

11-3-21

Permit ref code 2AWK1T
Type: Renovation (Non-Structural)
Location: 3205 Tulane Ave
Re: DAC Cover application letter

To Whom it may concern,

The DAC application and plan set (dated 10-13-21) are for the change of use and renovation of an existing structure(s) located at 3205 Tulane Ave.

The new property owners have combined the existing 2 story building/lot with the small 1 story abutting adjacent building/lot to fully occupy this corner wedge lot on Tulane Ave. Each building will be interconnected to each other. The new use for the combined structure is separate restaurants on each floor. The previous use of the 2 story structure was a single business office on both floors. The smaller one-story structure was a car wash and sno-ball stand at one time (we believe). These new restaurants are targeting a quick bite menu variety due to this high trafficked area and interior space restrictions forcing small kitchens. An addition of a free-standing metal canopy system will further provide covered outdoor dining below and seating on the top of the railed canopy portion. New interior circulation and kitchens locations give the interiors a small seating capacity vs typical restaurant thus the canopy extends for an out door dining experience. A new shielded refuse area has been defined under this canopy as previous trash was contained inside the building. The very tapered corner of the property will be landscaped and topped with a previous covering. There are no new variances being applied for on this project.

The CZO Ordinance defines its purpose as:

- A. To encourage and promote, in accordance with present and future needs, the public health, safety, and welfare of the citizens of the City of New Orleans.
- B. To provide for efficiency and economy in the process of development.
- C. To provide for the appropriate use of land.
- D. To preserve and enhance the value of structures, communities, and neighborhoods that constitute the distinct places within the city.
- E. To provide for preservation, protection, development, and conservation of natural resources.
- F. To promote the principles of sustainability.
- G. To provide for functional public utilities and facilities, and for the convenience of traffic and circulation of people and goods.

H. To provide for promotion of the civic amenities of beauty and visual interest, for preservation and enhancement of historic buildings and places, and for promotion of large-scale developments as means of achieving unified civic design.

I. To ensure that the policies set forth in City's Master Plan are implemented by the land use regulations and are consistent with the goals set forth in the Master Plan.

Through the new use type and configuration of these combined buildings on a prominent location on Tulane Ave, the project team believes the new design layout and use of these buildings complies with the goals of the CZO purposes as laid out.

Please let us know if you have any questions,



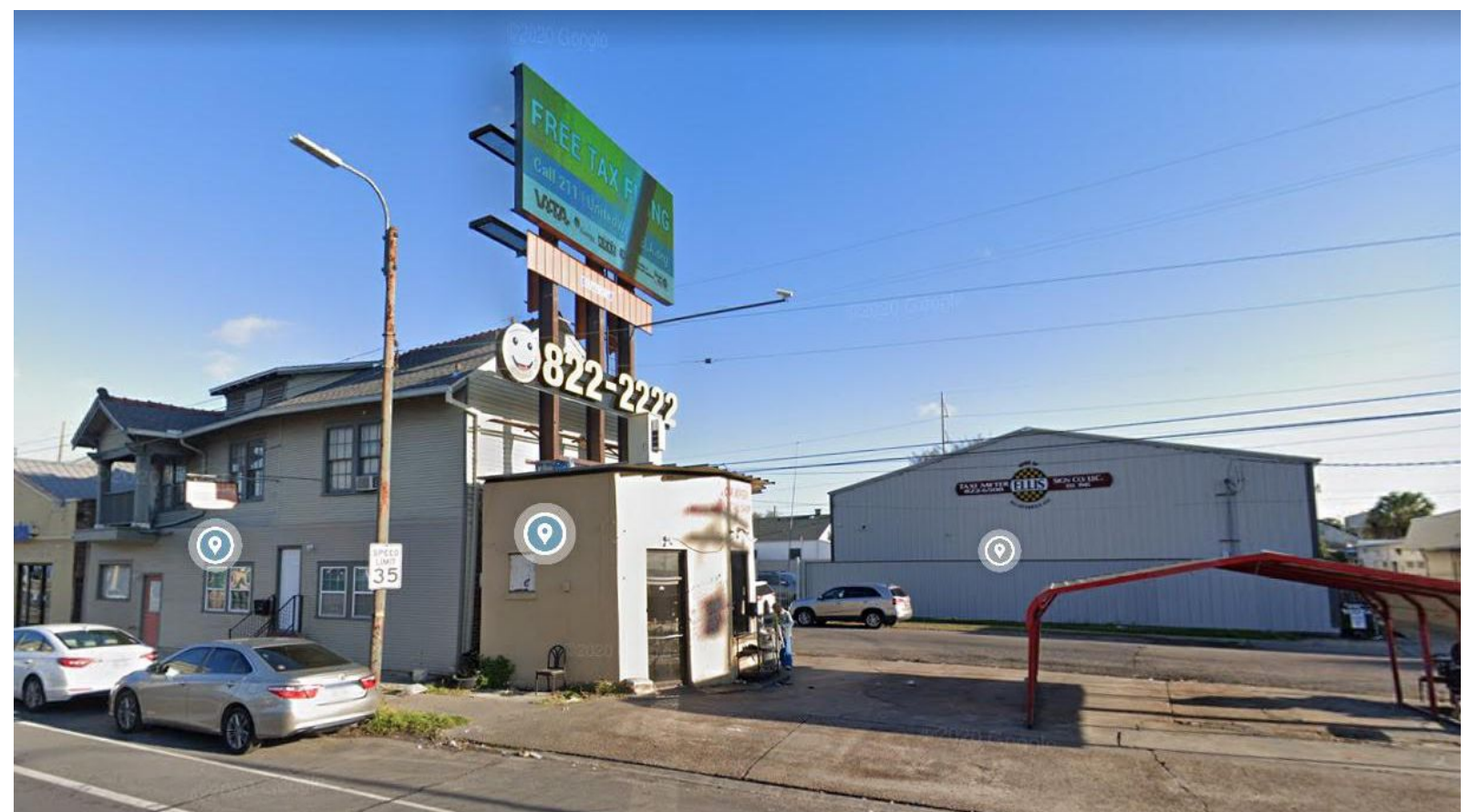
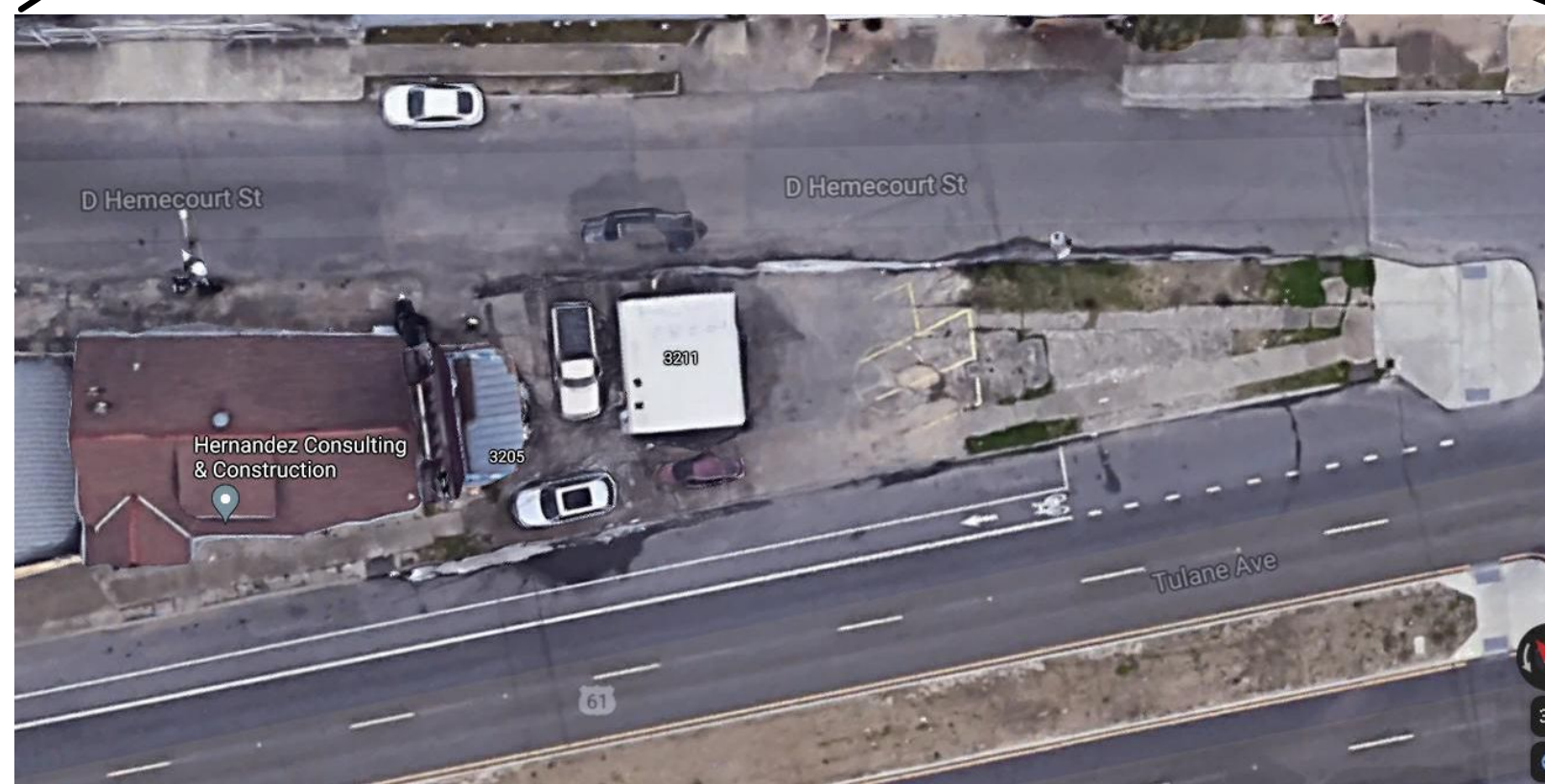
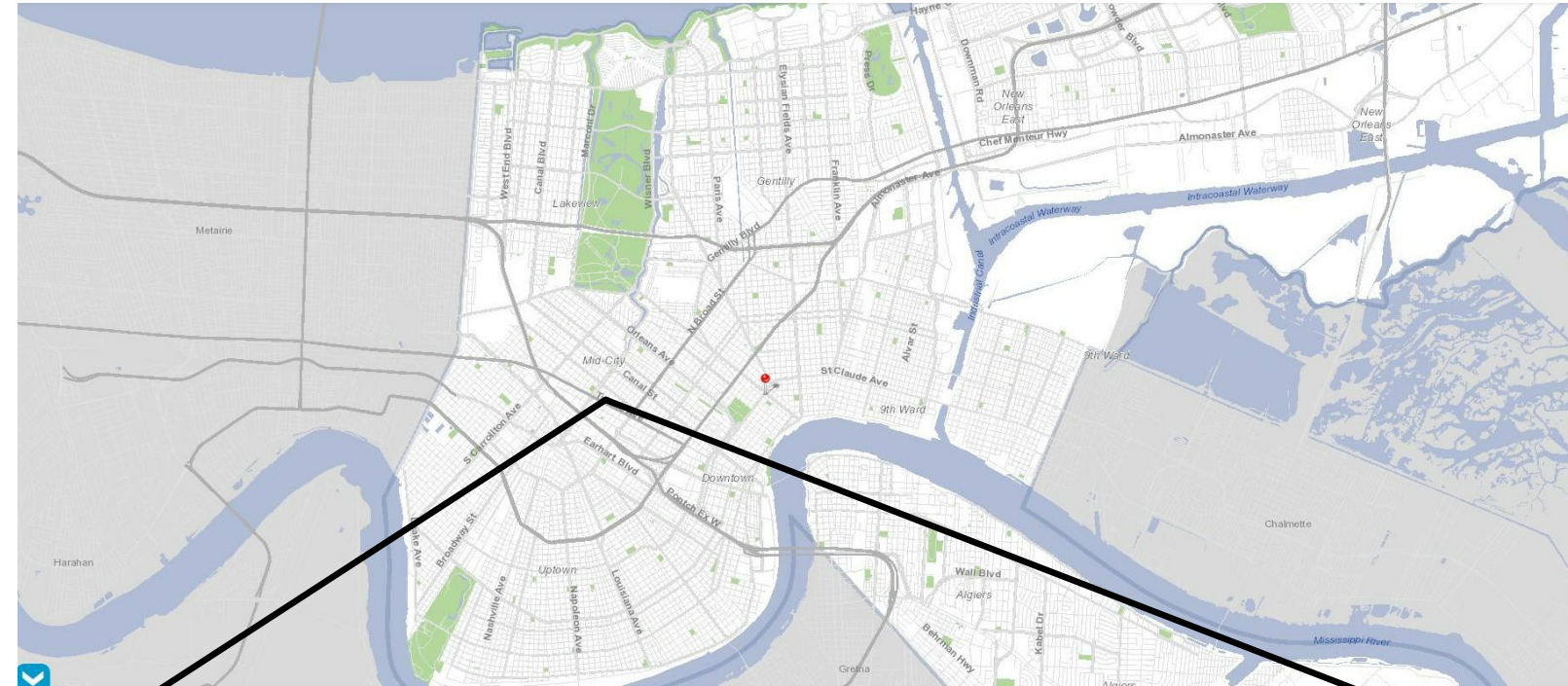
[Myles M. Martin](#) AIA LEED
Principal | M3 Design Group

CONSTRUCTION DOCUMENTS

3205 TULANE AVE - WHITE BOX RENOVATION

3205 TULANE AVE
NEW ORLEANS, LA 70119

VICINITY MAP:



PROPERTY DESCRIPTION
SQ 663 LOT D TULANE TO D'HEMECOURT 22.4.5X124.1.3X125.10.3
TRIANGLE M/A CHNG 1/5/06

PROJECT DESCRIPTION
RENOVATION OF AN EXISTING 2 STORY OFFICE INTO 2 SEPERATE RESTAURANTS AND NEW METAL 1ST FLOOR CANOPY. ""WHITE BOX BUILDOUT ON INTERIOR SPACES. SEPERATE PERMIT/FILING FOR INTERIOR BUIDLOUT""

ZONING DISTRICT: MU-1, MEDIUM INTENSITY MIXED-USE
OVERLAY DISTRICT: HUC HISTORIC URBAN CORRIDOR USE RESTRICTION OVERLAY DISTRICT, EC ENHANCEMENT CORRIDOR DESIGN OVERLAY DISTRICT

PROPOSED DEVELOPMENT:
BUILDING SQUARE FOOTAGE (TOTAL): 2,810 SQ. FT.
1ST FLOOR RESTAURANT: 1,425 SQ FT
2ND FLOOR RESTAURANT: 1,385 SQ FT
EXTERIOR 2ND FLOOR CANOPY DECK: 600 SQ FT
SITE: 3,128 SF

NO. OF STORIES: 2
BUILDING HEIGHT: APPROX 25'-0" EXISTING

CONSTRUCTION TYPE:
IBC/IFC: NFPA: COMMON TERMINOLOGY:
TYPE V-B V (000) UNPROTECTED COMBUSTIBLE

OCCUPANCY TYPE:
IBC: 1ST FLOOR: GROUP M (RESTAURANT UNDER 50 PERSONS)
2ND FLOOR: GROUP M (RESTAURANT UNDER 50 PERSONS)
NFPA: 1ST FLOOR: MERCANTILE (RESTAURANT UNDER 50 PERSONS)
2ND FLOOR: MERCANTILE (RESTAURANT UNDER 50 PERSONS)

SPRINKLERED:
NO

FIRE ALARM:
NO

APPLICABLE CODES:
2015 IBC W/NEW ORLEANS CODE ADOPTIONS
2015 INTERNATIONAL MECHANICAL CODE
2013 LOUISIANA STATE PLUMBING CODE
2014 NATIONAL ELECTRIC CODE
2015 ADA ADDA GUIDELINES

ARCHITECT:
M3 DESIGN GROUP LLC
3328 BANKS ST.
NEW ORLEANS, LA 70119
MYLES M MARTIN LIC#7597
MYLES@M3-DESIGN-GROUP.COM
504-345-8950

ELECTRICAL ENGINEER:
EDS LLC
RAUL VALDEZ
3328 BANKS ST.
NEW ORLEANS, LA 70119
RAUL@EWITHD.COM

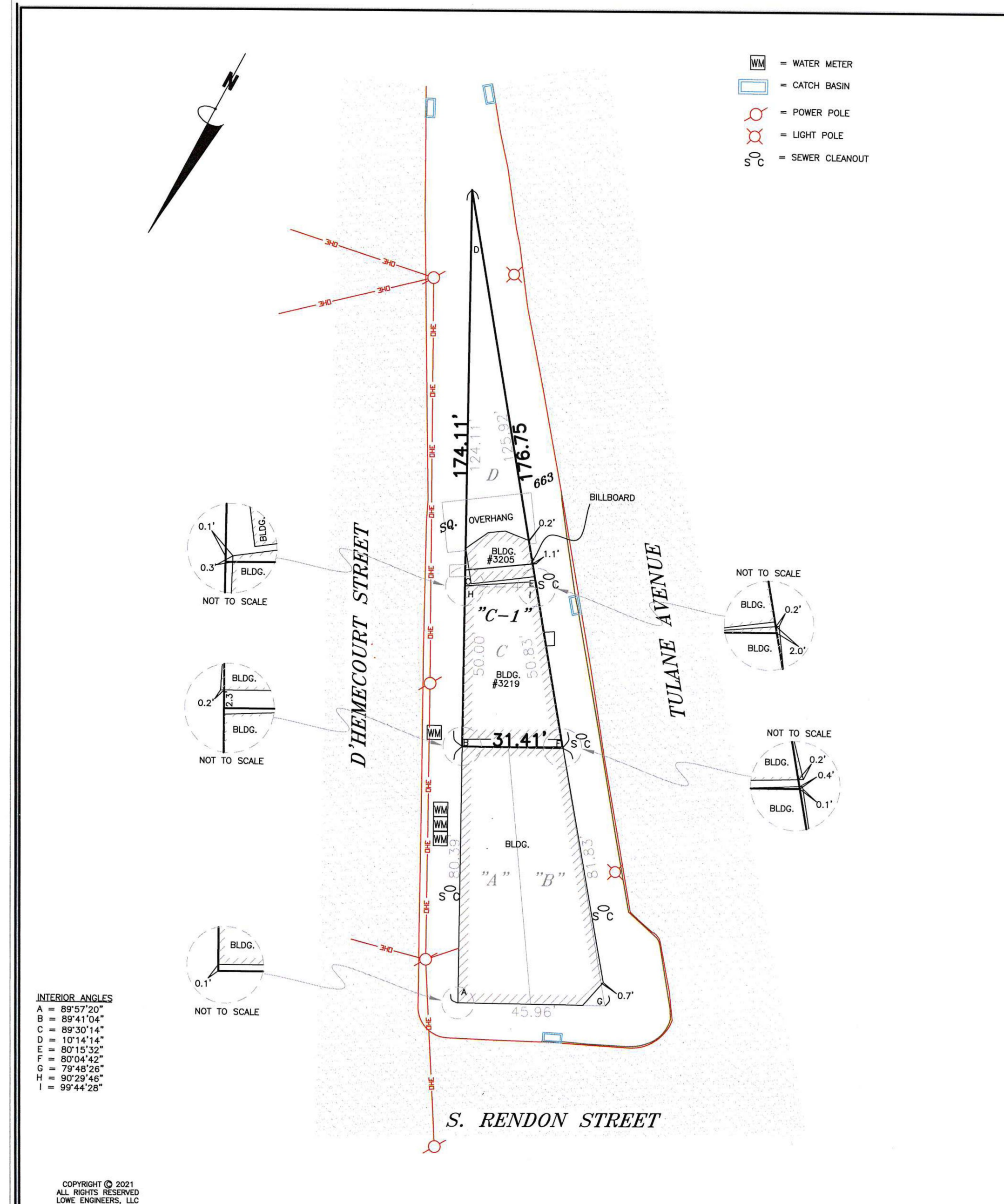
STRUCTURAL/CIVIL ENGINEER:
PACE GROUP LLC
JOHANN PALACIOS
400 S. JEFF PARKWAY
NEW ORLEANS, LA 70119
JOHANN@PACEGROUPLLC.COM

PROJECT INFORMATION

PURPOSE OF THE MU-2 HIGH INTENSITY MIXED-USE DISTRICT
The MU-2 High Intensity Mixed-Use District is intended encourage walkable neighborhood centers and corridors conducive to transit, with a mix of residential and supportive commercial and office uses. Buildings may contain vertical mixed-use as well as single purpose uses designed to be located both at neighborhood centers and along major arterial corridors.

ZONING TABULATION CHART MU-2				
Order	REQUIRED	EXISTING/PROVIDED	VARIANCE	
1	MIN. PERMIABLE AREA	20% OF LOT	3182 SF * .20 = 626 SF / 630 SF	NO
2	SIDE YARDS	NONE	NONE	NO
8	HEIGHT	MAX 85'	APPROX 25'	NO

SHEET LIST					
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Date	Current Revision Description
A1.0	TITLE SHEET	10/11/21			
A1.1	NOTES	10/11/21			
A1.2	DEMO PLAN	10/11/21			
A1.3	SITE	10/11/21			
A2.0	LIFE SAFETY	10/11/21			
A3.0	FLOOR PLANS	10/11/21			
A5.0	EXTERIOR ELEVATIONS	10/11/21			
A5.1	EXTERIOR PERSPECTIVES	10/11/21			
A6.0	CANOPY OVERALL	10/11/21			



THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

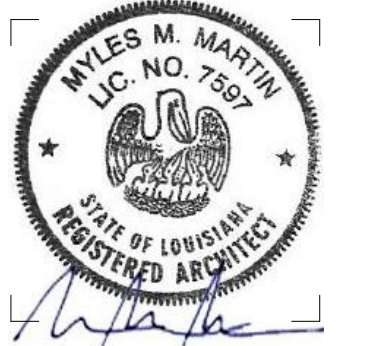
A MINOR SUB MAP OF
LOTS C & D, SQUARE 663, FIRST DISTRICT
situated in
CITY OF NEW ORLEANS
into
LOT C-1, SQUARE 663, FIRST DISTRICT
Orleans Parish, Louisiana
for
SCOTT WOLFE

Survey No. 21-140325 Drawn by: RAB Scale: 1" = 30'
Date: MAY 6, 2021 Revised:
Professional Land Surveyors
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (983)945-1012
FAX NO. (983)945-1778
www.lowengineers.com
e-mail: MandevilleTeam@lowengineers.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.
NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.
Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

21_094
DATE
TYPE (SEE CHANGE LOG)
#

3205 TULANE AVE - WHITE BOX RENOVATION
3205 TULANE AVE
NEW ORLEANS, LA 70119



M3 DESIGN GROUP
3328 BANKS ST | NO. LA 70119 | (504)345-8950
WWW.M3-DESIGN-GROUP.COM

CDs - PERMITTING

ISSUED 10/11/21

A1.0
TITLE SHEET

10/13/2021 3:02:47 PM

- CONSTRUCT ALL FRAMING TRUE AND SQUARE USING #2 SYP OR SPRUCE MATERIALS. PROVIDE PRESSURE TREATED FRAMING AT INTERIOR WET AREAS AND EXTERIOR DECK & PORCH LUMBER EXPOSED TO THE ELEMENTS.
- TREATED MATERIALS SHALL BE OF GRADE AS REQUIRED BY CONDITION AND KILN DRIED AFTER TREATMENT.
- SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL).
- SEAL ALL ROUGH OPENINGS INTERIOR CAVITY VOIDS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO ENCLOSING WITH FINISH TRIM.

GENERAL NOTES - FRAMING

- CONCRETE AND REINFORCEMENT NOTES:**
- CONCRETE: ACI 301-89 SPECIFICATIONS, NORMAL WEIGHT (LATEST REVISION).
 - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 4000 PSI UNLESS OTHERWISE NOTED.
 - REINFORCING STEEL BARS: ASTM A615
 - WELDED WIRE MESH: ASTM A195
 - GRADE OF REINFORCING STEEL: GRADE 60.
 - REINFORCING DETAILS: ACI 315 STANDARDS.
 - ALL WORK WITHIN THE PROPERTY LINE SHALL CONFIRM TO REQUIREMENTS OF THE SEWERAGE AND WATER BOARD OF NEW ORLEANS

GENERAL NOTES - CONCRETE WORK

- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL WALLS & ASSOCIATED MATERIALS.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER.
- PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO

- FINISHES: PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.**
- INTERIOR WALLS:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
 - CEILING:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
 - CEILING ABOVE SHOWER ENCLOSURE:
PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
TRIM AND DOORS:
PRIMER: SHWER WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT

GENERAL NOTES - PAINT

- CONTRACTOR SHALL PROVIDE BLOCKING IN WALL AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES AND FIXTURES. RE: EQUIPMENT PLAN & MECHANICAL.
- ALL MOUNTING HEIGHTS AND LOCATIONS TO BE VERIFIED IN FIELD BY ARCHITECT PRIOR TO IN-WALL BLOCKING INSTALLATION.
- TYPICAL WALL MOUNTED TOILET ACCESSORIES ARE INTENDED TO ALIGN WITH TILE JOINTS WHERE POSSIBLE. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
- REFER TO INTERIOR ELEVATIONS & EQUIPMENT PLANS FOR WALL MOUNTED ACCESSORIES AND FIXTURES NOT INCLUDED IN PLAN.
- REFER TO ENLARGED PLANS FOR ADDITIONAL PARTITION TAGS, DETAIL TAGS, INTERIOR ELEVATION TAGS AND SPECIFIC NOTES IF NOT VISABLE TO PRIMARY SCALED PLANS.
- REFER TO ENLARGED EQUIPMENT PLANS AND EQUIPMENT SCHEDULE FOR ITEMS THAT ARE OWNER FURNISHED AND OWNER INSTALLED VERSUS ITEMS WHICH WILL BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED. THE CONTRACTOR SHALL PROVIDE ADEQUATE SPACE AND REQUIRED PLUMBING AND ELECTRICAL SERVICES FOR SUCH ITEMS. THE GENERAL CONTRACTOR SHALL COORDINATE THESE ITEMS AND THEIR DELIVERY TO THE SITE WITH OWNER'S REPRESENTATIVE.

GENERAL NOTES - EQUIPMENT

- STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE NOSINGS OF ADJACENT TREADS.
- STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8 INCH.
- NOSINGS SHALL HAVE A CURVATURE OR BEVEL OF NOT LESS THAN 1/16 INCH BUT NOT MORE THAN 9/16 INCH FROM THE FOREMOST PROJECTION OF THE TREAD.
- REQUIRED RAILS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.
- ALL TREAD SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT.

GENERAL NOTES - STAIRS

EXTERIOR SHEATHING:

- WALL SHEATHING WITH INTEGRAL WATER-RESISTIVE BARRIER AND AIR BARRIER.
 - HUBER ENGINEERED WOODS LLC; ZIP SYSTEM SHEATHING.
 - SPAN RATING, PANEL GRADE AND PERFORMANCE CATEGORY: 7/16" THICK SHEATHING (GREEN IN COLOR)
 - EDGE PROFILE: [SQUARE EDGE] [SELF-SPACING]
 - FACER: MEDIUM-DENSITY, PHENOLIC-IMPREGNATED SHEET MATERIAL QUALIFYING AS A GRADE D WEATHER-RESISTIVE BARRIER IN ACCORDANCE WITH ICC AC308.

EXTERIOR FINISHES:

- SOFFITS - FIBER-CEMENT SIDING PANELS BEARING A 10-YEAR MATERIAL AND WORKMANSHIP WARRANTY WITH PROFILES AS INDICATED BELOW SHALL BE INSTALLED OVER WEATHER BARRIER AT UNDER SIDE OF EXTERIOR SOFFITS. PROVIDE ALL MATERIALS, INCLUDING METAL FLASHINGS AND TRIM FROM A SINGLE SOURCE.
 - PANEL: 48-INCH WIDE SHEETS WITH SMOOTH TEXTURE.
- WALLS & TRIM - LP SMARTSIDE ENGINEERED WOOD TRIM & SIDING. SIDING TO BE 6" WIDE WITH SMOOTH PATTERN.
- PRE-FINISHED ALUMINUM GUTTERS AND DOWNSPOUTS BEARING A 10-YEAR FINISH WARRANTY SHALL BE INSTALLED AT HORIZONTAL ROOF EDGES AS INDICATED ON THE DRAWINGS. LOCATE DOWNSPOUTS TO ALIGN WITH EXPOSED PILES OR SCREENING SUPPORT FOR ADEQUATE BRACING. PROVIDE CONCRETE SPLASH BLOCKS AT ALL DOWNSPOUT DISCHARGE LOCATIONS.
- SHEET METAL FLASHING AND TRIM: FABRICATE FLASHING AND TRIM TO COMPLY WITH MANUFACTURER'S STANDARD PROCEDURES AND PROCESSES, AS NECESSARY TO FULFILL INDICATED PERFORMANCE REQUIREMENTS DEMONSTRATED BY LABORATORY TESTING. COMPLY WITH INDICATED PROFILES AND WITH DIMENSIONAL REQUIREMENTS.
 - STAINLESS STEEL: 26 GA
- PAINT COLOR AND SELECTION TO BE COORDINATED WITH OWNER.
 - INTERIOR WALLS:
 - PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
 - TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
 - CEILING:
 - PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
 - TOPCOAT - 2 COATS SHERWIN WILLIAMS 400 ZERO FLAT
 - CEILING ABOVE SHOWER ENCLOSURE:
 - PRIMER - HI-BUILD PRIMER SEALER (KILZ II OR EQUAL)
 - TOPCOAT - 2 COATS SHERWIN WILLIAMS DURATION HOME SATIN WALL PAINT
 - TRIM AND DOORS:
 - PRIMER: SHWER WILLIAMS PRO-CLASSIC ALKYD SEMI-GLOSS ENAMEL
 - TOPCOAT - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
- FIBERENGINEERED WOOD SIDING (PRE-PRIMED FROM FACTORY)
 - 2 COATS SHERWIN WILLIAMS A-100 SATIN ACRYLIC HOUSE AND TRIM PAINT
 - PREP-CAULK SHALL BE A MINIMUM OF 60 YEAR PAINTABLE SILICONIZED ACRYLIC. NAIL HOLES AND BLEMISHES TO BE FILLED WITH APPROPRIATE WOOD FILLER. APPLY PAINT BY BRUSH, ROLLER, OR SPRAY. SAND BETWEEN COATS AS NECESSARY
- CAULKING, SEALING AND INSULATION
 - SET ALL EXTERIOR BASE PLATES IN 2 LINES OF WATERPROOF CAULKING @ INSTALLATION. CAULK BUILDING EXTERIOR FOR A COMPLETELY WATERPROOFED INSTALLATION. CAULK ALL PENETRATIONS, MATERIAL TRANSITIONS AND SEAMS INCLUDING UNDERSIDE OF LAP SIDING WITH GE MAX 3500 (OR EQUAL). SEAL ALL ROUGH OPENINGS (DOORS, WINDOWS AND PENETRATIONS) WITH EXPANDABLE FOAM SEALANT PRIOR TO APPLYING INTERIOR TRIM.

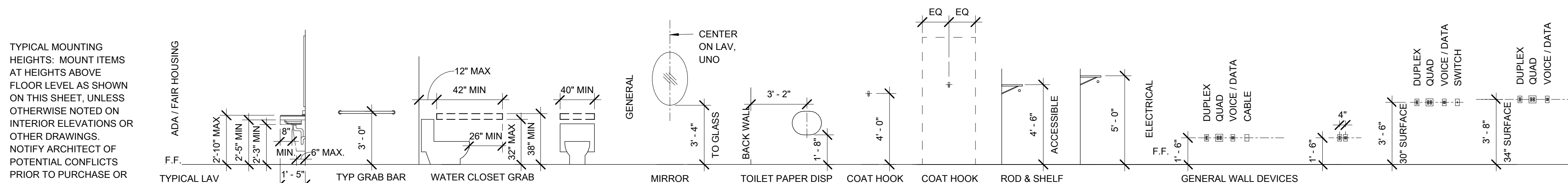
GENERAL NOTES - THERMAL ENVELOPE

- CONTRACTOR IS TO COORDINATE WITH OWNER THE SALVAGE OF ANY AND ALL ITEMS WITHIN THE BUILDING.
- COORDINATE WITH ARCHITECT ITEMS DETERMINED AS HISTORICALLY SIGNIFICANT BY THE ARCHITECT
- CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED.
- CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL WALLS & ASSOCIATED MATERIALS AS SHOWN WITH A DASHED LINE. PROTECT ALL ADJACENT FLOOR, WALL, & CEILING SURFACES TO REMAIN.
- WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
- ALL TILE & VINYL FLOORING FINISHES TO BE REMOVED TO ORIGINAL SUBSTRATE.
- CONTRACTOR TO LOCATION OF DUMPSTER IN DRIVEWAY.
- PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
- CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
- PERMIT RESPONSIBILITY OF CONTRACTOR.

GENERAL NOTES - PROJECT

- CONSTRUCT STRUCTURE IN COMPLIANCE WITH APPLICABLE SECTIONS OF THE INTERNATIONAL RESIDENTIAL CODE.
- USE ONLY S/S OR HOT DIPPED GALVANIZED FASTENERS FOR EXTERIOR CONNECTIONS OR TREATED WOOD CONNECTIONS.
- SECURE WIND ANCHORS IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS FOR LOADS GENERATED BY 120 MPH WIND SPEED.
- SOLID SHEATH ALL EXTERIOR WALLS WITH 1/2" WINDSTORM FULL HEIGHT SHEATHING PANELS TO SPAN FRAMING CONNECTIONS SECURING CAP AND BOTTOM PLATES. INSTALL BLOCKING AT ALL PANEL EDGES. SECURE PLYWOOD WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS @ 6" @ SIDES, 3" STAGGERED @ ENDS & 12" @ INTERMEDIATE FRAMING.
- JOIST TO BAND JOIST - FACE NAIL 3-16P COMMON
- JOIST TO SILL - TOE NAIL 3-8P RING SHANK COMMON
- BRIDGING TO JOIST - TOE NAIL 3-8P COMMON
- BOTTOM PLATE TO JOIST OR BLOCKING - FACE NAIL 16P RING SHANK COMMON @ 8" STAGGERED.
- TOP OR BOTTOM PLATE TO STUD - END NAIL 2-16P COMMON
- STUD TO BOTTOM PLATE - TOE NAIL 4-8P COMMON
- DOUBLE STUDS - FACE NAIL 10P COMMON @ 16"
- CAP PLATE - FACE NAIL 2-10P COMMON @ 16"
- TOP PLATE LAPS AND INTERSECTIONS - FACE NAIL 3-10P COMMON
- CEILING JOIST/RAFTERS TO CAP PLATE - TOE NAIL 3-8P COMMON
- CEILING JOIST LAPS OVER PARTITIONS - FACE NAIL 4-12P COMMON
- RAFTER LAPS OVER BEARING - FACE NAIL 4-12P COMMON EACH END
- BUILT-UP CORNERS & T'S - FACE NAIL 16P COMMON @ 16"
- BUILT-UP HEADERS OF 3 MEMBERS - FACE NAIL 20P @ 16" EACH FACE STAGGERED & 2 EACH SPLICE
- 3/4" PLYWOOD FLOOR DECK - FACE NAIL 8P COMMON RING SHANK @ 6" @ SIDES, ENDS AND INTERMEDIATE FRAMING.
- 8" PLYWOOD ROOF SHEATHING - INCORPORATE SPACING CLIPS @ 24" FACE NAIL WITH BOSTITCH HURRIQUAKE 2.5" HQ SHANK LARGE HEAD COMMON NAILS @ 6" @ PERIMETER SIDES, & 12" @ INTERMEDIATE FRAMING.
- ROOFING SHINGLES - 6 GALV. 1.25" ROOFING NAILS PER SHINGLE (DADE PATTERN).

GENERAL NOTES - FASTENING SCHEDULE

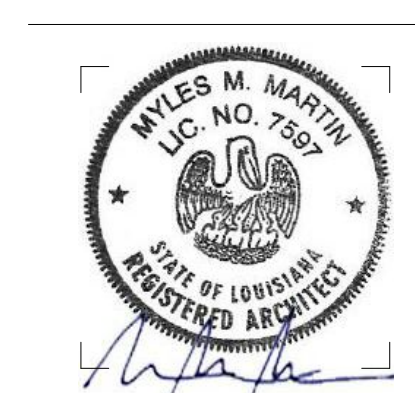


MOUNTING HEIGHTS

21_094

DATE

TYPE (SEE CHANGE LOG)

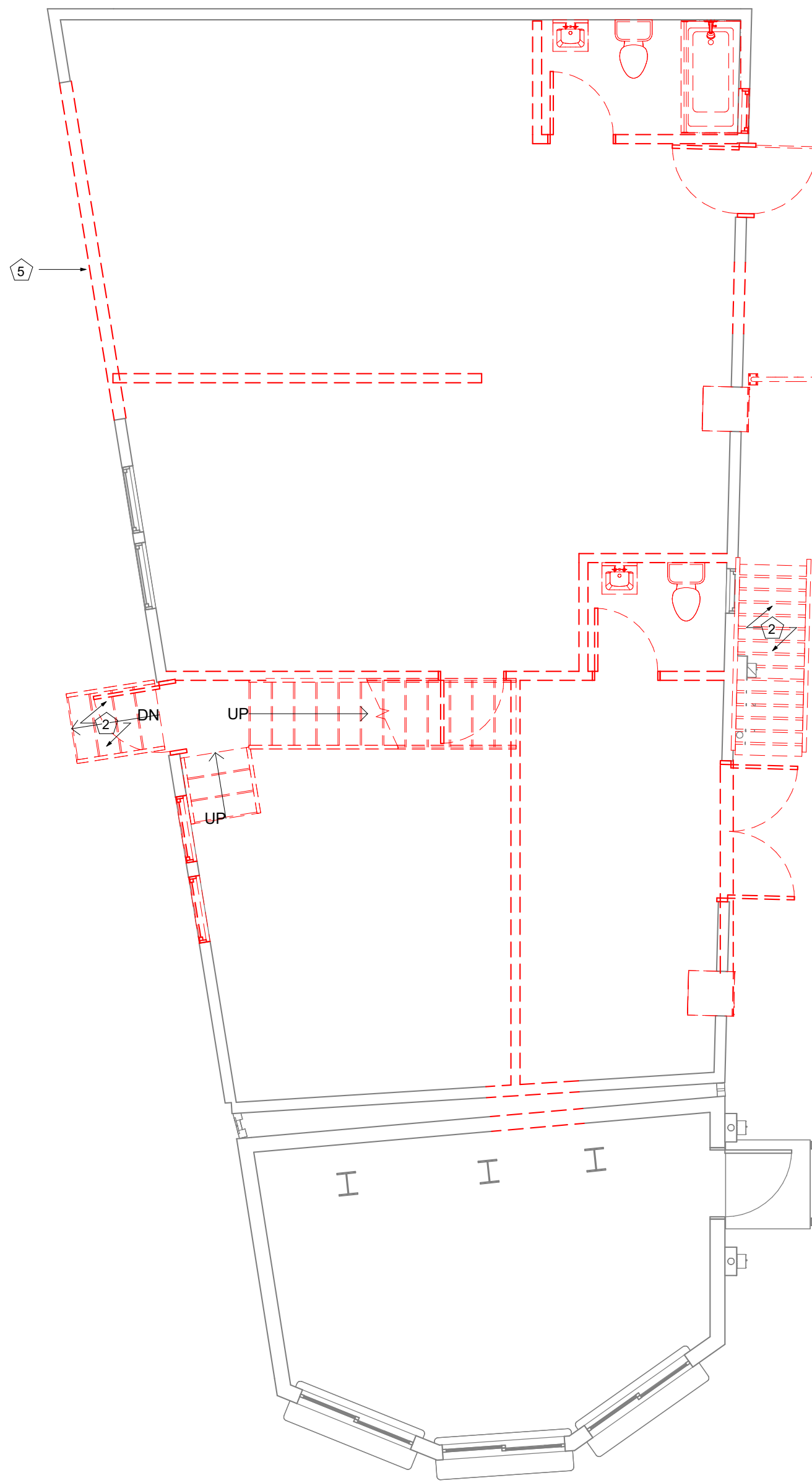
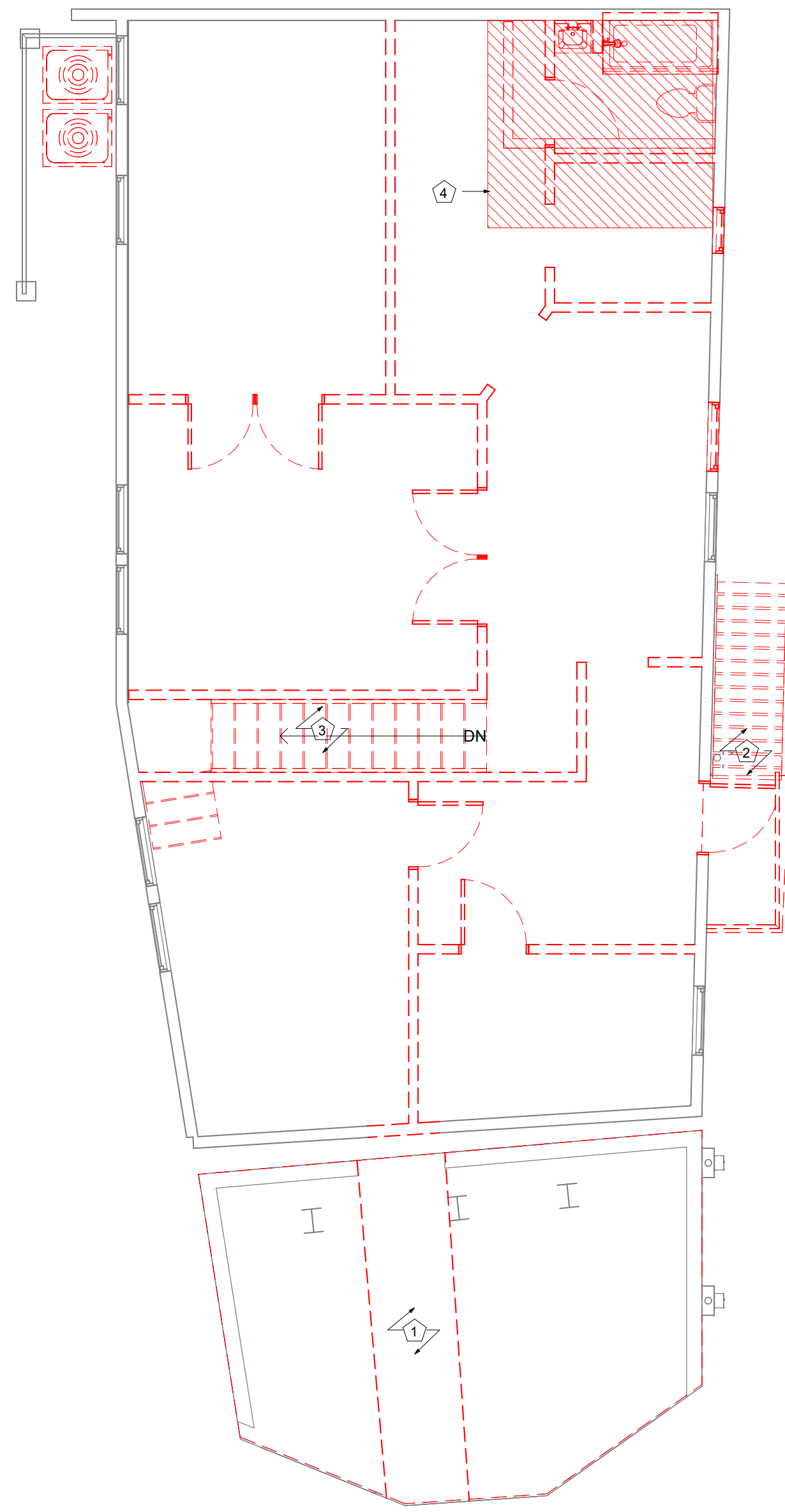


CDS - PERMITTING
ISSUED 10/11/21

A1.1
NOTES

3205 TULANE AVE - WHITE BOX RENOVATION
3205 TULANE AVE
NEW ORLEANS, LA 70119

10/13/2021 3:02:48 PM



2ND FLOOR

3 | 2ND FLOOR DEMO
3/16" = 1'-0"

1ST FLOOR

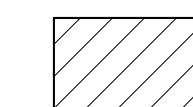
1 | 1ST FLOOR DEMO
3/16" = 1'-0"

- ① DEMO AS REQUIRED TO REFRAME FOR NEW ROOF AT 2ND FLOOR ACCESS PATH
- ② REMOVE EXISTING EXTERIOR ELEMENT. PATCH/INFILL/REPAIR EXTERIOR SURFACES AFTER REMOVAL
- ③ REMOVE EXISTING STAIR, PREPARE FOR INFILL
- ④ DEMO OPENING FOR NEW STAIR. SEE ARCHITECTURAL PLANS FOR LOCATION
- ⑤ REMOVE WALL AND PREPARE OPENING FOR NEW STOREFRONT & HEADER
- ⑥ REMOVE EXISTING CONCRETE FOR NEW CANOPY FOOTINGS, COORDINATE WITH STRUCTURAL PACKAGE

SPECIFIC NOTES - DEMO


1. CONTRACTOR TO VERIFY, BEFORE DEMOLITION, ANY EXISTING MECHANICAL OR ELECTRICAL SYSTEMS IN EXISTING WALLS TO BE DEMOLISHED AS REQUIRED IN DRAWINGS AND VERIFY THROUGH ULTRASOUND TESTING ALL EXISTING SLAB CONDITIONS IN THESE AREAS. CONTRACTOR TO COORDINATE COURSE OF ACTION WITH OWNER AND ARCHITECT IN FIELD. CLOSE, CAP, AND DISCONNECT CONNECTION TO EXISTING SERVICE AS REQUIRED. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. REFER TO MEP DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR TO DEMOLISH AND DISPOSE OF ALL WALLS & ASSOCIATED MATERIALS.
3. WHETHER OR NOT IT IS SPECIFICALLY INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL REMOVE AND DEMOLISH ALL EXISTING CONSTRUCTION, INCLUDING UTILITIES, WHICH WILL INTERFERE WITH NEW WORK. CONTRACTOR WILL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.
4. EXISTING DRAWINGS HAVE BEEN PROVIDED BY THE OWNER AND MAY NOT ACCURATELY REPRESENT ALL EXISTING CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WALKING THROUGH AND ADVISING THE ARCHITECT OF READILY APPARENT DISCREPANCIES OR CONDITIONS WHICH ADVERSELY AFFECT CONSTRUCTABILITY OF THE WORK.
5. CONTRACTOR TO COORDINATE LOCATION OF DUMPSTERS WITH THE OWNER.
6. PRIOR TO SHUT DOWN OR TYING INTO ANY UTILITY, APPROVAL SHALL BE OBTAINED FROM THE BUILDING REPRESENTATIVE FOR AN APPROPRIATE TIME.
7. CONTRACTOR TO REPAIR AS REQUIRED ALL AFFECTED ADJOINING AREAS TO MATCH NEW CONSTRUCTION.
8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE PUBLIC AND/OR WORK PERSONS ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES, AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. CONTRACTOR SHALL COORDINATE SAFETY PRECAUTIONS WITH BUILDING REPRESENTATIVE.

GENERAL NOTES - DEMO

 NO WORK THIS AREA

 DEMOLITION TAG. RE: SPECIFIC DEMOLITION NOTES.

 EXISTING ELEMENT TO BE REMOVED

 EXISTING DOOR AND FRAME TO BE DEMOLISHED. DOOR AND HARDWARE TO BE TURNED OVER TO OWNER.

LEGEND - DEMO

21_094

DATE

TYPE (SEE CHANGE LOG)

#



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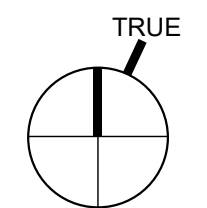
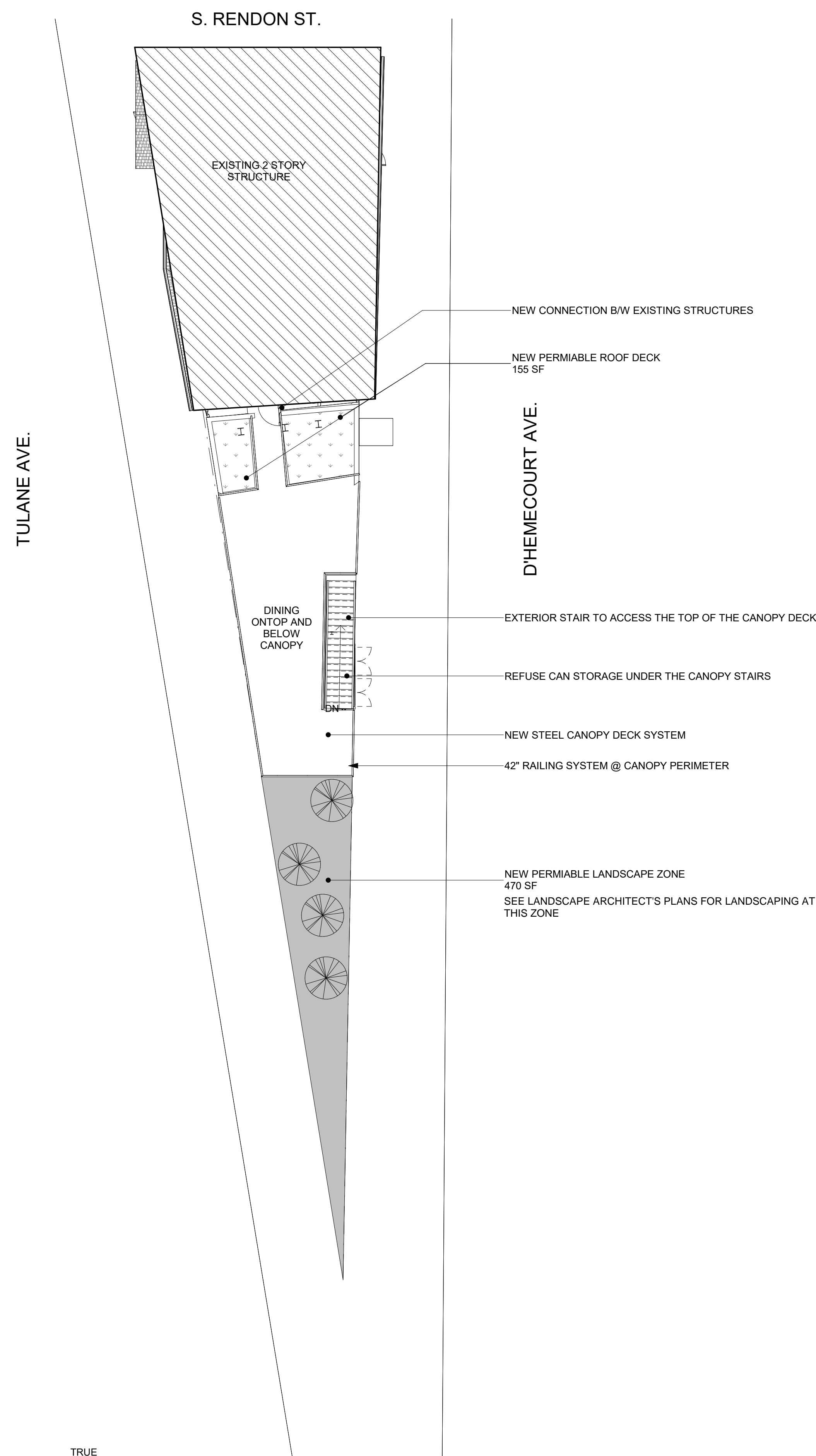
A1.2

DEMO PLAN

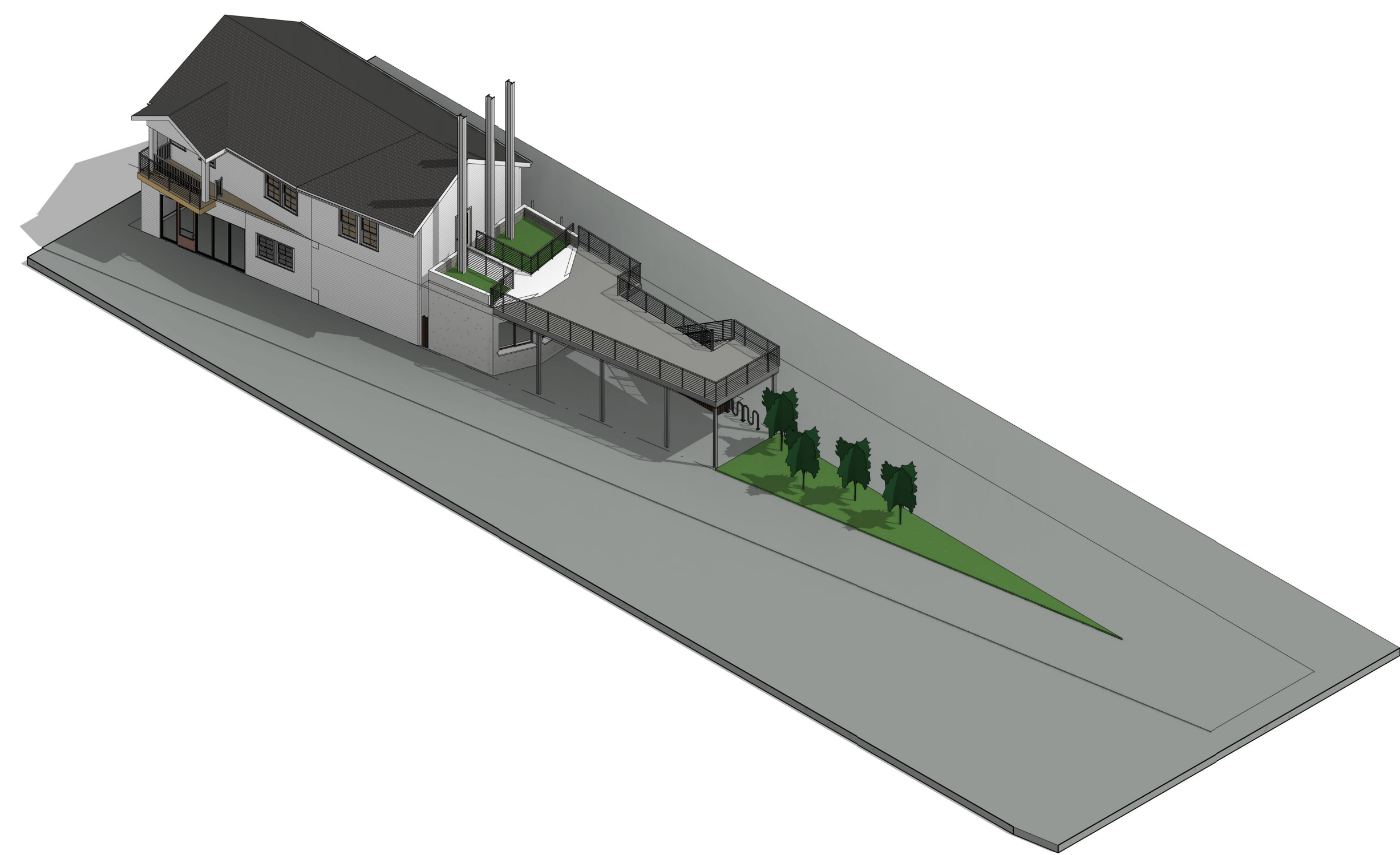
3205 TULANE AVE - WHITE BOX RENOVATION

3205 TULANE AVE
NEW ORLEANS, LA 70119

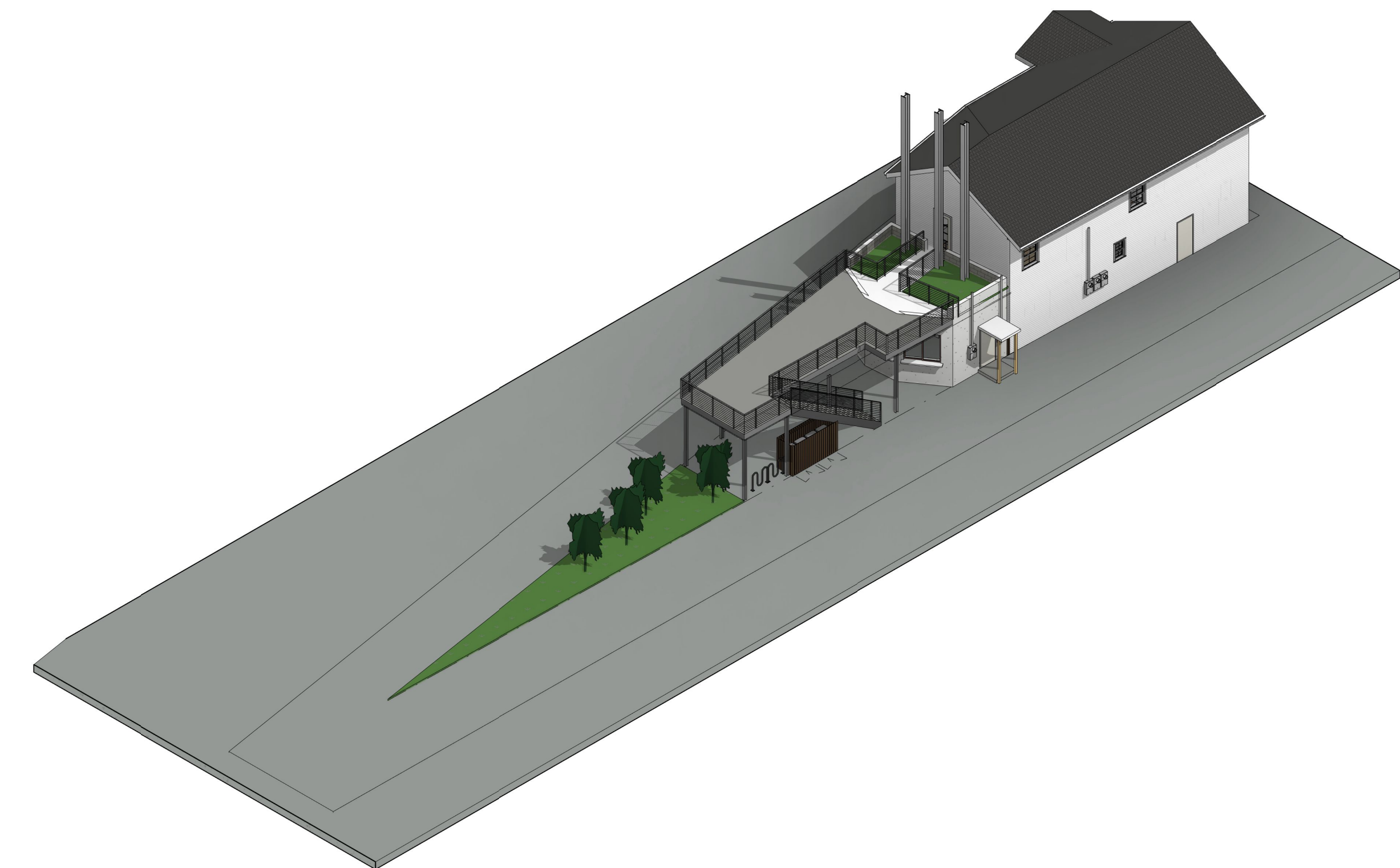
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1 | SITE PLAN
3/32" = 1'-0"



AXONOMETRIC Copy 1

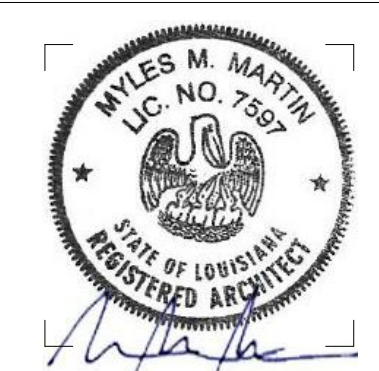


AXONOMETRIC

- NEW WALL
- EXISTING WALL
- COLUMN LINE & TAG
- ELEVATION TAG
- SPECIFIC NOTE
- SECTION TAG

LEGEND - SITE

#	TYPE (SEE CHANGE LOG)	DATE
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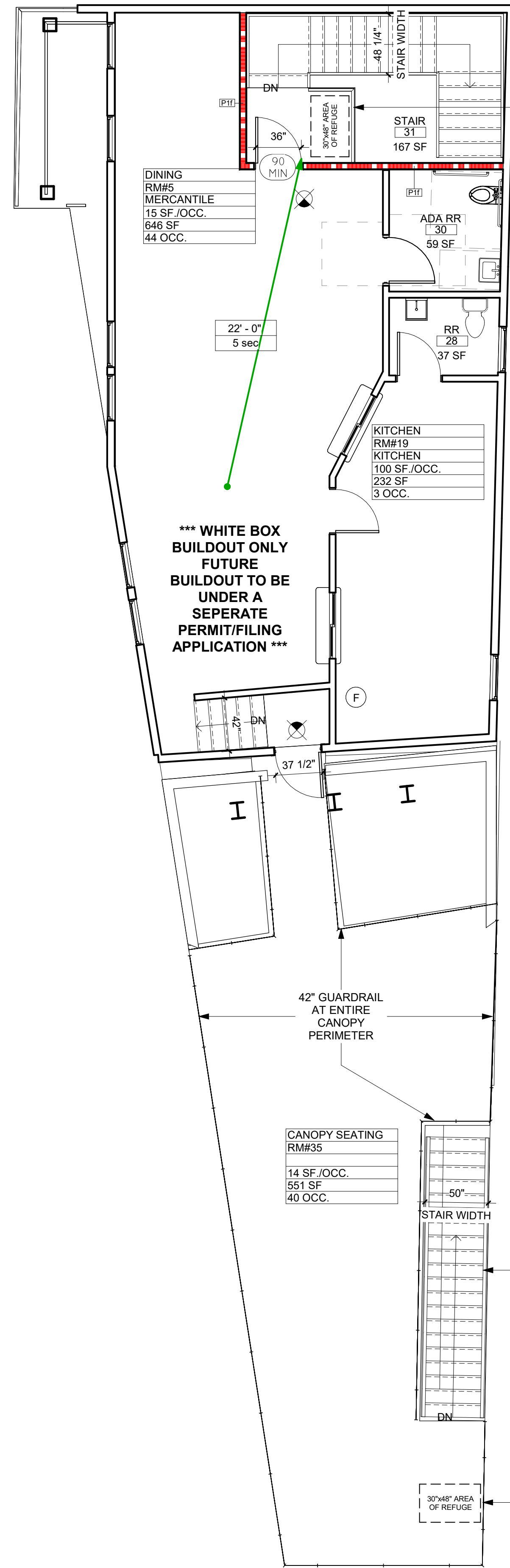
A1.3
SITE

3205 TULANE AVE - WHITE BOX RENOVATION
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NEW ORLEANS, LA 70119

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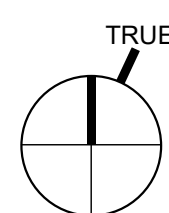
2ND FLOOR

2 | 2ND FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



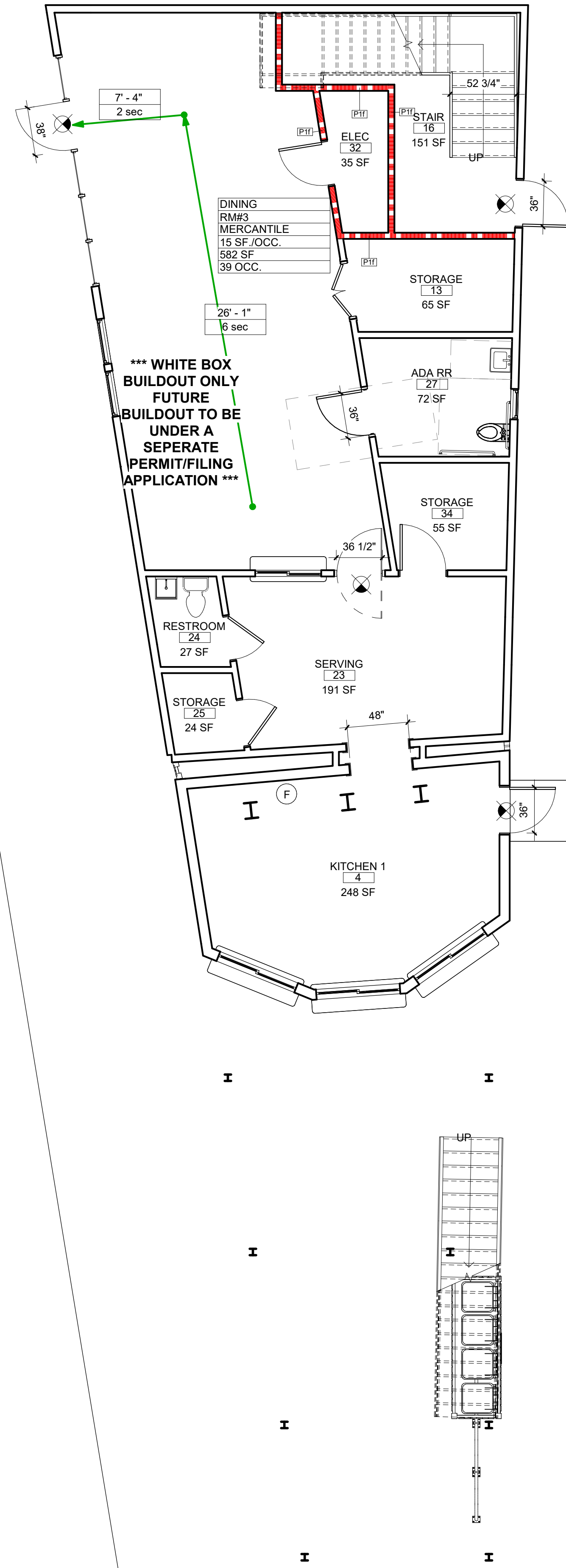
PROVIDE TWO-WAY COMMUNICATION SYSTEM
1. INCLUDE POSTED INSTRUCTIONS EXPLAINING HOW TO USE THE SYSTEM.
2. INCLUDE WRITTEN IDENTIFICATION OF THE LOCATION OF THE AREA OF REFUGE.
3. BE IN ACCORDANCE WITH NFPA 101:7.2.12.2.6 AND ADA-ABA 216.
4. BE IN ACCORDANCE WITH ADA-ABA 217 FOR TELEPHONES.

OUTDOOR RATED PROVIDE TWO-WAY COMMUNICATION SYSTEM
1. INCLUDE POSTED INSTRUCTIONS EXPLAINING HOW TO USE THE SYSTEM.
2. INCLUDE WRITTEN IDENTIFICATION OF THE LOCATION OF THE AREA OF REFUGE.
3. BE IN ACCORDANCE WITH NFPA 101:7.2.12.2.6 AND ADA-ABA 216.
4. BE IN ACCORDANCE WITH ADA-ABA 217 FOR TELEPHONES.

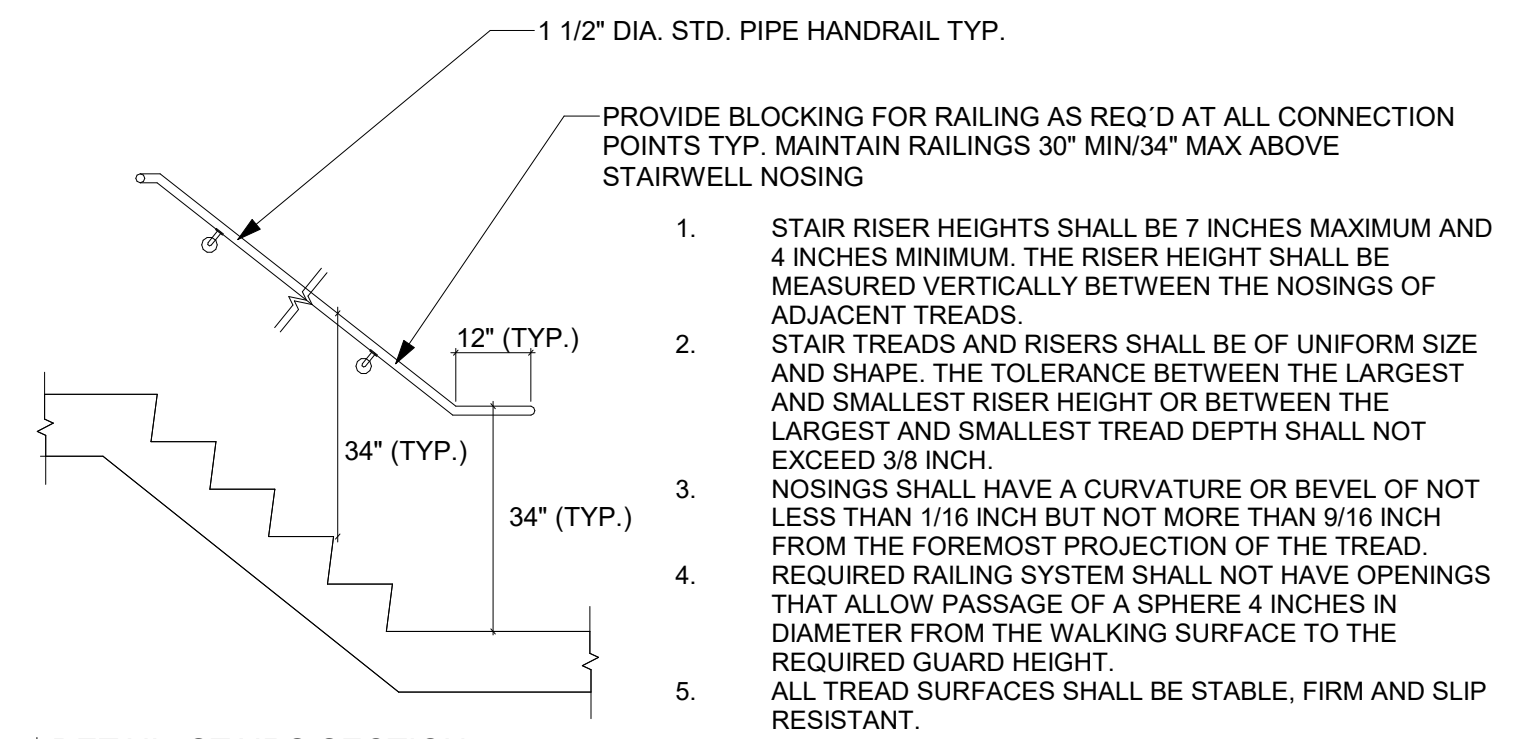


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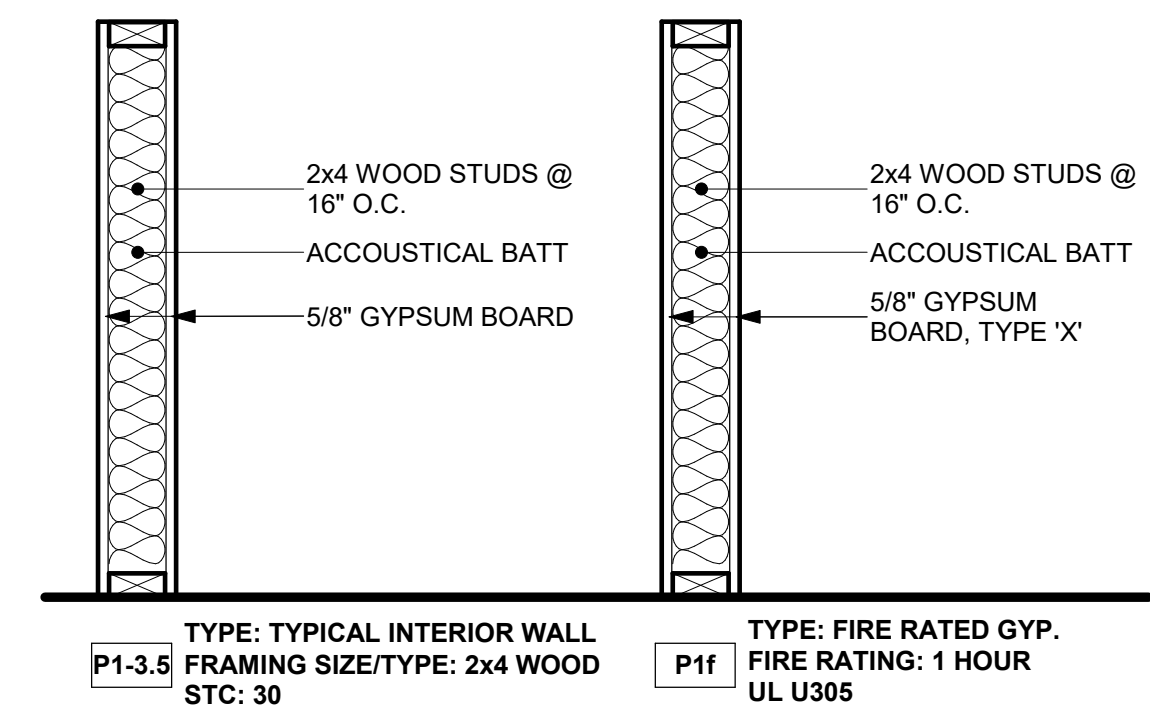
1 | 1ST FLOOR LIFE SAFETY PLAN
3/16" = 1'-0"



*** WHITE BOX BUILDOUT ONLY FUTURE BUILDOUT TO BE UNDER A SEPERATE PERMIT/FILING APPLICATION ***



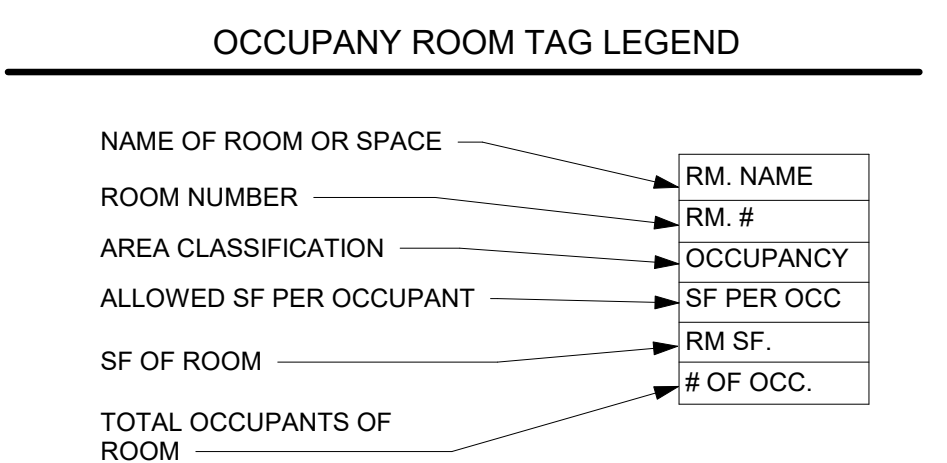
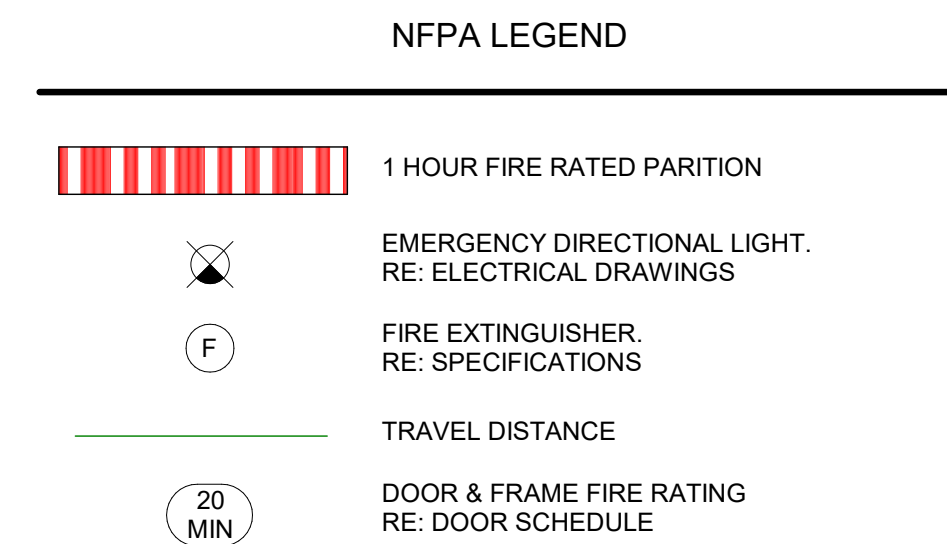
DETAIL STAIRS SECTION



LEGEND - WALL SCHEDULE

- U.L. APPROVED PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN ACCORDANCE WITH SECTION 906.1 OF IBC AND NFPA 10 (LAC 17.4-4.5). (MIN. 2A-10B-C).
- INTERIOR WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX IN ACCORDANCE WITH IBC SECTION 803.9 AND COMPLY WITH NFPA 101:18.3.3 (0-75) FLAMESPREAD WITH SMOKE DEVELOPMENT OF (0-45).
- INTERIOR FLOOR MATERIAL AND COVERINGS TO COMPLY WITH IBC SECTION 804.1, 804.4.1, AND 804.2.
- EMERGENCY LIGHTING SHALL BE PROVIDED AS PER NFPA 101 SECTION 7.9.
- DIRECTIONAL EXIT MARKINGS TO BE CONNECTED TO EMERGENCY POWER AND TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 7.10.
- FIRE DETECTION & ALARM SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NFPA SECTION 9.6.
- FIRE RESISTIVE-RATED BUILDING ASSEMBLIES SHALL BE OF A DESIGN THAT HAS BEEN TESTED AND LISTED BY AN APPROVED TESTING LABORATORY FOR THE INTENDED APPLICATION.
- AS PER NFPA 101:20.7.5 DRAPERIES, CURTAINS, AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS ARE FLAME RESISTANT AS DEMONSTRATED BY TESTING IN ACCORDANCE WITH NFPA 701.
- COOKING EQUIPMENT PROTECTION:
NFPA 96 10.1.1 FIRE-EXTINGUISHING EQUIPMENT FOR THE PROTECTION OF GREASE REMOVAL DEVICES, HOOD EXHAUST FLENUMS, AND EXHAUST DUCT SYSTEMS SHALL BE PROVIDED.
NFPA 96 10.1.2 COOKING EQUIPMENT THAT PRODUCES GREASE-LADEN VAPORS AND THAT MIGHT BE A SOURCE OF IGNITION OF GREASE IN THE HOOD, GREASE REMOVAL DEVICE, OR DUCT SHALL BE PROTECTED BY FIRE-EXTINGUISHING EQUIPMENT.
- NFPA 9610.1.3 FUME INCINERATORS, THERMAL RECOVERY UNITS, AIR POLLUTION CONTROL DEVICES, OR OTHER DEVICES INSTALLED IN THE EXHAUST DUCT, SHALL BE PROTECTED BY AN AUTOMATIC FIRE-EXTINGUISHING SYSTEM.

GENERAL NOTES - LIFE SAFETY



LEGEND - LS

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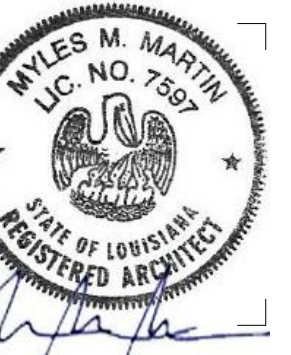
DATE

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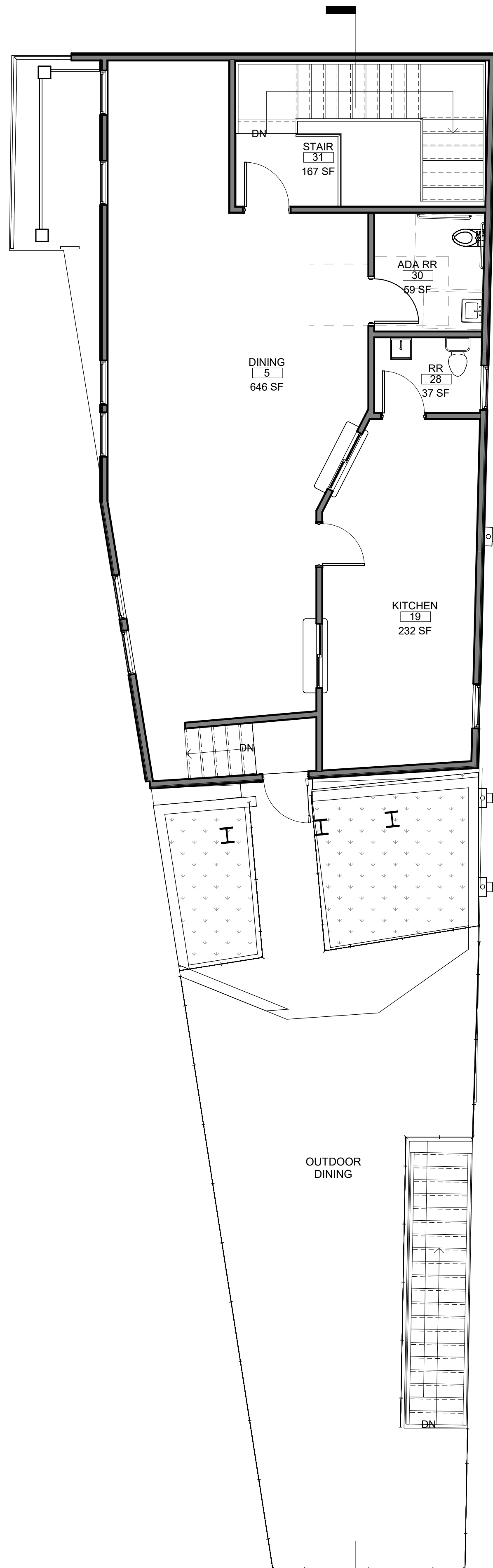
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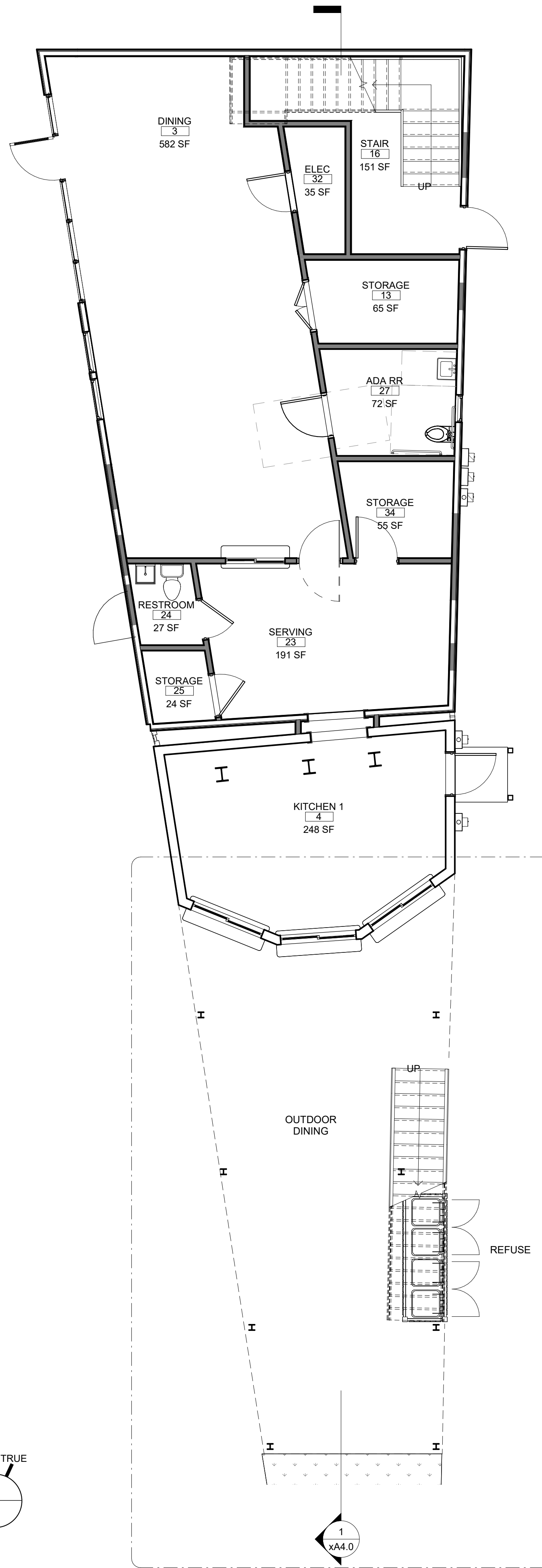
LIFE SAFETY

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2ND FLOOR

2 | 2ND FLOOR PLAN
3/16" = 1'-0"



1ST FLOOR

1 | 1ST FLOOR PLAN
3/16" = 1'-0"

- ELEMENT TO BE REMOVED
- NEW WALL
- EXISTING WALL
- COLUMN LINE & TAG
- ELEVATION TAG
- DOOR TAG
- PARTITION TAG
- SPECIFIC NOTE
- WINDOW TAG
- ITEM TAG
- ROOM TAG
- DETAIL TAG
- SECTION TAG

LEGEND - PLAN

#	TYPE (SEE CHANGE LOG)	DATE



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A3.0
FLOOR PLANS

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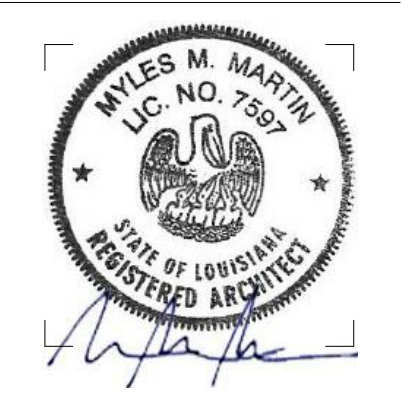
2 | 3D View 2



1 | 3D View 1

#	TYPE (SEE CHANGE LOG)	DATE
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A5.1
 EXTERIOR
 PERSPECTIVES

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