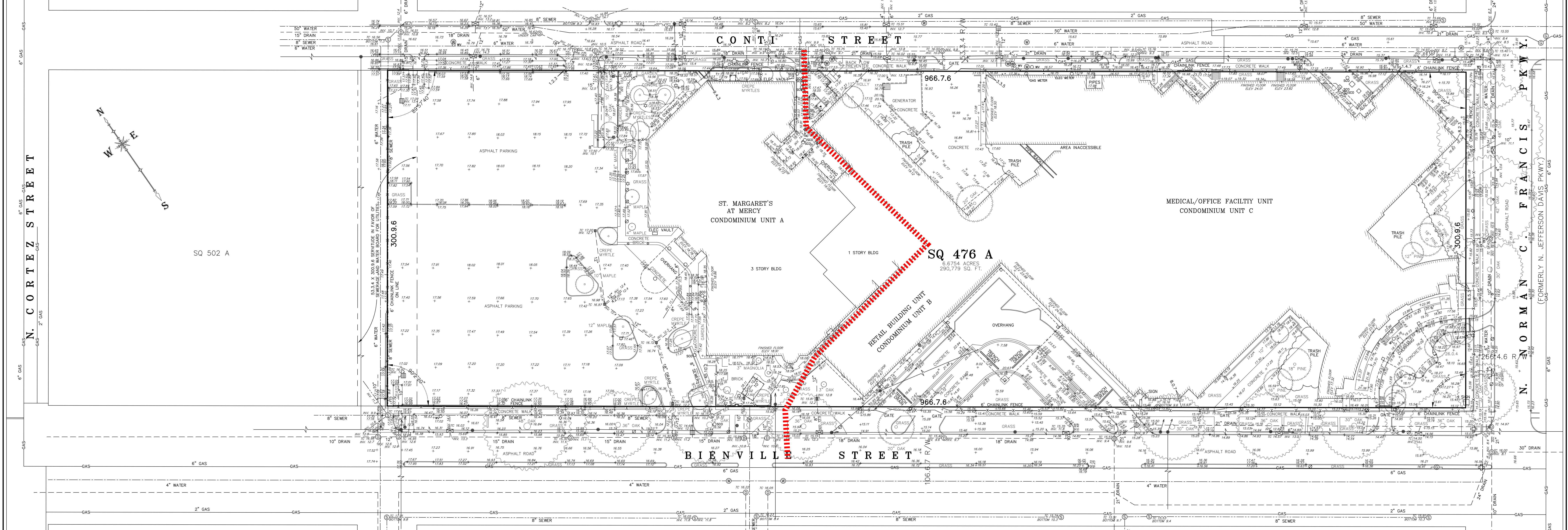


SQUARE 476 A SECOND DISTRICT



- MEASUREMENTS ARE IN FEET, INCHES AND EIGHTHS.
- LEGEND**
- DRAIN MANHOLE
 - WATER MANHOLE
 - SEWER MANHOLE
 - GAS MANHOLE
 - UNDERGROUND ELECTRIC & MANHOLE
 - OVERHEAD ELECTRIC & POLE
 - OVERHEAD TELEPHONE & POLE
 - UNDERGROUND TELEPHONE & MANHOLE
 - CATV
 - WESTERN UNION MH
 - CATCH BASIN
 - OPEN GRATE DRAIN
 - HYDRANT
 - PARKING METER
 - TRAFFIC LIGHT
 - DRAIN CLEANOUT
 - SEWER CLEANOUT
 - WATER VALVE
 - LIGHT STANDARD
 - WATER METER
 - GAS VALVE
 - SIGN
 - POWER POLE AND GUY ANCHOR

SMALL SLANT FIGURES DENOTE ELEVATIONS. ELEVATIONS SHOWN HEREON ARE DERIVED FROM GPS OBSERVATIONS AND ARE REPORTED IN CAIRO DATUM. SUBTRACT 20.43 FROM VALUES SHOWN HEREON TO CONVERT ELEVATIONS TO NAVD'83 GEOID 18.

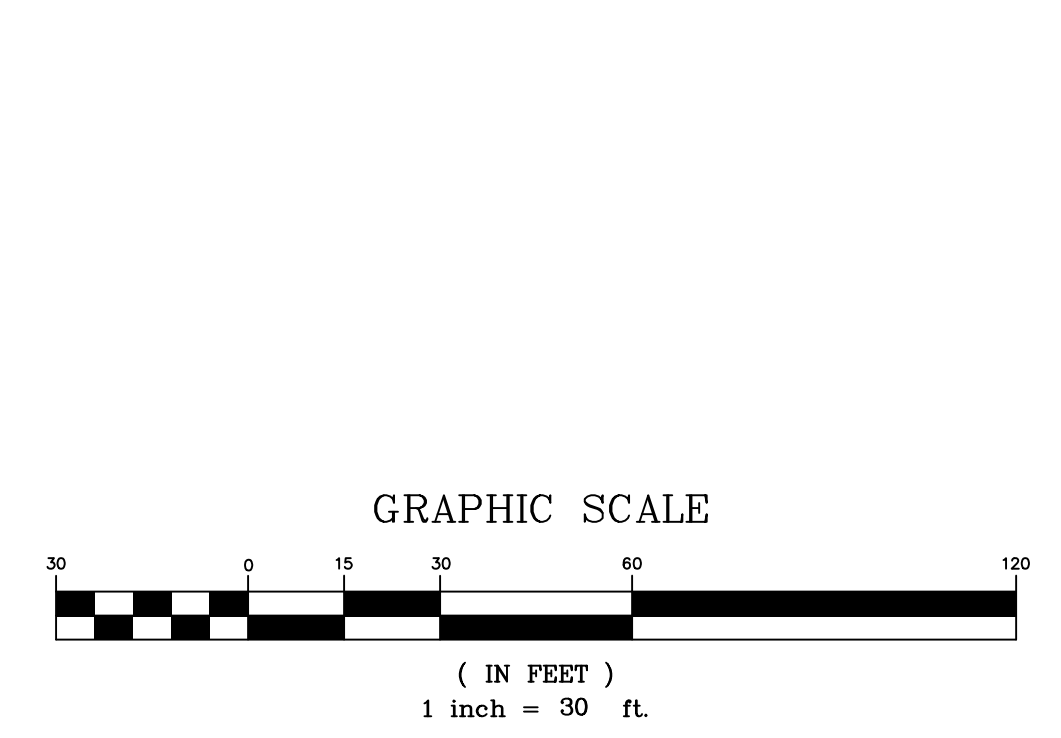
THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

THE SERVITUDES SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE RECORD DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLYING WITH THIS SURVEY.

THE PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

THIS PROPERTY IS LOCATED IN FLOOD ZONE X & AE, BASE FLOOD ELEVATION 1/4 A & 2, AS SHOWN ON FEMA FLOOD INSURANCE RATE MAPS 220071C0226F & 2201C0227F EFFECTIVE SEPTEMBER 30, 2016.

REFERENCED SURVEY BY WALKER & AVERY, INC. DATED JANUARY 7, 1992



Boundary & Topographic Survey of Square 476 A made for Woodward Interests LLC at the request of Mr. Bear Cheezem, New Orleans, La. September 29, 2021

I certify that this plat is a delineation of a survey made on the ground, under my supervision, and meets the requirements of a Class B survey as defined in the "Standards of Practice for Property Boundary Surveys in the State of Louisiana." New Orleans, La. September 29, 2021

PRELIMINARY

Walter J. Stone, PLS
La. License No. 4898

GANDOLFO KUHN, L.L.C.
PROFESSIONAL LAND SURVEYORS
2329 SEVERN AVE.
METairie, LA. 70001
survey@gandolfokuhn.com
504.818.2810



woodward design group
 1000 S. NORMAN C. FRANCIS PARKWAY
 NEW ORLEANS, LA 70130
 WOODWARDDESIGNBUILD.COM | 504-859-6443
Donald Font
 ARCHITECT A.I.A., LEED AP

Mercy Senior Living Center
 301 N. Norman C. Francis Parkway
 New Orleans, Louisiana 70119

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WDG no: 6022-462
 drawn by: WDG
 checked by: WDG



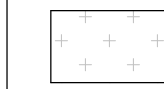
date: 10/29/21
 issue: SCHEMATIC DESIGN

revisions		
no.	description	date

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 SITE DEMOLITION

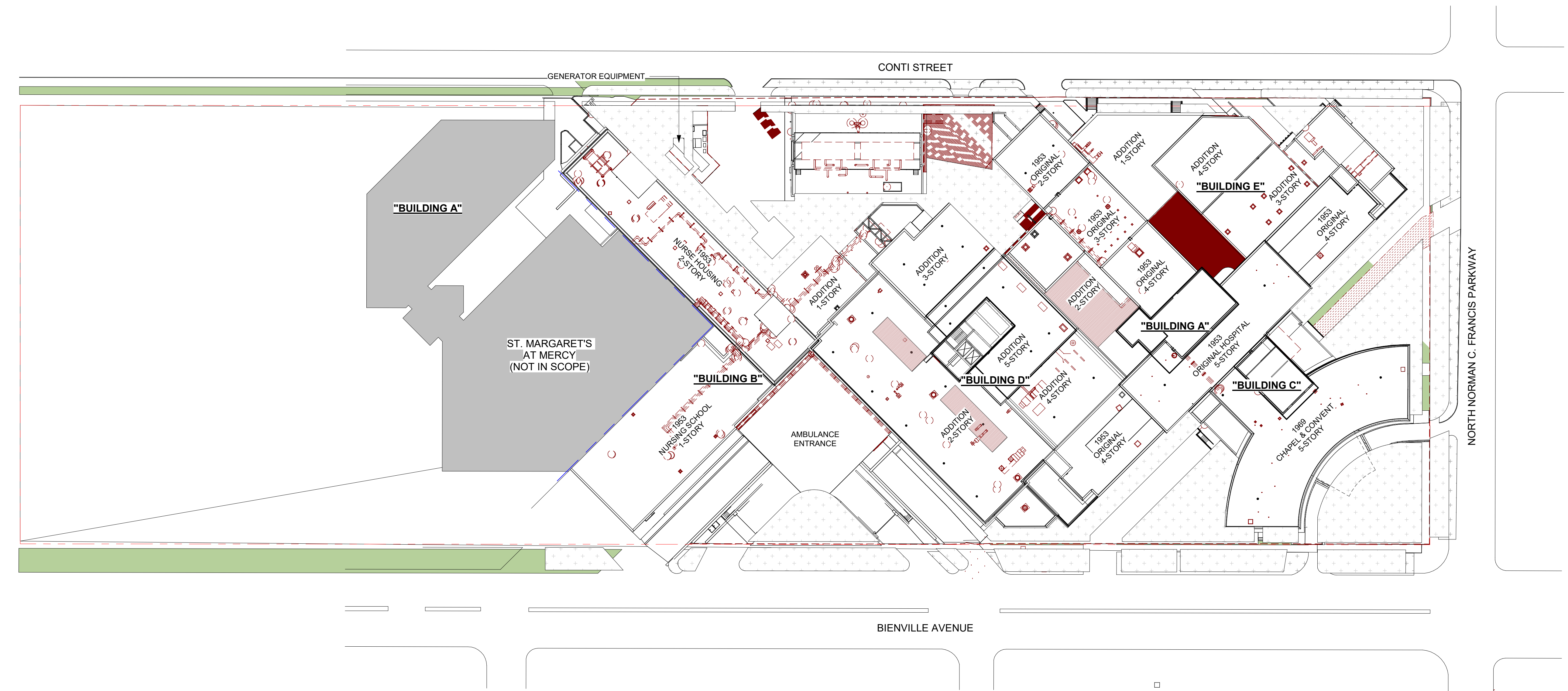
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DEMOLITION LEGEND - SITE PLAN

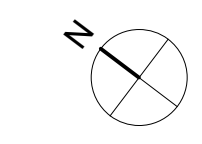
-  BUILDING - AREA OF WORK
-  EXISTING BUILDING - NOT IN SCOPE
-  EXISTING GRASS

DEMO SITE GENERAL NOTES

1. CONTRACTOR SHALL ENSURE THAT THE DAILY OPERATION OF ST. MARGARET'S OF MERCY (ADJACENT FACILITY - OPERATES 24 / 7) HAS NO DISRUPTION.
2. PROJECT CONSISTS OF SELECT INTERIOR DEMOLITION ONLY. POWER PLANT IS NOT INCLUDED IN THE SCOPE OF WORK.
3. PROVIDE PROTECTION FOR THE POWER PLANT AND GENERATORS ON SITE TO ENSURE CONTINUOUS OPERATION (PLANT SERVICES ADJACENT ST. MARGARET'S FACILITY).
4. CONTRACTOR SHALL NOT BLOCK AND SHALL MAINTAIN EGRESS FOR ST. MARGARET'S OF MERCY AT ALL TIMES.
5. FIELD VERIFY AND BECOME FAMILIAR WITH SITE CONDITIONS INCLUDING EXISTING STRUCTURES AND IMPROVEMENTS BOTH SCHEDULED TO REMAIN AND / OR BE REMOVED. VEGETATION, SITE APPURTENANCES, ROADS, WALKS PAVING AND EQUIPMENT PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
6. ALL SITE TREES AND ADJACENT STREET TREES ARE TO REMAIN AND SHALL BE PROTECTED AT ALL TIMES.
7. CONTRACTOR SHALL PROVIDE LOCATIONS OF DUMPSTERS FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.



1 SITE - DEMO
 D0.01 1" = 40'-0"



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WDG no: 6022-462
 drawn by: WDG
 checked by: WDG

date: 06/14/2021
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revisions		
no.	description	date
1		

sheet contents
 BASEMENT DEMOLITION PLAN

DEMOLITION LEGEND

- EXISTING HISTORIC WALL TO BE RETAINED AND PROTECTED FROM DAMAGE. REMOVE GYPSUM BOARD, METAL FURRING OR OTHER COVERING FROM MASONRY OR STUD WALL.
- EXISTING HISTORIC WALL TO BE RETAINED AND PROTECTED FROM DAMAGE.
- EXISTING HISTORIC FEATURE OR FINISH TO BE RETAINED AND PROTECTED FROM DAMAGE.
- EXISTING HISTORIC ARCHITECTURAL FEATURE TO BE RETAINED AND PROTECTED FROM DAMAGE.
- EXISTING WALL TO REMAIN.
- EXISTING MASONRY WALL TO BE REMOVED.
- EXISTING WALL TO BE REMOVED.
- GENERAL OUTLINE OF HISTORIC BUILDING(S).
- LOCATION / DIRECTION OF PHOTO

DEMOLITION PLAN GENERAL NOTES

- REFER TO ABATEMENT REPORT REQUIREMENTS PRIOR TO COMMENCEMENT OF DEMOLITION SCOPE OF WORK. ABATE ALL MOLD, MILDEW, ETC. THOROUGHLY CLEAN & PREP SPACE FOR NEW.
- ANY DEMOLITION IS TO BE CONDUCTED IN A MANNER AS TO NOT DAMAGE OR FURTHER DESTROY ANY INTERIOR OR EXTERIOR BUILDING MATERIALS OR ADJACENT STRUCTURES THAT MAY HAVE ANY HISTORIC SIGNIFICANCE.
- EXISTING TREES TO REMAIN. CONTRACTOR SHALL PROTECT ALL TREES ON SITE.
- EXISTING EXTERIOR WINDOWS TO REMAIN.
- CONTRACTOR TO REMOVE EXISTING CERAMIC WALL AND FLOOR TILE IN RESTROOMS COMPLETE. (WITH EXCEPTION OF GLAZED MASONRY TILES AT CORRIDORS.)
- CONTRACTOR TO REMOVE THE EXISTING CEILING TILES, GRID SYSTEM, AND ASSOCIATED ITEMS COMPLETE. (EXCEPT WHERE SPECIFICALLY NOTED TO BE RETAINED AND PROTECTED.)
- CONTRACTOR TO REMOVE EXISTING WALL COVERINGS, FRP PANELS, MOVEABLE PARTITION WALLS, AND ASSOCIATED ITEMS COMPLETE.
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- CONTRACTOR TO REMOVE EXISTING GYPSUM BOARD AND ASSOCIATED ITEMS COMPLETE. **NOTED EXCEPTIONS ARE AT HISTORIC CORRIDOR WALLS. GYPSUM BOARD COVERING TO REMAIN IF ITS REMOVAL WILL COMPROMISE THE WALL STUDS.**
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- CONTRACTOR TO REMOVE EXISTING MILLWORK, CASEWORK, COUNTERTOPS, AND ASSOCIATED ITEMS COMPLETE, UNLESS SPECIFICALLY NOTED TO BE RETAINED.
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- CONTRACTOR TO PROTECT EXISTING EXTERIOR WALLS FROM DAMAGE DURING DEMOLITION.
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- ALL MASONRY, BRICK, TERRACOTTA, CMU OR CONCRETE WALLS ARE TO BE RETAINED.** CONTRACTOR TO PROTECT EXISTING MASONRY AND GLAZED BLOCK WALLS AT INTERIOR CORRIDORS AND EXTERIOR WALLS. THESE HISTORIC ELEMENTS ARE TO BE PROTECTED FROM FURTHER DAMAGE DURING DEMOLITION. CONTRACTOR SHALL SALVAGE ALL LOOSE GLAZED TILE BLOCKS AND BLUE MOSAIC GLASS PIECES (FROM SECOND FLOOR CHAPEL) AND STORE IN A SAFE AND SECURE LOCATION FOR FUTURE USE.
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- CONTRACTOR TO PROTECT EXISTING STRUCTURAL LOAD BEARING WALLS, COLUMNS, FLOOR SLABS, AND MISCELLANEOUS STRUCTURAL COMPONENTS COMPLETE. NO COLUMNS ARE TO BE REMOVED.
- WHERE WALLS ARE REMOVED FROM SHAFTS OR OTHER FLOOR PENETRATIONS, CONTRACTOR SHALL PROVIDE PROTECTION FROM FALLS INTO FLOOR OPENINGS.
- AT ROOF AREAS, REMOVE ONLY TRASH & DEBRIS. NO ROOFING MATERIAL IS TO BE REMOVED. NO EQUIPMENT, WIRING, PIPES, CONDUIT, ETC. ARE TO BE DEMOLISHED FROM ROOF AREAS.



2 INTERIOR - BASEMENT - ORIGINAL HOSPITAL: KITCHEN
 GLAZED MASONRY WALLS TO REMAIN ON INTERIOR AND EXTERIOR WALLS. SALVAGE ANY LOOSE BLOCKS FOR RE-USE.

ALL EXTERIOR WALLS ARE TO BE RETAINED AND PROTECTED FROM FURTHER DAMAGE DURING DEMOLITION PROCESS. (INCLUDES CMU, RED BRICK AND GLAZED BLOCK WALLS)

ALL EXTERIOR WALLS ARE TO BE RETAINED AND PROTECTED FROM FURTHER DAMAGE DURING DEMOLITION PROCESS. (INCLUDES CMU, RED BRICK AND GLAZED BLOCK WALLS)

BASEMENT - KITCHEN OF ORIGINAL 1953 BUILDING: GLAZED MASONRY TILES AT EXTERIOR WALLS AND INTERIOR WALLS TO REMAIN. PROTECT FROM FURTHER DAMAGE DURING DEMOLITION PROCESS.

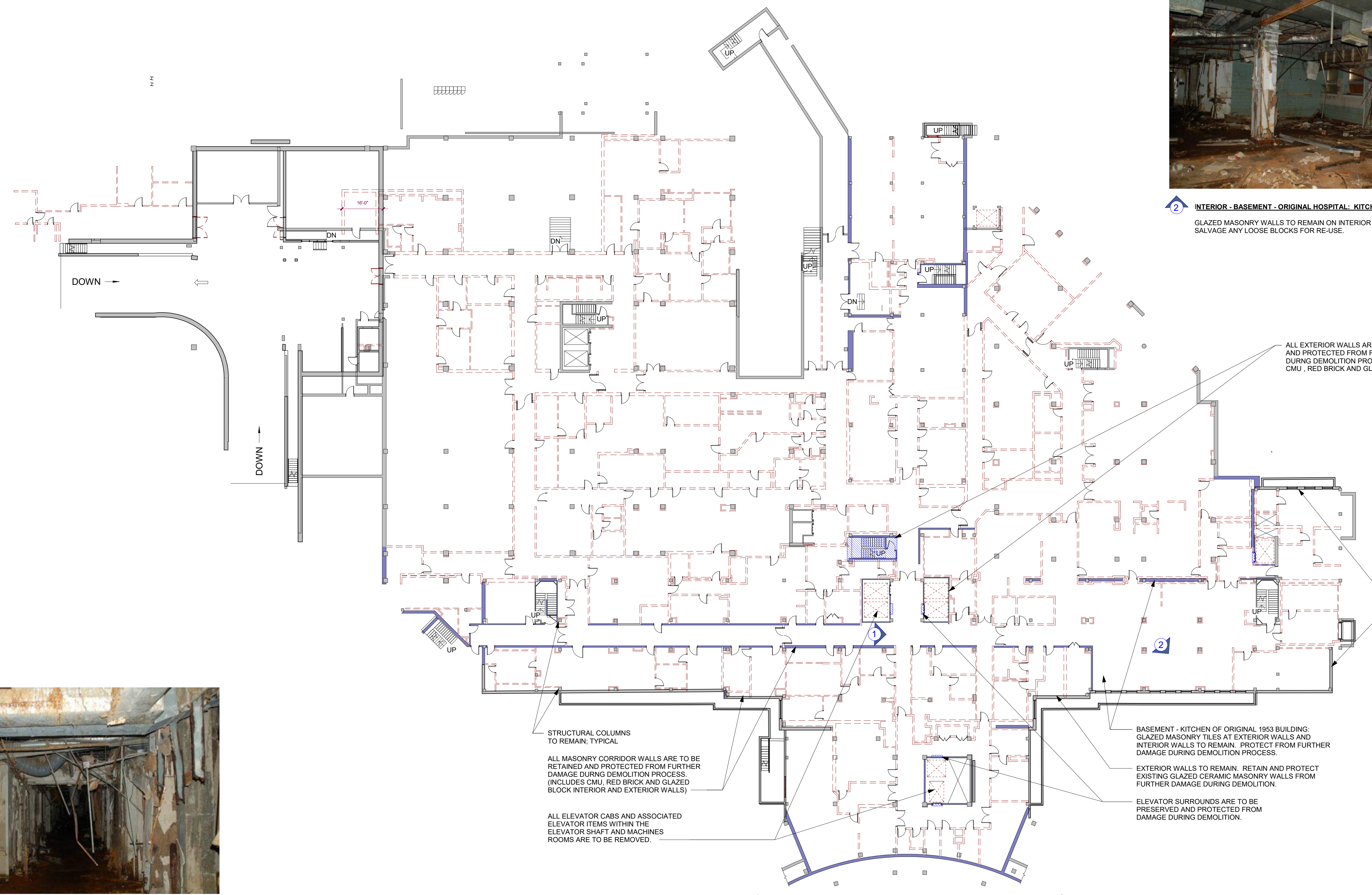
EXTERIOR WALLS TO REMAIN. RETAIN AND PROTECT EXISTING GLAZED CERAMIC MASONRY WALLS FROM FURTHER DAMAGE DURING DEMOLITION.

ELEVATOR SURROUNDS ARE TO BE PRESERVED AND PROTECTED FROM DAMAGE DURING DEMOLITION.

STRUCTURAL COLUMNS TO REMAIN, TYPICAL

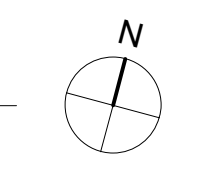
ALL MASONRY CORRIDOR WALLS ARE TO BE RETAINED AND PROTECTED FROM FURTHER DAMAGE DURING DEMOLITION PROCESS. (INCLUDES CMU, RED BRICK AND GLAZED BLOCK INTERIOR AND EXTERIOR WALLS)

ALL ELEVATOR CABS AND ASSOCIATED ELEVATOR ITEMS WITHIN THE ELEVATOR SHAFT AND MACHINES ROOMS ARE TO BE REMOVED.



1 INTERIOR - BASEMENT - ORIGINAL HOSPITAL: EAST CORRIDOR
 MASONRY WALLS TO REMAIN. STRUCTURAL FRAMING TO REMAIN. REMOVE ALL GYPSUM BOARD FINISHES, SUSPENDED CEILING, PIPING, CONDUIT, DUCTWORK, PLUMBING, EQUIPMENT, LIGHTING, ETC. REMOVE ALL DEBRIS.

NOTE: WATER WILL BE DRAINED FROM BASEMENT PRIOR TO COMMENCEMENT OF DEMOLITION WORK.



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WDG no: 6022-462
 drawn by: WDG
 checked by: WDG

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revisions		
no.	description	date
1	DEMO UPDATE	07.16.21

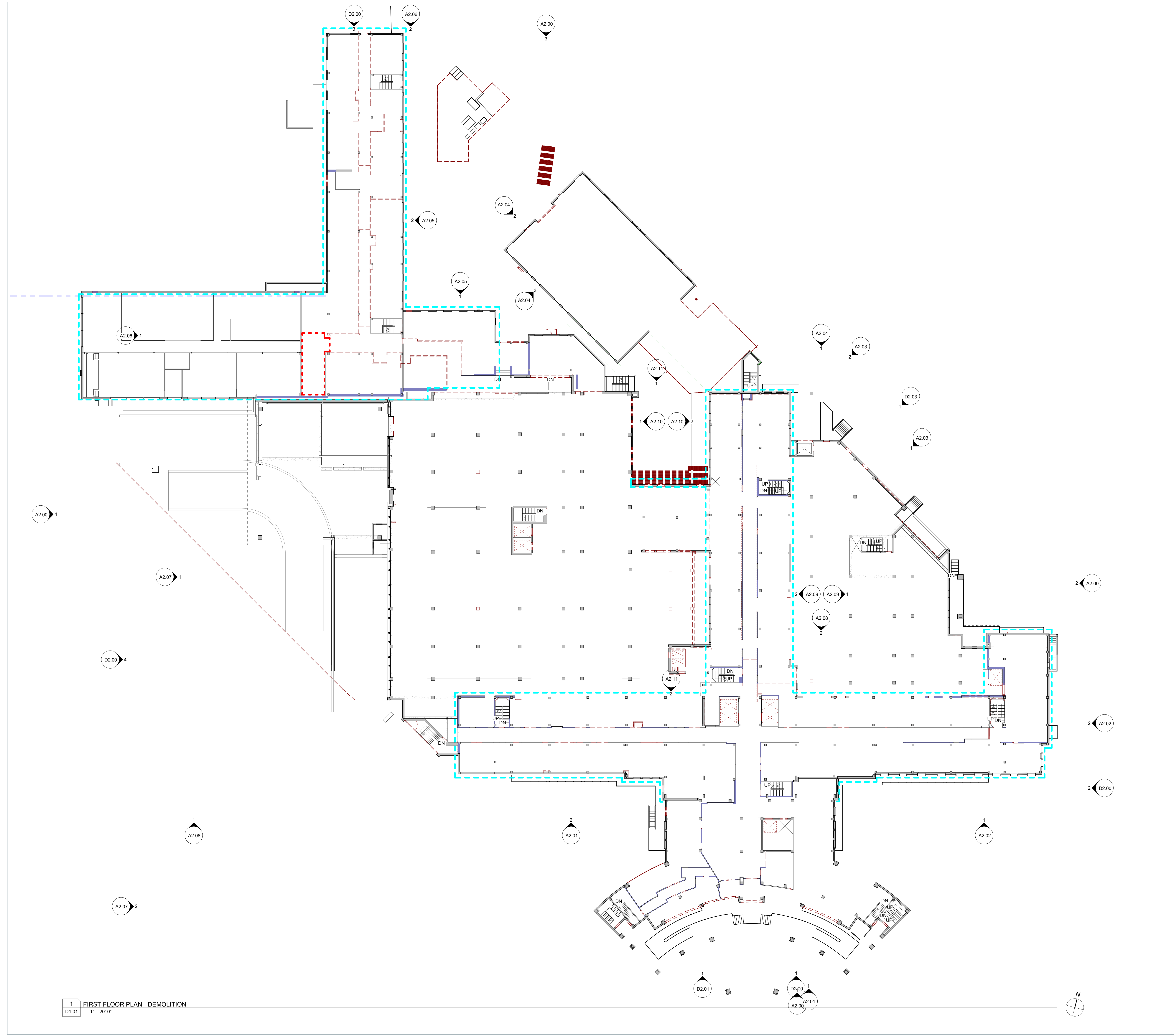
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 FIRST FLOOR DEMOLITION PLAN

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1 FIRST FLOOR PLAN - DEMOLITION
 D1.01 1" = 20'-0"

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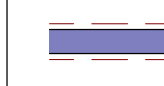

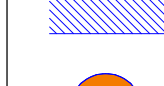



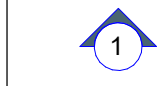


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1	DEMO UPDATE	07.16.21

sheet contents
 SECOND FLOOR
 DEMOLITION
 PLAN

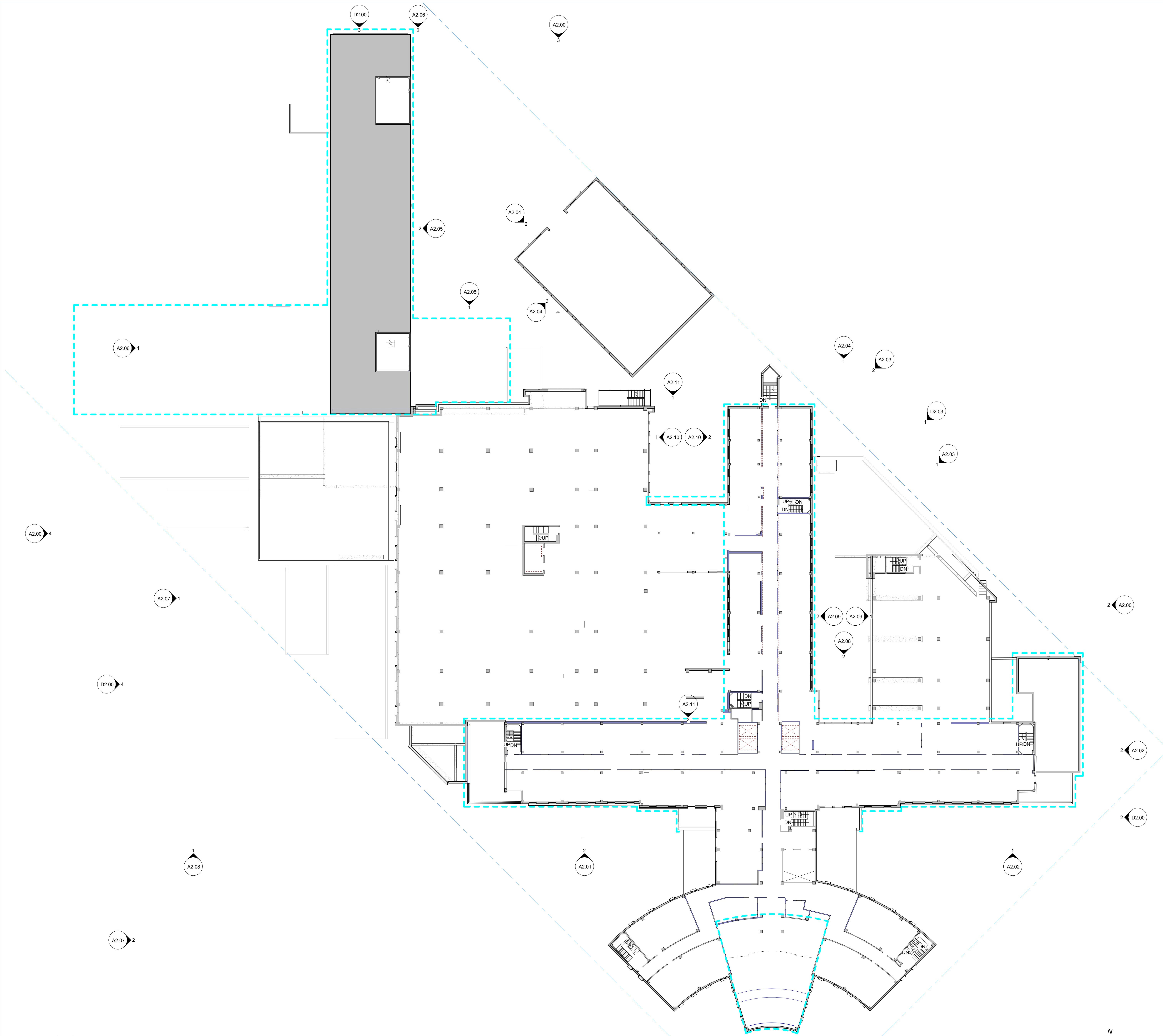
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DEMOLITION LEGEND

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13. CONTRACTOR TO REMOVE EXISTING ELEVATOR CABS AND ASSOCIATED ELEVATOR EQUIPMENT, CABLES, ETC. WITHIN THE ELEVATOR SHAFTS AND MECHANICAL ROOMS. DO NOT REMOVE ELEVATOR SURROUND OR DOORS. HISTORIC ELEVATOR SURROUNDS TO BE RETAINED AND PROTECTED.
14. CONTRACTOR TO REMOVE EXISTING LIGHT FIXTURES, CONTROLS, SWITCHES, OUTLETS, AND ASSOCIATED ITEMS COMPLETE. UNLESS SPECIFICALLY NOTED TO BE RETAINED.
15. CONTRACTOR TO REMOVE ALL EXISTING FLOORING, SUB-FLOORING, AND ASSOCIATED ITEMS COMPLETE UNLESS IDENTIFIED AS HISTORICALLY SIGNIFICANT. (NOTE: ALL TERRAZZO FLOORING SHALL BE RETAINED AND PROTECTED FROM DAMAGE DURING DEMOLITION.)
16. CONTRACTOR TO REMOVE EXISTING DOORS, FRAMES, AND ASSOCIATED ITEMS COMPLETE IN WALLS THAT ARE TO BE DEMOLISHED. **IN HISTORIC CORRIDOR WALLS, REMOVE THE DOOR ONLY AND RETAIN THE DOOR FRAME.** (NOTE: MAINTAIN EXISTING EXTERIOR DOORS TO SECURE SITE.)
17. CONTRACTOR TO REMOVE EXISTING MILLWORK, CASEWORK, COUNTERTOPS, AND ASSOCIATED ITEMS COMPLETE. UNLESS SPECIFICALLY NOTED TO BE RETAINED.
18. CONTRACTOR TO REMOVE EXISTING MEDICAL EQUIPMENT, FURNITURE, FIXTURES, AND ASSOCIATED ITEMS COMPLETE.
19. CONTRACTOR TO REMOVE ALL WALL COVERINGS, GYPSUM BOARD, METAL FURRING, AND ASSOCIATED ITEMS FROM EXISTING MASONRY CORRIDOR WALLS, EXTERIOR WALLS, STAIR ENCLOSURE, AND ELEVATOR SHAFT WALLS SCHEDULED TO REMAIN. CONTRACTOR TO REMOVE ELEMENTS IN A GENTLE MANNER SO AS TO NOT FURTHER DAMAGE THE MASONRY OR GLAZED BLOCK HISTORIC FEATURES. **IF COVERINGS CANNOT BE REMOVED WITHOUT DAMAGING THE HISTORIC MASONRY OR STUDS, IT SHALL REMAIN.**
20. CONTRACTOR TO PROTECT EXISTING EXTERIOR WALLS FROM DAMAGE DURING DEMOLITION.
21. CONTRACTOR TO PROTECT EXISTING MASONRY WALLS (AT INTERIOR STAIRS, ELEVATOR ENCLOSURES, AND SHAFTS SCHEDULED TO REMAIN) DURING DEMOLITION.
22. **ALL MASONRY, BRICK, TERRAZZOTA, CHU OR CONCRETE WALLS ARE TO BE RETAINED.** CONTRACTOR TO PROTECT EXISTING MASONRY AND GLAZED BLOCK WALLS AT INTERIOR CORRIDORS AND EXTERIOR WALLS. THESE HISTORIC ELEMENTS ARE TO BE PROTECTED FROM FURTHER DAMAGE DURING DEMOLITION. CONTRACTOR SHALL SALVAGE ALL LOOSE GLAZED TILE BLOCKS AND BLUE MOSAIC GLASS PIECES (FROM SECOND FLOOR CHAPEL) AND STORE IN A SAFE AND SECURE LOCATION FOR FUTURE USE.
23. CONTRACTOR TO PROTECT EXISTING STAIRS, HANDRAILS, GUARDRAILS, AND ASSOCIATED ITEMS COMPLETE.
24. CONTRACTOR TO PROTECT EXISTING STRUCTURAL LOAD BEARING WALLS, COLUMNS, FLOOR SLABS, AND MISCELLANEOUS STRUCTURAL COMPONENTS COMPLETE. NO COLUMNS ARE TO BE REMOVED.
25. WHERE WALLS ARE REMOVED FROM SHAFTS OR OTHER FLOOR PENETRATIONS, CONTRACTOR SHALL PROVIDE PROTECTION FROM FALLS INTO FLOOR OPENINGS.
26. AT ROOF AREAS, REMOVE ONLY TRASH & DEBRIS. NO ROOFING MATERIAL IS TO BE REMOVED. NO EQUIPMENT, WIRING, PIPES, CONDUIT, ETC. ARE TO BE DEMOLISHED FROM ROOF AREAS.



1 SECOND FLOOR PLAN - DEMOLITION
 D1.02 1" = 20'-0"

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WDG no: 6022-462
 drawn by: WDG
 checked by: WDG

date: 06/14/2021
 issue: SCHEMATIC DESIGN

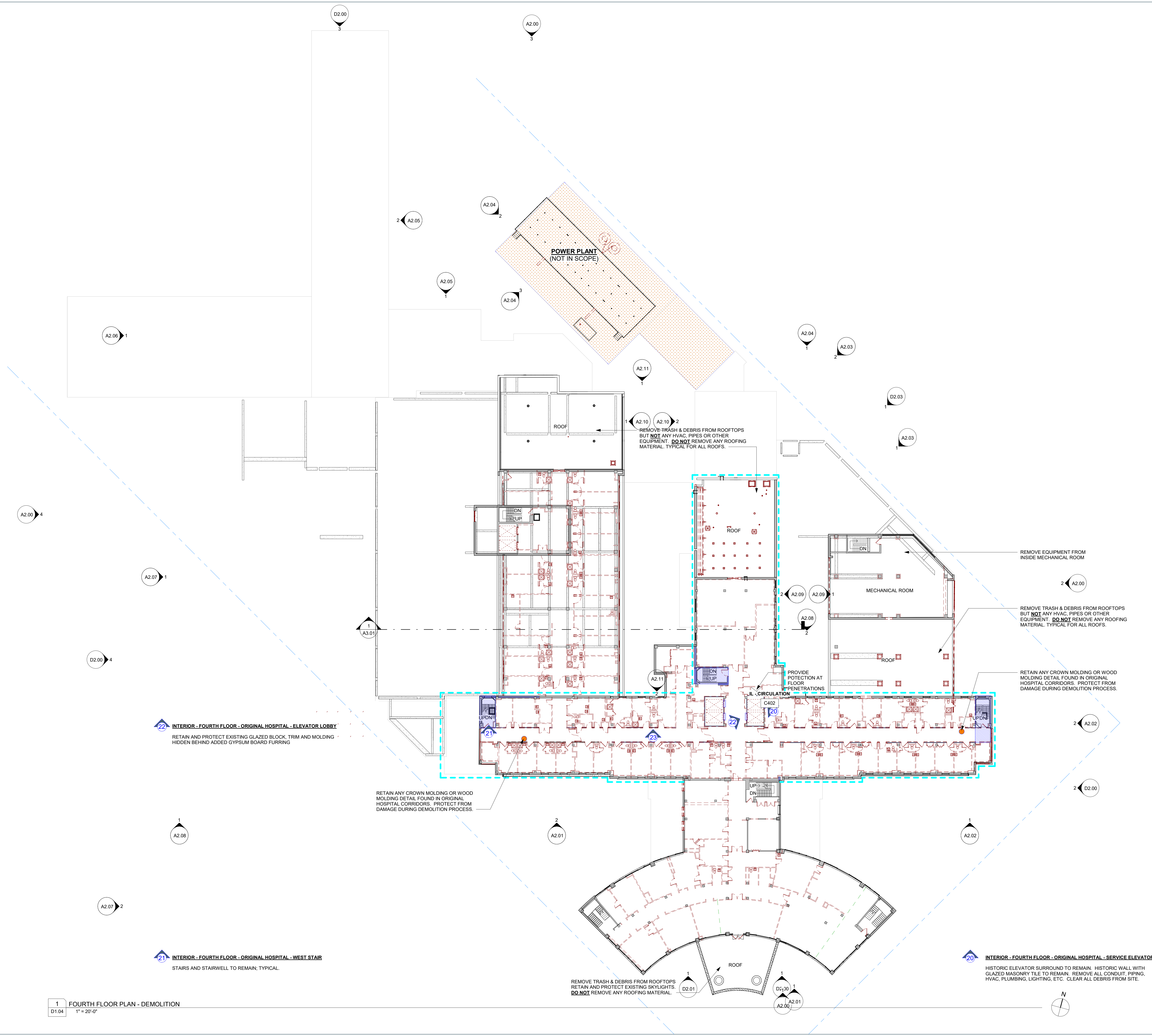
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no.	description	date
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sheet contents
 FOURTH FLOOR DEMOLITION PLAN

DEMOLITION LEGEND

- EXISTING HISTORIC WALL TO BE RETAINED AND PROTECTED FROM DAMAGE. REMOVE GYPSUM BOARD, METAL FURRING OR OTHER COVERING FROM MASONRY OR STUD WALL
- EXISTING HISTORIC WALL TO BE RETAINED AND PROTECTED FROM DAMAGE
- EXISTING HISTORIC FEATURE OR FINISH TO BE RETAINED AND PROTECTED FROM DAMAGE
- EXISTING HISTORIC ARCHITECTURAL FEATURE TO BE RETAINED AND PROTECTED FROM DAMAGE
- EXISTING WALL TO REMAIN
- EXISTING MASONRY WALL TO BE REMOVED
- EXISTING WALL TO BE REMOVED
- GENERAL OUTLINE OF HISTORIC BUILDING(S)
- LOCATION / DIRECTION OF PHOTO

- ### DEMOLITION PLAN GENERAL NOTES
1. REFER TO ABATEMENT REPORT REQUIREMENTS PRIOR TO COMMENCEMENT OF DEMOLITION SCOPE OF WORK. ABATE ALL MOLD, MILDEW, ETC. THOROUGHLY CLEAN & PREP SPACE FOR NEW.
 2. ANY DEMOLITION IS TO BE CONDUCTED IN A MANNER AS TO NOT DAMAGE OR FURTHER DESTROY ANY INTERIOR OR EXTERIOR BUILDING MATERIALS OR ADJACENT STRUCTURES THAT MAY HAVE ANY HISTORIC SIGNIFICANCE.
 3. EXISTING TREES TO REMAIN. CONTRACTOR SHALL PROTECT ALL TREES ON SITE.
 4. EXISTING EXTERIOR WINDOWS TO REMAIN.
 5. CONTRACTOR TO REMOVE EXISTING CERAMIC WALL AND FLOOR TILE IN RESTROOMS COMPLETE. (WITH EXCEPTION OF GLAZED MASONRY TILES AT CORRIDORS.)
 6. CONTRACTOR TO REMOVE THE EXISTING CEILING TILES, GRID, SYSTEM, AND ASSOCIATED ITEMS COMPLETE. (EXCEPT WHERE SPECIFICALLY NOTED TO BE RETAINED AND PROTECTED.)
 7. CONTRACTOR TO REMOVE EXISTING WALL COVERINGS, FRP PANELS, MOVEABLE PARTITION WALLS, AND ASSOCIATED ITEMS COMPLETE.
 8. CONTRACTOR TO REMOVE EXISTING METAL STUDS, FURRING CHANNELS, HAT CHANNELS, AND ASSOCIATED ITEMS SCHEDULED TO BE REMOVED. (NOTE: STUD WALLS AT HISTORIC CORRIDORS ARE TO REMAIN.)
 9. CONTRACTOR TO REMOVE EXISTING GYPSUM BOARD AND ASSOCIATED ITEMS COMPLETE. **NOTED EXCEPTIONS ARE AT HISTORIC CORRIDOR WALLS. GYPSUM BOARD COVERING TO REMAIN IF IT'S REMOVAL WILL COMPROMISE THE WALL STUDS.**
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1 FOURTH FLOOR PLAN - DEMOLITION
 D1.04 1" = 20'-0"

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WDG no: 6022-462
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date: 06/14/2021
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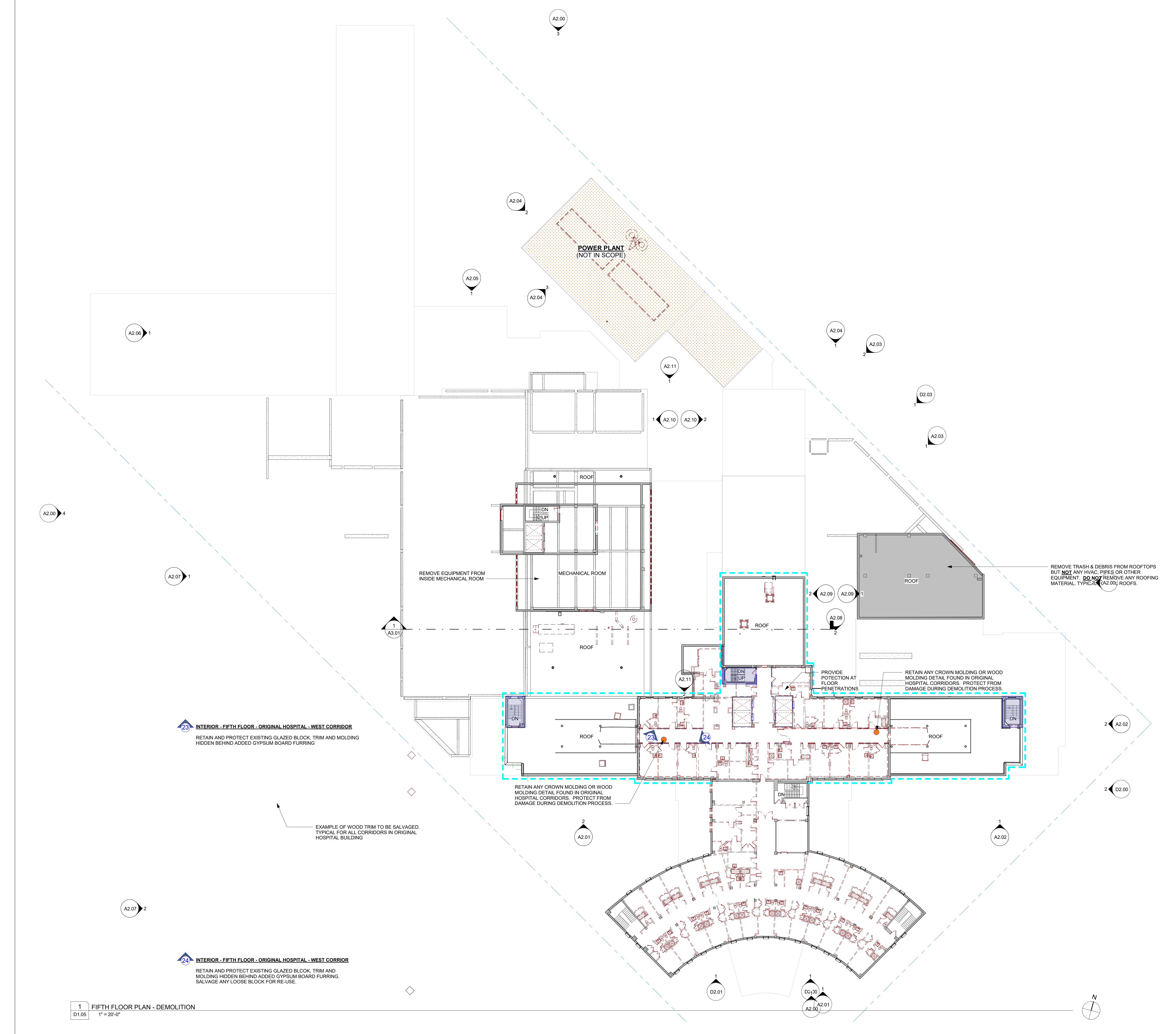
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sheet contents
 FIFTH FLOOR DEMOLITION PLAN

DEMOLITION LEGEND

- EXISTING HISTORIC WALL TO BE RETAINED AND PROTECTED FROM DAMAGE. REMOVE GYPSUM BOARD, METAL FURRING OR OTHER COVERING FROM MASONRY OR STUD WALL
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 24. WHERE WALLS ARE REMOVED FROM SHAFTS OR OTHER FLOOR PENETRATIONS; CONTRACTOR SHALL PROVIDE PROTECTION FROM FALLS INTO FLOOR OPENINGS. AT ROOF AREAS, REMOVE ONLY TRASH & DEBRIS. NO ROOFING MATERIAL IS TO BE REMOVED. NO EQUIPMENT, WIRING, PIPES, CONDUIT, ETC. ARE TO BE DEMOLISHED FROM ROOF AREAS.



1 FIFTH FLOOR PLAN - DEMOLITION
 D1.05 1" = 20'-0"



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Mercy Senior Living Center
 301 N. Norman C. Francis Parkway
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WDG no: 6022-462
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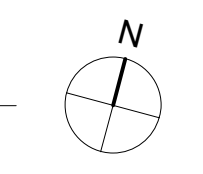
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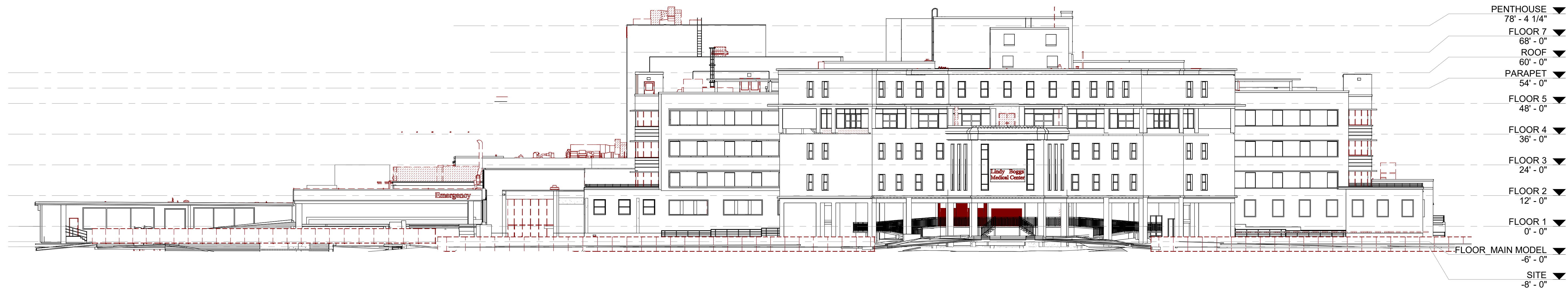
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no.	description	date

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 ROOF PLAN - DEMOLITION

D1.06

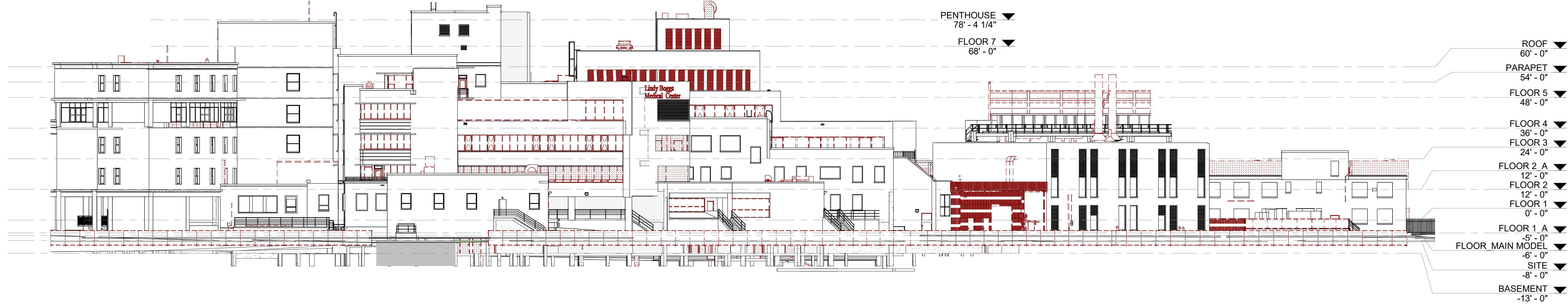
1 ROOF - DEMO
 D1.06 1" = 20'-0"





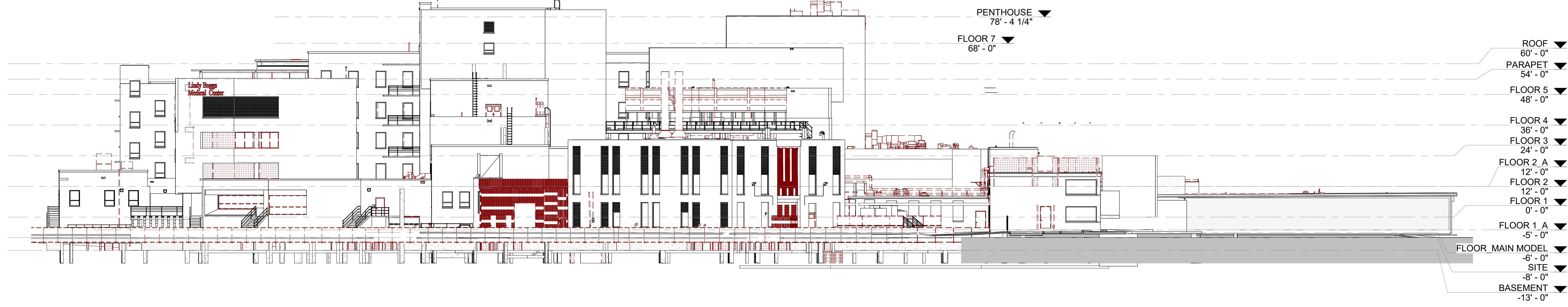
1 SOUTH ELEVATION OVERALL DEMOLITION
D2.00 1" = 20'-0"

- PENTHOUSE ▼ 78' - 4 1/4"
- FLOOR 7 ▼ 68' - 0"
- ROOF ▼ 60' - 0"
- PARAPET ▼ 54' - 0"
- FLOOR 5 ▼ 48' - 0"
- FLOOR 4 ▼ 36' - 0"
- FLOOR 3 ▼ 24' - 0"
- FLOOR 2 ▼ 12' - 0"
- FLOOR 1 ▼ 0' - 0"
- FLOOR MAIN MODEL ▼ -6' - 0"
- SITE ▼ -8' - 0"



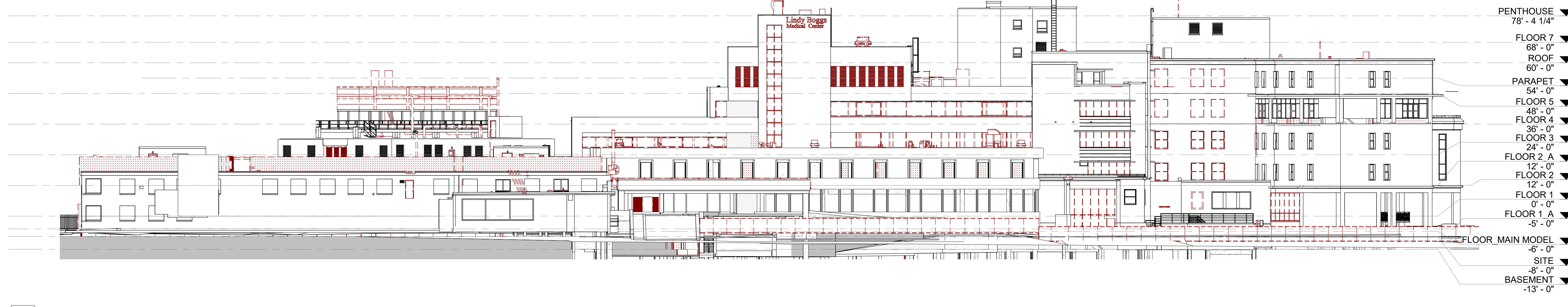
2 EAST ELEVATION OVERALL DEMOLITION
D2.00 1" = 20'-0"

- ROOF ▼ 60' - 0"
- PARAPET ▼ 54' - 0"
- FLOOR 5 ▼ 48' - 0"
- FLOOR 4 ▼ 36' - 0"
- FLOOR 3 ▼ 24' - 0"
- FLOOR 2 A ▼ 12' - 0"
- FLOOR 2 ▼ 12' - 0"
- FLOOR 1 ▼ 0' - 0"
- FLOOR 1 A ▼ -5' - 0"
- FLOOR MAIN MODEL ▼ -6' - 0"
- SITE ▼ -8' - 0"
- BASEMENT ▼ -13' - 0"



3 NORTH ELEVATION OVERALL DEMOLITION
D2.00 1" = 20'-0"

- ROOF ▼ 60' - 0"
- PARAPET ▼ 54' - 0"
- FLOOR 5 ▼ 48' - 0"
- FLOOR 4 ▼ 36' - 0"
- FLOOR 3 ▼ 24' - 0"
- FLOOR 2 A ▼ 12' - 0"
- FLOOR 2 ▼ 12' - 0"
- FLOOR 1 ▼ 0' - 0"
- FLOOR 1 A ▼ -5' - 0"
- FLOOR MAIN MODEL ▼ -6' - 0"
- SITE ▼ -8' - 0"
- BASEMENT ▼ -13' - 0"



4 WEST ELEVATION OVERALL DEMOLITION
D2.00 1" = 20'-0"

- PENTHOUSE ▼ 78' - 4 1/4"
- FLOOR 7 ▼ 68' - 0"
- ROOF ▼ 60' - 0"
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- FLOOR 2 ▼ 12' - 0"
- FLOOR 1 ▼ 0' - 0"
- FLOOR 1 A ▼ -5' - 0"
- FLOOR MAIN MODEL ▼ -6' - 0"
- SITE ▼ -8' - 0"
- BASEMENT ▼ -13' - 0"

ELEVATION GENERAL DEMO NOTES

1. THERE ARE TO BE NO ATTACHMENTS MADE, HOLES DRILLED, OR DAMAGES DONE TO THE EXTERIOR FACADE OF THE BUILDING WITHOUT THE PROJECT ARCHITECT.
2. NO DEMOLITION OF ANY EXTERIOR FACADE MATERIALS IS TO OCCUR WITHOUT EXPLICIT DIRECTION FROM THE PROJECT ARCHITECT. ANY DEMOLITION IS TO BE CONDUCTED IN A MANNER AS TO NOT DAMAGE OR FURTHER DESTROY ANY EXTERIOR FACADE BUILDING MATERIALS OR ADJACENT STRUCTURES.
- 3.



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EXTERIOR ELEVATIONS
DEMO

D2.00

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sheet contents
 ARCHITECTURAL
 SITE PLAN

PRELIMINARY REQUIRED PARKING COUNT

PER TABLE 22-1: OFF-STREET PARKING AND BICYCLE REQUIREMENTS:

I-2 SNF Nursing Home	.25 per bed	116 Beds	= 29 Vehicles	0 Bicycles
R-2 Independent Living	1 per D unit	65 Units	= 65 Vehicles	0 Bicycles
I-2 Assisted Living	.5 per D unit	60 Units	= 30 Vehicles	0 Bicycles
I-2 Memory Care	.25 per Bed	24 Units	= 6 Vehicles	0 Bicycles

*Plus 2 Vehicles per 1000 GFA of Office - 1 Bicycle per 5,000 GFA = Verify GFA Verify GFA

M Mercantile Lease Space	1 per 500 GFA	8600 GFA	= 18 Vehicles	2 Bicycles
I-4 Child/Adult Day Care	1 per 500 GFA	8600 GFA	= 22 Vehicles	5 Bicycles

Total Vehicles plus 1 per 1000 GFA for Office Staff = 170 Vehicles + Req'd Staff

TABLE 22-3: OFF-STREET LOADING REQUIREMENTS

Gross Building Sq. Ft. 281,700 GFA = 2 LOADING + 1 ADDITIONAL FOR EACH FULL
 50,000 SQ.FT. COMMERCIAL AND INSTITUTIONAL USE = 3 LOADING SPACES

ACCESSIBLE PARKING 151-200 spaces 6- accessible spaces required with at least 1 van accessible space

PARKING PROVIDED:

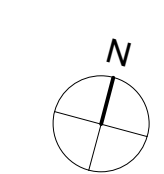
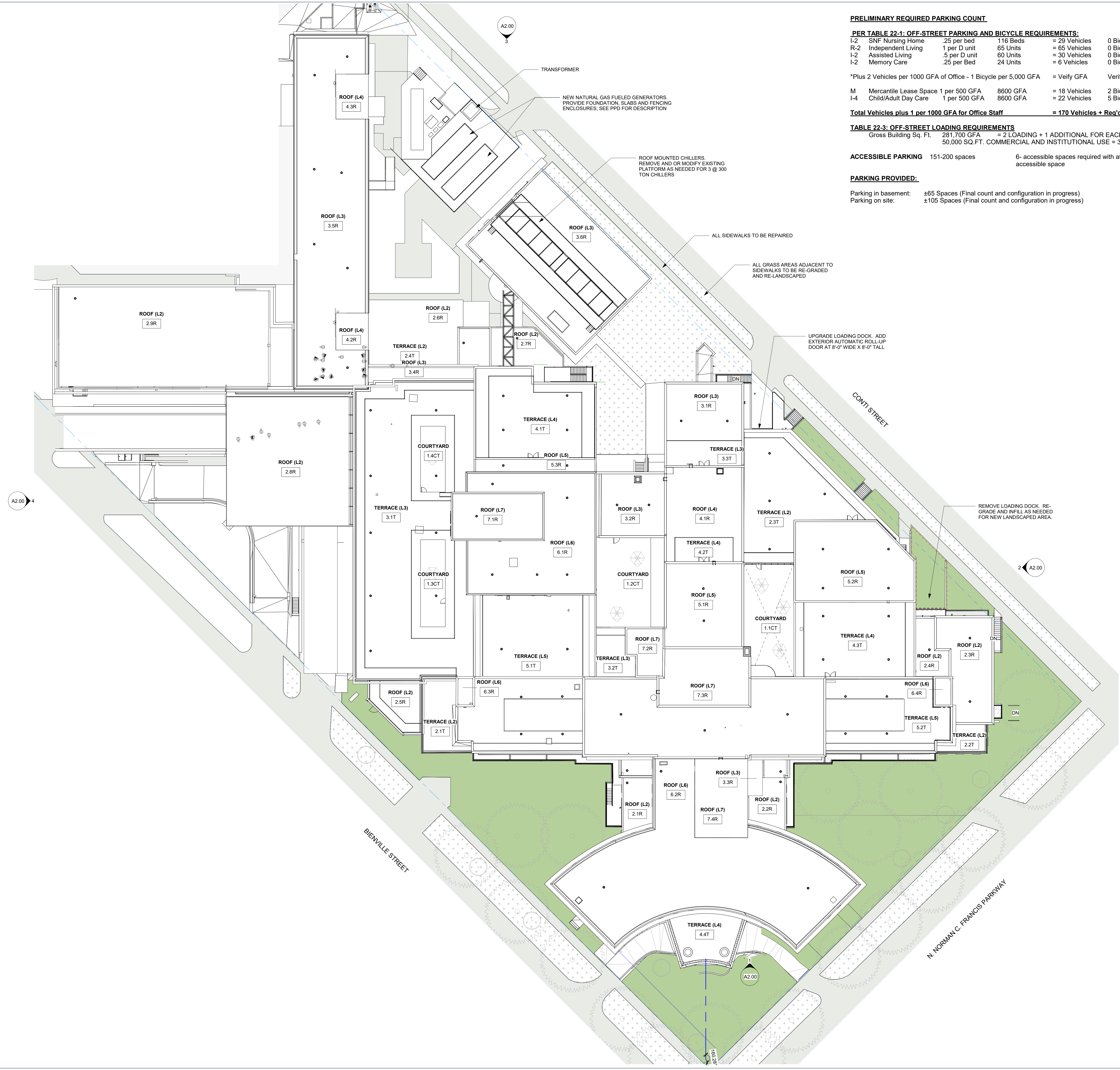
Parking in basement: ±65 Spaces (Final count and configuration in progress)
 Parking on site: ±105 Spaces (Final count and configuration in progress)

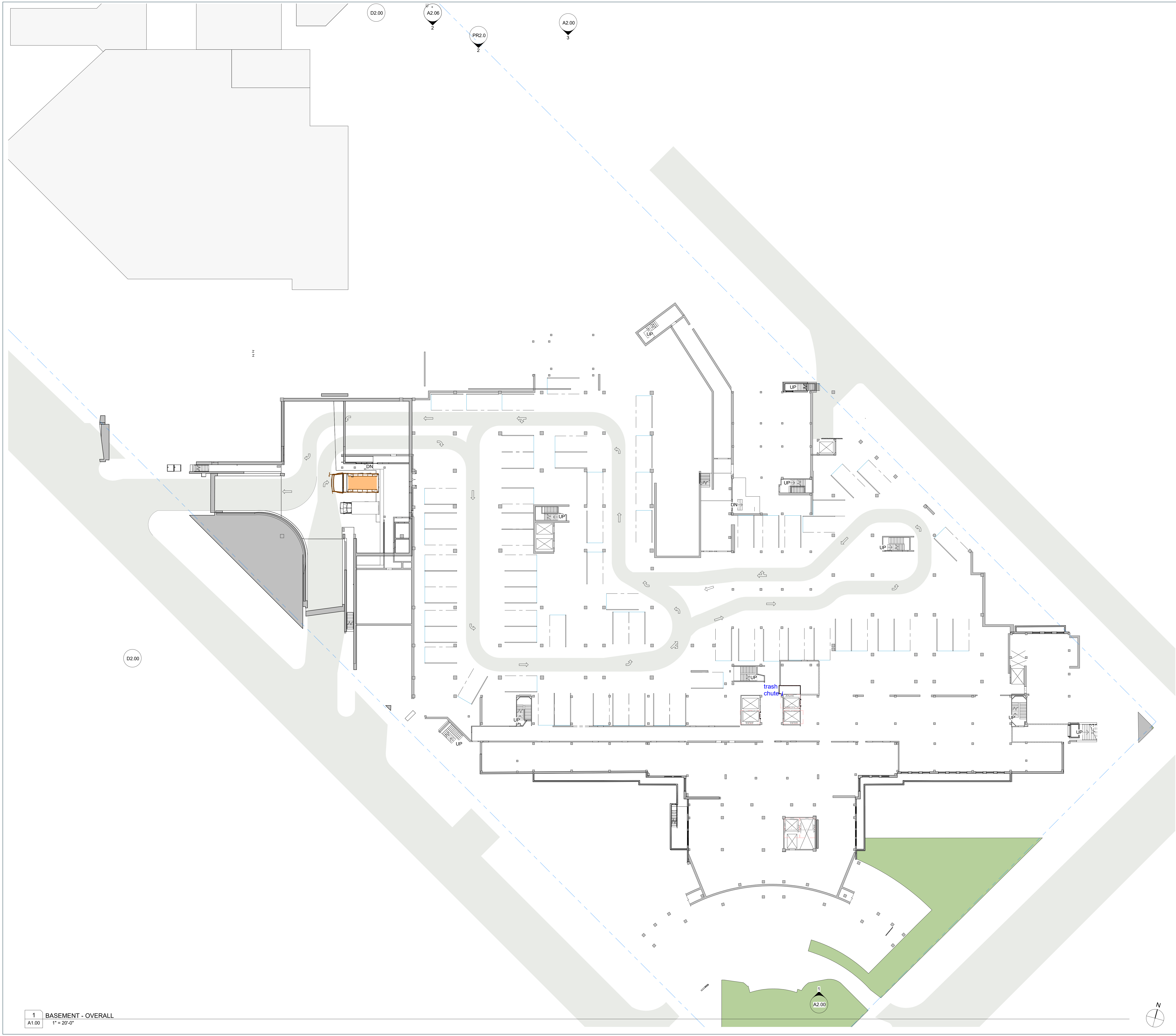
LEGEND

- AREA OF WORK
- NOT IN SCOPE
- IMPERVIOUS PAVING
- PERVIOUS PAVING
- EXISTING PAVING TO REMAIN
- EXISTING GRASS
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- OUTLINE OF NEW BUILDING
- EXISTING PAVING
- NEW PAVING
- BIKE RACK

SITE PLAN GENERAL NOTES

- FIRST FLOOR ELEVATION 24.00' C.D. = +100'-0"
- LANDSCAPE PLAN IS IN PROGRESS AND MAY NOT BE COMPLETED FOR THIS REVIEW.
- STORMWATER PLAN AND CIVIL PLANS ARE IN PROGRESS AND MAY NOT BE COMPLETED FOR THIS REVIEW.





FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION - MASONRY WALL
	NEW CONSTRUCTION - STUD WALL

- GENERAL NOTES**
- SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
 - REFER TO SHEET A6.00 FOR PARTITION TYPES.
 - REFER TO SHEET A6.20 FOR DOOR TYPES.
 - REFER TO SHEET A6.30 FOR WINDOW TYPES.
 - DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL.
 - ALL DOORS ARE 6" CLR. FROM FINISHED FACE OF WALL U.N.O.
 - ALL DOUBLE DOORS ARE EQUALLY SPACED BETWEEN WALLS U.N.O.



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 WOODWARDDESIGNBUILD.COM | 504-859-6443
Donald Font
 ARCHITECT A.I.A., LEED AP

Mercy Senior Living Center
 301 N. Norman C. Francis Parkway
 New Orleans, Louisiana 70119

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WDG no: 6022-462
 drawn by: WDG
 checked by: WDG

date: 10/29/21
 issue: SCHEMATIC DESIGN

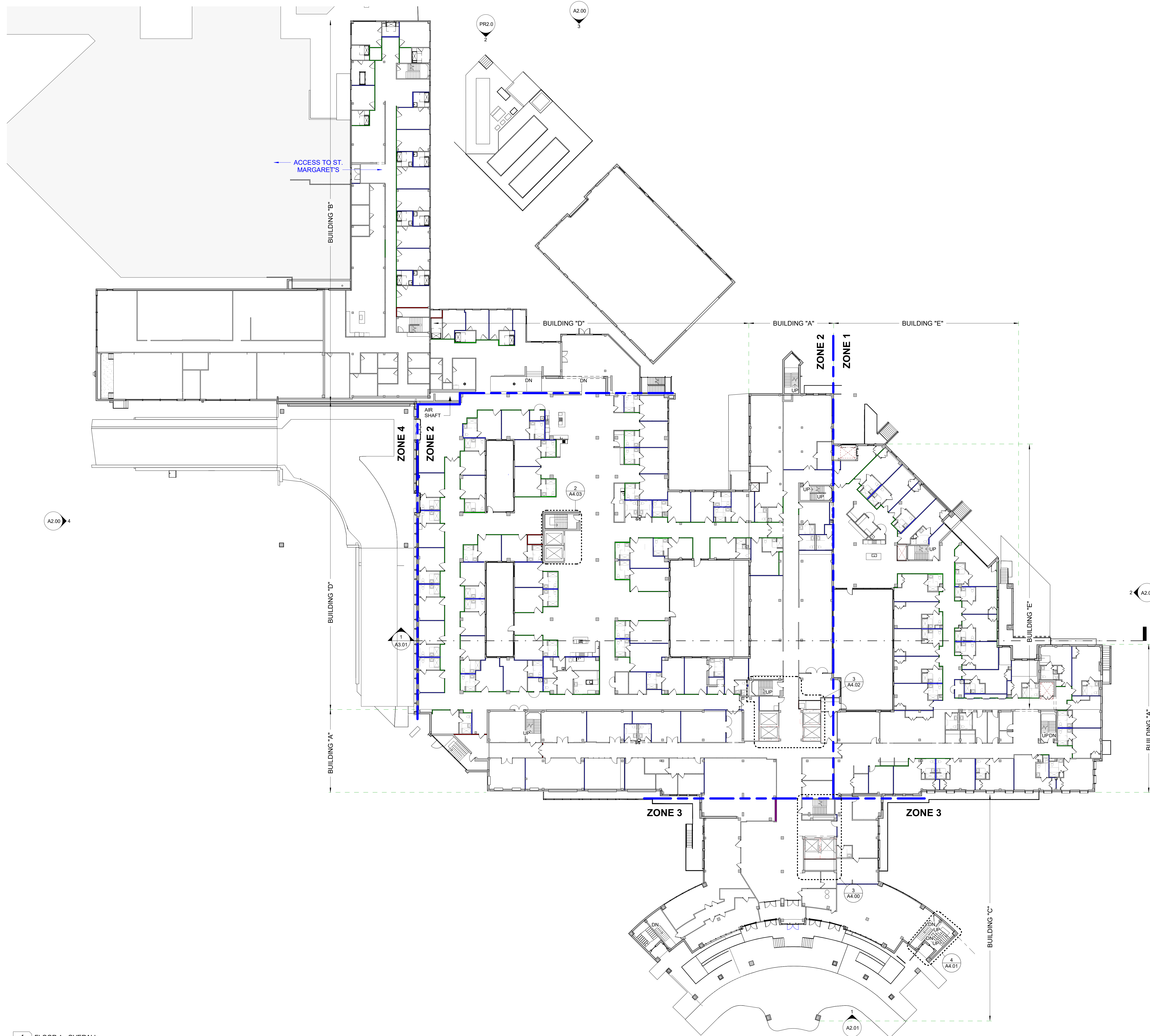
revisions

no.	description	date

sheet contents
 BASEMENT FLOOR PLAN

1 BASEMENT - OVERALL
 A1.00 1" = 20'-0"

A1.00

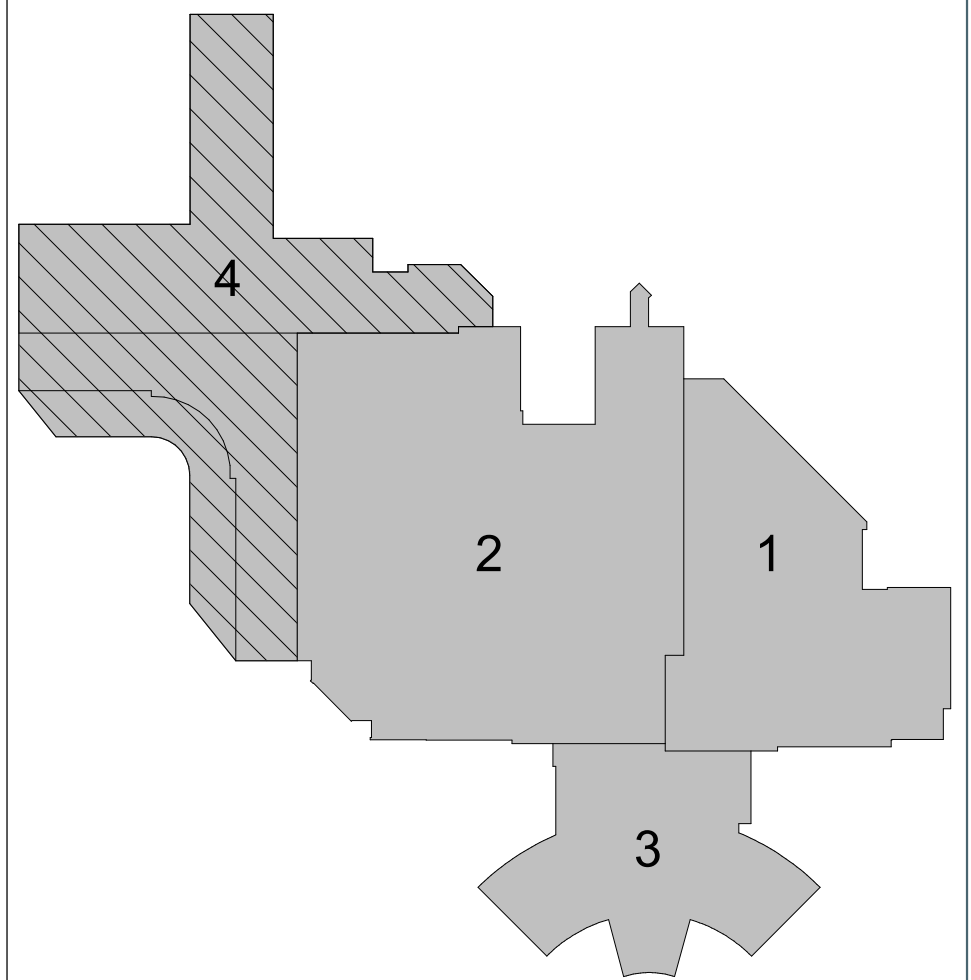
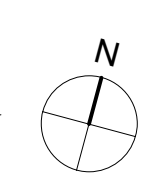


FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION - MASONRY WALL
	NEW CONSTRUCTION - STUD WALL

- GENERAL NOTES**
- SEE PROJECT INFO. SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
 - REFER TO SHEET A8.00 FOR PARTITION TYPES.
 - REFER TO SHEET A6.20 FOR DOOR TYPES.
 - REFER TO SHEET A6.30 FOR WINDOW TYPES.
 - DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL.
 - ALL DOORS ARE 6" CLR. FROM FINISHED FACE OF WALL U.N.O.
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1 FLOOR 1 - OVERALL
A1.01 1" = 20'-0"



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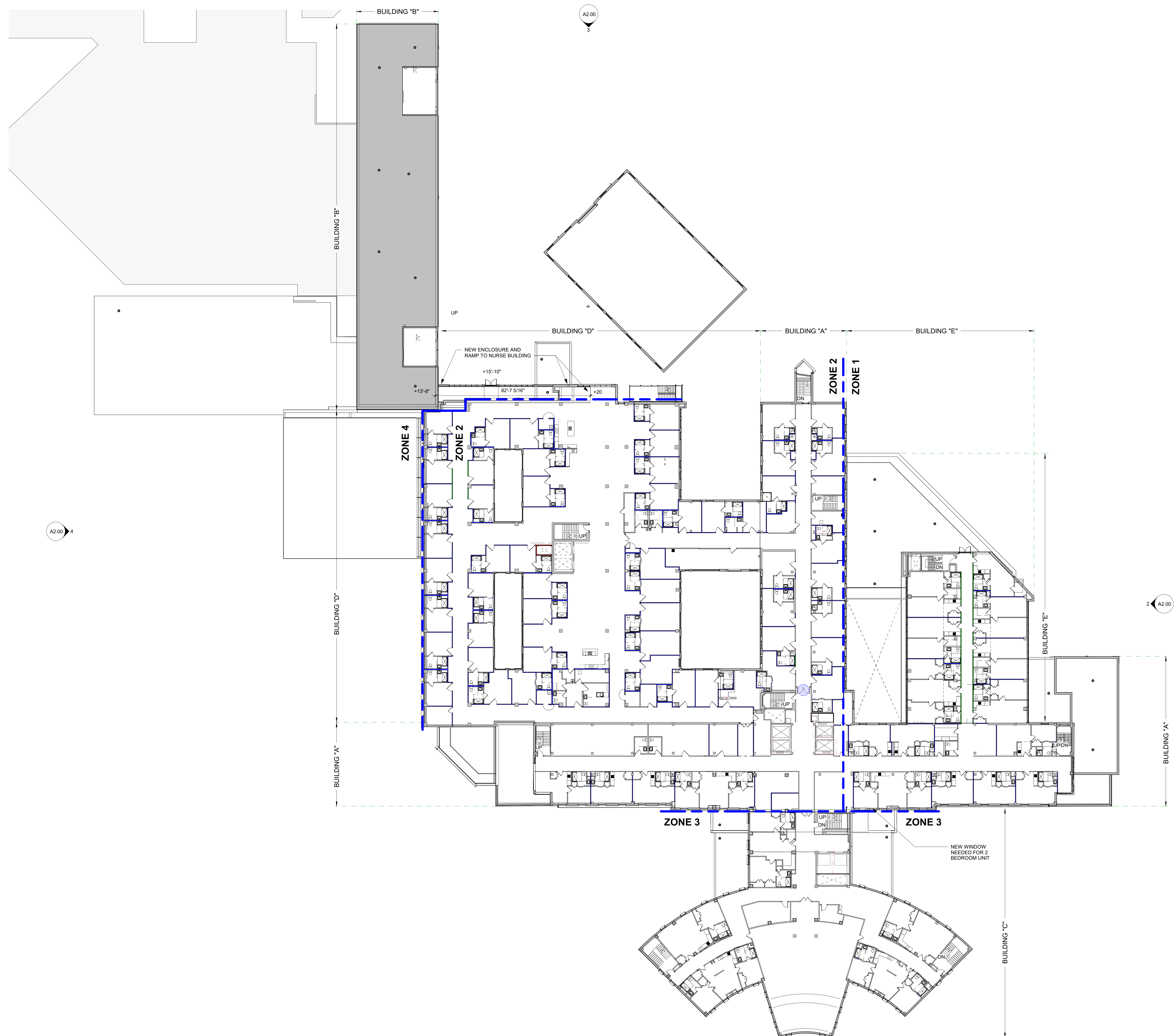
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 issue: SCHEMATIC DESIGN

revisions		
no.	description	date

sheet contents
FIRST FLOOR PLAN

A1.01

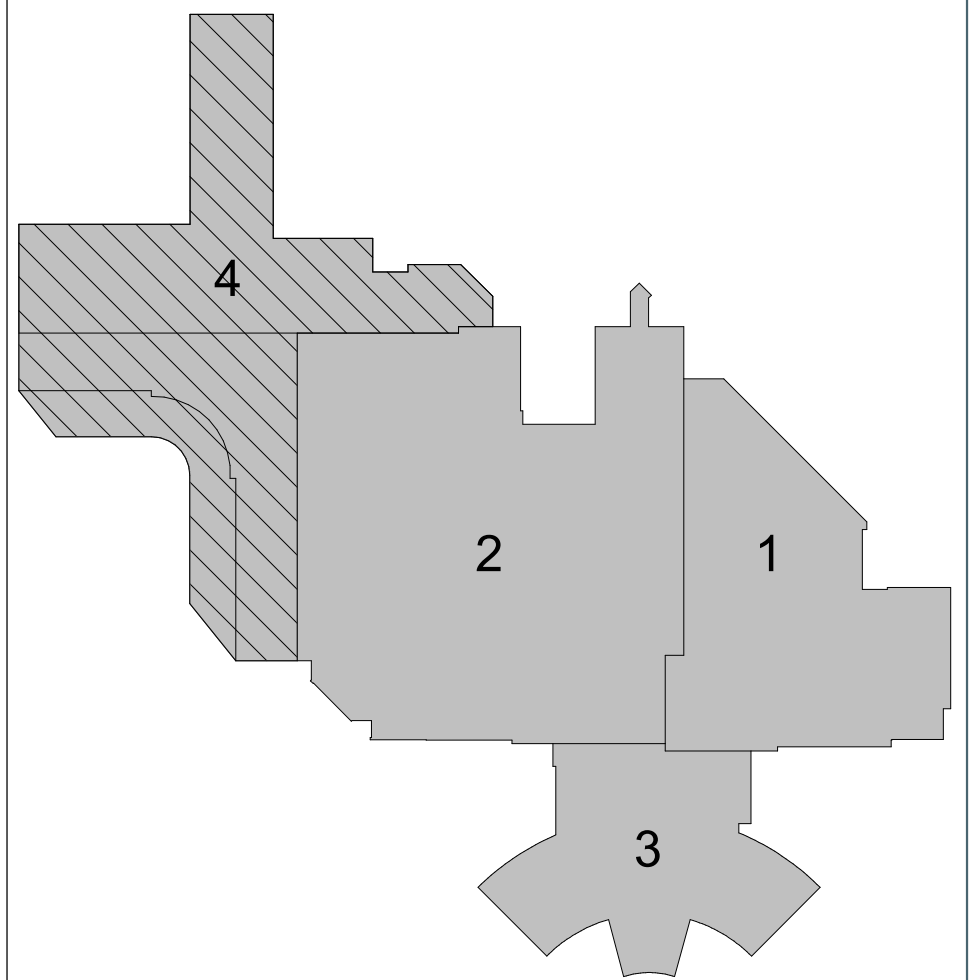


FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION - MASONRY WALL
	NEW CONSTRUCTION - STUD WALL

- GENERAL NOTES**
- SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
 - REFER TO SHEET A6.00 FOR PARTITION TYPES.
 - REFER TO SHEET A6.20 FOR DOOR TYPES.
 - REFER TO SHEET A6.30 FOR WINDOW TYPES.
 - DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL.
 - ALL DOORS ARE 6" CLR. FROM FINISHED FACE OF WALL U.N.O.
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1 FLOOR 2 - OVERALL
A1.02 1" = 20'-0"





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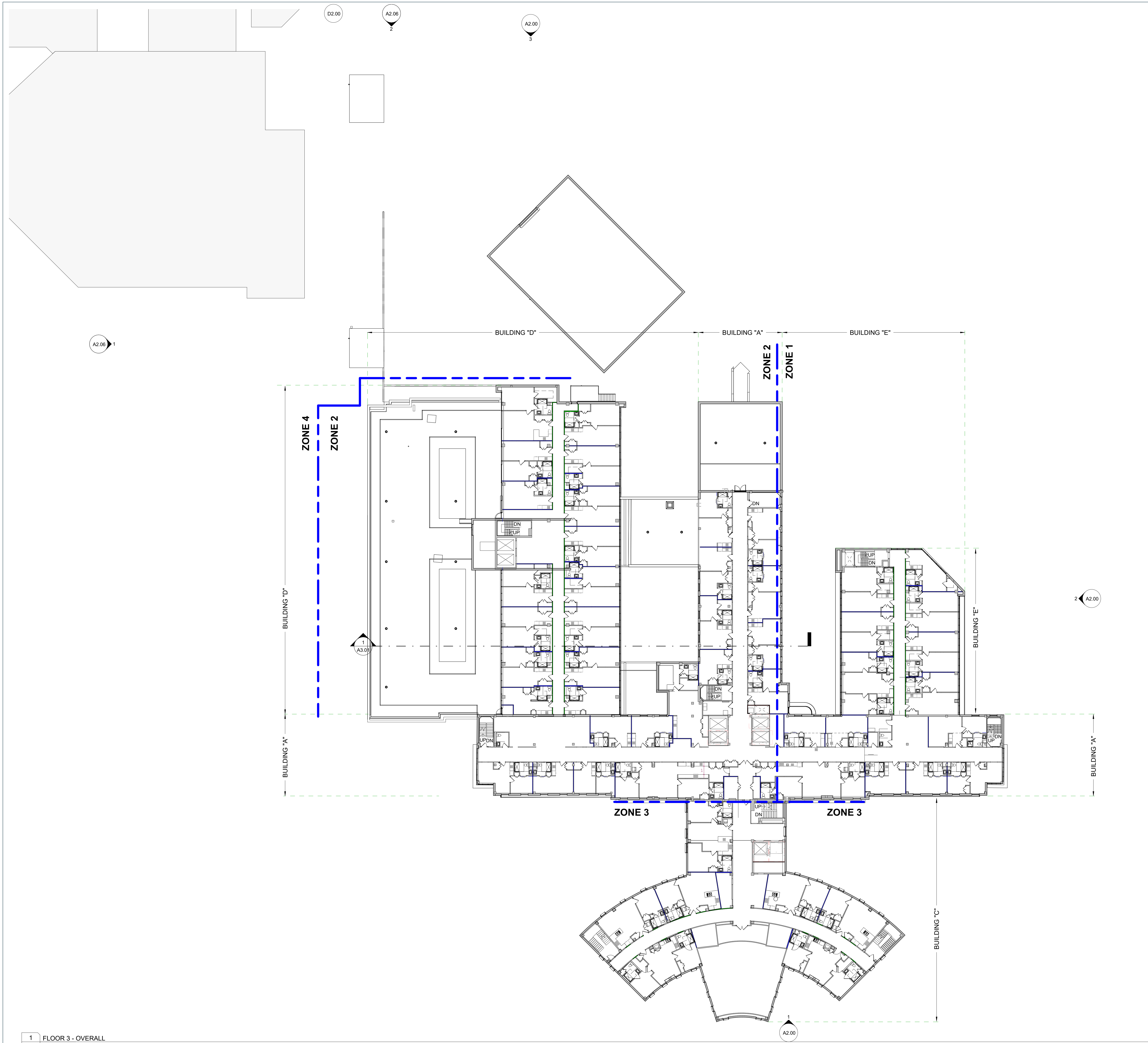
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 issue: SCHEMATIC DESIGN

revisions		
no.	description	date

sheet contents
SECOND FLOOR PLAN

A1.02



FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION - MASONRY WALL
	NEW CONSTRUCTION - STUD WALL

- GENERAL NOTES**
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 - REFER TO SHEET A6.00 FOR PARTITION TYPES.
 - REFER TO SHEET A6.20 FOR DOOR TYPES.
 - REFER TO SHEET A6.30 FOR WINDOW TYPES.
 - DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL.
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sheet contents
 THIRD FLOOR PLAN

1 FLOOR 3 - OVERALL
 A1.03 1" = 20'-0"

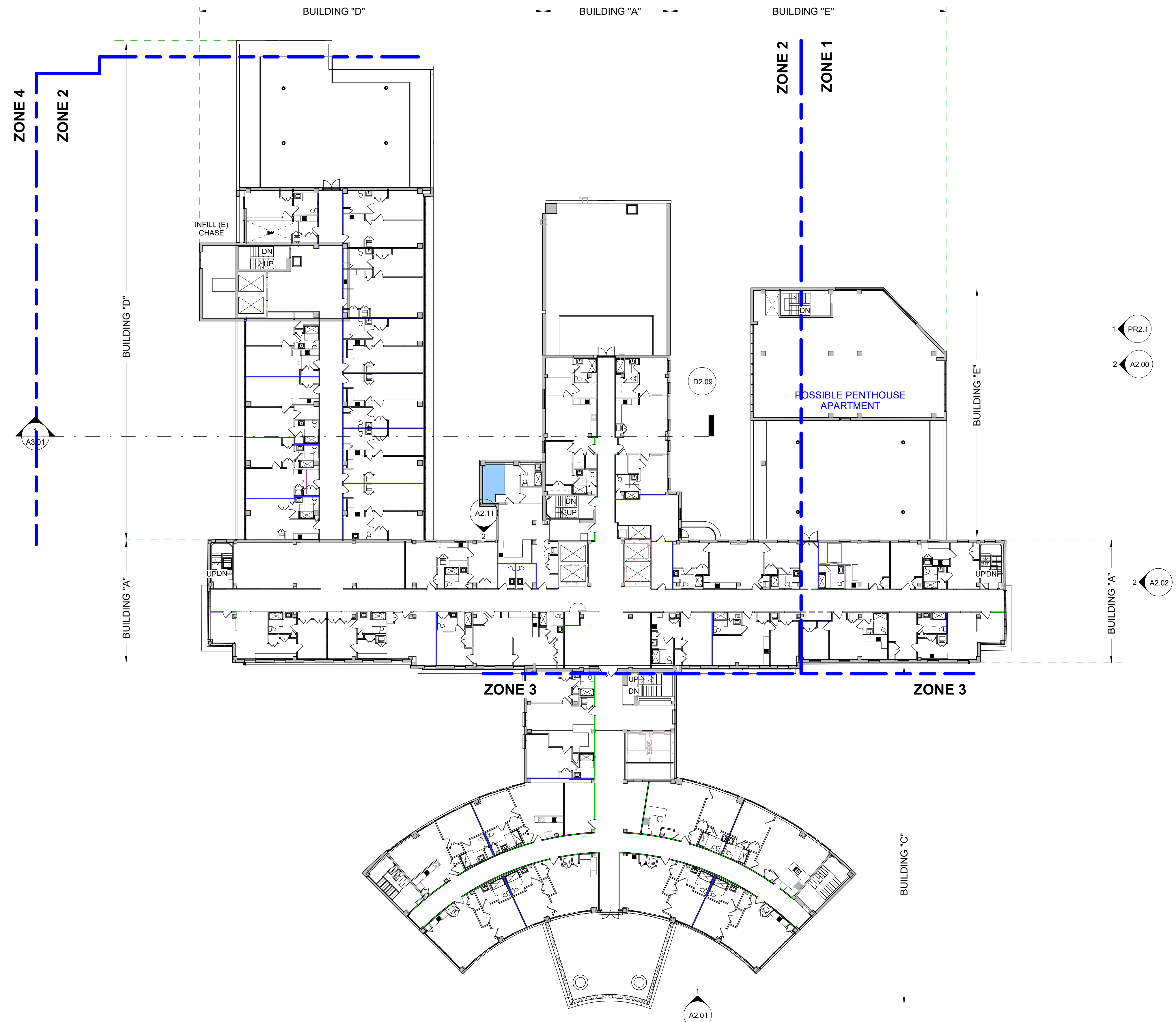
A1.03



PR2.0
2

A2.04
2

A2.05
2



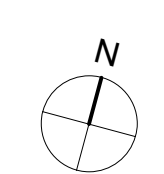
FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION - MASONRY WALL
- NEW CONSTRUCTION - STUD WALL

GENERAL NOTES

1. SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
2. REFER TO SHEET A6.00 FOR PARTITION TYPES.
3. REFER TO SHEET A6.20 FOR DOOR TYPES.
4. REFER TO SHEET A6.30 FOR WINDOW TYPES.
5. DIMENSIONS ARE FROM FINISHED FACE OF WALL TO FINISHED FACE OF WALL.
6. ALL DOORS ARE 6" CLR. FROM FINISHED FACE OF WALL U.N.O.
7. ALL DOUBLE DOORS ARE EQUALLY SPACED BETWEEN WALLS U.N.O.

1 FLOOR 4 - OVERALL
A1.04 1" = 20'-0"



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sheet contents
FOURTH FLOOR PLAN

A1.04



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revisions		
no.	description	date

sheet contents
 FIFTH FLOOR
 PLAN

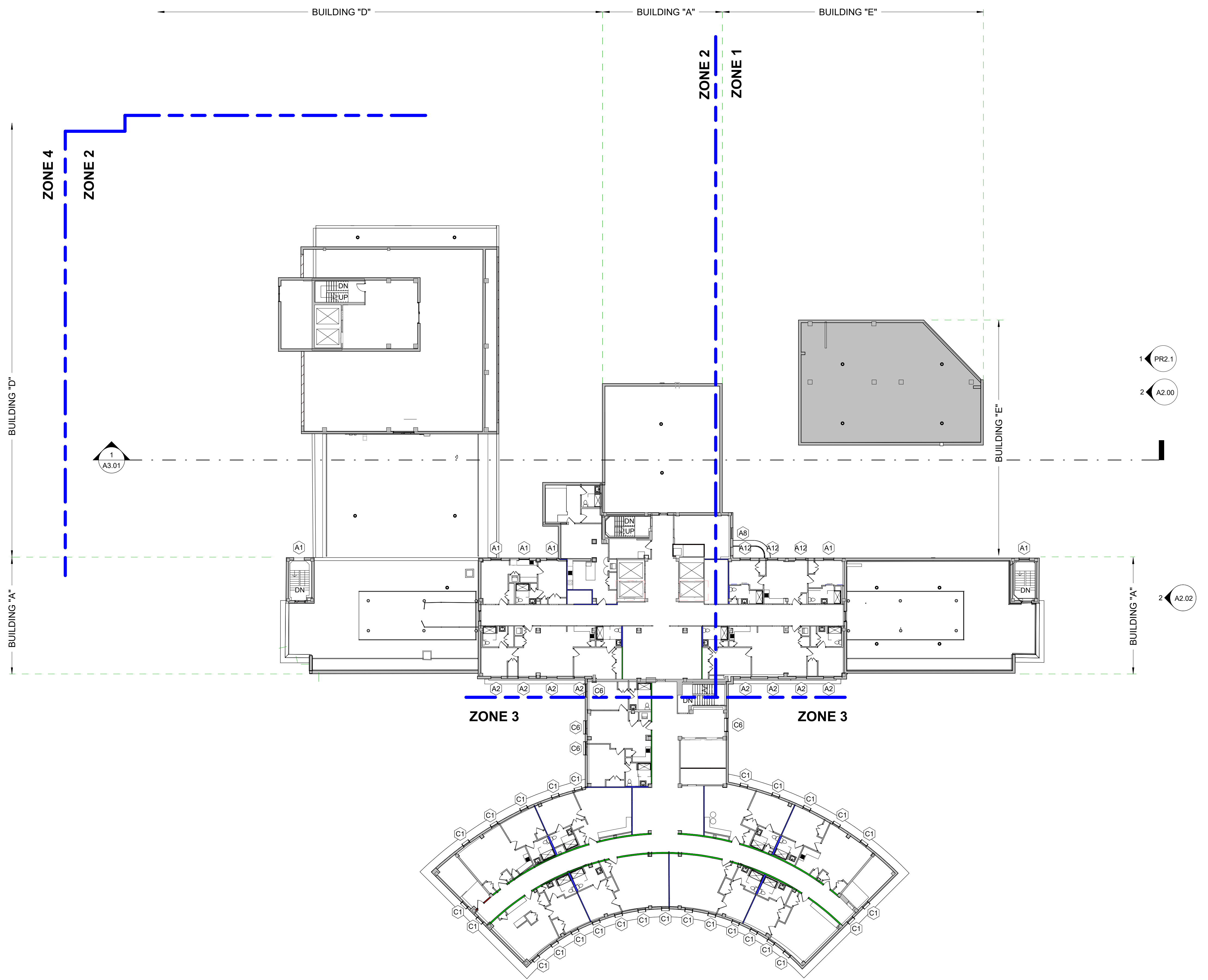
A1.05

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION - MASONRY WALL
- NEW CONSTRUCTION - STUD WALL

GENERAL NOTES

1. SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
2. REFER TO SHEET A6.00 FOR PARTITION TYPES.
3. REFER TO SHEET A6.20 FOR DOOR TYPES.
4. REFER TO SHEET A6.30 FOR WINDOW TYPES.
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6. ALL DOORS ARE 6" CLR. FROM FINISHED FACE OF WALL U.N.O.
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1 FLOOR 5 - OVERALL
 A1.05 1" = 20'-0"



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no.	description	date

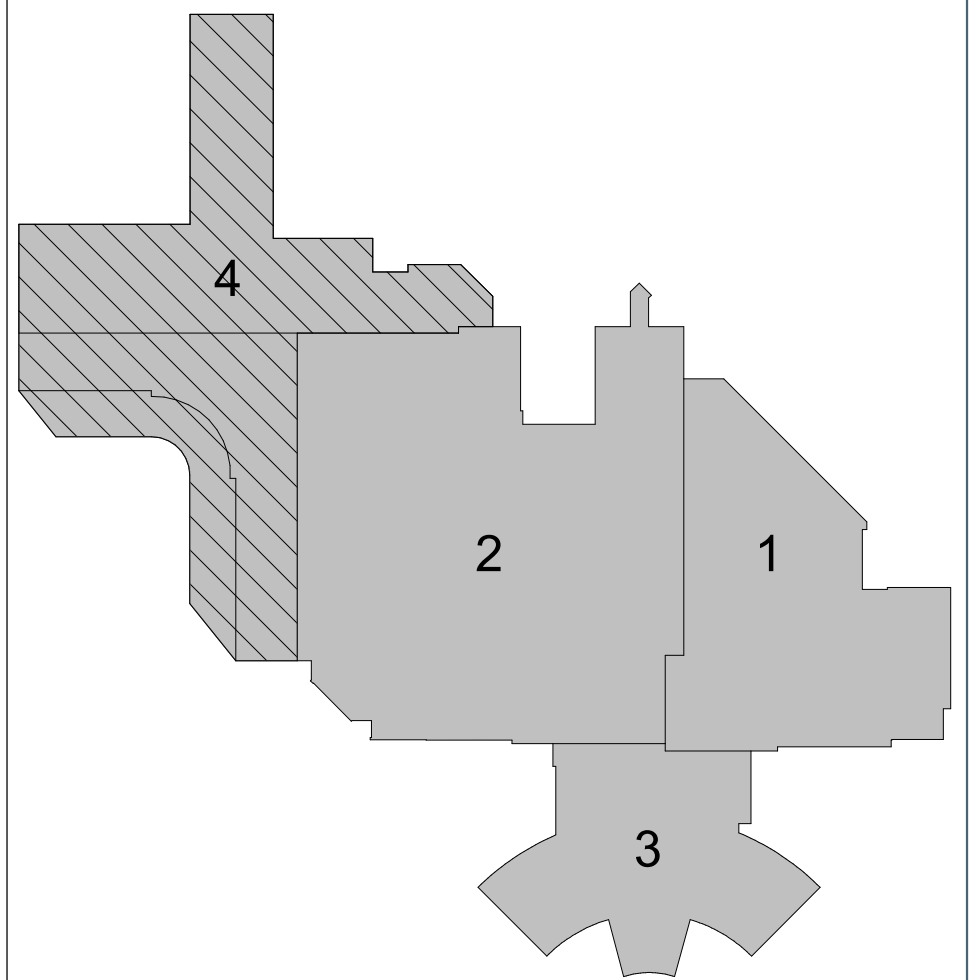
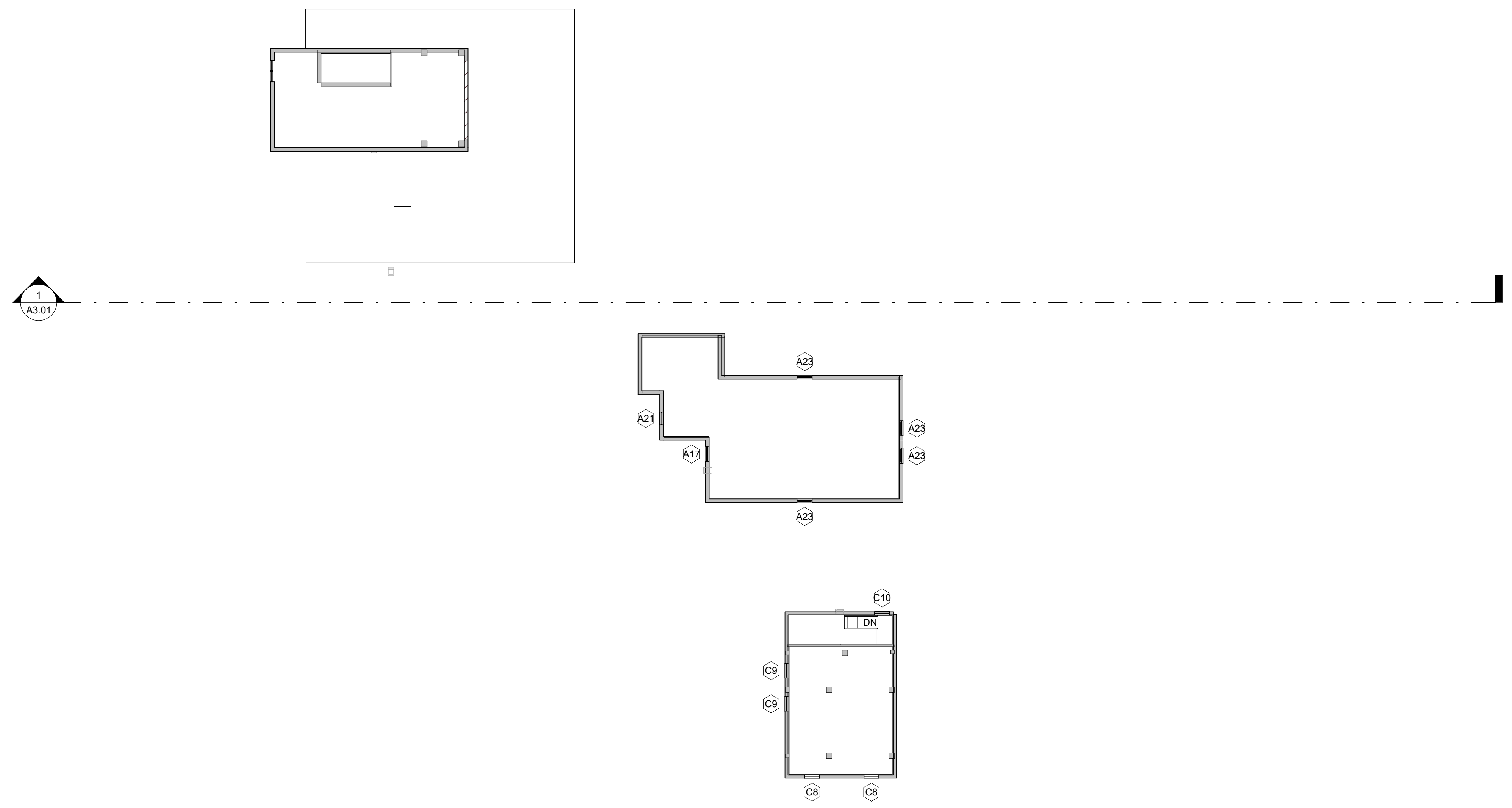
sheet contents
 SIXTH & SEVENTH
 FLOOR PLANS

A1.07

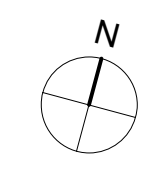
FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION - MASONRY WALL
	NEW CONSTRUCTION - STUD WALL

- GENERAL NOTES**
- SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
 - REFER TO SHEET A6.00 FOR PARTITION TYPES.
 - REFER TO SHEET A6.20 FOR DOOR TYPES.
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1 FLOOR 7 - OVERALL
 A1.07 1" = 20'-0"





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no.	description	date

sheet contents
 ROOF PLAN

A1.08

ROOF PLAN LEGEND

- COURTYARD
- ROOF (L2)
- ROOF (L3)
- ROOF (L4)
- ROOF (L5)
- ROOF (L6)
- ROOF (L7)
- TERRACE (L2)
- TERRACE (L3)
- TERRACE (L4)
- TERRACE (L5)

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION - MASONRY WALL
- NEW CONSTRUCTION - STUD WALL

GENERAL NOTES

1. SEE PROJECT INFO, SHEET G0.01 FOR ALL GENERAL NOTES PERTAINING TO PROJECT.
2. REFER TO SHEET A6.30 FOR PARTITION TYPES.
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ROOF SCHEDULE

Department	Number	Name	Area
ROOF	2.1R	ROOF (L2)	806 SF
ROOF	2.2R	ROOF (L2)	703 SF
ROOF	2.3R	ROOF (L2)	1748 SF
ROOF	2.4R	ROOF (L2)	536 SF
ROOF	2.5R	ROOF (L2)	774 SF
ROOF	2.6R	ROOF (L2)	1557 SF
ROOF	2.7R	ROOF (L2)	1032 SF
ROOF	2.8R	ROOF (L2)	5560 SF
ROOF	2.9R	ROOF (L2)	8394 SF
ROOF	3.1R	ROOF (L3)	1563 SF
ROOF	3.2R	ROOF (L3)	1483 SF
ROOF	3.3R	ROOF (L3)	215 SF
ROOF	3.4R	ROOF (L3)	590 SF
ROOF	3.5R	ROOF (L3)	Not Enclosed
ROOF	3.6R	ROOF (L3)	5658 SF
ROOF	4.1R	ROOF (L4)	1929 SF
ROOF	4.2R	ROOF (L4)	404 SF
ROOF	4.3R	ROOF (L4)	492 SF
ROOF	5.1R	ROOF (L5)	2282 SF
ROOF	5.2R	ROOF (L5)	3137 SF
ROOF	5.3R	ROOF (L5)	528 SF
ROOF	6.1R	ROOF (L6)	3953 SF
ROOF	6.2R	ROOF (L6)	14225 SF
ROOF	6.3R	ROOF (L6)	192 SF
ROOF	6.4R	ROOF (L6)	187 SF
ROOF	7.1R	ROOF (L7)	1534 SF
ROOF	7.2R	ROOF (L7)	591 SF
ROOF	7.3R	ROOF (L7)	1791 SF
ROOF	7.4R	ROOF (L7)	1395 SF
Grand total:	29		63261 SF

TERRACE SCHEDULE

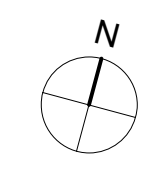
Department	Number	Name	Area
TERRACE	2.1T	TERRACE (L2)	854 SF
TERRACE	2.2T	TERRACE (L2)	384 SF
TERRACE	2.3T	TERRACE (L2)	3216 SF
TERRACE	2.4T	TERRACE (L2)	665 SF
TERRACE	3.1T	TERRACE (L3)	9925 SF
TERRACE	3.2T	TERRACE (L3)	544 SF
TERRACE	4.1T	TERRACE (L4)	3062 SF
TERRACE	4.2T	TERRACE (L4)	650 SF
TERRACE	4.3T	TERRACE (L4)	2929 SF
TERRACE	4.4T	TERRACE (L4)	1042 SF
TERRACE	5.1T	TERRACE (L5)	6292 SF
TERRACE	5.2T	TERRACE (L5)	3067 SF
Grand total:	12		32631 SF

COURTYARD SCHEDULE

Department	Number	Name	Area
COURTYARD	1.1CT	COURTYARD	1904 SF
COURTYARD	1.2CT	COURTYARD	2058 SF
COURTYARD	1.3CT	COURTYARD	750 SF
COURTYARD	1.4CT	COURTYARD	572 SF
Grand total:	4		5284 SF



1 ROOF - OVERALL
 A1.08 1" = 20'-0"



NOT FOR CONSTRUCTION

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 WDG

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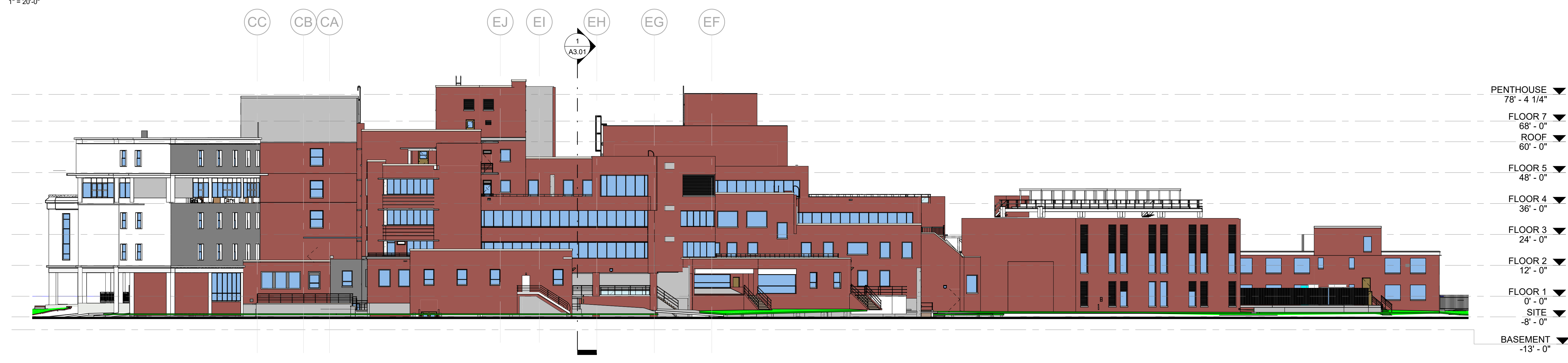
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 EXTERIOR
 ELEVATION

ELEVATION GENERAL DEMO NOTES

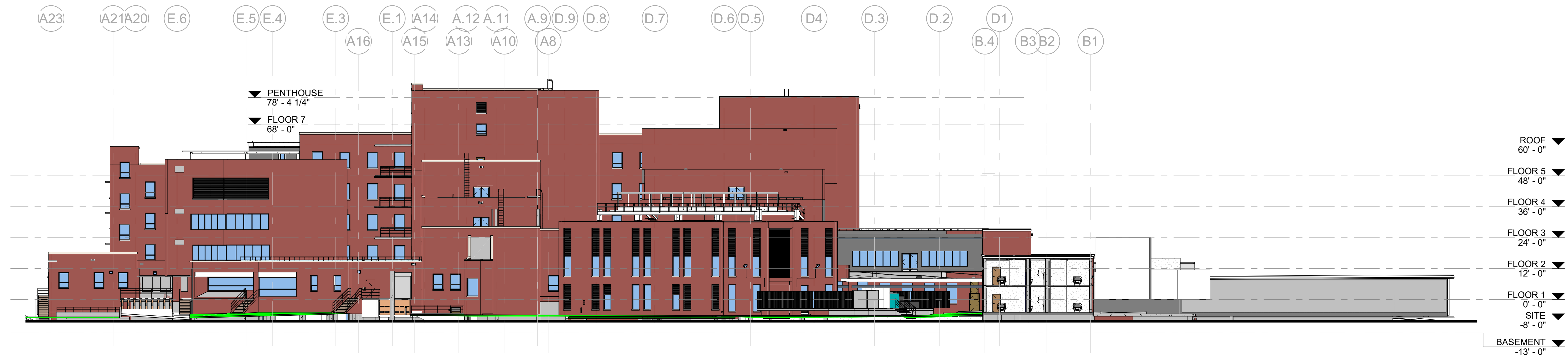
1. THERE ARE TO BE NO ATTACHMENTS MADE, HOLES DRILLED, OR DAMAGES DONE TO THE EXTERIOR FACADE OF THE BUILDING WITHOUT THE PROJECT ARCHITECT.
2. NO DEMOLITION OF ANY EXTERIOR FACADE MATERIALS IS TO OCCUR WITHOUT EXPLICIT DIRECTION FROM THE PROJECT ARCHITECT. ANY DEMOLITION IS TO BE CONDUCTED IN A MANNER AS TO NOT DAMAGE OR FURTHER DESTROY ANY EXTERIOR FACADE BUILDING MATERIALS OR ADJACENT STRUCTURES.
- 3.



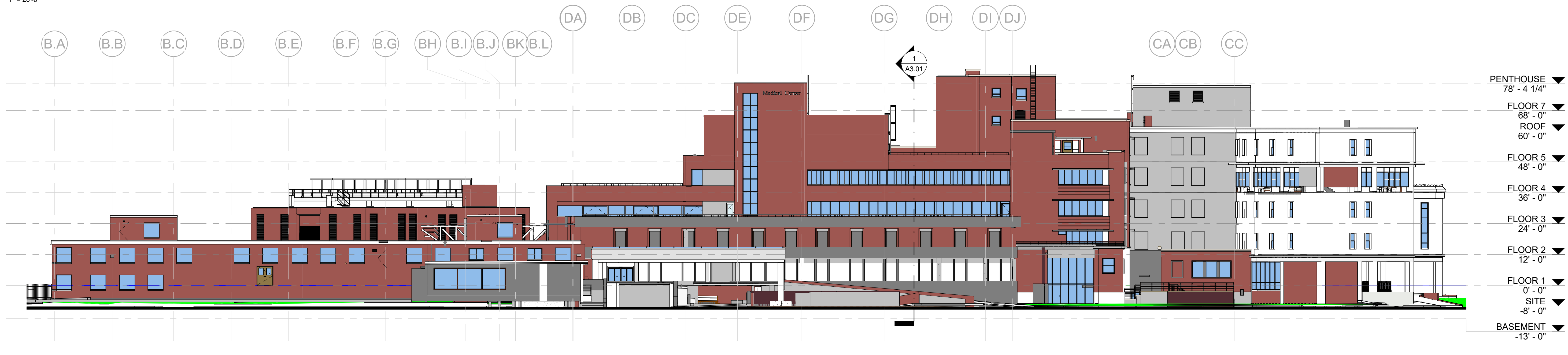
1 EXTERIOR ELEVATION - SOUTH OVERALL
 A2.00 1" = 20'-0"



2 EXTERIOR ELEVATION - EAST OVERALL
 A2.00 1" = 20'-0"



3 EXTERIOR ELEVATION - NORTH OVERALL
 A2.00 1" = 20'-0"



4 EXTERIOR ELEVATION - WEST OVERALL
 A2.00 1" = 20'-0"