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Tracking Number _____

LAND-USE REQUEST APPLICATION

Covid-19 Submittal Protocol: Please submit complete applications via email to CPCinfo@nola.gov. Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant.

Type of application: Text Amendment Zoning Change Conditional Use/Planned Development

Address of Property for which this application is being filed. 4068 Tulane Avenue, New Orleans, LA 70119

APPLICANT INFORMATION

Applicant Identity: Property Owner Agent

Applicant Name Tulane and Carrollton LLC

Applicant Address 730 Pierce Street

City New Orleans State LA Zip 70119

Applicant Contact Number 504-799-9335 Email avery@shermanstrategiesllc.com

PROPERTY OWNER INFORMATION

SAME AS ABOVE

Property Owner Name _____

Property Owner Address _____

City _____ State _____ Zip _____

Property Owner Contact Number _____ Email _____

SPECIFIC ZONING REQUEST

Conditional use for a drive-through in an MU-2 zoning district and a fast-food restaurant in HUC Historic Urban Corridor Use Restriction Overlay District.

PROPERTY LOCATION

Square Number(s) 763 Lot Number(s) 1

Bounding Streets Tulane, Carrollton, S. Pierce, I-10

Zoning MU-2 Mixed Use High Density; HUC and EC Overlay Districts Municipal District 1

Tax Bill Number 105305003 Planning District 4

DESCRIPTION OF PROJECT (Attachments are acceptable)

This proposal is for a new Chick-fil-A restaurant. The proposal is to demolish the existing structure and build a new approximately 2,600 square foot restaurant spaced further from Carrollton Avenue than the existing building. The new site plan would include two drive through lanes, thirty stacking spaces, nineteen parking spaces, and sixteen patio seats.




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ACKNOWLEDGMENTS

I (we) hereby affirm that ownership and property information presented on this application is current and accurate and, further, that the undersigned meet the requirements of Article 16 of the Comprehensive Zoning Ordinance to submit this application. I (we) acknowledge that inaccurate or incomplete ownership, improper authorization, or property identification will make this application and resulting actions null and void. I (we) the undersigned owner and authorized agent of the area of land described above, hereby submit for your approval the above stated request.

Owner Signature  Date 4/29/21

Agent Signature _____ Date _____

If ownership is joint, each owner must be listed. If ownership is a partnership, the Partnership Agreement must be included. If ownership is a corporation, Articles of Incorporation (full document filed with the Secretary of State) and a Board Resolution authorizing an individual or agent to sign on its behalf must be included. If ownership is a LLC, Articles of Organization (full document filed with the Secretary of State) and legal documentation authorizing an individual or agent to sign on its behalf must be included. If necessary, submit proof of ownership documents, such as copies of the recorded act of sale, act of exchange, act of donation, cash sale or deed.

STATE OF LOUISIANA, PARISH OF ORLEANS

Before me, the undersigned authority, personally appeared the person(s) whose signature are affixed above, all of the full age of the majority, who declared under oath to me, Notary, that they are the owners or authorized agents of the property described above, and that their signatures were executed freely and voluntarily and that they are duly qualified to sign.

Sworn to and subscribed before me this 29 day of April 2021

My Commission expires upon death. 



Michael G. Sherman
Notary Public
Notary ID No. 87002
Orleans Parish, Louisiana
My Commission is for Life

Consent, Authorization, and Resolution of
TULANE AND CARROLLTON LLC

I, Sidney Torres, IV, being the Sole Member of TULANE AND CARROLLTON LLC (the "Company") do hereby certify that the following resolution was adopted by the Company at a meeting of the Company duly convened and held on the 29 day of April , 2021;

WHEREAS, Sidney Torres, IV ("Authorized Individual") is the Sole Member of the Company;

WHEREAS, the Company authorizes the submittal of a land use application with the City of New Orleans relative to the property owned by the Company at 4068 Tulane Avenue, New Orleans, LA 70119;

NOW, THEREFORE, the Company hereby authorizes Sidney Torres, IV to do the following:

- (a) To sign any and all documents relating to this land use application;
- (b) Generally to do and perform any and all acts and sign any and all agreements, obligations, instruments, and other writings of any kind whatsoever in connection with the authorizations granted herein.

The Company agrees that the Authorized Individual is hereby authorized, empowered and directed to execute and deliver all instruments, documents, agreements and other writings in connection to the applications authorized herein. The Company and all parties thereto shall be bound by all instruments, documents, agreements and other writings executed by the Authorized Individual.

Any person, to whom any representative of the Company gives an original of this Consent, Authorization and Resolution is hereby authorized and entitled to rely on the authorizations granted herein unless and until written instructions to the contrary, signed by an Officer of the Company, are delivered to that person.

Sign: 

By: Sidney Torres, IV
on behalf of,
"TULANE AND CARROLLTON LLC"

R. Kyle Ardoin
SECRETARY OF STATE

State of Louisiana
Secretary of State



COMMERCIAL DIVISION
225.925.4704

12/08/2020

Administrative Services
225.932.5317 Fax
Corporations
225.932.5314 Fax
Uniform Commercial Code
225.932.5318 Fax

ONLINE FILING
patrick@shermanstrategiesllc.com

TULANE AND CARROLLTON LLC

It has been a pleasure to approve and place on file your articles of organization. The appropriate evidence is attached for your files.

Payment of the filing fee is acknowledged by this letter.

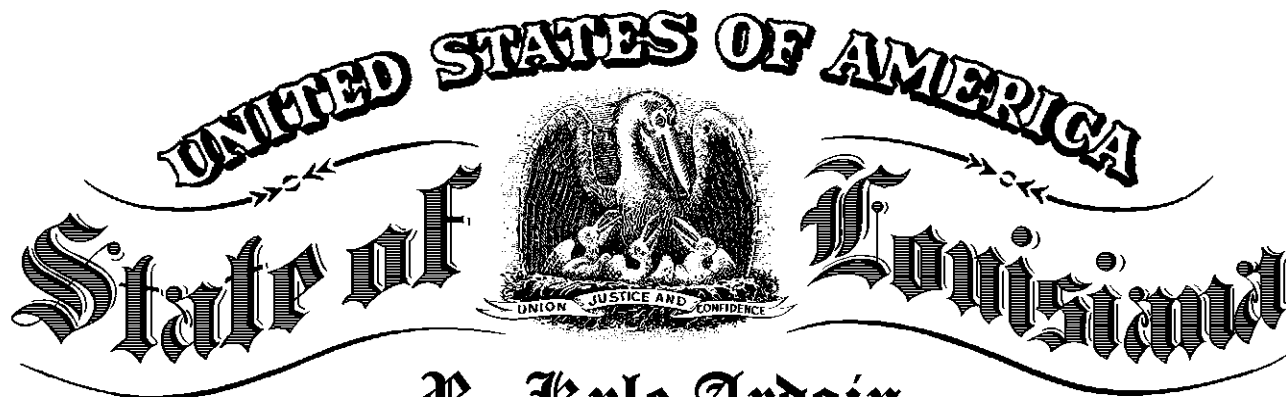
In addition to email and text notifications, business owners now have the option to enroll in our secured business filings (SBF) service. This service is available online, at no charge, by filing a notarized affidavit. Upon enrollment, an amendment cannot be made to your entity without approval using your personal identification number. This is another way to protect your business from fraud and identity theft.

Please note that as of January 1, 2018, business owners in the following parishes will be required to file all available business documents online through **geauxBIZ**: Ascension, Bossier, Caddo, Calcasieu, East Baton Rouge, Jefferson, Lafayette, Livingston, Orleans, Ouachita, Rapides, St. Tammany, Tangipahoa and Terrebonne.

Online filing options are available if changes are necessary to your registration or if you need to file an annual report. Please visit our website at **GeauxBiz.com** for your future business needs.

Sincerely,

The Commercial Division
WEB



R. Kyle Ardoin

SECRETARY OF STATE

As Secretary of State of the State of Louisiana, I do hereby Certify that

a copy of the Articles of Organization and Initial Report of

TULANE AND CARROLLTON LLC

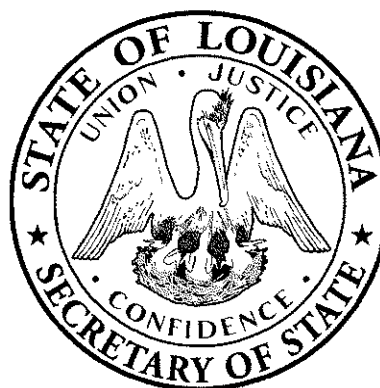
Domiciled at NEW ORLEANS, LOUISIANA,

Was filed and recorded in this Office on December 08, 2020,

And all fees having been paid as required by law, the limited liability company is authorized to transact business in this State, subject to the restrictions imposed by law, including the provisions of R.S. Title 12, Chapter 22.

In testimony whereof, I have hereunto set my hand and caused the Seal of my Office to be affixed at the City of Baton Rouge on,

December 8, 2020



Secretary of State

WEB 44180043K

Certificate ID: 11307886#Q8Q83

To validate this certificate, visit the following web site, go to **Business Services, Search for Louisiana Business Filings, Validate a Certificate**, then follow the instructions displayed.
www.sos.la.gov

R. Kyle Ardoin
SECRETARY OF STATE

State of Louisiana
Secretary of State



COMMERCIAL DIVISION
225.925.4704

December 8, 2020

Administrative Services
225.932.5317 Fax
Corporations
225.932.5314 Fax
Uniform Commercial Code
225.932.5318 Fax

The attached document of TULANE AND CARROLLTON LLC was received and filed on December 08, 2020.

WEB 44180043K

STATE OF LOUISIANA
ARTICLES OF ORGANIZATION

(R.S. 12:1301)

1. The name of this limited liability company is:

TULANE AND CARROLLTON LLC

2. This company is formed for the purpose of:

ENGAGING IN ANY LAWFUL ACTIVITY FOR WHICH LIMITED LIABILITY COMPANIES
MAY BE FORMED

3. The duration of this limited liability company is: (may be perpetual):

PERPETUAL

4. The company is:

MEMBER-MANAGED

Other provisions:

The filing of a false public record, with the knowledge of its falsity, is a crime, subjecting the filer to fine or imprisonment or both under R.S. 14:133.

BY TYPING MY NAME BELOW, I HEREBY CERTIFY THAT I AM THE ORGANIZER.

ELECTRONIC SIGNATURE: SIDNEY TORRES, IV (12/7/2020)

TITLE: MEMBER

LIMITED LIABILITY COMPANY INITIAL REPORT

(R.S. 12:1305 (E))

The name of this limited liability company is:

TULANE AND CARROLLTON LLC

The location and municipal address (not a P.O. Box only) of this limited liability company's registered office:

730 S PIERCE STREET
NEW ORLEANS, LA, 70119

Mailing Address:

730 S PIERCE STREET
NEW ORLEANS, LA, 70119

The full name and municipal address (not a P.O. Box only) of each of this limited liability company's registered agent(s) is/are:

EARLINE TORRES
730 S PIERCE STREET
NEW ORLEANS, LA, 70119

The name and municipal address (not a P.O. Box only) of the managers or members:

SIDNEY TORRES, IV (MEMBER)
730 S PIERCE STREET
NEW ORLEANS, LA, 70119

The filing of a false public record, with the knowledge of its falsity, is a crime, subjecting the filer to fine or imprisonment or both under R.S. 14:133.

BY TYPING MY NAME BELOW, I HEREBY CERTIFY THAT I AM THE ORGANIZER.

ELECTRONIC SIGNATURE: SIDNEY TORRES, IV (12/7/2020)

TITLE: MEMBER

SECRETARY OF STATE



Agent Affidavit and Acknowledgement of Acceptance

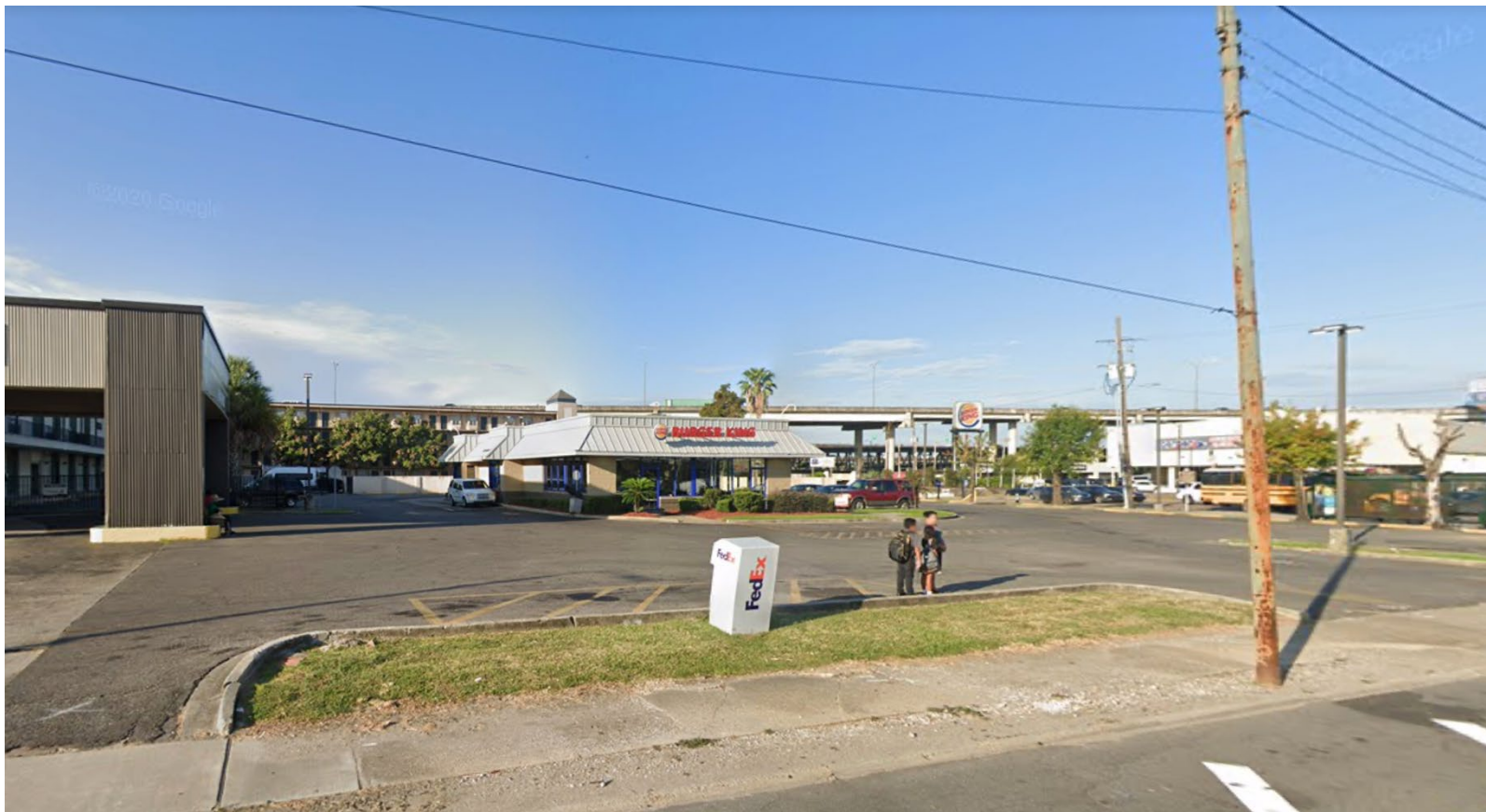
Charter Number: 44180043K

Charter Name: TULANE AND CARROLLTON LLC

The agent / agents listed below accept the appointment of registered agent for and on behalf of the Charter Name above.

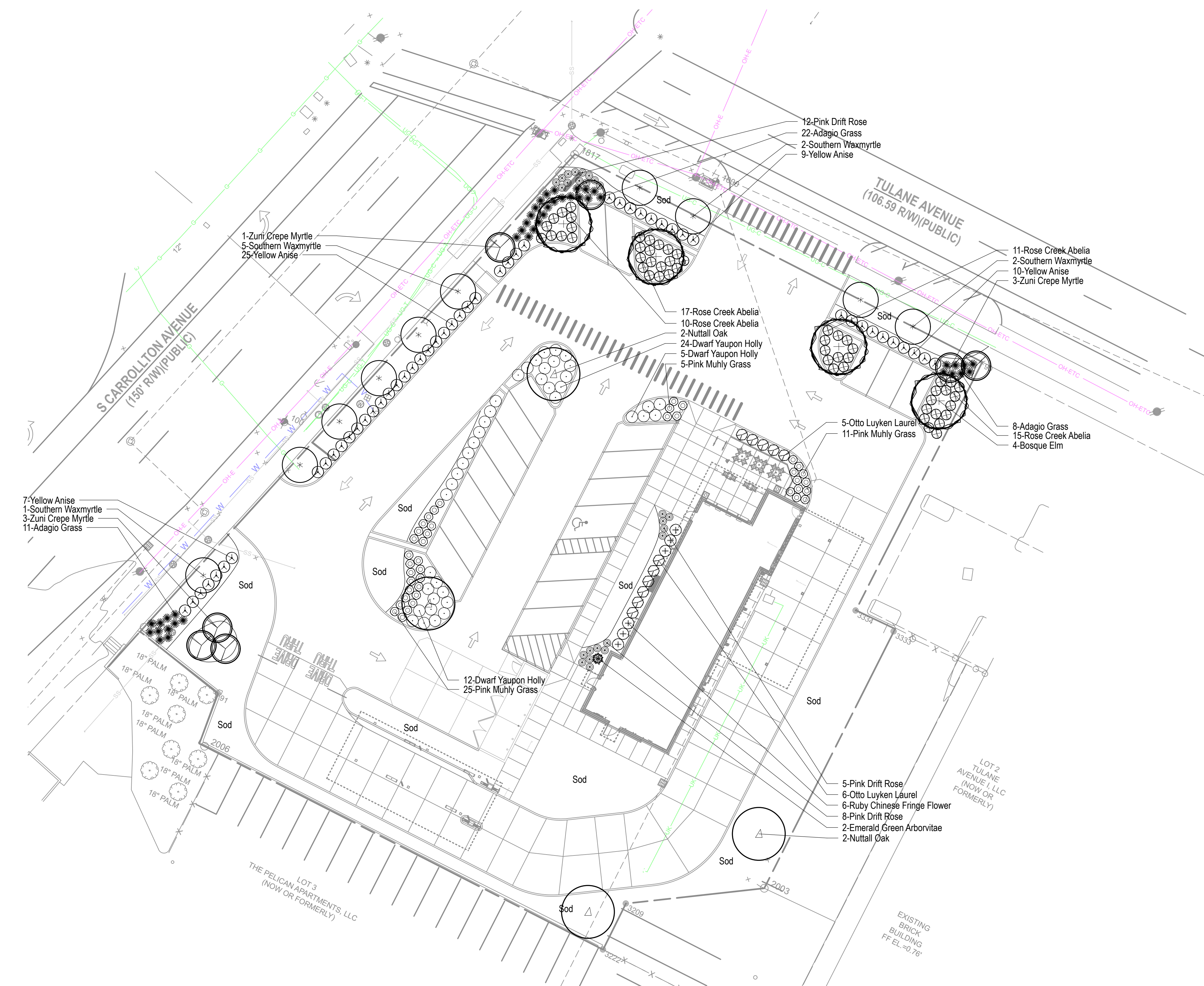
Date Responded	Agent(s)	Agent(s) Electronic Signature
12/08/2020	EARLINE TORRES	EARLINE TORRES











PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
7	Lagerstroemia indica x fauriei 'Zuni'	Zuni Crepe Myrtle	6'-8' Hgt.	Multi-trunk
10	Myrica cerifera	Southern Waxmyrtle	6'-8' Hgt.	Tree Form
4	Quercus nuttallii	Nuttall Oak	3" Cal; 10' Hgt.	B & B; single straight leader
2	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6'-8' Hgt.	
4	Ulmus parvifolia 'Bosque'	Bosque Elm	3" Cal; 10' Hgt.	B & B
Shrubs				
53	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal.	
41	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	3 Gal.	
51	Illicium parviflorum	Yellow Anise	3 Gal.	
6	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal. - 24"-36" Hgt.	
41	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal.	
41	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	
11	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 Gal.	
25	Rosa 'Meijocosa'	Pink Drift Rose	3 Gal.	
Groundcovers				
Other				

LANDSCAPE REQUIREMENTS

- A. FOUNDATION PLANTING**
- REQUIRED**
- Maintain a front or corner side yard of 10' or more and no parking is located within that front or corner side yard
 - A single hedge row planted 1 Shrub every 36" O.C. spaced linearly
 - Remainder of area shall be planted with vegetative cover.
- PROVIDED**
- A 10' Front and Side Yard is provided
 - A single row of Otto Luyken Laurel and Loropetalum are 36" O.C.
 - The remainder of area is planted with additional planting and Sod

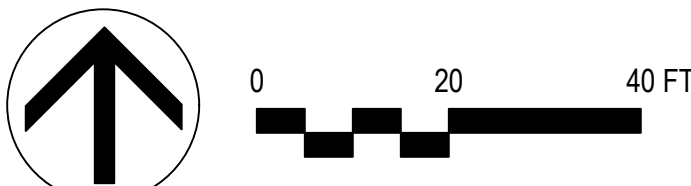
- B. FRONT LANDSCAPE YARD**
- REQUIRED**
- Minimum 10' wide Landscape Yard shall be installed along the front lot line.
 - One Plant Unit per 100 LF (Plant Unit option C: 2 Ornamental Trees, 3 Evergreens and 25 Shrubs)
- | | | | | |
|--------------------|------------------|-----------|---|----------------------------|
| Tulane Avenue | Ornamental Trees | 106 / 100 | = | 1.06 |
| | Evergreen Trees | 1.06 x 2 | = | 2.12 or 3 Ornamental Trees |
| | Shrubs | 1.06 x 3 | = | 3.18 or 4 Evergreen Trees |
| | | 1.06 x 25 | = | 26.5 or 27 Shrubs |
| S. Carrollton Ave. | Ornamental Trees | 195 / 100 | = | 1.95 |
| | Evergreen Trees | 1.95 x 2 | = | 3.9 or 4 Ornamental Trees |
| | Shrubs | 1.95 x 3 | = | 5.85 or 6 Evergreen Trees |
| | | 1.95 x 25 | = | 48.75 or 49 Shrubs |

- PROVIDED**
- A 10' Landscape Yard is provided along both S. Carrollton Ave. and Tulane Ave.
 - S. Carrollton Ave.: 12 Pink Drift Rose, 32 Anise, 29 Adagio Grass, 6 Southern Waxmyrtle, 4 Crepe Myrtles
Tulane Avenue: 19 Anise, 14 Adagio Grass, 4 Southern Waxmyrtle, 3 Crepe Myrtles

- C. PARKING LOT LANDSCAPE**
- REQUIRED**
- One parking lot island shall be provided between every 10 contiguous parking spaces
 - All rows of parking spaces shall terminate in a parking lot island or landscape area
 - The minimum total landscaped area shall be 10% of the total parking lot area, excluding any of the perimeter parking lot landscape.
- Parking Lot Area: 17,018 SF x 10% = 1,702 SF Landscape Area
- 1 Shade Tree is required every parking lot island or landscape area, double islands get 2 Shade Trees
 - Shrubs shall be planted within parking island
 - Minimum of 75% of every parking lot island shall be planted in live groundcover or grasses
- PROVIDED**
- Parking lot island is provided between less than 10 contiguous parking spaces.
 - Each parking row has at least one landscape area
 - 1,768 Landscape Area proposed
 - Each Parking Island has a Shade Tree, 1 Nuttall Oak planted on back of site due to flagpole.
 - Each Parking Island is planted with Shrubs
 - 100% of every parking island is planted with groundcover or grasses

LANDSCAPE NOTES

- SOUTHWEST**
- Landscape Contractor to read and understand the Landscape Specifications (sheet L-102) prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging.
 - Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all parking lot islands, the Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
 - Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
 - All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of rock mulch.
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
 - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
 - Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
 - Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. See Irrigation Plan L-200 for design. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and guying from all trees after one year from planting.



Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



770.442.8171 tel
 770.442.1123 fax

Manley Land Design, Inc.
 51 Old Canton Street
 Alpharetta, Georgia 30009

manleylanddesign.com



CHICK-FIL-A
I-10 & CARROLLTON DTO
 4068 Tulane Ave.
 New Orleans, LA 70119

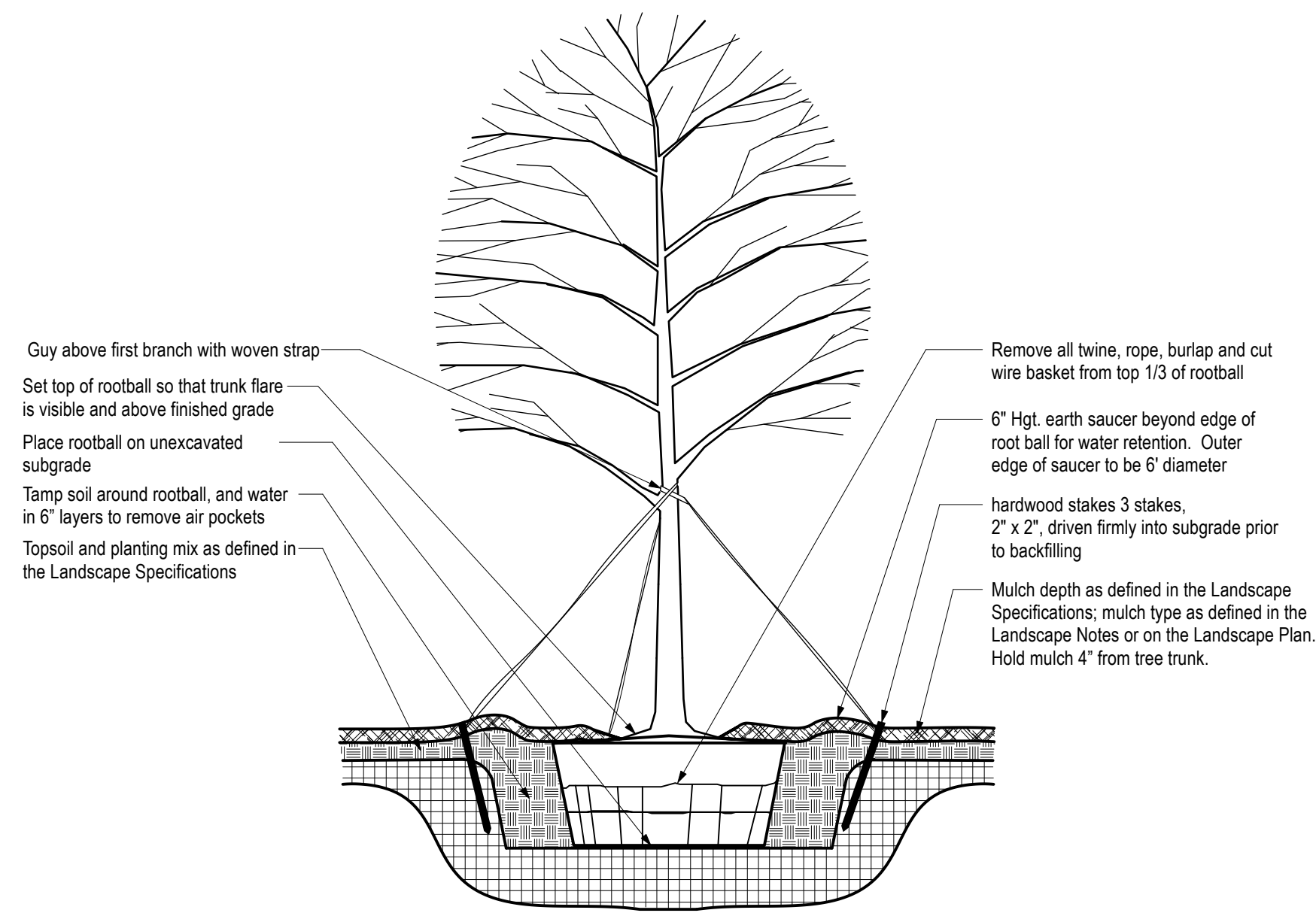
FSU# 04891

REVISION SCHEDULE
 NO. DATE DESCRIPTION

MLD PROJECT # 2021096
 PRINTED FOR PERMIT
 DATE 5.12.21
 DRAWN BY MB

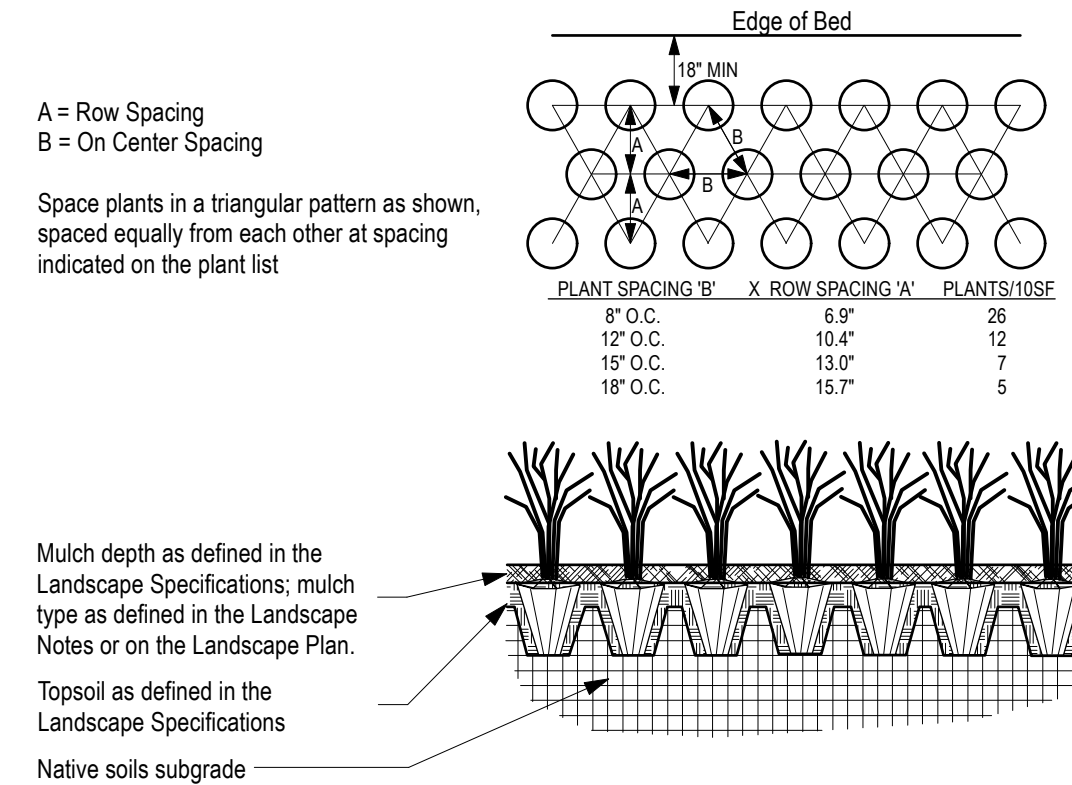
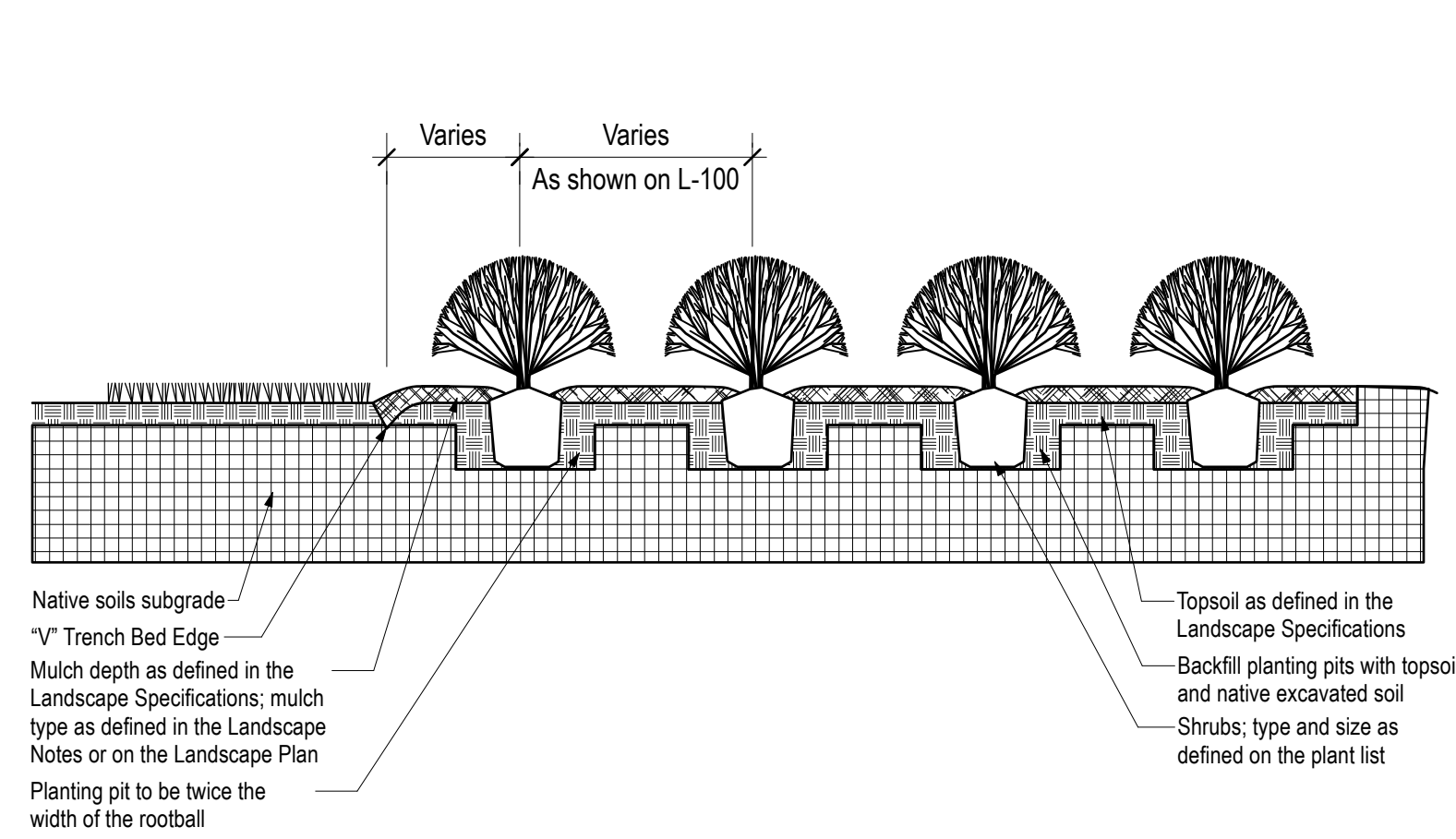
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PERMIT Landscape Plan
 SHEET NUMBER **L-100**



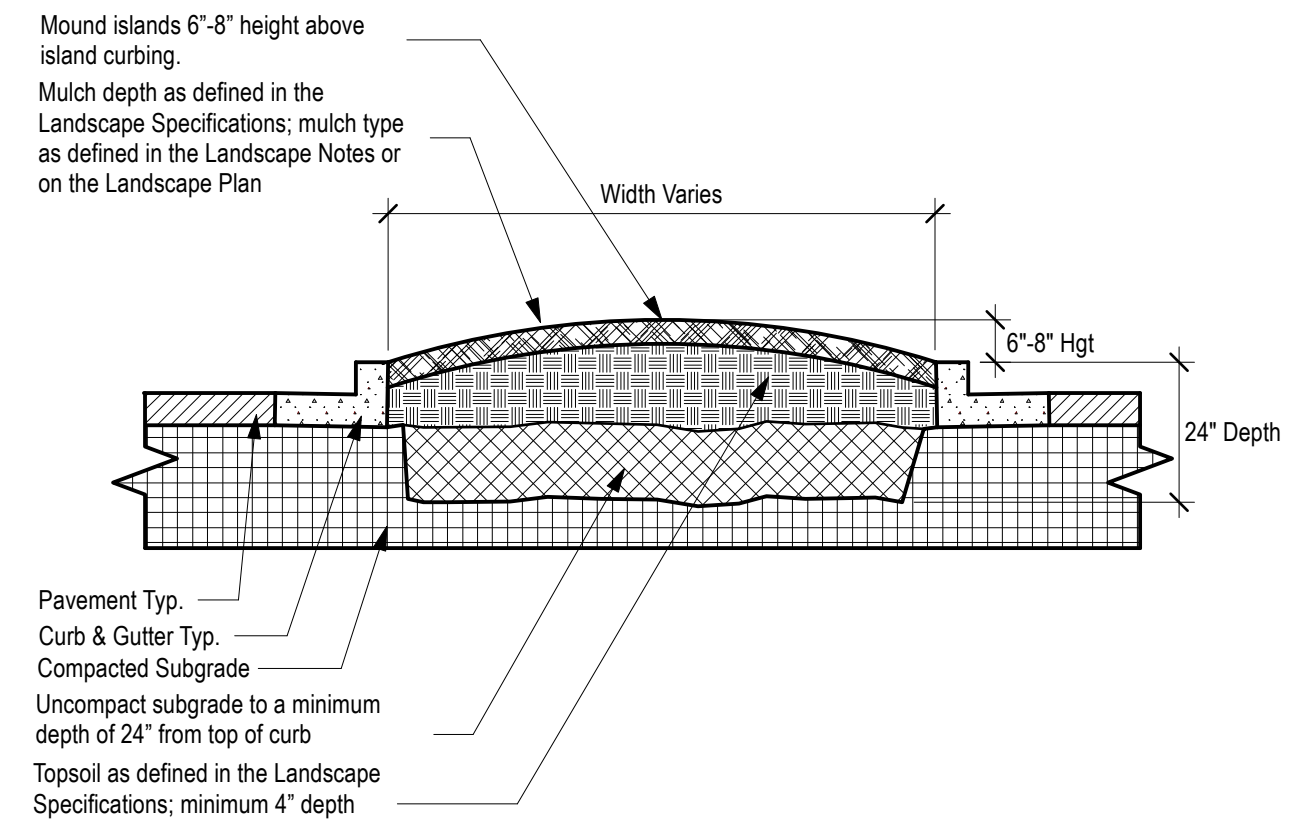
- NOTE**
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4' away from trunk.
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING & STAKING
SCALE: NTS



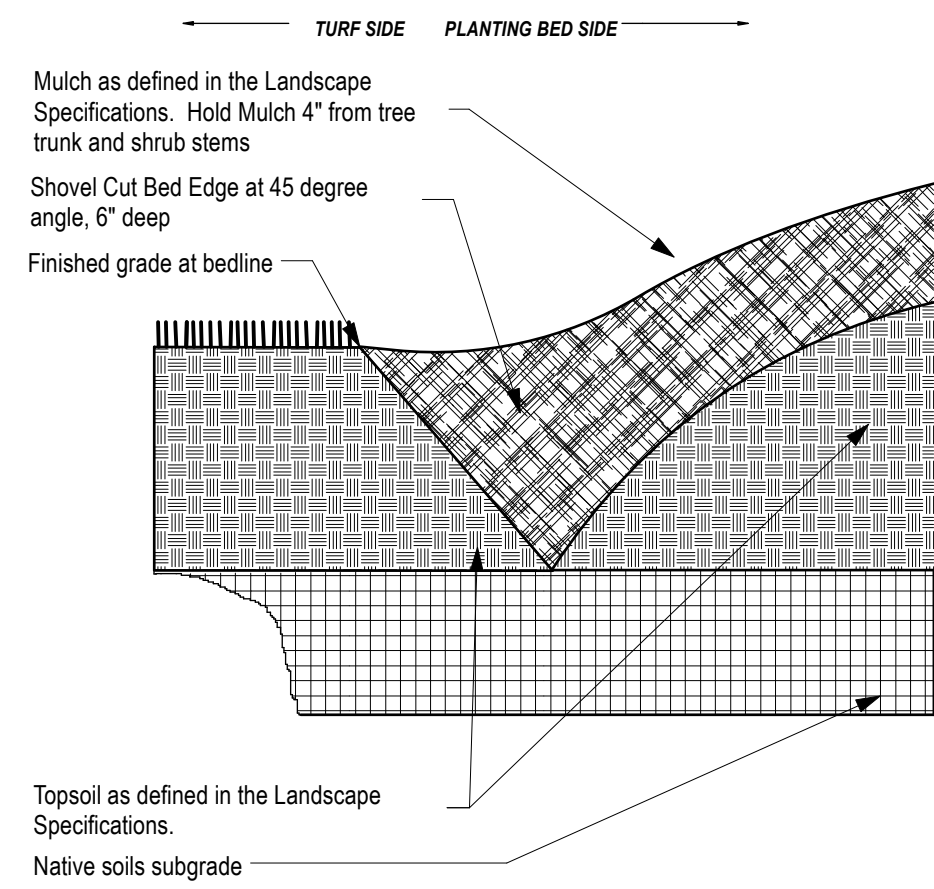
- NOTE**
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

3 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



- NOTE**
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6"-8" height above island curbing.
 - Island plant material as per the Landscape Plan.
 - Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 - Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

4 PARKING ISLAND DETAIL
SCALE: NTS



6 \"V\" TRENCH BED EDGING
SCALE: NTS



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



770.442.8171 tel
770.442.1123 fax

Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009

manleylanddesign.com



CHICK-FIL-A
I-10 & CARROLLTON DTO
4068 Tulane Ave.
New Orleans, LA 70119

FSU# 04891

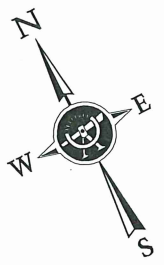
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

MLD PROJECT #	2021096
PRINTED FOR	PERMIT
DATE	5.12.21
DRAWN BY	MB

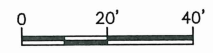
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PERMIT Landscape Details

SHEET NUMBER
L-101

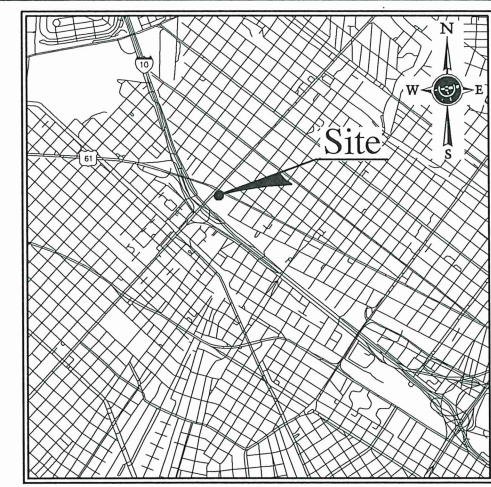
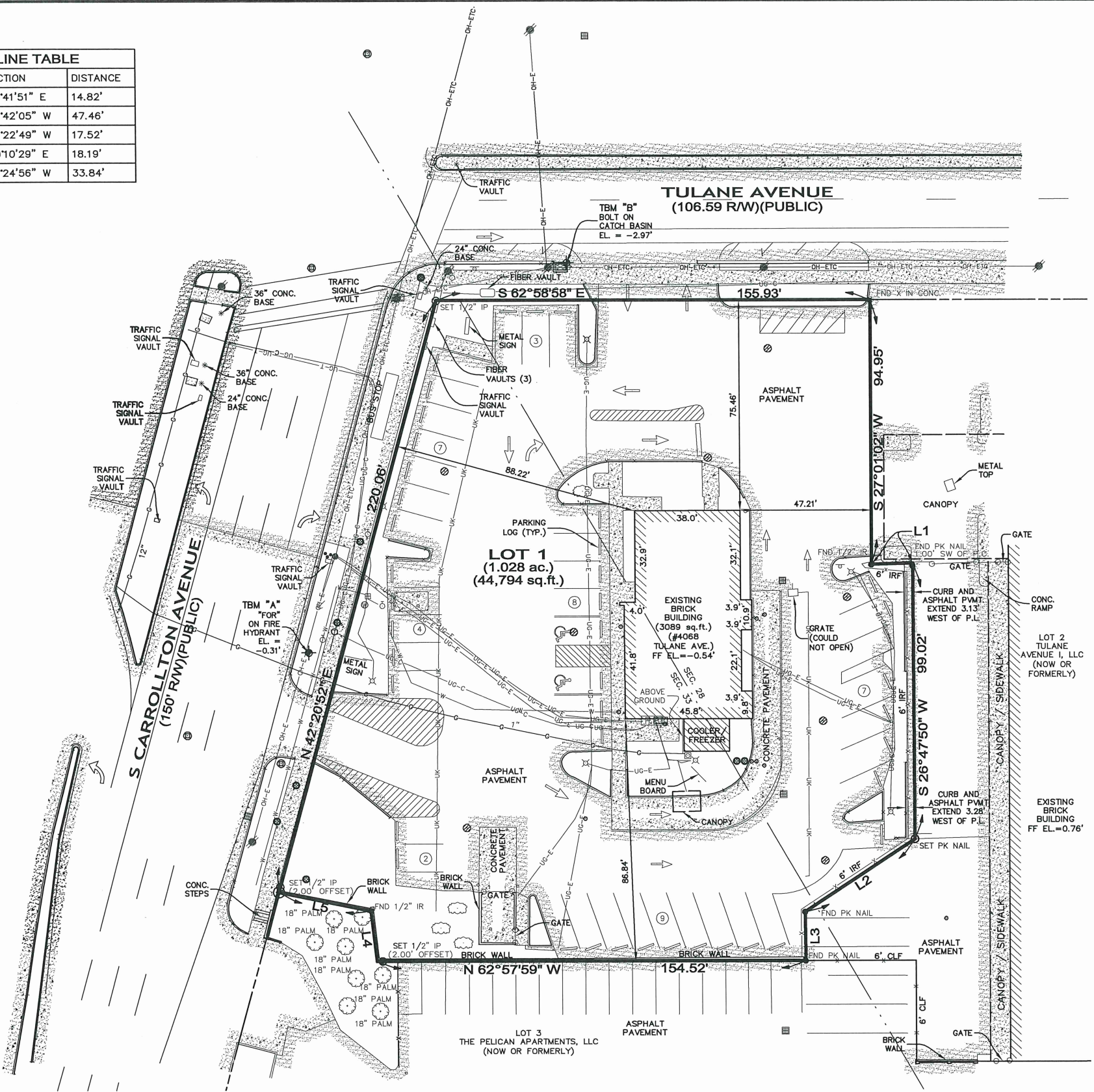


LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 64°41'51" E	14.82'
L2	S 83°42'05" W	47.46'
L3	S 26°22'49" W	17.52'
L4	N 20°10'29" E	18.19'
L5	N 51°24'56" W	33.84'



LEGEND

- Property Line
- Right of Way Line
- OH-E Overhead Electric
- OH-ETC Overhead Elec., Tele. & Cable
- SS Underground Sewer Line
- Underground Drain Line
- UK Unknown Utility Line
- UG-T Underground Telephone Line
- UG-E Underground Electric Line
- UG-C Underground Cable Line
- G Underground Gas Line
- W Underground Water Line
- X Fence Line
- Found Iron Pipe/Rod
- Found "X" Scribed In Concrete
- Set 1/2" Iron Pipe
- Power Pole
- Guy Anchor
- Pole Mounted Transformer
- Metal Power Pole
- Electric Junction Box
- Electrical Box
- Fire Hydrant
- Water Meter
- Water Valve
- Water Manhole
- Gas Meter
- Telephone Manhole
- Sewer Manhole
- Sewer Cleanout
- Drain Inlet
- Catch Basin
- Drain Manhole
- Sign
- Ballard
- Area Light
- Soil Boring
- R/W Right of Way
- RCP Reinforced Concrete Pipe
- CLF Chain Link Fence
- IRF Iron Rod Fence
- CONC. Concrete
- FND Found
- IP Iron Pipe
- TOC Top of Curb
- P.C. Property Corner
- P.L. Property Line
- Temporary Bench Mark
- Handicap Parking
- Asphalt Pavement
- Concrete Pavement



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- 1.) Flood Note: In accordance with FEMA Flood Insurance Rate Map Panel No. 22071C0228F for New Orleans/Orleans Parish Louisiana, last revised Sept. 30, 2016, the property shown hereon is located in Flood Zone "X" (With Shading). Nearest adjacent Base Flood Elevation = -2 feet (NAVD 1988). The current base flood and inundation elevations are subject to change and should be verified with the Department of Development prior to issuance of building permits.
- FLOOD AREAS DEFINED:
Zone "X" (With Shading): Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
- Flood Insurance Rate Maps are revised frequently and can be found online at: msc.fema.gov
- 2.) Zoning: MU-2 (High Intensity Mixed-Use)
- Yard Requirements:
Minimum Front Yard: None
Minimum Rear Yard: None
Minimum Side Yard: None
- Zoning information should be verified with City/Parish Planning Commission.
- 3.) Reference Maps:
A. Map Showing Subdivision of Fountainbleau Apartments New Orleans Square 763 Into Lots 1, 2, & 3 Square 763, by David B. Fazekas, dated 12-12-2019
- 4.) (*) represents the Basis of Bearings. Bearings are based on reference map "A" (above). Distances are U.S. Survey Feet.
- 5.) Elevations and TBM's were derived from the Leica Network System using Trimble RB dual frequency GPS units. NAVD 1988 datum, Geoid 18.
- 6.) No attempt has been made by LandSource, Inc., to verify title, actual legal ownerships, deed restrictions, servitudes, easements, or other burdens on the property other than that furnished by the client or his representative.
- 7.) Utilities: The underground utilities shown hereon have been located from visible utility features, paint markings made on the ground by utility companies requested by LA. One Call (Ticket No. 210086490) and/or previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features.
- 8.) All spot elevations are not shown for clarity of the drawing.
- 9.) There was no observable evidence of earth moving work, building construction or building additions at the time of this survey.
- 10.) To the best of my knowledge, there were no changes in street right of way lines either competed or proposed and no observable evidence of recent street or sidewalk construction or repairs.
- 11.) Parking Summary:
Regular Spaces: 38
Handicap Spaces: 2
Total Spaces: 40

CERTIFICATION:

This is to certify to Fidelity National Title Insurance Company, Chick-fil-A, Inc., a Georgia corporation, & Tulane and Carrollton LLC, a Louisiana limited liability company, that this map or plot and the survey on which it is based were made in accordance with the State of Louisiana "Standards of practice for Property Boundary Surveys and the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 7a, 7b1, 7c, 8, 9, 11, 13, 14, 16, 17, 18 & 19 of Table A thereof. The fieldwork was completed on February 24, 2021.

MAP SHOWING ALTA/NSPS LAND TITLE SURVEY

OF LOT 1, SQ. 763

LOCATED IN SECTIONS 28 & 33, T-12-S, R-11-E,
SOUTHEAST LAND DISTRICT,
EAST OF THE MISSISSIPPI RIVER,
ORLEANS PARISH, LOUISIANA
FOR
GREYDEN ENGINEERING, LLC



ADVANCE ISSUE

David L. Patterson, P.L.S.
La. Registration No. 04784

Printed on:
Mar. 17, 2021

Date

NOTE TO BE REMOVED UPON FINAL SIGNATURE.
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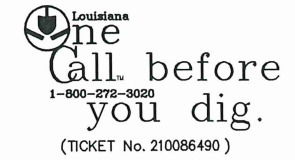
DATE:
02-24-2021
JOB #: 21-335-01
DWN. BY: MDD
CKD. BY: DLP

SHEET NO:

01

OF: 02

LANDSOURCE INCORPORATED
A Professional Surveying and Land Information Company
6710 Eschborn Drive
Baton Rouge, LA 70809
Phone: (225) 752-0995
Fax: (225) 752-0997
email: info@landsource.com
website: www.landsource.com



SCHEDULE B. PART II

Fidelity National Title Insurance Company
Commitment No.: LA252101021J/210034ATL
Effective Date: January 27, 2021

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. (NOT SURVEY RELATED)
2. All taxes for the fiscal year 2021 and subsequent years, not yet due and payable, and any additional taxes, interest, and/or penalties which may be assessed for the year 2019 or prior years by virtue of adjustment, re-appraisal, re-assessment, appeal or other amendment to the tax records for Orleans Parish. Please note that the City of New Orleans Taxes are incorporated and paid by Orleans Parish. (NOT SURVEY RELATED)
3. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the Public Records. (NOT SURVEY RELATED)
4. Any lien or right to a lien for services, labor or material not shown by the Public Records. (NOT SURVEY RELATED)
5. Taxes or special assessments which are not shown as existing liens by the public records. (NOT SURVEY RELATED)
6. Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land and not shown by the Public Records. (AS SHOWN)
7. Easements, or claims of easements, not shown by the public records. (NOT SURVEY RELATED)
8. No insurance is afforded as to the exact amount of acreage contained in the property described herein. (NOT SURVEY RELATED)
9. Rights of tenants, as tenants only in possession of subject property. (NOT SURVEY RELATED)
10. Title to the coal, oil, gas and other minerals underlying the surface of the land insured hereunder and all rights and easements in favor of the holder of the coal, oil, gas and mineral estate or by any party claiming by, through or under said holder. (NOT SURVEY RELATED)
11. Any right, interest or claim that may exist, arise or be asserted under or pursuant to the Perishable Agricultural Commodities Act of 1930, as amended, 7 USC 499a et seq., the Packers and Stockyard Act of 1921, as amended, 7 USC 181 et seq., or any similar state laws. (NOT SURVEY RELATED)
12. Terms and conditions of Memorandum of Agreement by and between FSA, LLC and Cox Communications Louisiana, LLC, dated July 3, 2003, recorded August 20, 2003, as Instrument No. 2003-45176, as CIN 264853, of the Public Records of Orleans Parish, Louisiana. (AFFECTS, BLANKET IN NATURE)
13. Terms and conditions Grant of Easement and Memorandum of Agreement by and between FSA, LLC and Cox Communications Louisiana, LLC, dated December 13, 2007, recorded February 19, 2008, as Instrument No. 2008-14468, of CIN 394363, of the Public Records of Orleans Parish, Louisiana. (AFFECTS, BLANKET IN NATURE)
14. Terms and conditions of Agreement by and between Mrs. Lois Stern, Pelican State Hotels Corp., and New Orleans Public Service Inc., dated May 4, 1960, recorded May 13, 1960, COB 636/233, of the Public Records of Orleans Parish, Louisiana. (AFFECTS, NOT PLOTTABLE)
15. Terms and conditions of Transformer Vault Agreement by and between Mrs. Lois Stern, Pelican State Hotels Corp., and New Orleans Public Service Inc., dated October 6, 1958, recorded October 17, 1958, of COB 627/218, of the Public Records of Orleans Parish, Louisiana. (AFFECTS, NOT PLOTTABLE)
16. ALTA/NSPS Land Title Survey prepared by David B. Fazekas, Registered Land Surveyor No. 4755, dated December 23, 2020 and designated as Job No. 15-065, shows the following:
 - a. Parking spaces and chain link fence encroaching onto the Gravier Street right of way. (DOES NOT AFFECT SUBJECT PROPERTY)
 - b. 6' wire mesh fence encroaching onto the Tulane Avenue right of way. (DOES NOT AFFECT SUBJECT PROPERTY)

LEGAL DESCRIPTION (PER TITLE COMMITMENT):

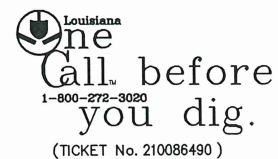
A certain tract of land, containing 1.03 Acres, more or less located in Section 28 & 33, Township 12 South, Range 11 East, Southeastern land District, East of the Mississippi River, Orleans Parish, Louisiana, and being more fully described as follows:

Commencing at the East right of way line of South Carrollton Avenue and the South right of way line of Tulane Avenue. Said point being also being the Point of Beginning.

Thence South 62 degrees 58 minutes 58 seconds East a distance of 155.93 feet;
Thence South 27 degrees 01 minutes 02 seconds West a distance of 94.95 feet;
Thence South 64 degrees 41 minutes 51 seconds East a distance of 14.82 feet;
Thence South 26 degrees 47 minutes 50 seconds West a distance of 99.02 feet;
Thence South 83 degrees 42 minutes 05 seconds West a distance of 47.46 feet;
Thence South 26 degrees 22 minutes 49 seconds West a distance of 17.52 feet;
Thence North 62 degrees 57 minutes 59 seconds West a distance of 154.52 feet;
Thence North 20 degrees 10 minutes 29 seconds East a distance of 18.19 feet;
Thence North 51 degrees 24 minutes 56 seconds West a distance of 33.84 feet;
Thence North 42 degrees 20 minutes 52 seconds East a distance 220.06 feet to the Point of Beginning.

LANDSOURCE
INCORPORATED
A Professional Surveying And Land Information Company
1701 Lakeshore Drive
Baton Rouge, LA 70809
Ph: (225) 752-0995
Fax: (225) 752-0997
email: info@landsorce.com
website: www.landsorce.com

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ADVANCE ISSUE
Mar. 17, 2021

DATE: 02-24-2021
JOB #: 21-335-01
DWN. BY: MDD
CKD. BY: DLP
SHEET NO: 02
OF: 02

EXTERIOR FINISHES

(EC-1) PREFINISHED METAL COPING COLOR: DARK BRONZE	(BR-A) BRICK VENEER COLOR: DARK GRAY SIZE: MODULAR
(PT-11) EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS	(BR-B) BRICK VENEER COLOR: WHITE SIZE: MODULAR
(ST-1) STOREFRONT COLOR: DARK BRONZE	(MP-1) METAL PANEL COLOR: CFA RED

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	3	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
Grand total		5				

OP CANOPY FINISHES

(CP-1) PREFINISHED METAL COLOR: DARK BRONZE
(CP-2) METAL DECKING COLOR: WHITE



PERSPECTIVE VIEW - FRONT RIGHT



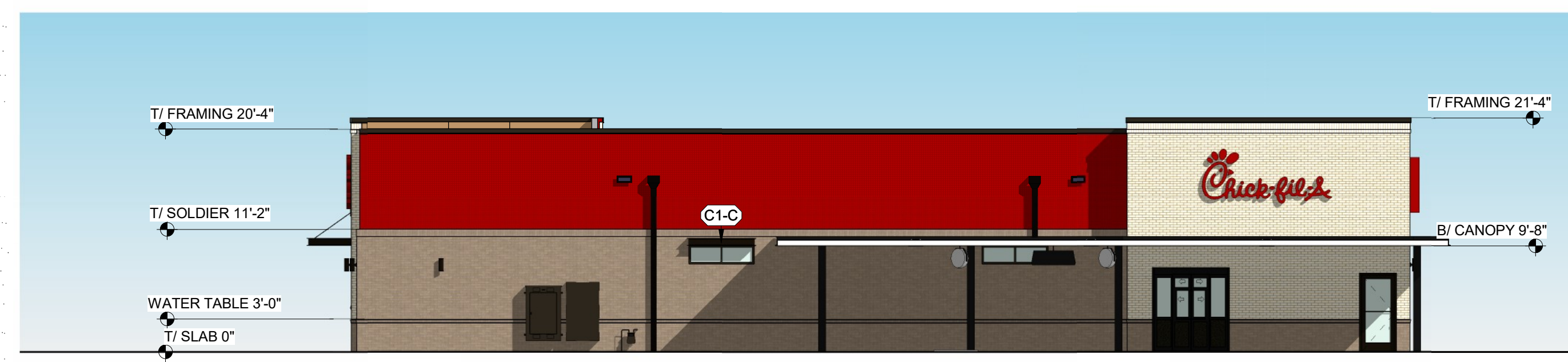
PERSPECTIVE VIEW - REAR LEFT



PERSPECTIVE VIEW - REAR RIGHT



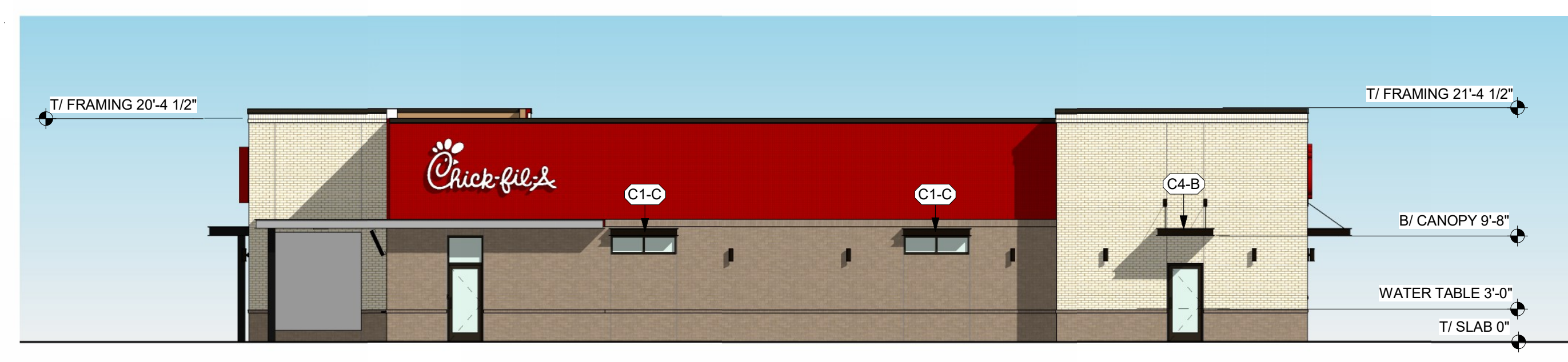
PERSPECTIVE VIEW - FRONT LEFT



EXTERIOR ELEVATION
1" = 10'-0"



EXTERIOR ELEVATION
1" = 10'-0"



EXTERIOR ELEVATION
1" = 10'-0"



EXTERIOR ELEVATION
1" = 10'-0"



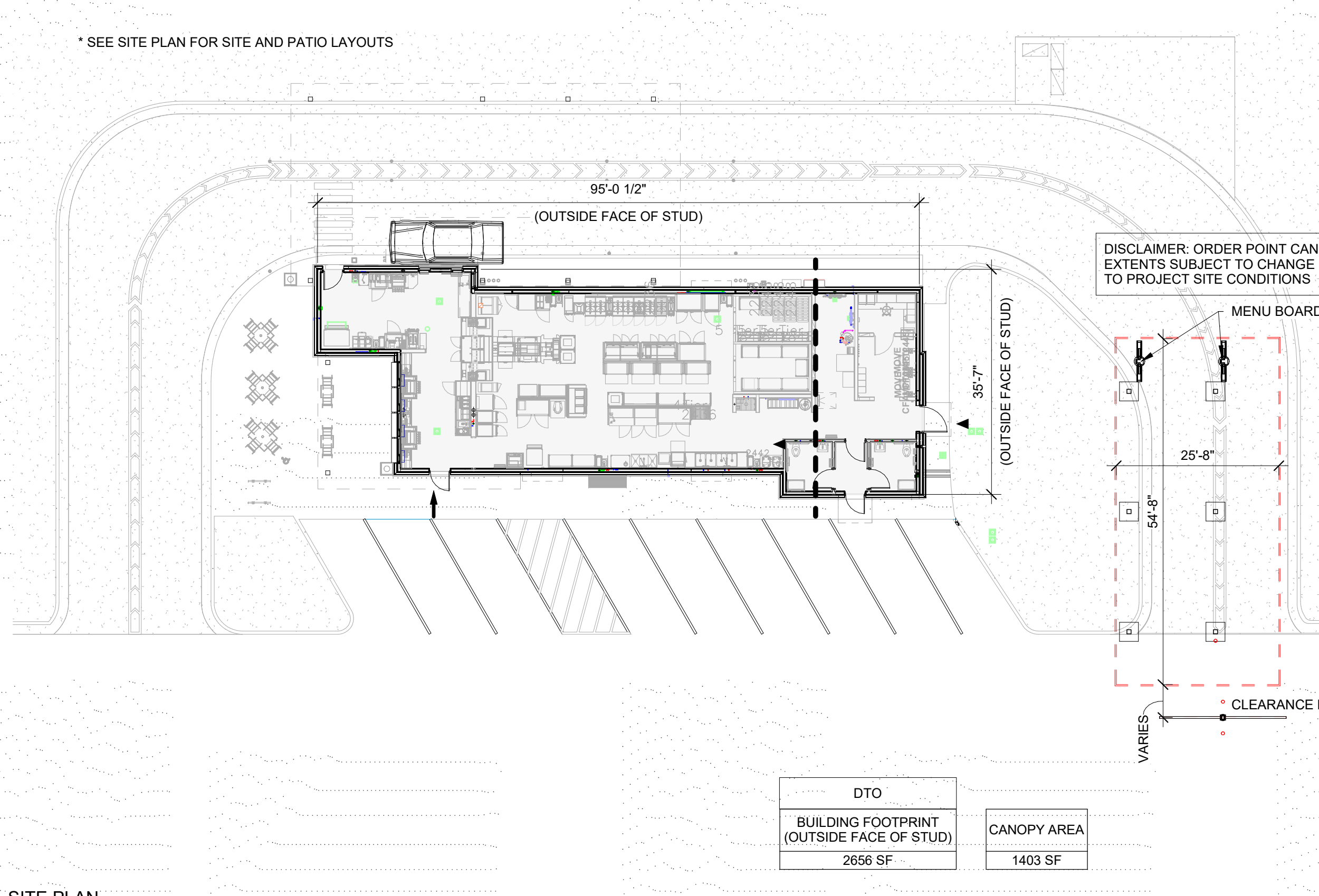
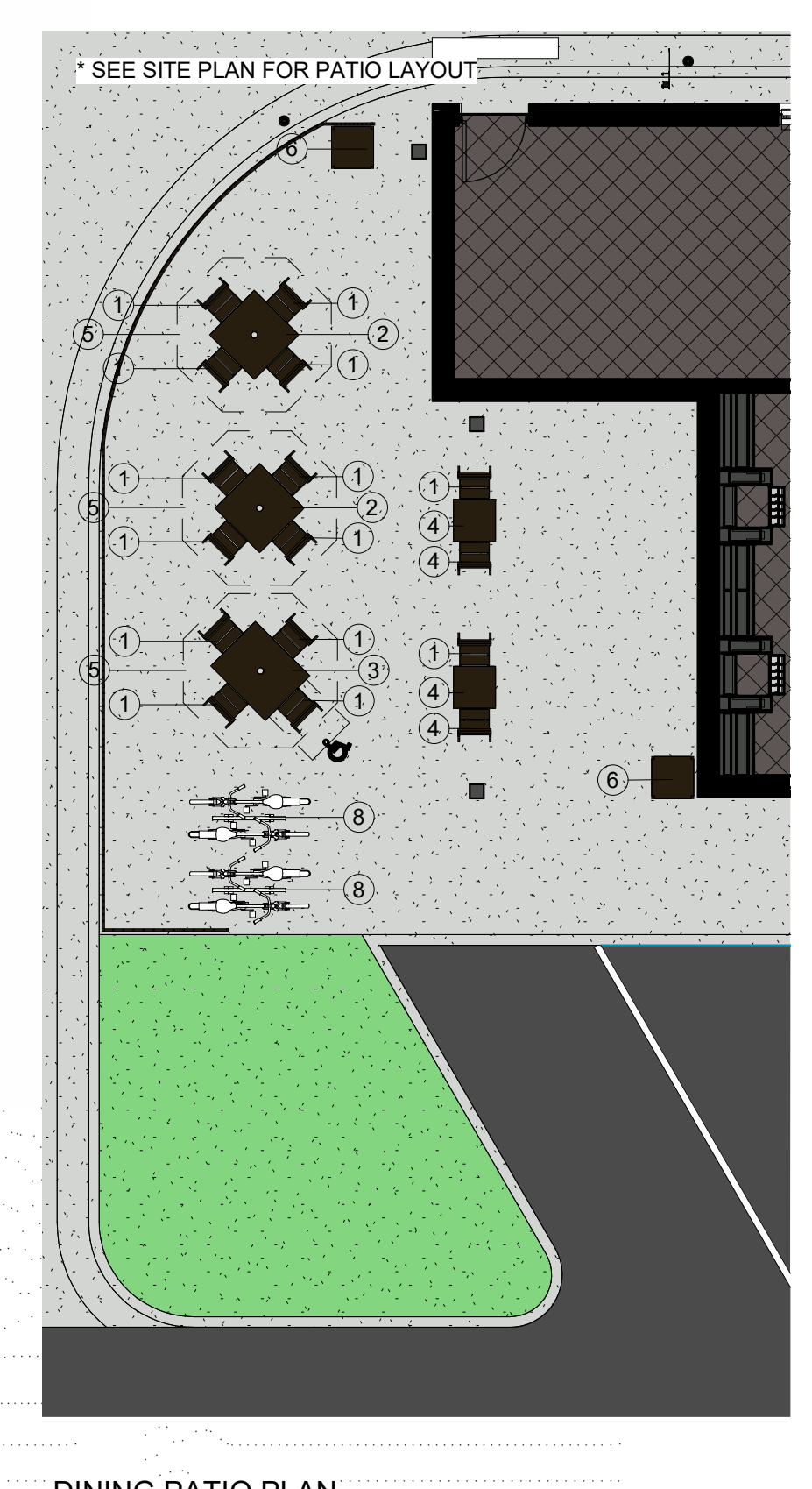
PERSPECTIVE VIEW



PERSPECTIVE VIEW - PATIO

PATIO SEATING SCHEDULE

Mark	Type	Count	Manufacturer	Model	Width	Depth	Height	Material	Finish
1	Patio Chair	12	Benchmark Design Group	BAJA SIDE STACK (2012)	3'-0"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
2	Patio Table - 4 Top	2	Benchmark Design Group	TAB3055-3636-AAL-WJ-UH-BDT	3'-0"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
3	Patio Table - 4 Top - ADA	1	Benchmark Design Group	TAB3055-3644-AAL-WJ-UH-BDT	3'-8"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
4	Patio Table - 2 Top	0	Benchmark Design Group	TAB3055-2424-AAL-WJ-BDT	2'-0"	2'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
5	Patio Umbrella	3	Benchmark Design Group	OCEAN MASTER PARASOL					
6	Trash Receptacle	2	Benchmark Design Group	CFA-AL-2444	2'-0"	2'-0"	3'-11"	Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
7	Entrance Bench	0	Benchmark Design Group	Wendover Bench - 4131					
8	Bike Rack - Surface Mount	2	Belson Outdoors	ORN-2-SF-P	3'-4"	2 3/8"	2'-9"	Steel	Black Powder Coated



PROJECT DATA

Exterior Finish Type:	TOWER BRICK	Playground	NO
Wall Framing Type:	WOOD STUD	Landscaping Type	STANDARD
Kitchen Type:	CENTERLINE	LEED Rating	NOT CERTIFIED
Water Filtration Type:	TYPE A	Drive Thru Bypass Lane:	NO
Drive-Thru:	YES	Drive Thru Number of Fulfillment Lanes:	2
Industrialized Construction:	NO	Drive Thru Number of Order Lanes:	2
Number of Parking Spaces:	19	Drive Thru Number of Order Point Structures:	2
Number of Accessible Parking Spaces:	1	Drive Thru Number of Pickup Windows:	1
Cross Parking:	YES	Drive Thru Door:	YES
Menu Board - Interior:	NO	Square Footage:	2663
Menu Board - Interior - Count:	N/A	Seat Count - Interior:	0
Menu Board - Interior - Type:	N/A	Seat Count - Exterior:	12
Menu Board - Walk-up:	YES	Canopy Type - Order Point:	DOUBLE
Menu Board - Walk-up - Count:	10	Canopy Type - Meal Delivery:	DOUBLE
Menu Board - Walk-up - Type:	DIGITAL	Number of Registers:	4
Menu Board - Order Point:	YES	Menu Board - Order Point - Type:	STATIC
Menu Board - Order Point - Count:	4	DESIGN APPROVAL	

PROJECT NOTES

NOT APPROVED - REVISE AND RESUBMIT	<input type="checkbox"/>
APPROVED AS NOTED - REVISE AND RESUBMIT	<input type="checkbox"/>
APPROVED FOR DESIGN INTENT	<input type="checkbox"/>



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PROTOTYPICAL SET
NOT FOR REGULATORY APPROVAL, BIDDING, OR CONSTRUCTION

CHICK-FIL-A
I-10 & Carrollton
4068 Tulane
New Orleans, LA 70119

FSR#04891
BUILDING TYPE / SIZE: P13 DTO
RELEASE: 21.02

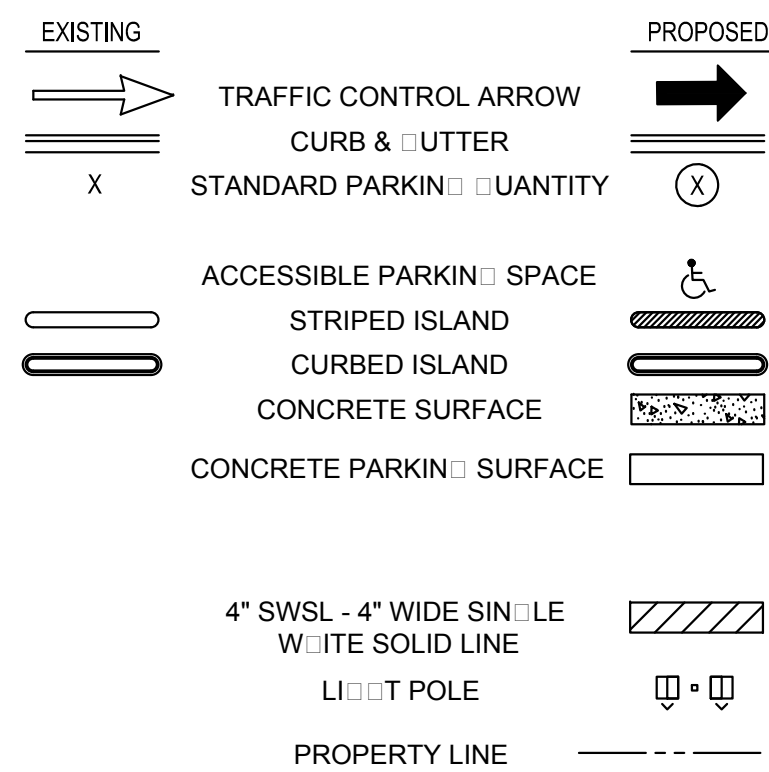
REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 21040
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DATE MM/DD/YY
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SHEET NUMBER
X-900

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XX-DTO-04891-X-900-DESIGN OVERVIEW

SITE PLAN LEGEND



AREA SUMMARY

EXISTING AREA TABULATION:

IMPERVIOUS AREA	
BUILDING PAD	
ASPHALT PAVEMENT	
CONCRETE/RAVEL	0.7 ACRES (5)
PERVIOUS AREA	
GRASS/LANDSCAPE	0.16 ACRES (15)
TOTAL AREA	1.0 ACRES (100)

PROPOSED AREA TABULATION:

IMPERVIOUS AREA	
BUILDING PAVEMENT	
CONCRETE	0.75 ACRES (7)
PERVIOUS AREA	
GRASS/LANDSCAPE	0.2 ACRES (27)
TOTAL AREA	1.0 ACRES (100)

PARKING REQUIREMENTS

PARKING RATIO = 1 SPACE PER 500 SQUARE FEET OF FLOOR AREA.

FLOOR AREA = 2,656 FOOTPRINT

PARKING SPACES REQUIRED = 6

STANDARD SPACES PROVIDED = 11 SPACES

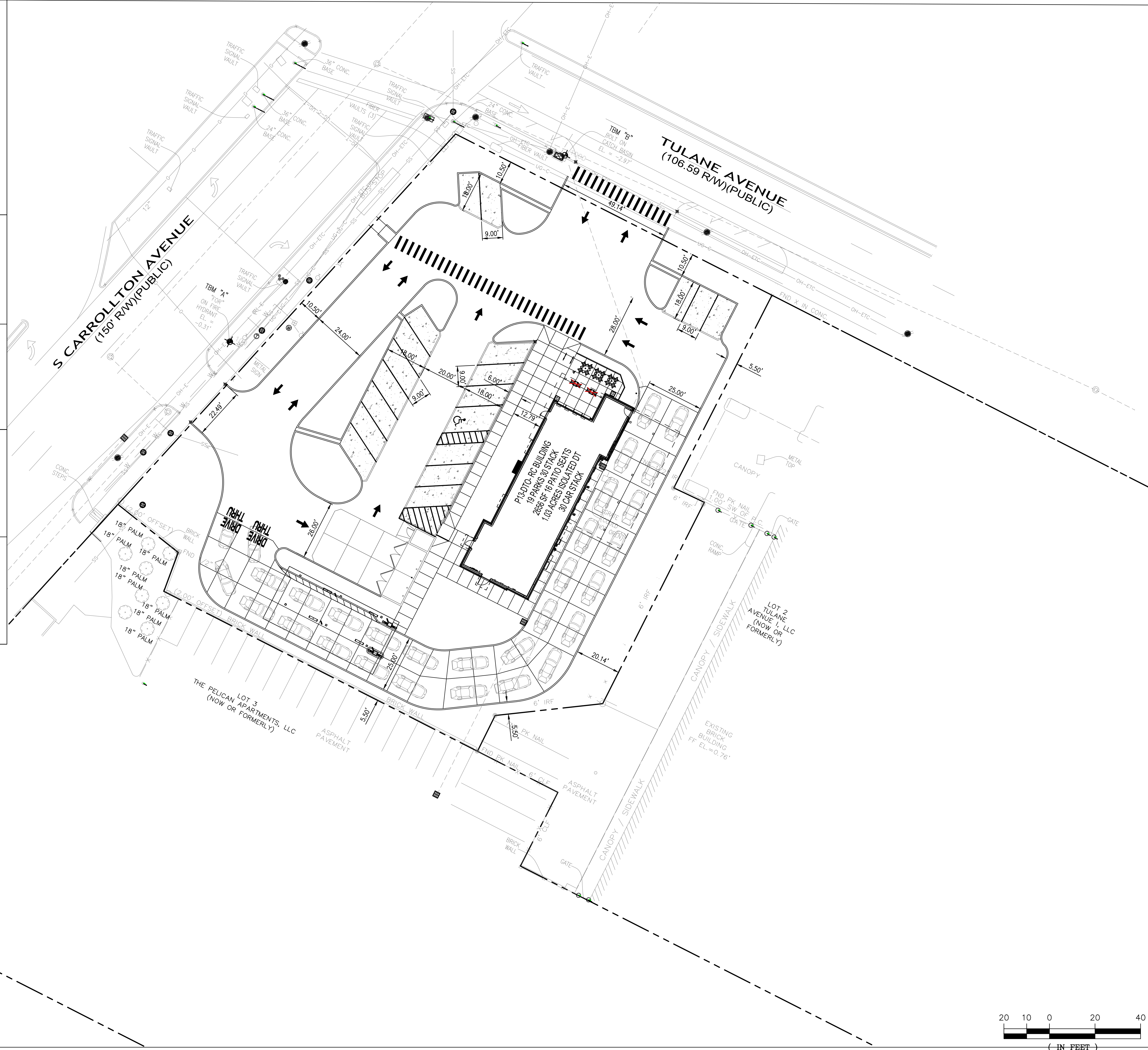
ANDICAP SPACES PROVIDED = 1 SPACES

TOTAL SPACES PROVIDED = 12

DEVELOPMENT DATA

SITE ZONING: MU-2

SETBACKS	BUILDING	LANDSCAPE
FRONT -	0 FEET	10 FEET
LEFT -	0 FEET	10 FEET
RIGHT -	0 FEET	5 FEET
REAR -	0 FEET	5 FEET



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

GREYDEN
 ENGINEERING • PLANNING

125 Toonpark Dr, Suite 300
 Kennesaw, GA 30144
 PH: 770-573-4801 FAX: 678-302-6362

CHICK-FIL-A
 4068 Tulane Ave.
 New Orleans, LA 70119

FSU# 04891

REVISION SCHEDULE

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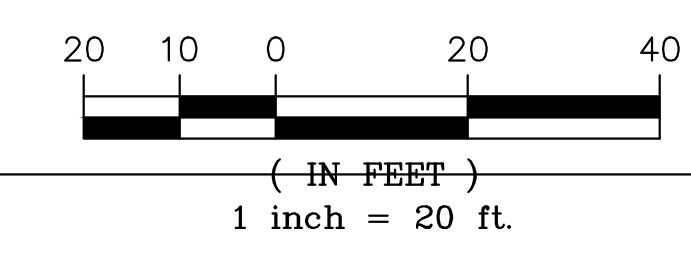
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SHEET

SITE AND PRELIMINARY UTILITY PLAN

SHEET NUMBER: **C-2.0**



PCR Plan



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

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 Dallas, Texas 75254
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PROTOTYPICAL SET

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CHICK-FIL-A
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 New Orleans, LA 70119

FSR#04891

BUILDING TYPE / SIZE: P13 DTO
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 NO. DATE DESCRIPTION

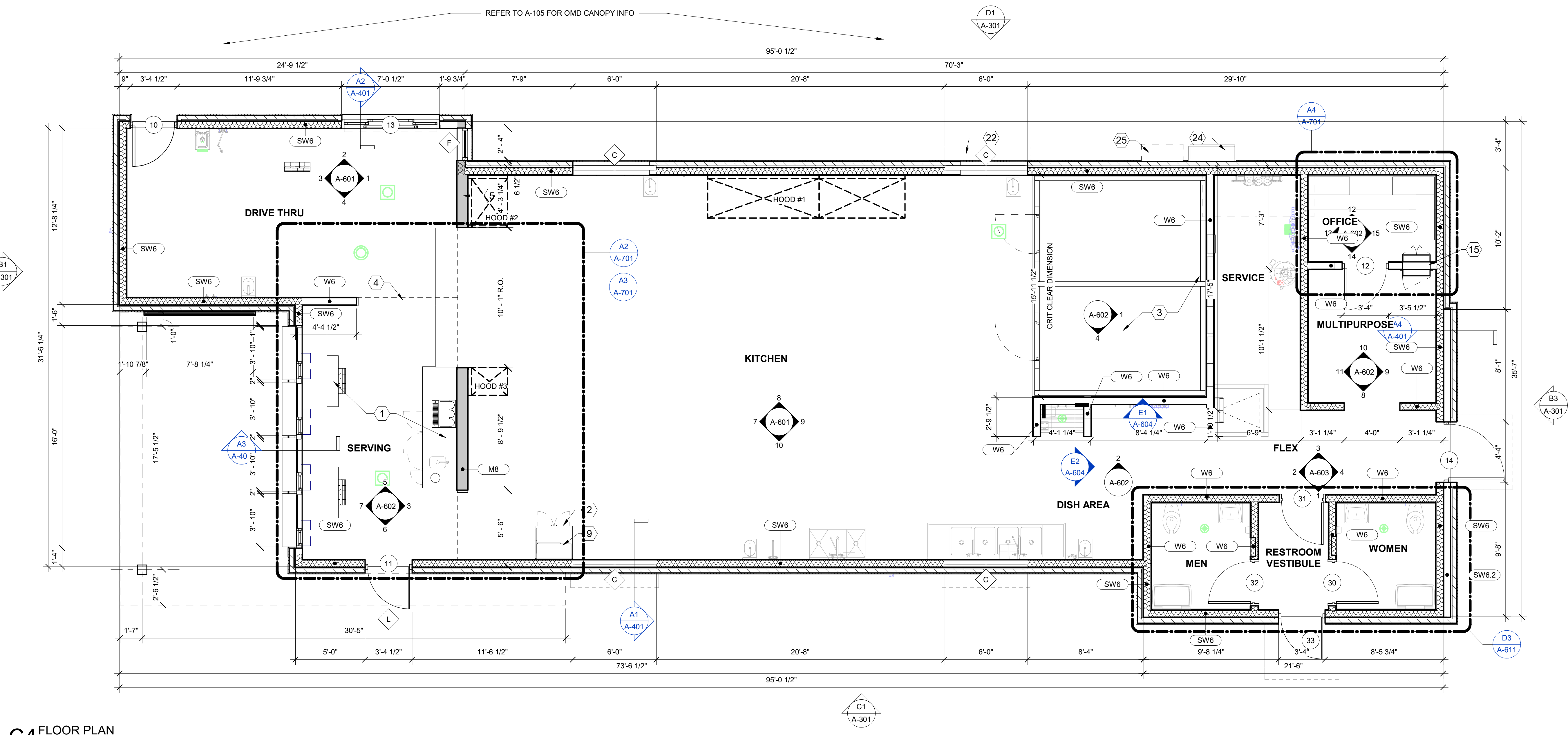
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SHEET
FLOOR PLAN

SHEET NUMBER

A-201



C4 FLOOR PLAN
 1/4" = 1'-0"

WALL TYPE SCHEDULE - INTERIOR

MARK	DESCRIPTION (DOES NOT INCLUDE FINISHES)
M8	8" MTL STUDS @ 24" O.C. MAX, WITH ONE LAYER 1/2" SHEATHING EA EXPOSED SIDE
W4.1	2x4 WD STUDS @ 24" O.C. MAX, WITH ONE LAYER 1/2" SHEATHING ON INTERIOR SIDE
W6	2x6 WD STUDS @ 24" O.C. MAX, WITH ONE LAYER 1/2" SHEATHING EA EXPOSED SIDE

WALL TYPE SCHEDULE - EXTERIOR

MARK	DESCRIPTION (DOES NOT INCLUDE FINISHES)
SM6	6" MTL STUD EXTERIOR WALL WITH 1/2" SHEATHING ON EXTERIOR FACES - REF STRUCT DRAWINGS AND ARCH SECTIONS/ELEVATIONS FOR CONSTRUCTION MATERIAL INFORMATION
SW6	2x6 WD STUD EXTERIOR WALL WITH 1/2" SHEATHING EA SIDE - REF STRUCT DRAWINGS AND ARCH SECTIONS/ELEVATIONS FOR CONSTRUCTION MATERIAL INFORMATION
SW6.2	2x6 WD STUD EXTERIOR FURRING WALL WITH ONE LAYER 1/2" SHEATHING EXPOSED SIDE - REF STRUCT DRAWINGS AND ARCH SECTIONS/ELEVATIONS FOR CONSTRUCTION MATERIAL INFORMATION

FLOOR PLAN WALL & PARTITION LEGEND

BATT INSULATION
 WOOD STUD WALL
 METAL STUD WALL

NOTE: SEE WALL & PARTITION TYPES AND SMOKE BARRIER INDICATED ON REFLECTED CEILING PLAN FOR ADDITIONAL INFORMATION

STATISTICS (NET)

Name	Area
DISH AREA	114 SF
DRIVE THRU	288 SF
FLEX	100 SF
KITCHEN	1323 SF
MEN	56 SF
MULTIPURPOSE	88 SF
OFFICE	58 SF
RESTROOM VESTIBULE	39 SF
SERVING	105 SF
SERVING	203 SF
WOMEN	56 SF
BUILDING FOOTPRINT:	2656 SF

NOTE: SQUARE FOOTAGE INDICATED IN STATISTICS IS NET SQUARE FOOTAGE AND DOES NOT INCLUDE INTERIOR OR EXTERIOR WALLS. REFER TO FOOTPRINT FOR BUILDING SQUARE FOOTAGE.

- FLOOR PLAN GENERAL NOTES**
- A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.
 - A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL. REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
 - A.3 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
 - A.4 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
 - A.5 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT OWNER.
 - A.6 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
 - A.7 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.

- FLOORPLAN KEYNOTES**
- 1 GC SHALL PROVIDE 5'-1/2" HIGH CONCRETE MILLWORK CURBS. RE: OWNER SHOP DRAWINGS FOR EXACT LOCATIONS & DIMENSIONS.
 - 2 GC SHALL SECURE SAFE USING (4) HILTI-HAS-E 1/2" x 4'-1/2" ANCHOR BOLTS WITH HILTI HVJ ADHESIVE CAPSULE AT EACH HOLE FASTEN THRU PHENOLIC BASE OF CABINET AND INTO CONCRETE CURB BELOW. VERIFY LOCATION WITH SAFE MANUFACTURER.
 - 3 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.
 - 4 DASHED LINE INDICATES SOFFIT OR BULKHEAD ABOVE. RE: REFLECTED CEILING PLAN.
 - 5 RECESSED PIN AND SLEEVE BOX. RE: A4A-A620 & ELECTRICAL. 2'-1" ROUGH OPENING WIDTH AT HOOD #2. 1" ROUGH OPENING WIDTH AT HOOD #3.
 - 6 STEEL WALL BY OWNER (TYP.) RE: OWNER FOR EXACT LOCATION.
 - 7 SAFE SCREEN BY OWNER.
 - 8 NETWORK CABINET. A4/A604.
 - 9 ELECTRICAL PANEL. RE: ELECTRICAL.
 - 10 ITEM BY OWNER.
 - 11 2-SIDED ICON. RE: OWNER DRAWINGS.
 - 12 CANOPY ABOVE BY OWNER.
 - 13 DROP SLAB IN PLAY AREA. 1'-1/2". RE: STRUCTURAL.
 - 14 MDP. RE: ELECTRICAL.
 - 15 CT CABINET. RE: ELECTRICAL.
 - 16 HAND SANITIZER CENTERED UNDER PLAY RULES SIGNAGE (WITH DECAL ON OPPOSITE SIDE IF MOUNTED ON STOREFRONT). RE: SCHEDULE ON A-701 FOR MODEL INFO.

- WALL NOTES**
- B.1 WHERE EXTERIOR METAL STUD WALL TYPE REQUIRES BATT INSULATION. USE R-19 FOIL FACED BATT INSULATION.
 - B.2 WHERE EXTERIOR WOOD STUD WALL REQUIRES BATT INSULATION. USE R-19 KRAFT FACED FIBERGLASS BATT INSULATION WITH FLAME SPREAD INDEX OF NOT MORE THAN 25 AND SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
 - B.3 WHERE EXTERIOR STUD WALLS REQUIRE BATT INSULATION. EXTEND INSULATION UP 12" ABOVE ROOFTOP RIGID INSULATION.
 - B.4 AT INTERIOR METAL STUD WALLS WHERE INSULATION IS SCHEDULED. USE 3-1/2" FOIL FACED BATT INSULATION.
 - B.5 AT INTERIOR WOOD STUD WALLS WHERE INSULATION IS SCHEDULED. USE 3-1/2" BATT INSULATION WITH MAXIMUM FLAME SPREAD INDEX OF 25.
 - B.6. NOT USED.
- INTERIOR WALL FRAMING NOTES**
- C.1 UNLESS NOTED OTHERWISE. EXTEND FRAMING TO 6" ABOVE ADJACENT CEILING.
 - C.2 AT DRAFT STOPPING PARTITION INTERIOR WALLS. EXTEND FRAMING TO ROOF DECK AS REQUIRED TO ACCOMMODATE SMOKE BARRIER.
 - C.3 WHERE INTERIOR WALLS ARE NOT INSULATED AND NOT A DRAFT STOPPING PARTITION. FRAMING MAY STOP 6" ABOVE HIGHEST ABUTTING FINISH CEILING.
 - C.4 WHERE INTERIOR WALL FRAMING DOES NOT EXTEND TO STRUCTURE ABOVE. BRACE INTERIOR WALLS AS REQUIRED FOR COMPLIANCE WITH BUILDING CODE. REF BUILDING DATA ON COVER SHEET.
 - C.5 FRAMING AT NON-LOADBEARING INTERIOR WALLS SHALL MEET REQUIREMENTS OF APPLICABLE BUILDING CODES AND LOCAL AMENDMENTS.
- EXTERIOR WALL FRAMING NOTES**
- D.1 SEE STRUCTURAL DRAWINGS FOR STUD DIMENSIONS AND SPACING.
 - D.2 AT WOOD STUD EXTERIOR WALLS. USE TREATED SILL PLATES.
- EXTERIOR SHEATHING NOTES**
- E.1 REFER TO STRUCTURAL FOR EXTERIOR SHEATHING TYPES.
- BLOCKING NOTES**
- F.1 WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC. AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.
- INTERIOR WALL FINISH & INTERIOR SHEATHING NOTES**
- AT MATERIALS LABELED "INTERIOR SHEATHING" ON WALL TYPE DRAWINGS AND DETAILS. SHEATHING SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH MATERIAL ON INTERIOR SHEATHING. DO NOT USE WOOD SHEATHING WITHIN 18" OF HOODS.
 - G.1 WHERE SHEATHING IS EXPOSED: 1/2" GYPSUM BOARD. PAINTED PER INTERIOR ELEVATIONS AND FINISH PLAN.
 - G.2 BETWEEN WALL TILE AND STUDS: 1/2" CEMENTITIOUS BACKER BOARD.
 - G.3 BETWEEN FRP PANELS AND WOOD STUDS AT BACK OF HOUSE: COMPOSITE GOLD 40 MIL WATERPROOF MEMBRANE AND 1/2" CEMENTITIOUS BOARD TO 1'-0" ABOVE SLAB. 1/2" CDX PLYWOOD SUBSTRATE ABOVE CEMENTITIOUS BOARD TO 1'-0" ABOVE CEILING. RE: TYPICAL WALL BASE DETAIL.
 - G.4 BETWEEN FRP PANELS AND METAL STUDS AT PLAY AREA: 1/2" GYPSUM BOARD.
 - G.5 BETWEEN STAINLESS STEEL PANELS AND METAL STUDS: 1/2" CEMENTITIOUS BOARD.
 - G.6 BETWEEN STAINLESS STEEL PANELS AND WOOD STUDS: 1/2" CEMENTITIOUS BOARD.
 - G.7 BETWEEN STAINLESS STEEL PANELS AND WOOD STUDS: 1/2" CEMENTITIOUS BOARD.
 - G.8 BETWEEN WALL COVERING AND STUDS: 1/2" GYPSUM BOARD.
 - G.9 BETWEEN WOOD WAINSCOT AND WOOD STUDS: 1/2" PLYWOOD.
 - G.10 BETWEEN WOOD WAINSCOT AND METAL STUDS: 1/2" PLYWOOD.
 - G.11 BETWEEN FRP PANELS AND WOOD STUDS: 1 FT TALL CEMENT BOARD BASE WITH 1/2" GYPSUM BOARD (LEVEL 1 FINISH) TO 6" ABOVE FINISH CEILING. EXTEND 40 MIL COMPOSITE GOLD WATERPROOF MEMBRANE FROM FLOOR AS INDICATED ON FINISH PLAN UP WALL AS INDICATED ON FREEZER AND COOLER SCREED DETAILS.
 - G.12 BEHIND WOOD BOARD FINISH AT CON WALL: 3/4" PLYWOOD.
 - G.13 BEHIND WOOD BOARD FINISH AT OTHER LOCATIONS: 1/2" PLYWOOD.
- INTERIOR BASE FINISH & SHEATHING NOTES**
- AT MATERIALS LABELED "INTERIOR SHEATHING" ON WALL TYPE DRAWINGS AND DETAILS. MATERIALS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH MATERIAL. SLAB.
 - H.1 BETWEEN TILE BASE AT KITCHEN AND STUDS: 1/2" CEMENTITIOUS BACKER BOARD TO MINIMUM 1'-0" ABOVE SLAB.
 - H.2 BETWEEN TILE BASE AT NON-KITCHEN AREAS AND STUD WALLS: 1/2" CEMENT BACKER BOARD TO MINIMUM 5" ABOVE SLAB.
 - H.3 BETWEEN VINYL BASE AND WOOD STUD WALLS: 1/2" GYPSUM BOARD.

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