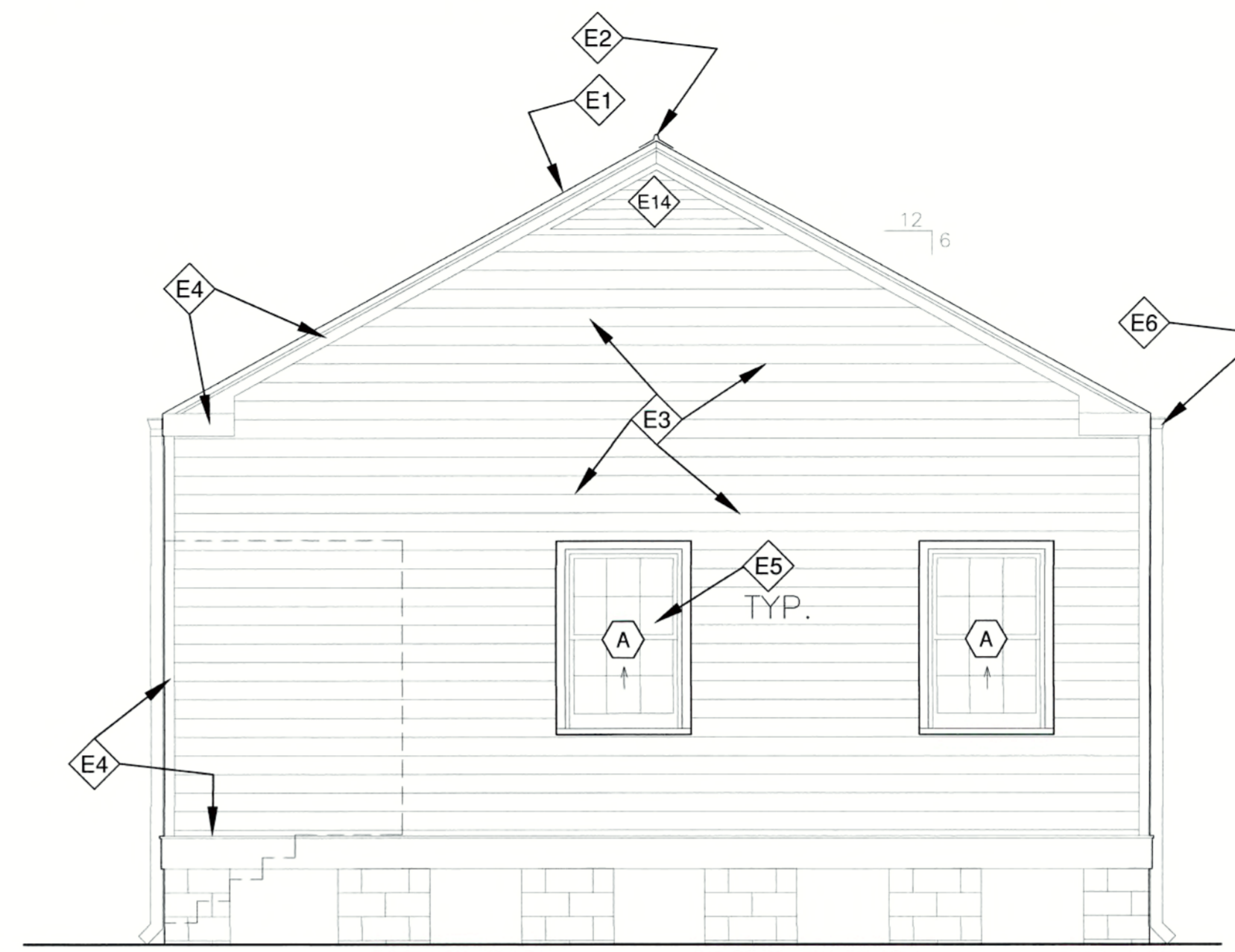
PROJECT#: 2206
 PHASE: CD
 DRAFTER: CHS
 CHECKER: TS
 SCALE: AS SHOWN
 ISSUED: 09/29/20
 SHEET#
A2.0
 5 OF 10

EXTERIOR ELEVATION KEYNOTES

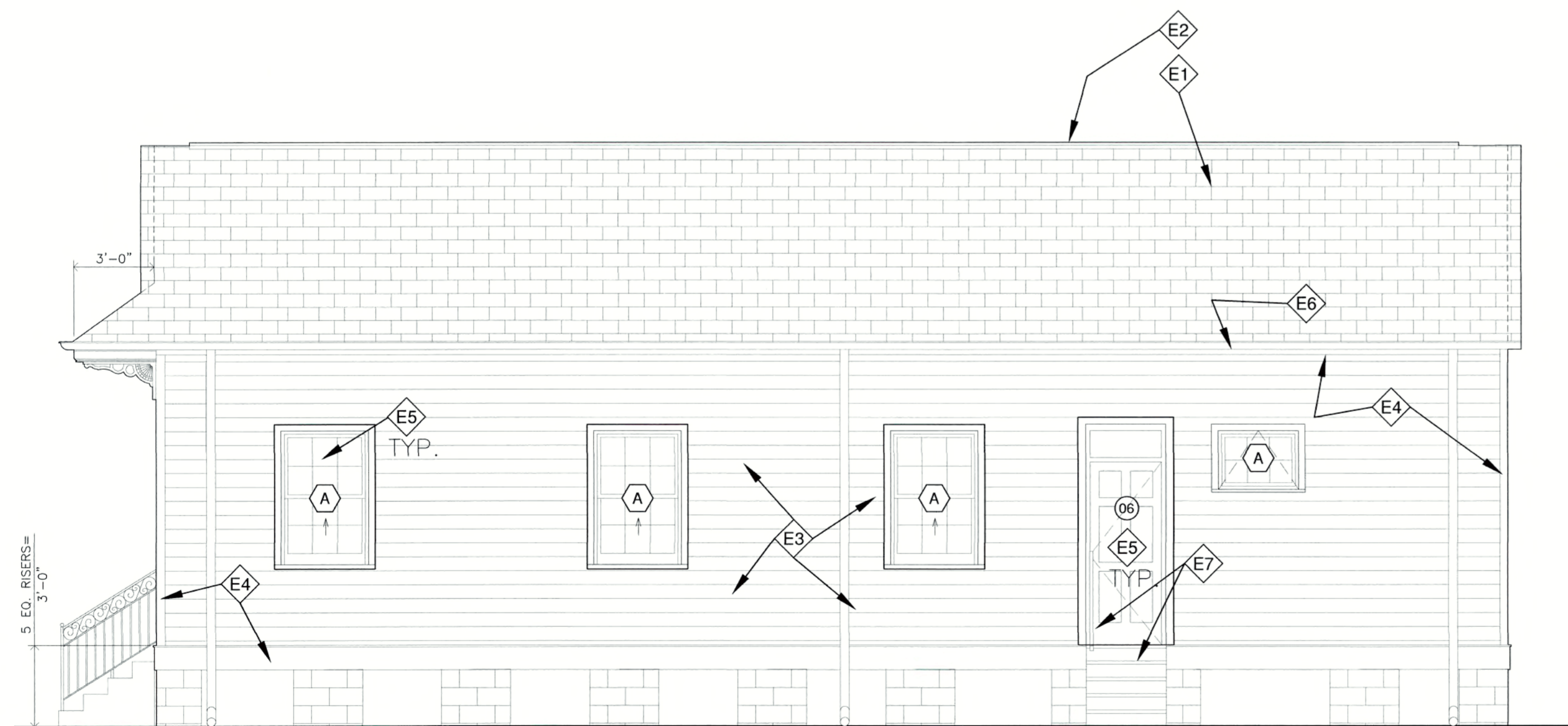
- E1 FIBERGLASS SEAL-TAB SHINGLES ON TWO LAYERS 15# FELT ON 5/8" CDX PLYWOOD W/ 1" EDGE CLIPS
- E2 CONTINUOUS RIDGE VENT
- E3 HARDI PLANK SIDING - ALL EXTERIOR WOOD INCLUDING P.T AND HARDIPLANK SIDING AND TRIM TO BE BACKPRIMED ONE COAT PLUS ONE PRIME COAT AND TWO TOP COATS OIL BASED PAINT. PRIME ALL EDGES OF ALL MATERIAL.
- E4 HARDI-PLANK TRIM
- E5 INSTALL ALL WINDOWS AND DOORS PER HARDIPLANK SPECIFICATIONS THREE SIDED METAL DRIP AT HEADS AND "PEEL AND STICK" RAINGUARD FASHION FOUR SIDES OF OPENINGS
- E6 6 INCH HALF-ROUND ALUMINUM GUTTER AND DOWNSPOUT
- E7 TREATED WOOD STAIRS AND HANDRAIL
- E8 NEW DOOR IN EXISTING OPEN, SIMILAR TO ORIGINAL DOOR
- E9 NEW WINDOW IN EXISTING OPEN, SIMILAR TO ORIGINAL DOOR
- E10 INSTALL NEW DECORATIVE WOOD BRACKETS, SIMILAR TO ORIGINAL
- E11 NEW PRECAST CONCRETE STEP
- E12 NEW PRE-FINISHED DECORATIVE METAL RAILING
- E13 NEW DECORATIVE WINDOW IN EXISTING OPENING, SIMILAR TO ORIGINAL
- E14 NEW LIGHT FIXTURE
- E15 PRE-FINISHED ATTIC VENT WITH INSECT SCREEN
- E16 NEW DECORATIVE TREATED WOOD GATE, SIMILAR TO ORIGINAL
- E17 REPAIR EXISTING DECORATIVE SIDING
- E18 NEW DECORATIVE MEDALLION, MATCH EXISTING
- E19 REPAIR EXISTING WOOD SIDING, DOOR AND WINDOW TRIM, TRIM, SOFFIT, AND FASCIA. REPLACE DAMAGED, STRIP, SAND AND REPAINT
- E20 REPLACE EXISTING ROOF
- E21 EXISTING MASONRY CHAIN WALL WITH PLASTER STUCCO FINISH, PATCH REPAIR, AND REFINISH



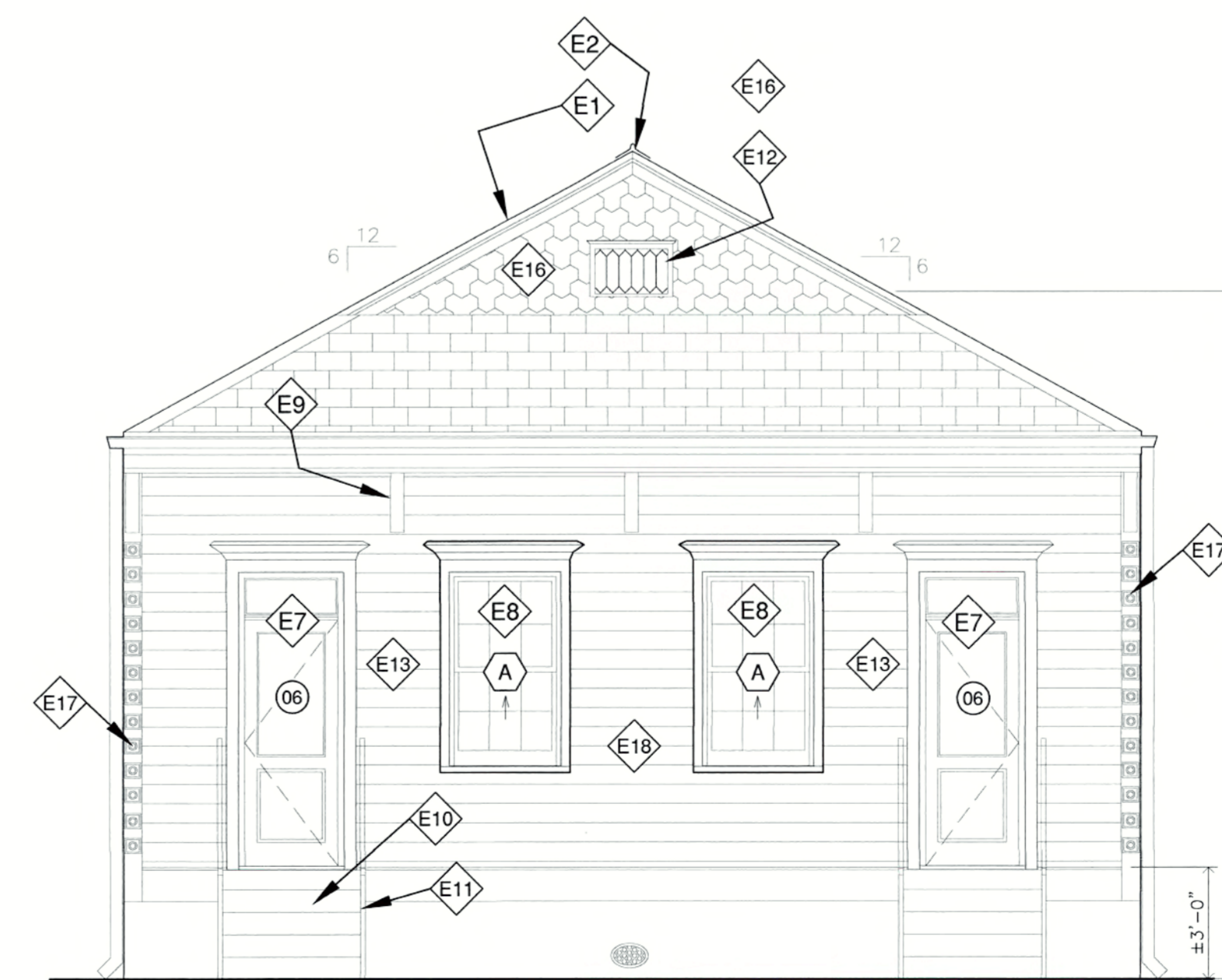
4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



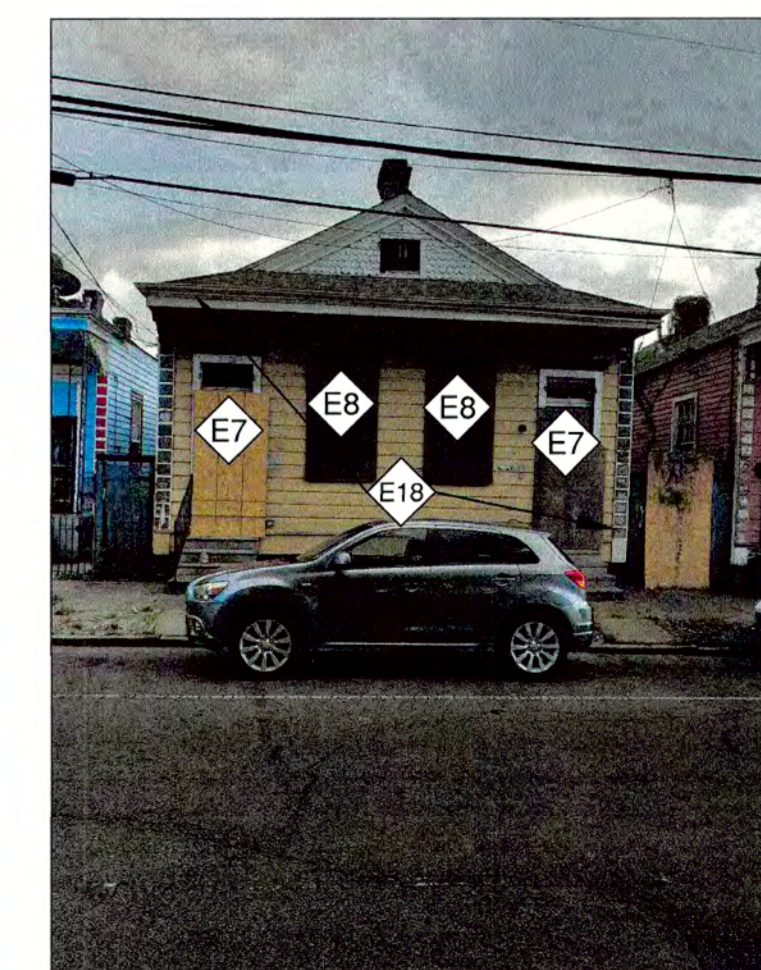
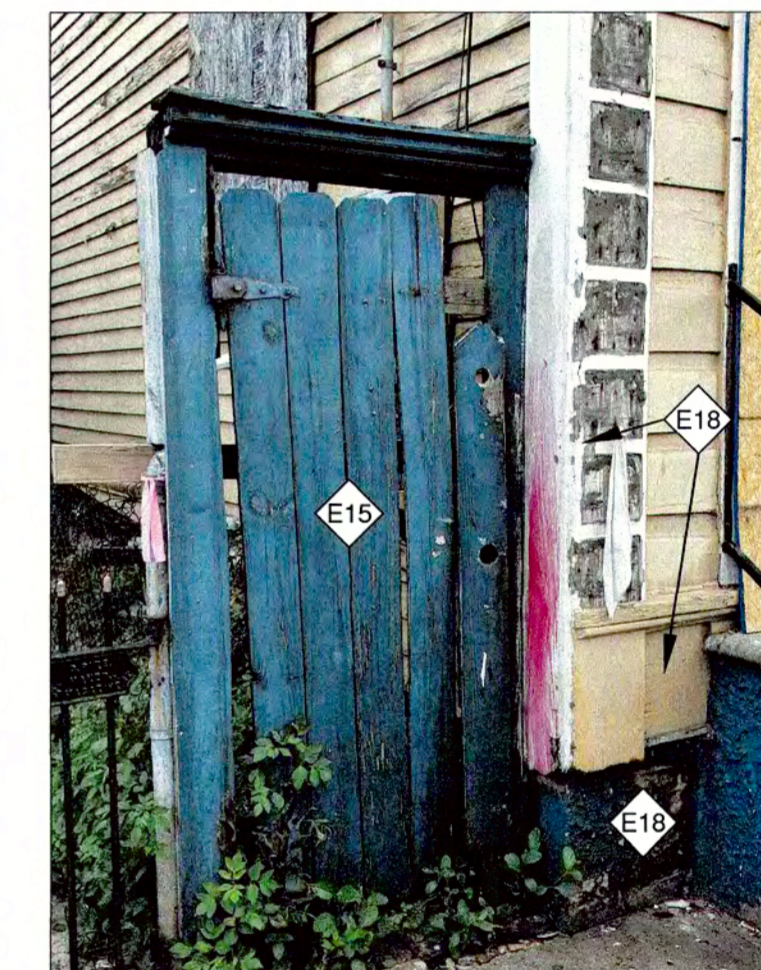
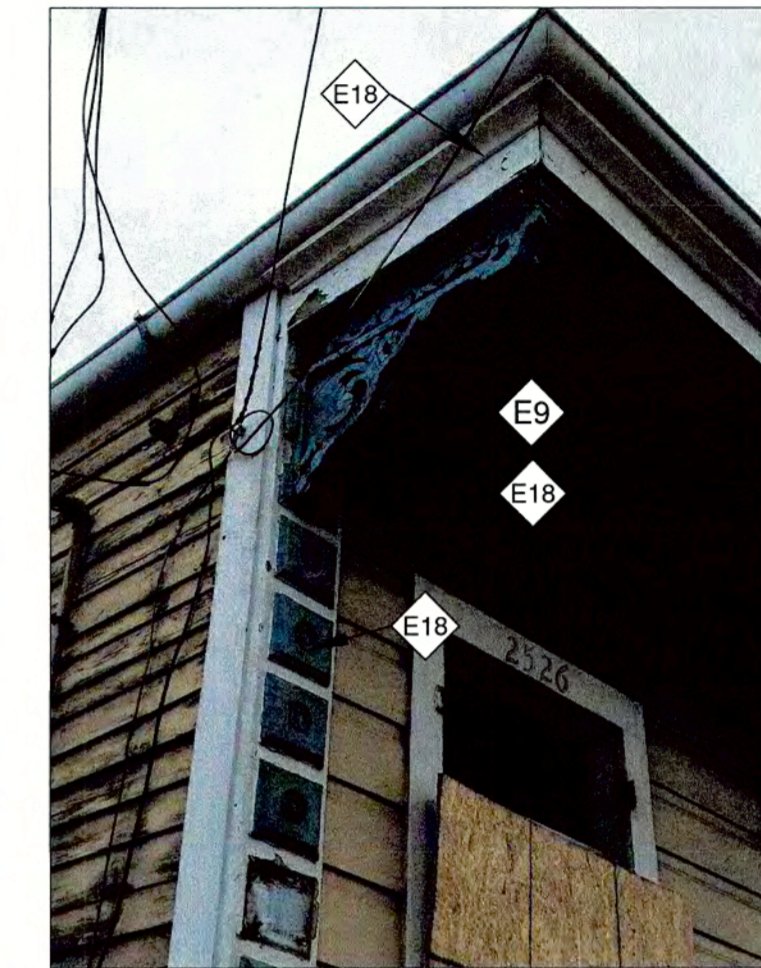
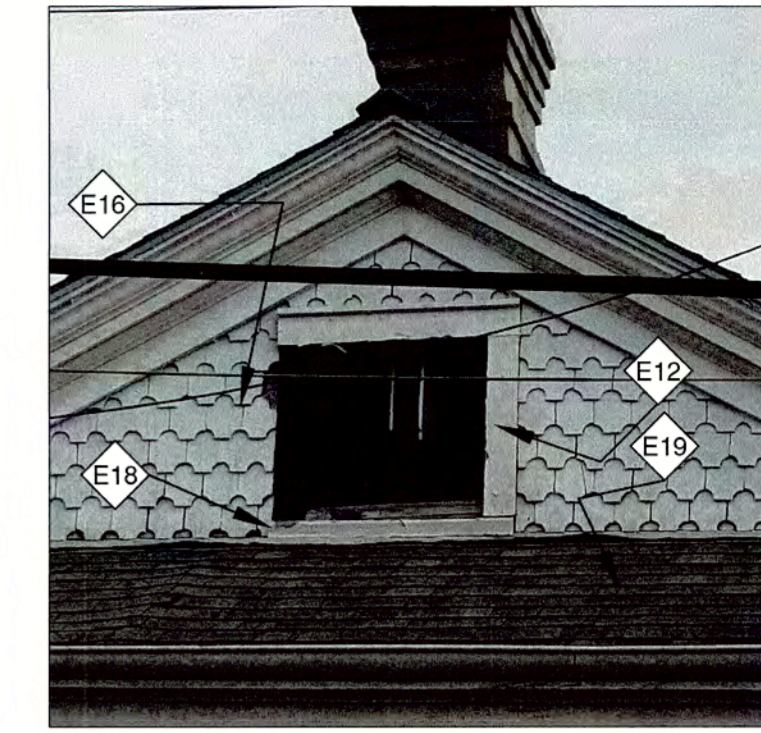
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



A REF. PHOTOS
SCALE: N.T.S.

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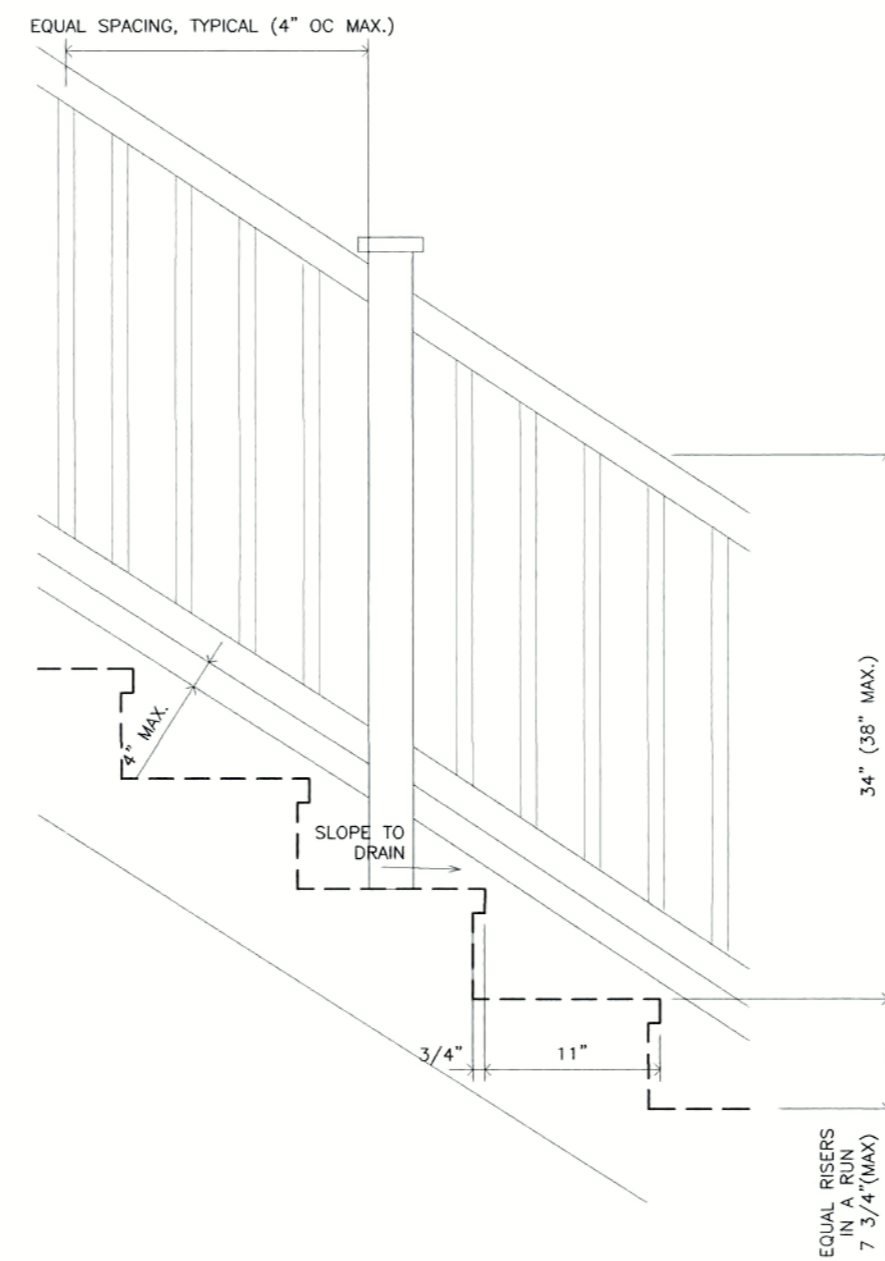
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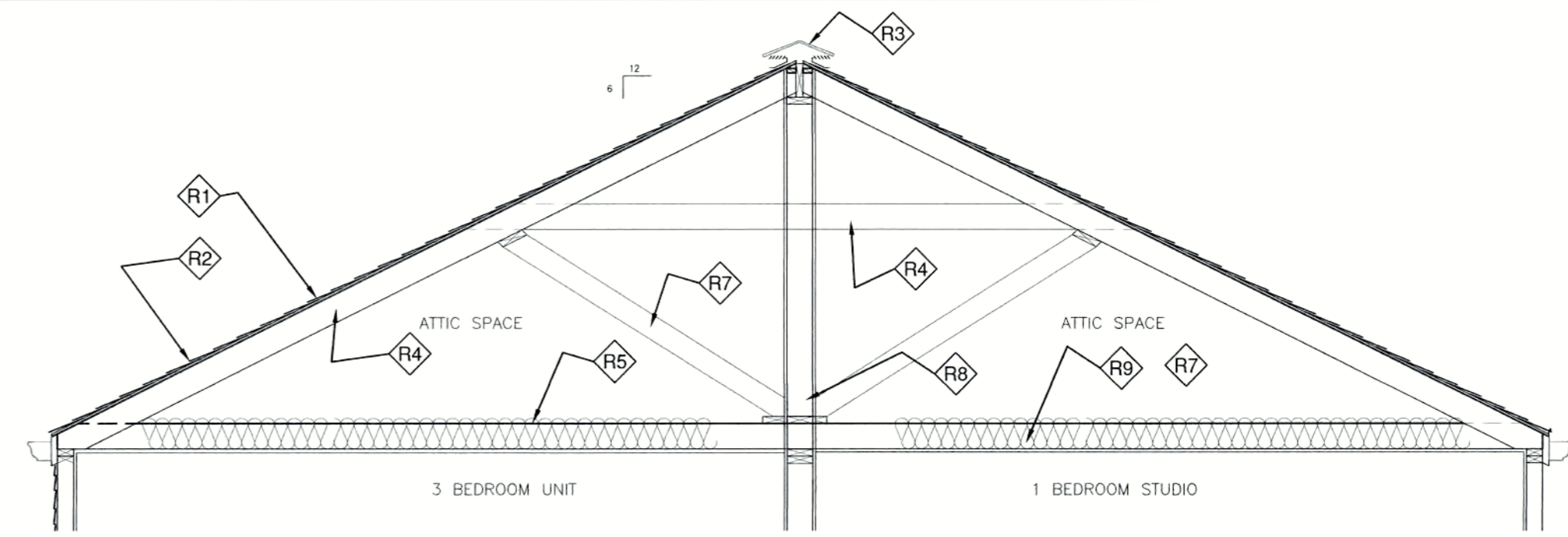
NO.	DESCRIPTION	DATE	NAME



4 STAIR DETAIL-TYPICAL
SCALE: 1" = 1'-0"

ROOF SECTION KEYNOTES

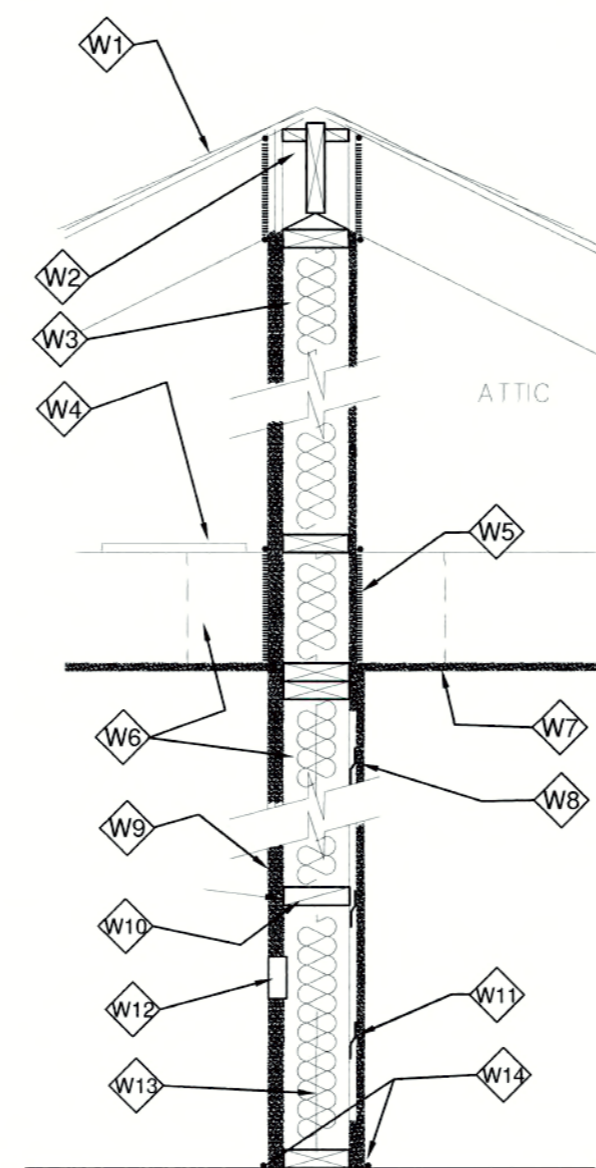
- R1 FIBERGLASS SHINGLES ON 15# FELT
- R4 2x8 ROOF RAFTERS @ 24" O.C.
- R7 2x6 STRONG BACKS @ 48" O.C. SET ON BEAMS OR PARTITIONS
- R2 5/8" T&G CDX PLYWOOD
- R5 2x8 CEILING JOIST @ 16" O.C.
- R8 2x6 DEMISING WALL
- R3 CONT. RIDGE VENT
- R6 1x6 COLLAR BRACE EVERY OTHER RAFTER
- R9 INSULATION



2 TYP. ROOF SECTION
SCALE: 3/8" = 1'-0"

DEMISING WALL KEYNOTES

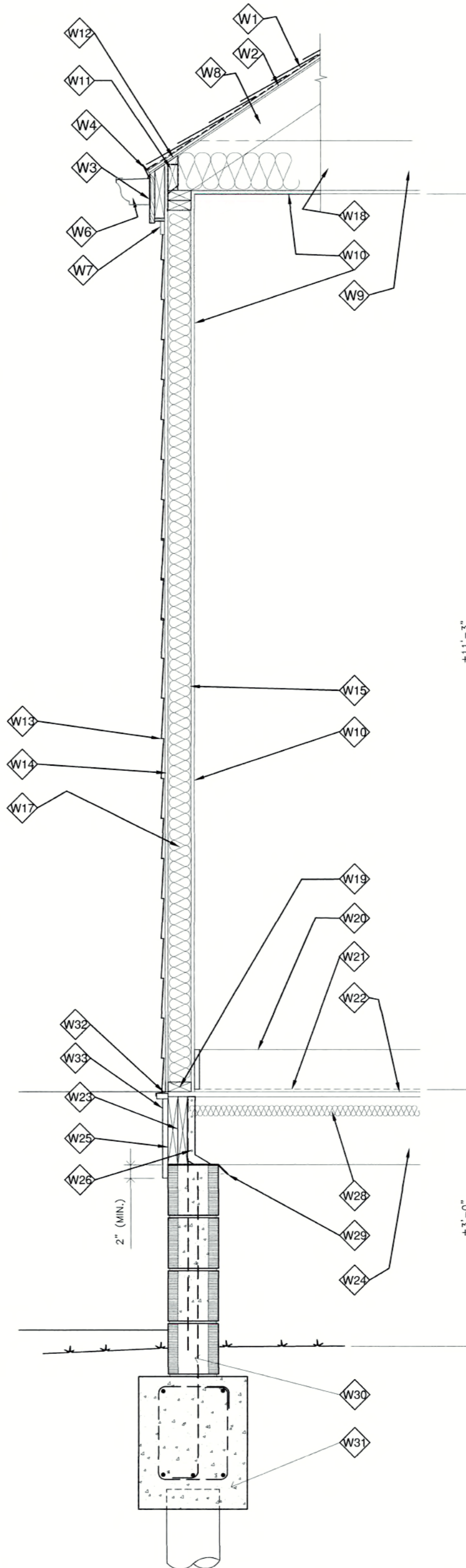
- D1 EXISTING ROOF SHEATHING AND FIBERGLASS SHINGLES ROOFING
- D8 5/8" X GWB RUNS CONTINUOUS TO ROOF DECK
- D2 BLOCKING
- D9 2-LAYER 5/8" X GWB RUNS CONTINUOUS TO ROOF DECK
- D3 2 X 4 X 24" O.C. STUDS
- D10 NEW MIDSPAN IN BETWEEN BLOCKING
- D4 THREE TOTAL SHEETS OF 4' X 8' 3/4" CDX PLYWOOD UNDER AHU AND WATER HEATER ATTIC LOCATE ACCESS LADDER NEXT TO AHU EACH UNIT
- D11 RC-1 RESILIENT CHANNELS AT 24" O.C.
- D5 FIRECAULKING, 3 SIDES OF JOISTS
- D12 STAGGER ELECTRICAL BOXES MIN. 24" BETWEEN BOXES ON OPPOSITE SIDES OF WALL. FIRE CAULK GAP TO BOX AND ALL OTHER PENETRATIONS
- D6 CEILING JOIST OR STUDS
- D13 MINERAL WOOL 2 PCF INSULATION
- D7 1/2" GWB
- D14 NON-HARDENING FIRECAULK TYPICAL



3 DEMISING WALL
SCALE: 3/4" = 1'-0"

WALL SECTION KEYNOTES

- W1 FIBERGLASS SHINGLES ON 15# FELT
- W2 5/8" T&G CDX PLYWOOD
- W3 TREATED 1x FASCIA, PAINTED, MATCHING EXISTING STYLE AND COLOR
- W4 METAL ROOF EDGE TRIM WITH DRIP
- W5 ALUMINUM DOWNSPOUT AND GUTTER
- W6 TREATED WOOD 1x TRIM PIECE, PAINTED
- W8 2x8 ROOF RAFTERS @ 24" O.C.
- W9 2x8 CEILING JOIST @ 16" O.C.
- W10 5/8" GYP. BOARD, TYPICAL
- W11 SIMPSON CONNECTOR H8 OR H2.5 AT EVERY RAFTER
- W12 2x SOLID BLOCKING BEYOND
- W13 HARDBOARD SIDING
- W14 1/2" PLYWOOD SHEATHING
- W15 2x4 WOOD STUDS @ 16" O.C.
- W17 BATT INSULATION- R19
- W18 BATT INSULATION- R30
- W19 SOLE PLATE SET IN CONTINUOUS BEAD OF ADHESIVE SEALANT, TYPICAL
- W20 BASE AS PER SCHEDULE
- W21 FLOORING AS PER SCHEDULE
- W22 3/4" T&G PLYWOOD SUB-FLOOR, GLUE AND SCREW, TYPICAL
- W23 (2)2x10 TREATED WOOD BAND BEAM
- W24 2x10 TREATED WOOD FLOOR JOIST @ 16" O.C.
- W25 SIMPSON CS16 STRAP, EMBED IN CONCRETE FILLED PIER 20" ATTACH TO (2) 2x12 BAND BEAM, TYP.
- W26 SIMPSON HHUS410 JOIST HANGAR AT EACH JOIST, TYPICAL
- W28 R-13 UNDER FLOOR INSULATION, PROTECT AS PER MANUFACTURER'S INSTRUCTIONS, TYPICAL
- W29 TERMITE SHIELD
- W30 8"x8"x16" REINFORCED CMU PIERS, FILL ALL CELLS WITH CONCRETE, 4000 PSI, CENTER CMU PIER ON GRADE BEAM, TYP.
- W31 PILE SUPPORTED REINFORCED GRADE BEAM, SEE SHEET A1.0
- W32 FLASH AND CAULK
- W33 1x HARD-PLANK TRIM (WATER TABLE)



1 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

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CERTIFIED CORRECT
STATE OF LOUISIANA
THOMAS M. SMITH
Licenses No. 21580
PROFESSIONAL ENGINEER
MECHANICAL
09/29/20

REVISION HISTORY

NO.	DESCRIPTION	DATE	NAME

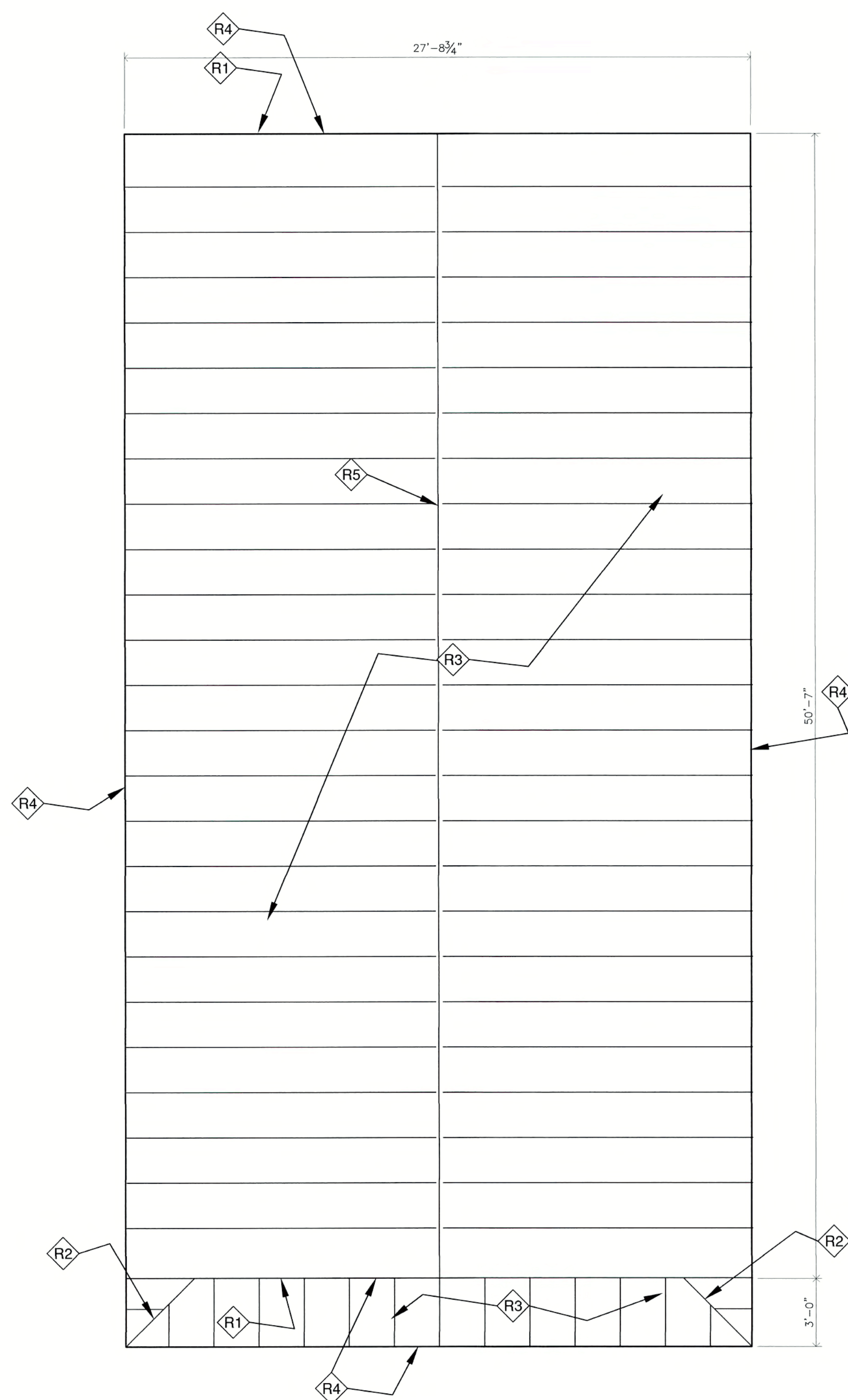
SHEET TITLE
**CEILING FRAMING
ROOF FRAMING
NOTES**

PROJECT#: 2206
PHASE: CD
DRAFTER: CHS
CHECKER: TS
SCALE: AS SHOWN
ISSUED: 09/29/20

SHEET#
A4.0
7 OF 10

ROOF FRAMING PLAN KEYNOTES

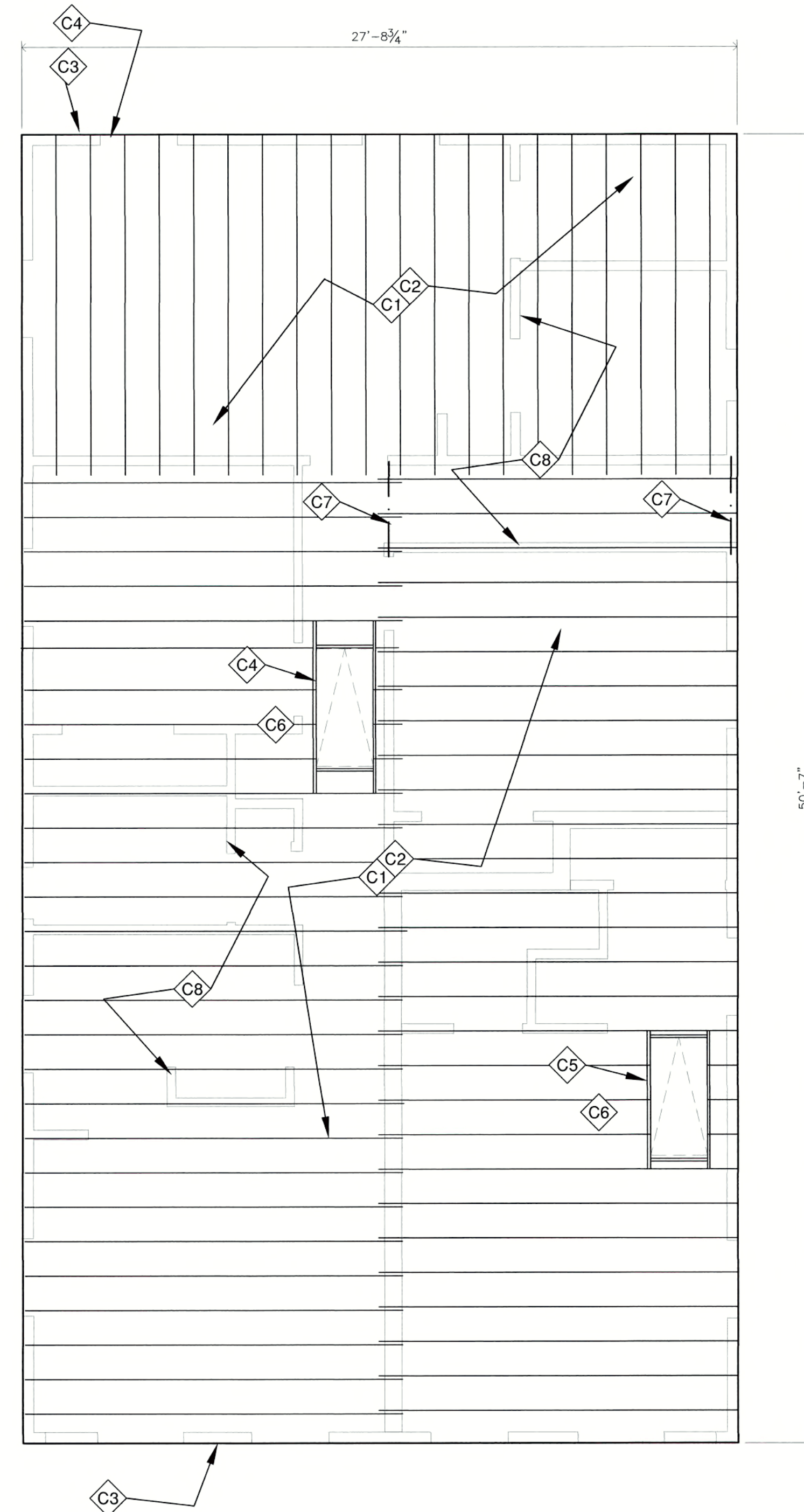
- R1 GABLE END WALL
- R2 2X10 JACK/RIDGE RAFTER
- R3 2X8 RAFTERS @ 24" O.C.
- R4 2x SUB-FASCIA
- R5 2X10 RIDGE BOARD



2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

CEILING FRAMING PLAN KEYNOTES

- C1 2x8 CEILING JOIST AT 16" O.C.
- C2 2x BLOCKING BETWEEN JOIST, TYPICAL
- C3 2x RIM JOIST
- C4 GABLE END WALL
- C5 2x8 JOIST FRAMING FOR NEW ATTIC ACCESS STAIR, CENTER ON HALLWAY.
- C6 PROVIDE NEW 1" 1/8" PLYWOOD DECK FOR RELOCATED A/HU AND WATER HEATER. SIZE OF PLATFORM TO BE DETERMINED IN THE FIELD. PROVIDE REQUIRED CLEARANCES PER CURRENT CODE.
- C7 PROVIDE HEADERS AS PER FRAMING NOTES, TYPICAL
- C8 WALLS BELOW



1 CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL FRAMING NOTES

1. ALL WOOD FRAMING, FABRICATION, AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NFPA, THE PLYWOOD DESIGN SPECIFICATION BY THE APA, AND MEET THE REQUIREMENTS BELOW. UNLESS NOTED OTHERWISE, ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE STANDARD BUILDING CODE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.
2. ALL FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, S4S NO. 2. MAXIMUM MOISTURE CONTENT 15%. STUD WALLS AND PARTITIONS SHALL BE SIZED AS FOLLOWS:
EXTERIOR WALLS - 2 X 4 STUDS AT 16" O.C.
FIRST FLOOR PARTITIONS - 2 X 4 STUDS AT 16" O.C.
WET WALLS - 2 X 6 STUDS AT 16" O.C.
BLOCK ALL STUD WALLS AT MID HEIGHT, RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE WITH 1/4" RAMSET PINS AT 16" O.C.
3. FLOOR, ATTIC AND ROOF FRAMING SHALL BE OF SIZES AS INDICATED ON THE PLANS AND SECTIONS. PROVIDE WOOD CROSS BRIDGING WHERE INDICATED ON DRAWINGS OR WHEN JOIST SPAN EXCEEDS EIGHT FEET. LOCATE THREE 2 X 12 BEAMS BELOW BEARING WALLS OF FLOOR ABOVE AS REQUIRED. BEAM SHALL BEAR ON ENTIRE WIDTH OF BEARING WALL TOP PLATE. LOCATE THREE STUDS AT BEAM BEARING POINTS BELOW DOUBLE TOP PLATE (SEE FRAMING NOTE #14). PROVIDE WOOD COLLAR BRACES AT EACH ROOF RAFTER 24" BELOW CROWN OF ROOF.
4. PLYWOOD SUB-FLOORING - APA RATED 48/24, 3/4" THICK TONGUE AND GROOVE, GLUED AND NAILED TO FLOOR JOISTS WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
5. PLYWOOD ROOFING - APA RATED 24/0, 5/8" THICK NAILED WITH 8D NAILS SPACED AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE PLYCLIPS AT UNSUPPORTED EDGES BETWEEN ROOF JOISTS.
6. WIND BRACING - PROVIDE APA RATED 4' X 8' X 1/2" PLYWOOD ON ALL EXTERIOR WALLS FROM BEAM TO UNDERSIDE OF RAFTERS. NAIL PLYWOOD EDGES WITH 8D NAILS AT 4" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES.
7. COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL, AND PLUMBING REQUIREMENTS.
8. CEILING HEIGHTS: SEE FINISH SCHEDULE.
9. JOIST HANGERS SHALL BE 16 GA. TYPE "U" AS MANUFACTURED BY SIMPSON STRONG TIES COMPANY. INSTALL JOIST HANGERS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR BEAMS AND JOISTS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE SAME SIZE AS MEMBERS SUPPORTED.
10. NOT USED.
11. OPENING HEADER SCHEDULE:
OPENINGS UP TO 3'-0" - (2) 2 X 6'S
OPENINGS 3'-0" TO 6'-0" - (2) 2 X 10'S
OPENINGS 6'-0" TO 18'-0" - (2) 2 X 12'S SANDWICHING 3/4" PLYWOOD GLUED AND SCREWED
12. BORED HOLES - 2" CLEAR FROM TOP OR BOTTOM EDGE OF JOIST, NOT LARGER THAN 1-1/4" DIA. AND NOT IN THE MIDDLE OF THE SPAN.
13. STRAP ALL PLATES CUT AWAY FOR PLUMBING WITH 1-1/2" WIDE 24 GA. GALVANIZED STRAPS 18" LONG ON BOTH SIDES OF WALL, SPIKED TO PLATES.
14. PROVIDE STUD POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAM. NAIL EACH STUD TO ADJACENT STUD IN THE POST WITH 16D NAILS AT 12" O.C. ON STUD CENTER LINE, AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING TOP AND BOTTOM.

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THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS, AND I AM NOT PROVIDING CONTRACT ADMINISTRATION.

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THOMAS M. SMITH
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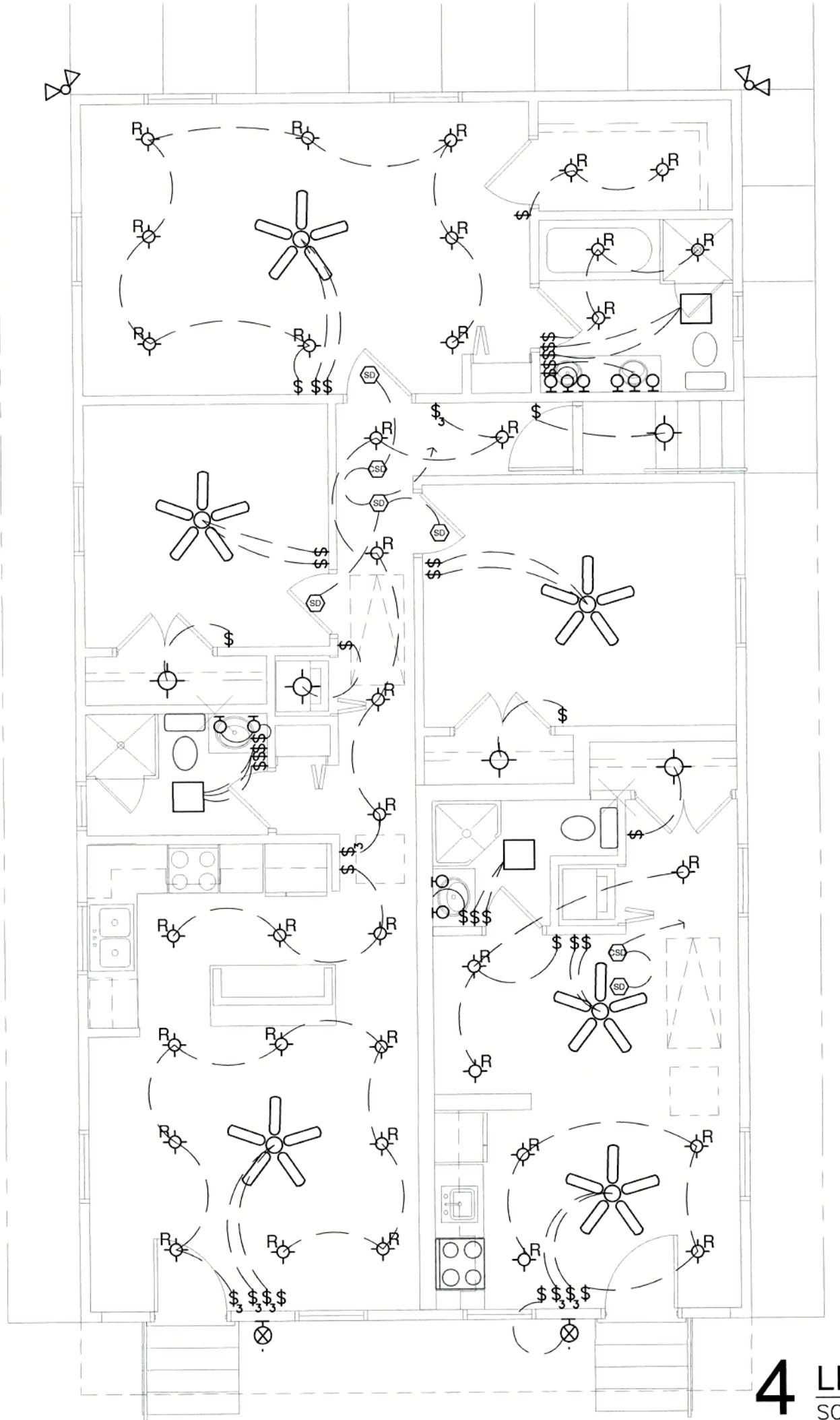
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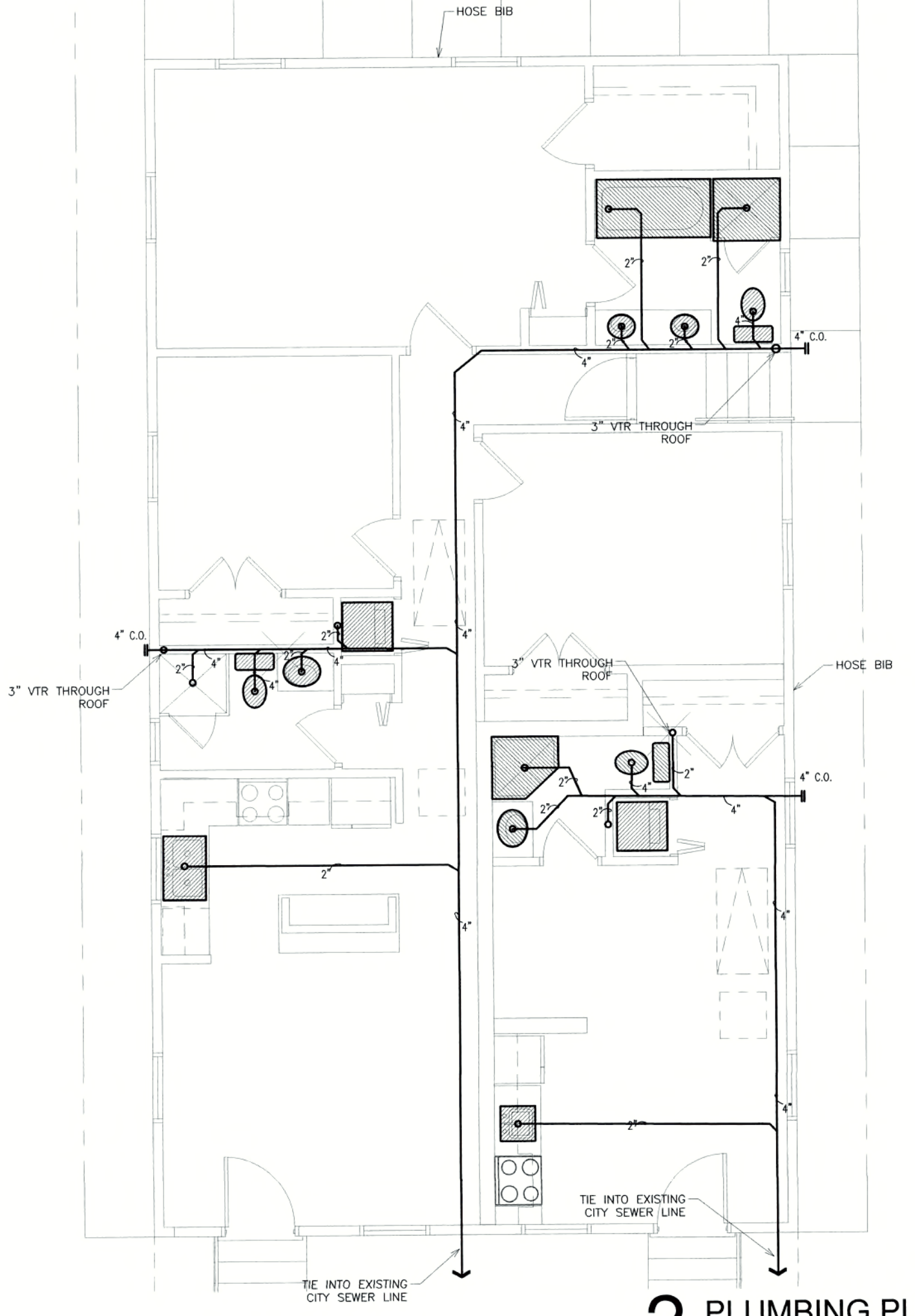
LIGHTING SYMBOLS LEGEND

- Ⓢ SINGLE POLE LIGHT SWITCH, DIMMER OPTIONAL
- ⓈⓈ 3-WAY LIGHT SWITCH, DIMMER OPTIONAL
- ⓐ CABLE JACK
- ☼ SMOKE DETECTOR TIE INTO HOUSE POWER WITH BATTERY BACK-UP
- ☼ COMBINATION CARBON MONOXIDE/SMOKE DETECTOR TIE INTO HOUSE POWER, WITH BATTERY BACK-UP
- ☼ CEILING FAN WITH LIGHT PACKAGE, DUAL CONTROL
- Ⓜ WALL MOUNTED INTERIOR LIGHT FIXTURE
- Ⓜ WALL MOUNTED EXTERIOR LIGHT FIXTURE
- Ⓟ PENDANT MOUNTED INTERIOR LIGHT FIXTURE
- Ⓜ RECESSED INTERIOR LIGHT FIXTURE, MOISTURE RESISTANT HOUSING IN BATHROOM AND OTHER WET AREAS
- Ⓜ CEILING MOUNTED LIGHT FIXTURE
- Ⓜ WALL MOUNTED MAKEUP LIGHT FIXTURE
- ☀ FLOOD LIGHT ON SOLAR BATTERY PACK, DUSK TO DAWN AND/OR MOTION SENSOR



4 LIGHTING PLAN
SCALE: 1/8" = 1'-0"

NOTE: ALL PLUMBING LINES AND FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. FINAL LAYOUT AND SIZES BY PLUMBING CONTRACTOR. APPROVED BY OWNER.



2 PLUMBING PLAN
SCALE: 1/8" = 1'-0"

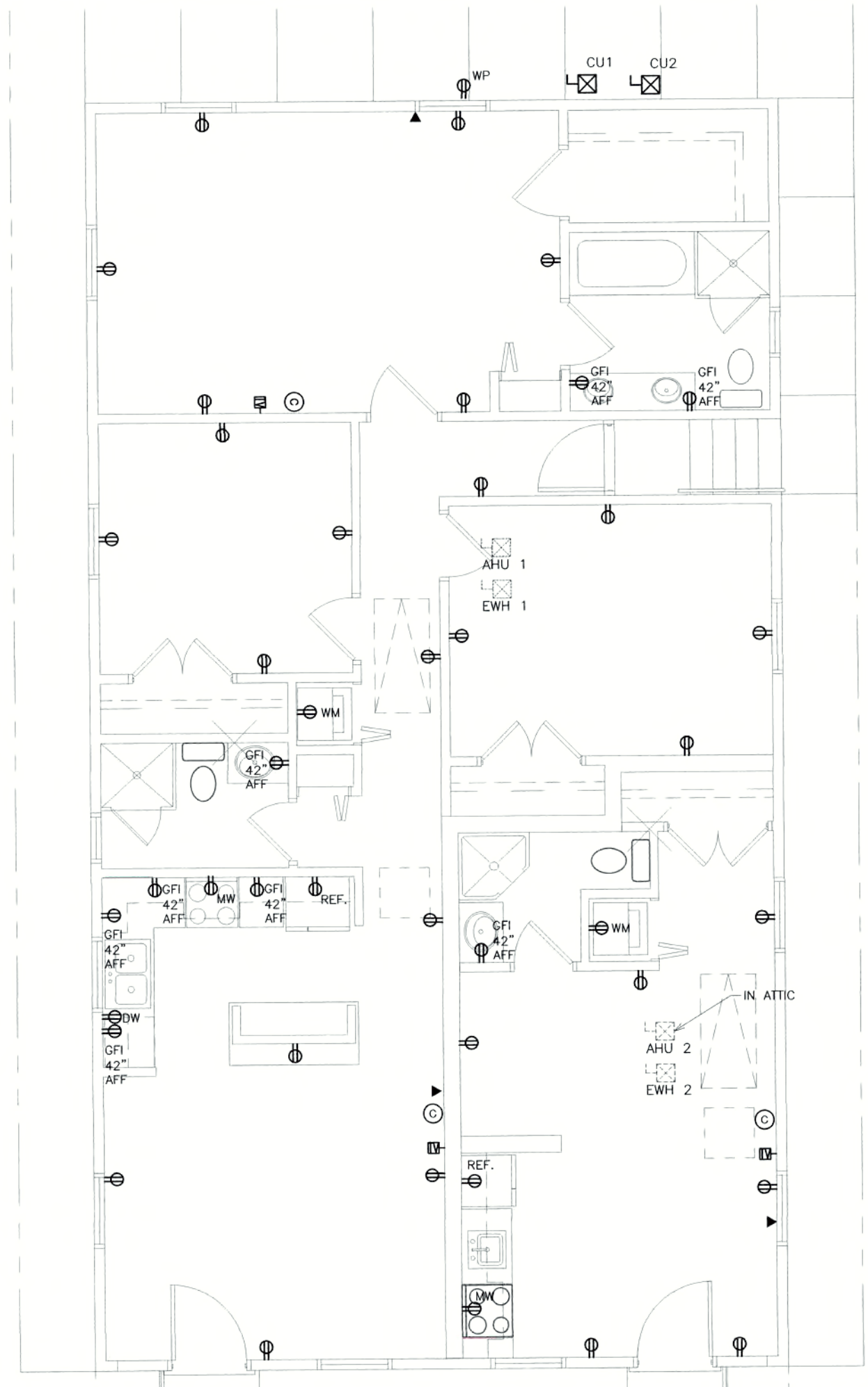
ELECTRICAL SYMBOLS LEGEND

- Ⓜ ELECTRICAL TV OUTLET
- Ⓜ ELECTRICAL OUTLET, 110V
- Ⓜ GFI ELECTRICAL OUTLET
- Ⓜ WEATHER PROOF ELECTRICAL OUTLET
- Ⓜ ELECTRICAL OUTLET, 220V
- Ⓜ TELEPHONE JACK
- Ⓜ STARTER/MOTOR

CIRCUIT REQUIREMENTS:

- LIGHTING CIRCUITS:**
950 SQ. FT. / 400 = 3 LIGHTING CIRCUITS REQUIRED (MIN.)
950 SQ. FT. AT 3 WATTS/SQ. FT. = 2,850 WATTS (MIN.)
- SPECIAL APPLIANCE CIRCUITS**
A MINIMUM OF TWO CIRCUITS AT 2400 WATTS EACH ARE REQUIRED IN THE KITCHEN AS ABOVE COUNTER CONVENIENCE OUTLETS.
- INDIVIDUAL APPLIANCE CIRCUITS**
ONE CIRCUIT FOR REFRIGERATOR
ONE CIRCUIT FOR DISHWASHER
ONE CIRCUIT FOR WASHER AND DRYER
ONE CIRCUIT FOR A/C & HEATING UNIT (240 VOLT)
ONE CIRCUIT FOR MICROWAVE OVEN
- NOTE:** CIRCUIT DESIGN SHALL MEET ALL UPDATED NATIONAL AND LOCAL CODES.

NOTE: ELECTRICAL SYSTEM AND COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. FINAL DESIGN LOADS, CIRCUITING AND LIGHTING LAYOUT BY ELECTRICAL CONTRACTOR. APPROVED BY OWNER.



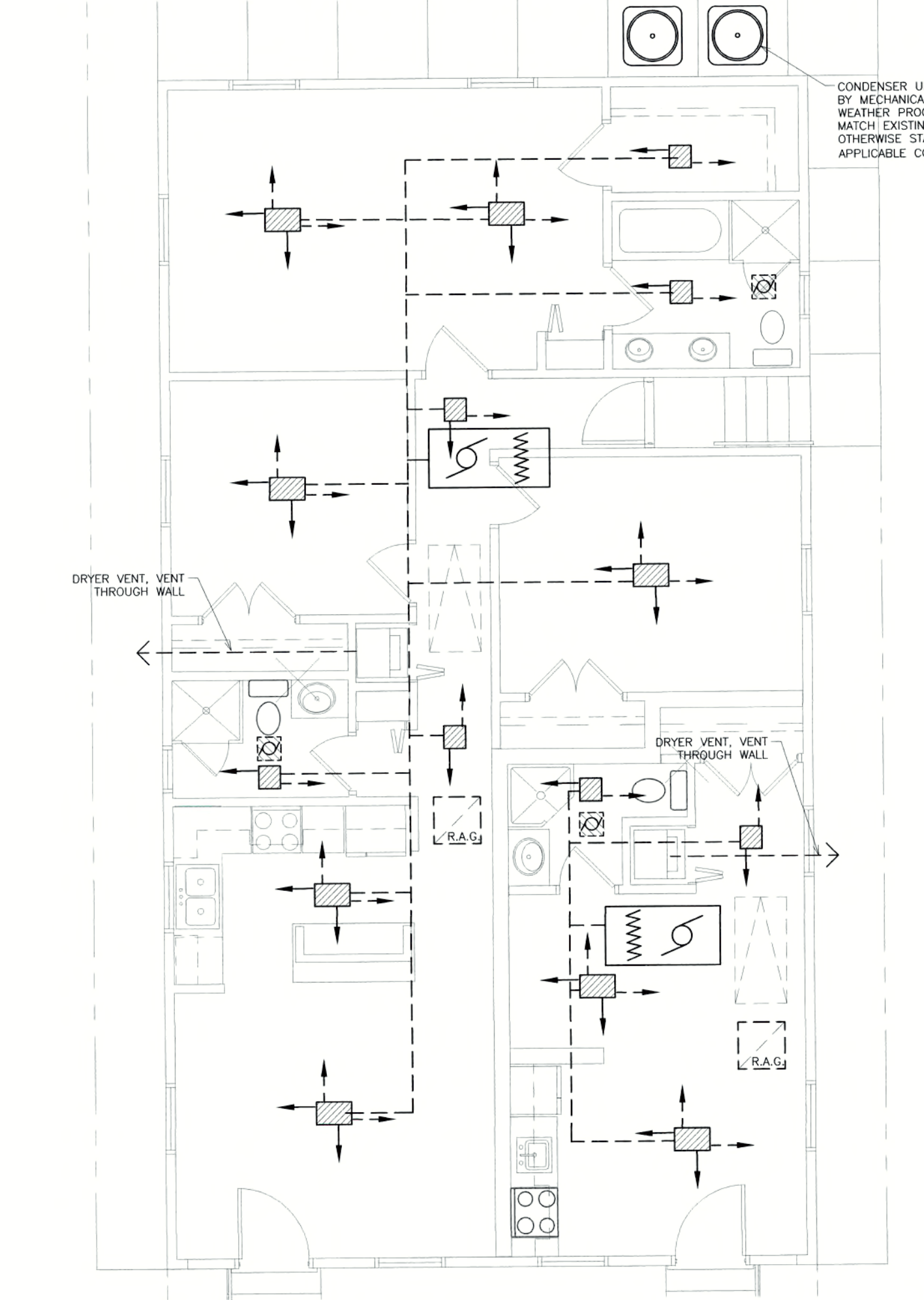
3 POWER PLAN
SCALE: 1/8" = 1'-0"

HVAC SYMBOLS LEGEND

- ☐ A/C DIFFUSER LARGE
- ☐ A/C DIFFUSER SMALL
- ☐ HEAT/VENT/FIXTURE
- DUCT WORK

NOTE: HVAC SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL A/C EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH N.F.P.A. BULLETIN 90A AND ALL LOCAL CODES. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

NOTE: A/C UNITS, EXHAUST FANS, AND DUCTS SIZED BY MECHANICAL CONTRACTOR. TYP. PROVIDE 3/4 T&G PLY-WOOD PLATFORM WITH REQUIRED CLEARANCE IN ATTIC.



1 HVAC PLAN
SCALE: 1/8" = 1'-0"

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GENERAL OUTLINE SPECIFICATIONS

NOTE: WHERE THE PLANS AND SPECIFICATIONS DIFFER, THE PLANS GOVERN.

1. GENERAL CONDITIONS

- A. VISITING SITE: THE CONTRACTOR SHALL VISIT THE JOB SITE BEFORE SUBMITTING HIS BID, AND ACQUAINT HIMSELF WITH ALL CONDITIONS THAT MAY GOVERN THE WORK UNDER THIS CONTRACT.
- B. LAWS AND ORDINANCES: THE CONTRACTOR SHALL ABIDE BY ALL CITY, PARISH AND STATE LAWS AND BUILDING CODES.
- C. CONTRACT DRAWINGS: THE CONTRACT DOCUMENTS SHALL CONSIST OF THE DRAWINGS, THESE SPECIFICATIONS AND THE WRITTEN CONTRACT.
- D. CHANCE ORDERS: ALL CHANGES TO THE CONTRACT DOCUMENTS, WHETHER THEY BE ADDITIONS OR OMISSIONS, SHALL BE MADE IN WRITING BETWEEN THE OWNER AND THE CONTRACTOR WITH A SET PRICE (CREDIT OR EXTRA) BEFORE THE CONTRACTOR SHALL PROCEED WITH THE WORK.
- E. PERMITS: THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS THAT MAY BE REQUIRED TO COMPLETE THE WORK CALLED FOR IN THE CONTRACT.
- F. DIMENSIONS: FIGURED DIMENSIONS ON DRAWINGS SHALL AT ALL TIMES TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY ERRORS ON DRAWINGS SHALL BE CALLED TO THE ATTENTION OF THE DESIGNER. HIS DECISION AS TO THE INTENT OF THE DRAWINGS SHALL BE FINAL AND ACCEPTED BY BOTH THE OWNER AND THE CONTRACTOR.
- G. BOND: THE CONTRACTOR SHALL FURNISH, IF REQUIRED BY THE OWNER, A SURETY BOND FOR 100% OF THE CONTRACT AS A SECURITY FOR FAITHFUL PERFORMANCE OF THE CONTRACT.
- H. CERTIFICATES: THE CONTRACTOR SHALL DELIVER TO THE OWNER UPON COMPLETION OF THE WORK A LIEN CERTIFICATE TO ASSURE OWNER THAT SAID PROJECT IS FREE AND CLEAR OF ALL LIENS.
- I. INSURANCE: THE CONTRACTOR SHALL MAINTAIN DURING THE LIFE OF THE CONTRACT ADEQUATE WORKMAN'S COMPENSATION INSURANCE FOR ALL OF HIS EMPLOYEES EMPLOYED AT THE SITE, AND REQUIRE ALL SUBCONTRACTORS TO PROVIDE SIMILAR COVERAGE. THE CONTRACTOR SHALL MAINTAIN PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE WITH LIMITS OF \$25,000/\$100,000 PUBLIC LIABILITY AND \$5,000/\$25,000 PROPERTY DAMAGE. THE OWNER SHALL TAKE OUT AND MAINTAIN DURING THE LIFE OF THE CONTRACT BUILDER'S RISK AND TORNADO INSURANCE IN THE AMOUNT OF 100% OF THE CONTRACT.
- J. WORKMANSHIP: ALL WORKMANSHIP SHALL BE IN THE BEST WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO EMPLOY AN ARCHITECT, DESIGNER, OR OTHER CONSTRUCTION EXPERT TO SUPERVISE THE WORK IN ACCORDANCE WITH THE CONTRACT.
- K. MATERIAL: ALL MATERIAL SPECIFIED OR CALLED FOR ON THE DRAWINGS SHALL BE NEW MATERIAL; IT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- L. CLEANING: THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AT ALL TIMES, AND SHALL REMOVE ALL SURPLUS MATERIAL AND RUBBISH FROM SITE. UPON COMPLETION THE CONTRACTOR SHALL LEAVE THE BUILDING CLEAN AND IN SUITABLE CONDITION FOR OWNERS OCCUPANCY.
- M. RESIDENTIAL CONSTRUCTION: THE "FHA" MINIMUM PROPERTY STANDARDS FOR ONE AND TWO LIVING UNITS NO. 300 LATEST REVISION ARE HEREBY MADE A PART OF THESE SPECIFICATIONS.

2. SITE WORK

- A. THE CONTRACTOR SHALL PROVIDE NECESSARY SITE CLEANING AND ROUGH GRADING AS REQUIRED TO PREPARE THE SITE FOR CONSTRUCTION.

3. FILL

- A. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY RIVER SAND FILL TO BRING FINISHED LOT TO GRADE REQUIRED BY THE CITY OR PARISH CODE (SEE NO. 22 OUTSIDE WORK GRADING). THE CONTRACTOR SHALL ALSO FURNISH ALL NECESSARY PUMP SAND FILL UNDER FLOOR SLAB TO BRING SLAB ELEVATION TO HEIGHT SHOWN ON DRAWINGS, OR TO MIN. CITY OR PARISH FLOOD ELEVATION OF 24" ABOVE STREET CURB.

4. EXCAVATION

- A. EXCAVATIONS SHALL BE CARRIED TRUE AND PLUMB TO LEVEL SURFACES TO DEPTHS SHOWN ON PLANS. EXCAVATIONS SHALL BE KEPT FREE FROM ALL WATER, LOOSE SOIL AND DEBRIS WHILE CONCRETE IS BEING PLACED.

5. TERMITE PROOFING

- A. CONTRACTOR SHALL EMPLOY A LICENSED, BONDED, APPROVED TERMITE COMPANY TO TREAT SOIL UNDER CONCRETE GRADE BEAMS, ALL TO BE INSTALLED IN ACCORDANCE WITH PRODUCT SPECIFICATIONS WITH WRITTEN BOND GIVEN TO THE OWNER UPON COMPLETION OF THE WORK.

6. FOUNDATIONS-FLOOR SLAB

- A. FORM: ALL FORMING SHALL BE OF SOUND LUMBER WELL BRACED, SET TO A LINE AND TO PROPER ELEVATIONS SHOWN ON DRAWINGS.
- B. WATERPROOFING: FURNISH AND INSTALL UNDER CONCRETE GRADE BEAMS ONE LAYER OF .006 VISQUEEN IN SHEET SIZES TO SUIT GRADE BEAM SPACING.
- C. REINFORCING: ALL REINFORCING SHALL BE OF SIZE AND SPACING SHOWN ON DRAWINGS.
- D. CONCRETE: ALL CONCRETE SHALL BE SO PROPORTIONED AS TO ATTAIN 4,000 P.S.I. MIN. COMPRESSIVE STRENGTH IN 28 DAYS, AND SHALL BE POURED IN ONE CONTINUOUS OPERATION.
- E. WOOD PILING: WOOD PILING, IF REQ'D. BY FOUNDATION PLAN, SHALL BE OF SIZE AND SPACING SHOWN AND SHALL BE TO GRADE SHOWN.

7. CARPENTRY-LUMBER

- A. GENERAL: DIMENSIONS GENERALLY ARE INDICATED ON DRAWINGS, BUT WHERE THEY ARE NOT OR WHERE THERE MAY BE SOME DOUBT AS TO THE SIZE OR SPACING TO BE USED, SELECTION SHALL MEET THE STRUCTURAL REQUIREMENTS OF THE SITUATION AS TO STRENGTH AND STIFFNESS. ALL DECISIONS IN THESE MATTERS ARE SUBJECT TO THE APPROVAL OF THE DESIGNER. ALL WORK SHALL BE PROPERLY FRAMED, CLOSELY FITTED, ACCURATELY SET TO REQUIRED LINES, AND RIGIDLY NAILED, SCREWED, OR BOLTED IN POSITION.
- B. MATERIAL: SEE DRAWINGS
 - WOOD STUDS:
 - FLOOR JOISTS:
 - CEILING JOISTS:
 - RAFTERS:
 - SUB FLOORING:
 - SHEATHING WALL:
 - SHEATHING ROOF:
 - WOOD SIDING:
 - ATTIC FLOORING:

8. DRYWALL CONSTRUCTION

- A. MATERIAL: 1/2" THICK (OR AS INDICATED ON DRAWING) SHEETROCK (OR EQUAL) GYPSUM WALL BOARD AS MANUFACTURED BY U.S. GYPSUM CO. (OR EQUAL)
- B. SHEETROCK SHALL BE NAILED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL CUTOUPS SHALL BE DONE IN A NEAT WORKMANLIKE MANNER. JOINTS SHALL BE REINFORCED WITH PERF-A-TAPE (OR EQUAL) AND PERF-A-TAPE CEMENT; TOPPING SHALL BE MIXED AND FLOATED OVER ALL JOINTS AND NAIL HEADS TO INSURE A SMOOTH AND EVEN SURFACE.
- C. FINISHING: SHEETROCK WALLS AND CEILINGS SHALL HAVE A SPRAYED OR ROLLED FINISH. TEXTURE AND DESIGN OF FINISH TO BE SELECTED BY OWNER.

9. MILLWORK

- A. GENERAL: ALL MILLWORK SHALL BE MADE BY A MILL APPROVED BY THE OWNER OR DESIGNER. NO MILLWORK TO BE JOB MADE WITHOUT WRITTEN APPROVAL OF THE OWNER OR DESIGNER.
- B. MATERIAL: ALL MILLWORK SHALL BE "B" GRADE. ALL MILLWORK SHALL BE FREE FROM ALL BLEMISHES ON EXPOSED SURFACES. ALL MILLWORK THAT IS TO HAVE NATURAL OR STAINED FINISHES SHALL BE UNIFORM IN COLOR SO AS TO INSURE EVEN, NATURAL FINISH.
- C. ATTIC STAIR: IF REQ'D. BY DRAWINGS, SHALL BE "ROYAL" OR EQUAL FOLDING ATTIC STAIR, LENGTH AS REQ'D. BY CLG. HEIGHT.
- D. WOOD DOORS: SEE SCHEDULE OF DOORS ON DRAWINGS.

10. CABINET WORK

- A. GENERAL: ALL CABINET WORK, UNLESS OTHERWISE SPECIFIED, SHALL BE FACTORY MADE AND FINISHED.
- B. KITCHEN CABINETS: SEE "ALLOWANCES", "MANUFACTURER INFO" AND PLANS.
- C. VANITIES: SEE "ALLOWANCES", "MANUFACTURER INFO" AND PLANS.
- D. KITCHEN COUNTER TOPS: SHALL BE POST FORMED FORMICA OR EQUAL WITH FULL BACK SPLASH.
- E. VANITY TOPS:
- F. SPECIAL BUILT-INS:

11. BRICK WORK (NOT USED THIS JOB)

- A. GENERAL: FURNISH AND INSTALL BRICK VENEER FACING WHERE SHOWN ON DRAWINGS. BRICK SHALL BE LAID IN A COMMON BOND (UNLESS OTHERWISE SHOWN ON PLANS) WITH 3/8" OR 1/2" JOINTS.
- B. WALL TIES: BRICK SHALL BE TIED TO WOOD STUDS WITH GALV. WALL TIES 16" O.C. EVERY 5TH COURSE.
- C. MORTAR: MORTAR SHALL BE ONE PART PORTLAND CEMENT, ONE PART LIME, AND SIX PARTS MASON SAND (OR INDUSTRY STD.).
- D. CLEANING BRICK: ALL BRICK SHALL BE WASHED DOWN WITH ACID AND WATER UNTIL BRICKS ARE FREE FROM MORTAR STAINS, SPOTS AND SMEARS.
- E. BRICK ALLOWANCE AND SELECTION: BRICK TO BE SELECTED BY OWNER FROM SAMPLES AT A LOCAL BRICK YARD. SEE "ALLOWANCES" FOR CASH ALLOWANCE FOR BRICK PURCHASE.

12. WINDOWS

- A. GENERAL: ALL WINDOWS TO BE FACTORY MADE WITH FACTORY WEATHER-STRIPPING. SEE SCHEDULE ON DRAWINGS FOR SIZE AND DESCRIPTION.
- B. WINDOW MAKE: TBD
- C. MATERIAL: SEE DRAWINGS
- D. GLASS: SEE DRAWINGS
- E. SCREENS: SEE DRAWINGS
- F. SPECIAL WINDOWS: GABLE END FIXED WINDOW UNIT. SEE DRAWINGS.
- G. SKYLIGHTS: SKYLIGHTS SHALL BE AN ACRYLIC DOMED SKYLIGHT, VELUX MODEL CM, MANUFACTURED BY VELUX AMERICA, 450 OLD BRICKYARD ROAD, GREENWOOD, SC 29648, 888-878-3589. THE SKYLIGHT SHALL BE A FACTORY-ASSEMBLED, CURB MOUNTED UNIT WELDED USING A 6063 EXTRUDED ALUMINUM RETAINING ANGLE AND AN EXTRUDED ALUMINUM INNER FRAME PROVIDING A LEAK-PROOF DESIGN. IT SHALL INCLUDE A FULL POLYURETHANE THERMAL BREAK AND WEEP SYSTEM TO MINIMIZE CONDENSATION. THE SKYLIGHT SHALL BE DOUBLE DOMED WITH [CLEAR ACRYLIC] [BRONZE ACRYLIC] [WHITE ACRYLIC] [POLYCARBONATE] OVER [CLEAR] [WHITE] ACRYLIC.

13. INSULATION

- A. GENERAL: FURNISHED AND INSTALL WHERE SHOWN ON DRAWINGS FULL THICK FIBERGLASS ON ALUMINUM VAPOR BARRIER BACKING BATT INSULATION. WALLS TO BE MIN. R-19 AND CEILING TO BE MIN. R-30.

14. SHEETMETAL

- A. GENERAL: FURNISH AND INSTALL ALL SHEETMETAL WORK SHOWN ON DRAWINGS OR AS REQ'D. TO COMPLETE THE WORK UNDER THE CONTRACT.
- B. MATERIAL: 26 GA. GALV. IRON.
- C. SOLDER: 1/2 PIG LEAD AND 1/2 TIN WITH ROSIN USED AS FLUX.
- D. WORKMANSHIP: ALL WORK EXPOSED TO WEATHER SHALL BE MADE WATER TIGHT. ALL WORK TO BE DONE IN THE BEST WORKMANLIKE MANNER.

15. ROOFING

- A. SHINGLE:
- B. INSTALLATION: ALL ROOFING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

16. PAINTING

- A. EXTERIOR: ALL WOODWORK AND SHEETMETAL INDICATED SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS OF EXTERIOR OIL BASE PAINT.
- B. INTERIOR: SHEETROCK - TWO COATS LATEX WALL PAINT, WOODWORK - ONE PRIME COAT AND TWO FINISH COATS OF NATURAL FINISH OR PAINT AS SELECTED BY OWNER.
- C. MATERIAL: ALL PAINT SHALL BE "DEVOE" OR EQUAL BEST GRADE AS RECOMMENDED BY MANUFACTURER FOR USE INTENDED. ALL COLORS TO BE SELECTED BY OWNER FROM MANUFACTURER'S COLOR CHARTS.

17. HARDWARE

- A. GENERAL: SEE "ALLOWANCES" FOR CASH ALLOWANCE FOR PURCHASE OF FINISHED HARDWARE TO BE SELECTED BY OWNER.
- B. OUTSIDE DOORS: ONE LOCK SET, 1 1/2 PAIR HINGES WITH ALUMINUM THRESHOLD.
- C. INSIDE DOORS: ONE LATCH SET AND ONE PAIR HINGES.

18. CERAMIC TILE

- A. GENERAL: TILE WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST "TILE COUNCIL OF AMERICA" U.S.A. STD. SPECIFICATIONS NO. A-108-1,2,3,4 & 5 AS APPLICABLE TO WORK SHOWN ON DRAWINGS AND CALLED FOR BELOW.
- B. CERAMIC TILE FLOOR:
- C. CERAMIC TILE WALLS:
- D. CERAMIC TILE TUB ALCOVE:
- E. CERAMIC TILE CEILING:
- F. FIXTURES: EACH BATHROOM - ONE PAPER HOLDER, ONE TOWEL BAR; POWDER ROOM - ONE TOWEL BAR OR RING ALL TO BE TILE OR CHROME AS SELECTED BY OWNER. MEDICINE CABINET OR MIRROR TO BE INSTALLED AT OWNER'S CHOICE.

19. ELECTRICAL

- A. GENERAL: THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE LOCATIONS AND TYPES OF ALL FIXTURES AND SWITCHES FOR A COMPLETE ELECTRICAL SYSTEM. THE LOCATION OF OUTLETS AS SHOWN ON DRAWINGS SHALL BE CONSIDERED APPROXIMATE. WHEN THERE MAY BE SOME DOUBT, CONTRACTOR SHALL CHECK LOCATION WITH OWNER BEFORE INSTALLATION. THE LATEST REVISION OF THE NATIONAL ELECTRICAL CODE SHALL BE CONSIDERED PART OF THESE SPECIFICATIONS. THE INSTALLATION SHALL ALSO CONFORM TO THE LATEST CITY AND PARISH ORDINANCES AND TO THE RULES OF THE LOCAL POWER AND LIGHT CO.
- B. CIRCUITS: GENERAL PURPOSE -15 OR 20 AMPS; APPLIANCE -20 AMPS; SPECIAL OUTLETS AS REQ'D. BY EQUIPMENT SERVED. (NO CIRCUIT SHALL BE LOADED OVER 80% CAPACITY).
- C. WIRE SIZE: 15 AMP = #14 WIRE; 20 AMP = #12 WIRE; 30 AMP = #10 WIRE; 40 AMP = #8 WIRE; 60 AMP = #6 WIRE. ALL WIRING TO BE NON-METALLIC AND COPPER CORE.
- D. FIXTURES: CONTRACTOR SHALL FIGURE TO INSTALL ALL FIXTURES COMPLETE WITH LAMPS. FOR CASH ALLOWANCE TO COVER CONTRACTORS ACTUAL COST OF ALL ELECTRICAL FIXTURES SEE "ALLOWANCES". ALL FIXTURES TO BE SELECTED BY THE OWNER.
- E. SWITCHES: ALL SWITCHES SHALL BE SILENT TYPE THAT CONTROL LIGHT FIXTURES.

20. PLUMBING

- A. GENERAL: ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REGULATIONS OF THE STATE BOARD OF HEALTH AND ALL LOCAL CODES. ALL WORK SHALL BE CLEANED AND TESTED BEFORE BUILDING IS TURNED OVER TO OWNER.
- B. PIPING: ALL SEWER PIPES TO BE ABS SUSPENDED FROM CONCRETE SLAB. ALL WATER PIPES TO BE COPPER TUBING 3/4" TO COLD WATER OUTLETS, AND 1/2" TO HOT WATER OUTLETS. GAS PIPING STD. BLACK PIPE SIZED TO SUIT.
- C. METERS: WATER METER 3/4" WHERE LOCATED BY WATER CO. GAS METER 3/4" WHERE LOCATED BY GAS CO.
- D. SILL COCKS: SEE DRAWING FOR NUMBER AND LOCATION.
- E. CLEAN OUTS: PROVIDE SEWER CLEANOUTS AT ALL HORIZONTAL RUNS.
- F. SHUT OFF VALVE: PROVIDE SHUT-OFF VALVES AT ENTRANCE OF WATER AND GAS SYSTEMS AND AT ALL GAS OUTLETS. ALSO AT TOILETS, SINKS AND LAVATORIES.

21. HEATING AND AIR CONDITIONING

- A. GENERAL: FURNISH AND INSTALL A COMPLETE SUMMER AND WINTER AIR CONDITIONING SYSTEM AS OUTLINED BELOW. SYSTEM SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- B. EQUIPMENT: SHALL BE CARRIER, TRANE OR EQUAL FURNACE, COOLING COIL AND COMPRESSOR WITH STD. FACTORY WARRANTY.
- C. DESIGN: SYSTEM SHALL BE DESIGNED BY A/C CONTRACTOR TO GUARANTEE 78 DEGREE DRY BLUB, AND A COMFORTABLE RELATIVE HUMIDITY OF 50% INSIDE WHEN IT IS 95 DEGREE DRY BLUB AND 80 DEGREE WET BLUB OUTSIDE FOR COOLING AND 75 DEGREE INSIDE WHEN IT IS 25 DEGREE OUTSIDE FOR HEATING.
- D. DUCTS: 26 GA. GALV. IRON WITH 1" THICK FIBERGLASS INSULATION SIZED TO SUIT AREA SERVED, ALL IN ACCORDANCE WITH THE STANDARDS OF THE N.B.F.U. PAMPHLET NO. 90A, TABLE NO.1 ALL DUCT BRANCHES TO BE FLEX DUCT TO REQ'D. SIZE COMPLETE WITH DAMPERS TO REGULATE AIR FLOW. ALL GRILLS TO BE METAL PAINTED TYPE.
- E. DRAWINGS: A/C CONTRACTOR SHALL SUBMIT TO THE GENERAL CONTRACTOR FOR HIS APPROVAL AIR CONDITIONING AND HEATING DRAWINGS SHOWING DUCT LAYOUT AND SPECIFICATIONS ALL IN ACCORDANCE WITH VA PAMPHLET 26A-3 REVISED SEPT. 1978 BEFORE INSTALLATION OF SYSTEM.

22. OUTSIDE WORK

- A. DRIVEWAYS AND SIDEWALKS: 4" THICK 2,500 P.S.I. CONC.
- B. SPLASH BLOCKS: 18" X 24" CONC. AT EACH DOWNSPOUT.
- C. YARD GRADING: FINE GRADE LOT TO REQ'D. ELEV. WITH APPROX. 2" OF GOOD TOP SOIL.

23. CASH ALLOWANCES (NOT USED THIS JOB)

- A. KITCHEN CABINETS: F.O.B. JOB SITE.
- B. VANITIES: F.O.B. JOB SITE.
- C. HARDWARE: F.O.B. JOB SITE.
- D. ELECTRICAL FIXTURES: F.O.B. JOB SITE.
- E. KITCHEN APPLIANCES: F.O.B. JOB SITE.
- F. PRE-FINISHED PAINELING: F.O.B. JOB SITE. (SHEET)
- G. INTERCOM SYSTEM: F.O.B. JOB SITE.
- H. BUILT IN VACUUM CLEANER: INSTALLED COMPLETE
- I. CARPET AND PAD: SQ. YD. INSTALLED.
- J. VINYL WALL COVERING: PER SINGLE ROLL MAT.
- K. BRICK: PER "M" F.O.B. JOB SITE.

24. SPECIAL FINISHES AND EQUIPMENT

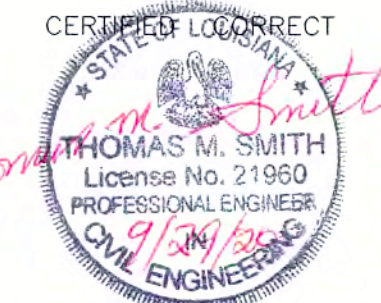


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MLK New Duplex
(Three Bedroom + One Bedroom Studio)
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A Blue Crescent Enterprises Project

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REVISION HISTORY			
NO.	DESCRIPTION	DATE	NAME

SHEET TITLE

GENERAL OUTLINE SPECIFICATIONS

PROJECT# **2206**
PHASE: **CD**
DRAFTER: CHS
CHECKER: TS
SCALE: AS SHOWN
ISSUED: **09/29/20**

SHEET#
SP1.0