

studioSCARAB
 1012 East Fairview Ave
 Montgomery, AL 36106
 334.399.0783 /
 334.309.6165



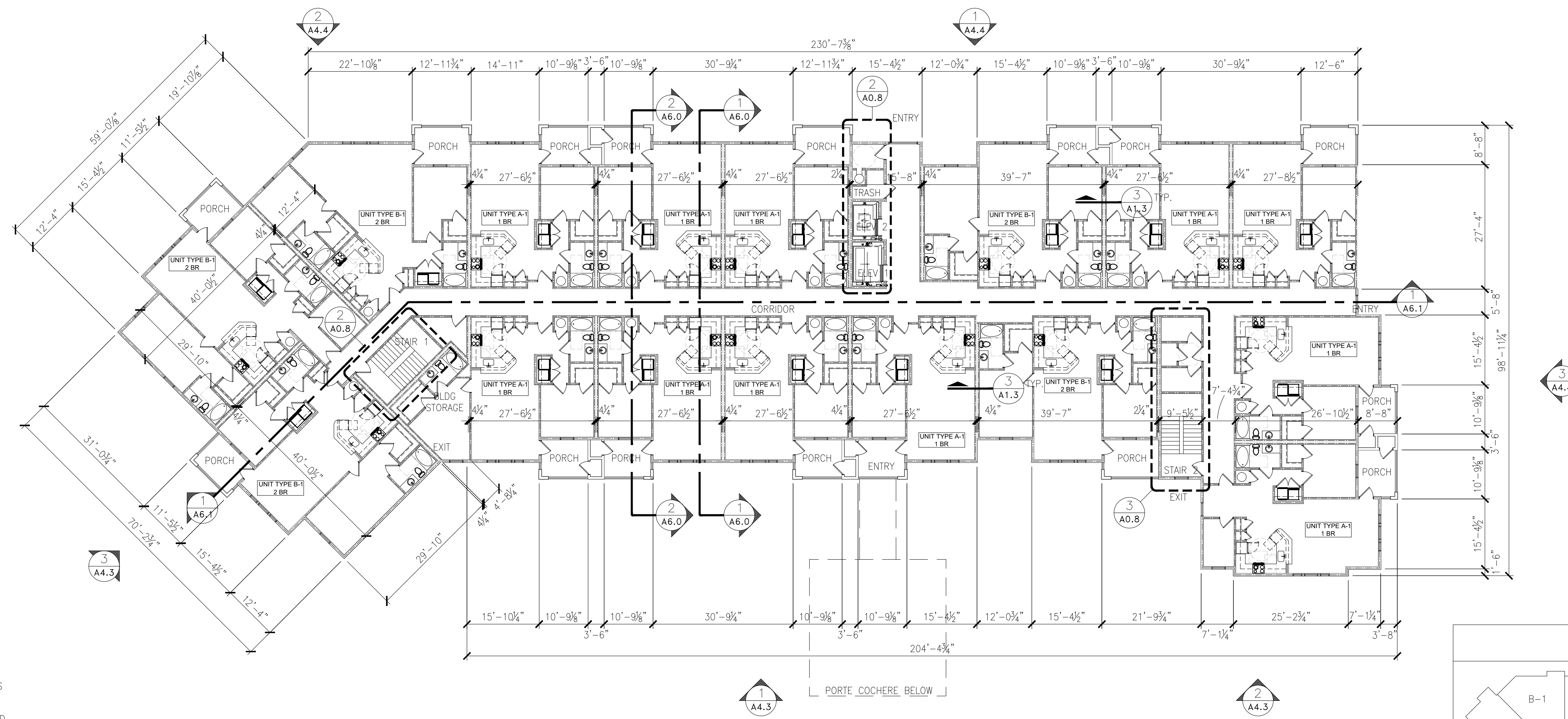
ISSUE	DAC SUBMITTAL	DATE
		08/17/22

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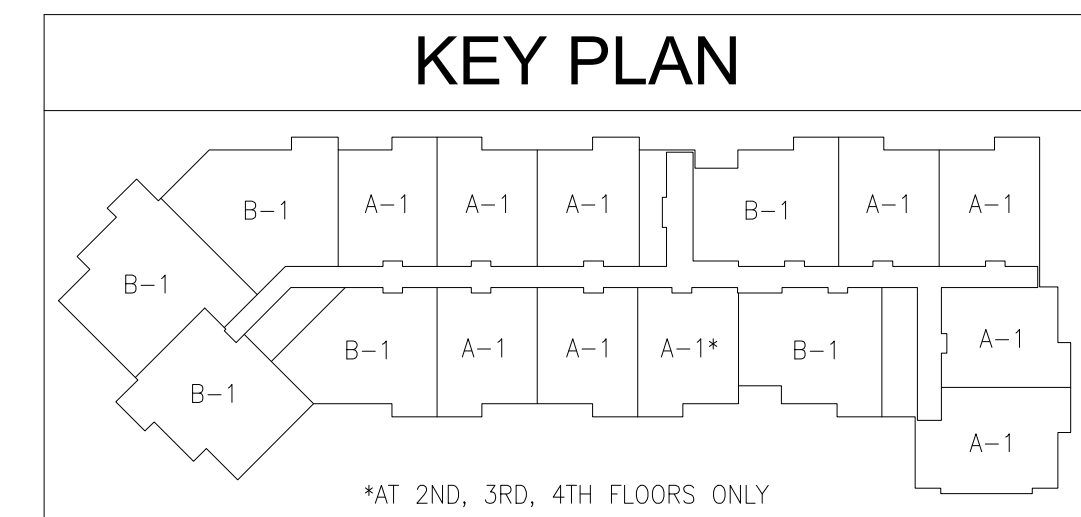
The Village @ English Turn
 a new development for
 Stanton Square, LLC
 New Orleans, Louisiana
 DESIGN DOCUMENTS

BUILDING TYPE II
 OVERALL FIRST
 & SECOND FLOOR
 PLAN

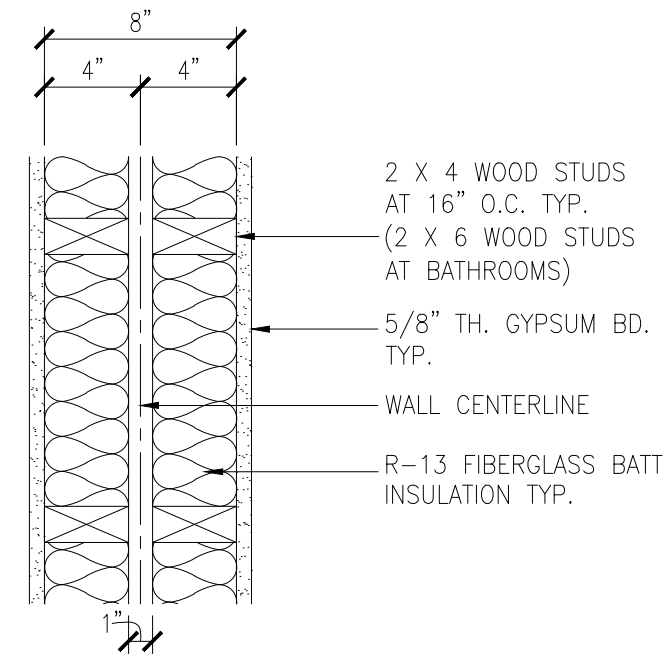
A1.3



2 OVERALL SECOND FLOOR PLAN BLDG TYPE II
 A1.3 1/16" = 1' - 0"

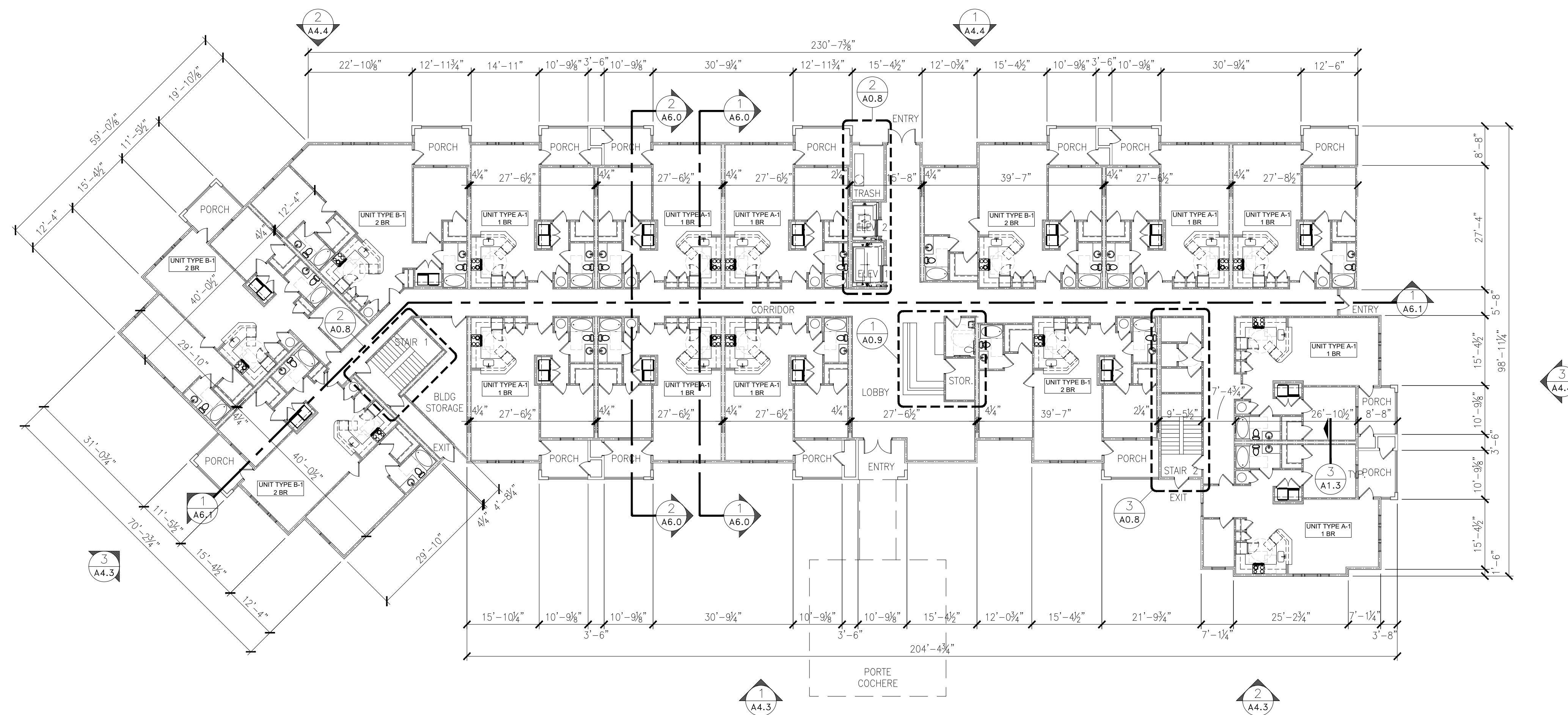


GROSS FLOOR AREA: 20,398 S.F. PER FLOOR

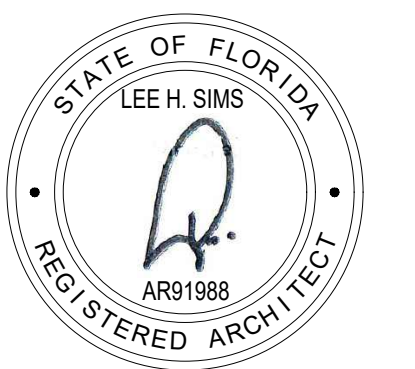


TYPICAL PARTITION WALL

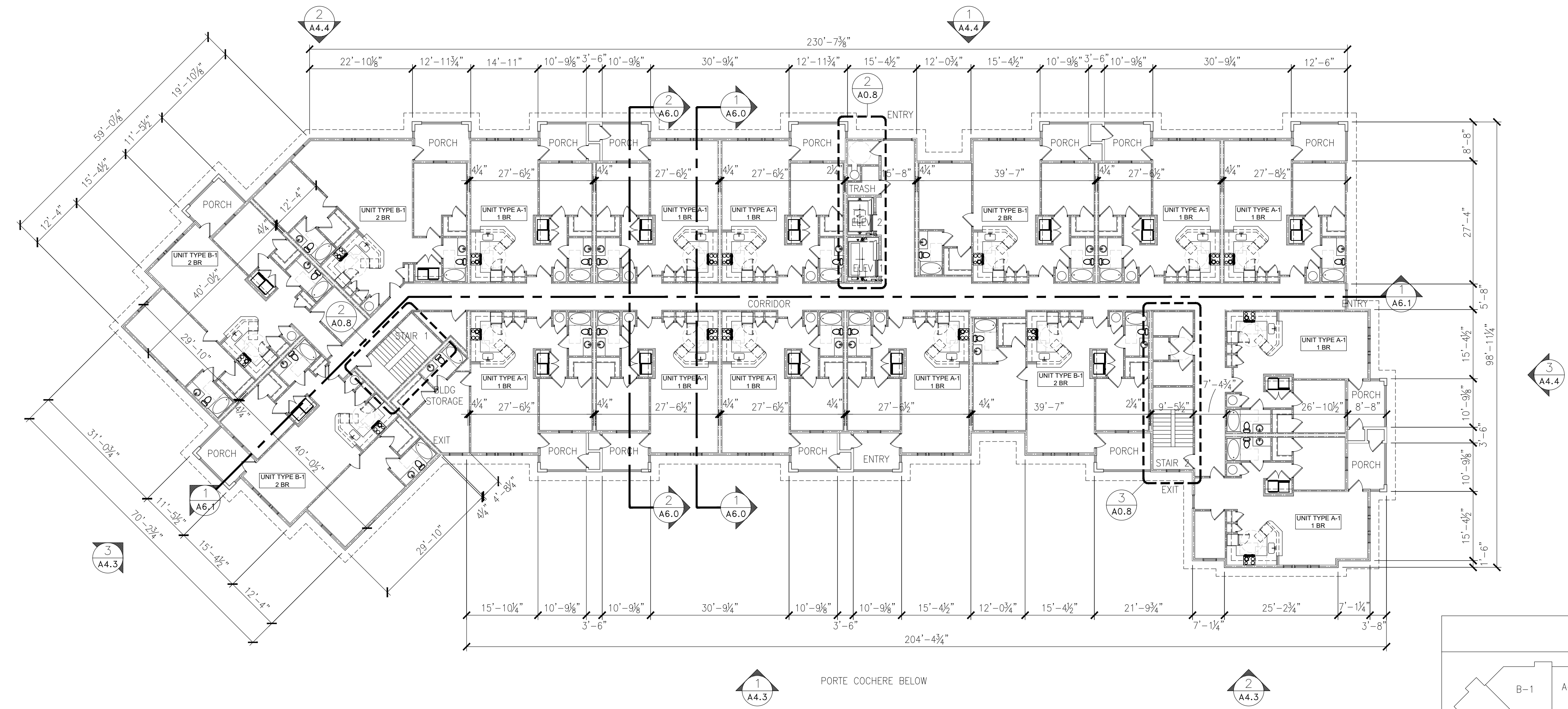
3 PLAN DETAIL
 A1.3 1 1/2" = 1' - 0"



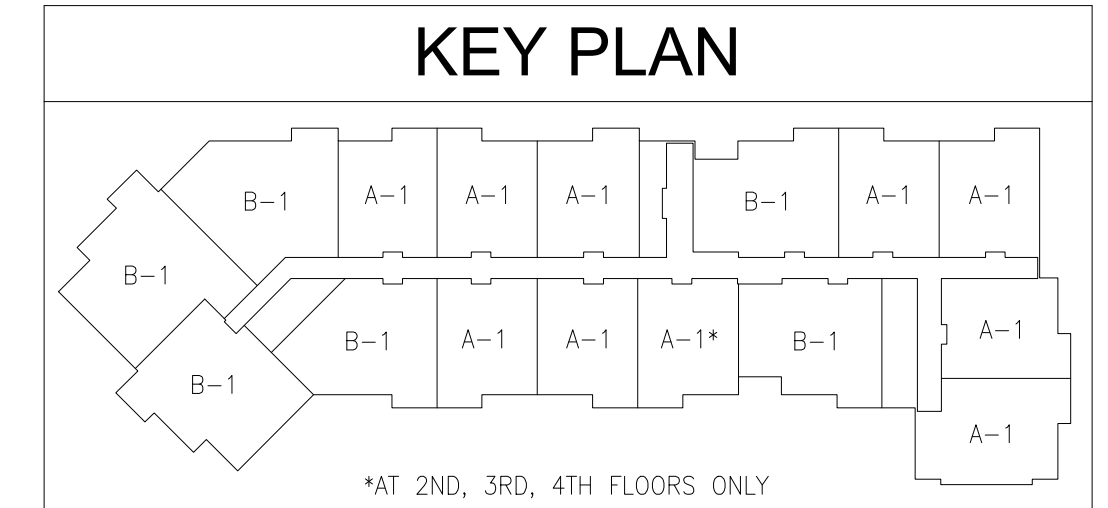
1 OVERALL FIRST FLOOR PLAN BLDG TYPE II
 A1.3 1/16" = 1' - 0"



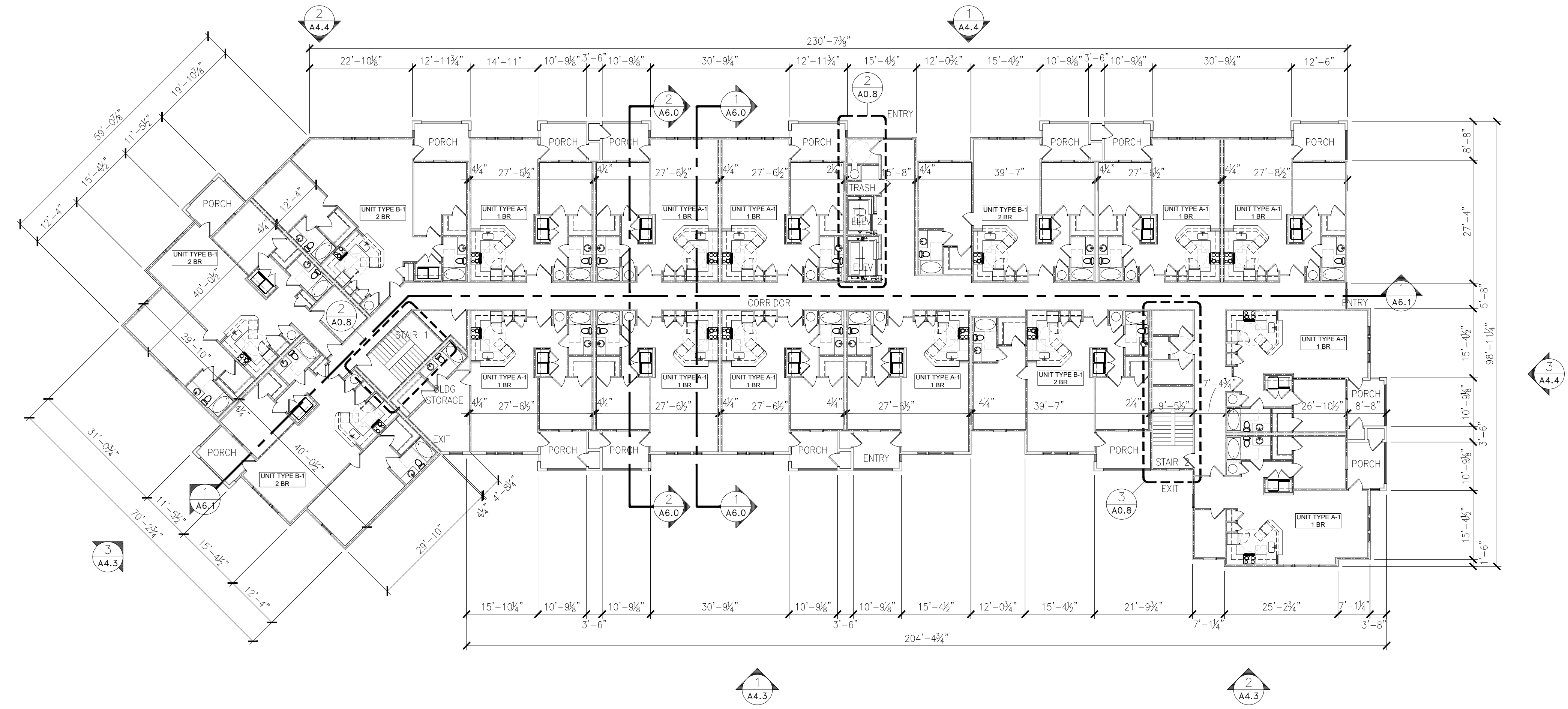
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2 OVERALL FOURTH FLOOR PLAN BLDG TYPE II
 A1.4 1/16" = 1' - 0"
 BUILDINGS:



GROSS FLOOR AREA: 20,398 S.F. PER FLOOR



1 OVERALL THIRD FLOOR PLAN BLDG TYPE II
 A1.4 1/16" = 1' - 0"
 BUILDINGS:

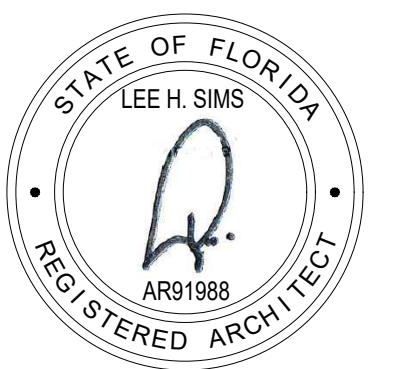
ISSUE	DATE
DAC SUBMITTAL	08/17/22

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BUILDING TYPE II
 OVERALL THIRD
 & FOURTH FLOOR
 PLAN

A1.4

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New Orleans, Louisiana
DESIGN DOCUMENTS

BUILDING TYPE I
ROOF PLAN

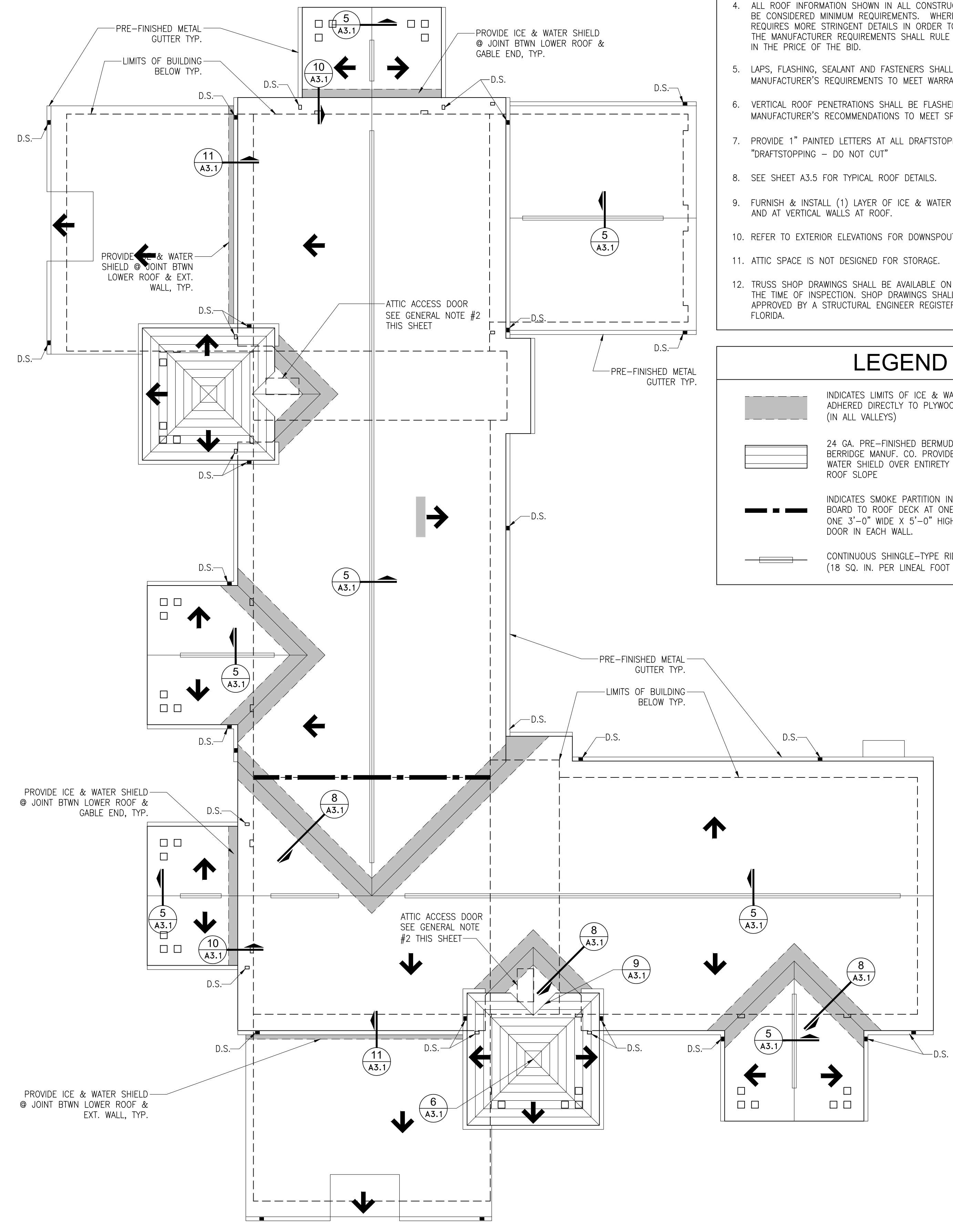
A3.1

GENERAL ROOF NOTES

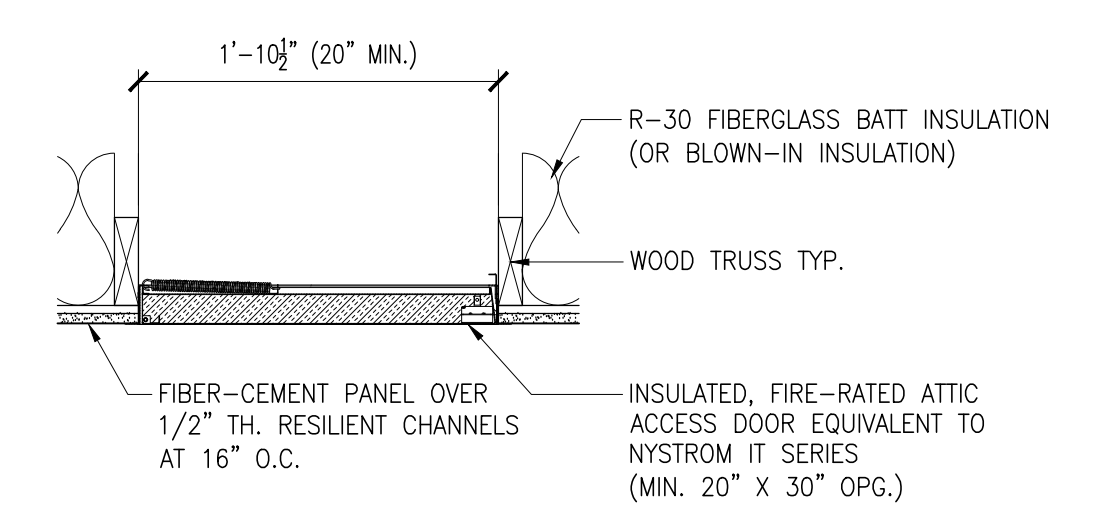
- REFER TO MECHANICAL & PLUMBING DRAWINGS FOR FULL EXTENT OF REQUIRED ROOF PENETRATIONS
- FURNISH AND INSTALL TWO ROOF ACCESS HATCHES AS INDICATED ON PLANS, SEE SHEET 1/A3.1 FOR DETAIL.
- DOWNSPOUTS SHALL BE PRE-FINISHED STEEL 4" X 6" UNLESS BUILDING CODES REQUIRE DOWNSPOUTS TO BE LARGER. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND INCLUDING IN THE PRICE OF THE BID. COORDINATE WITH DOWNSPOUT BOOTS BEFORE PURCHASING ANY DOWNSPOUTS OR DOWNSPOUT MATERIAL.
- ALL ROOF INFORMATION SHOWN IN ALL CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED MINIMUM REQUIREMENTS. WHERE ROOFING MANUFACTURER REQUIRES MORE STRINGENT DETAILS IN ORDER TO MEET ROOF WARRANTY, THE MANUFACTURER REQUIREMENTS SHALL RULE AND SHALL BE INCLUDED IN THE PRICE OF THE BID.
- LAPS, FLASHING, SEALANT AND FASTENERS SHALL BE PER SPECIFIED MANUFACTURER'S REQUIREMENTS TO MEET WARRANTY.
- VERTICAL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER ROOF MANUFACTURER'S RECOMMENDATIONS TO MEET SPECIFIED WARRANTY.
- PROVIDE 1" PAINTED LETTERS AT ALL DRAFTSTOPPING TO READ: "DRAFTSTOPPING - DO NOT CUT"
- SEE SHEET A3.5 FOR TYPICAL ROOF DETAILS.
- FURNISH & INSTALL (1) LAYER OF ICE & WATER SHIELD IN ALL VALLEYS AND AT VERTICAL WALLS AT ROOF.
- REFER TO EXTERIOR ELEVATIONS FOR DOWNSPOUT LOCATIONS.
- ATTIC SPACE IS NOT DESIGNED FOR STORAGE.
- TRUSS SHOP DRAWINGS SHALL BE AVAILABLE ON THE JOB SITE DURING THE TIME OF INSPECTION. SHOP DRAWINGS SHALL BE SEALED, SIGNED & APPROVED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.

LEGEND

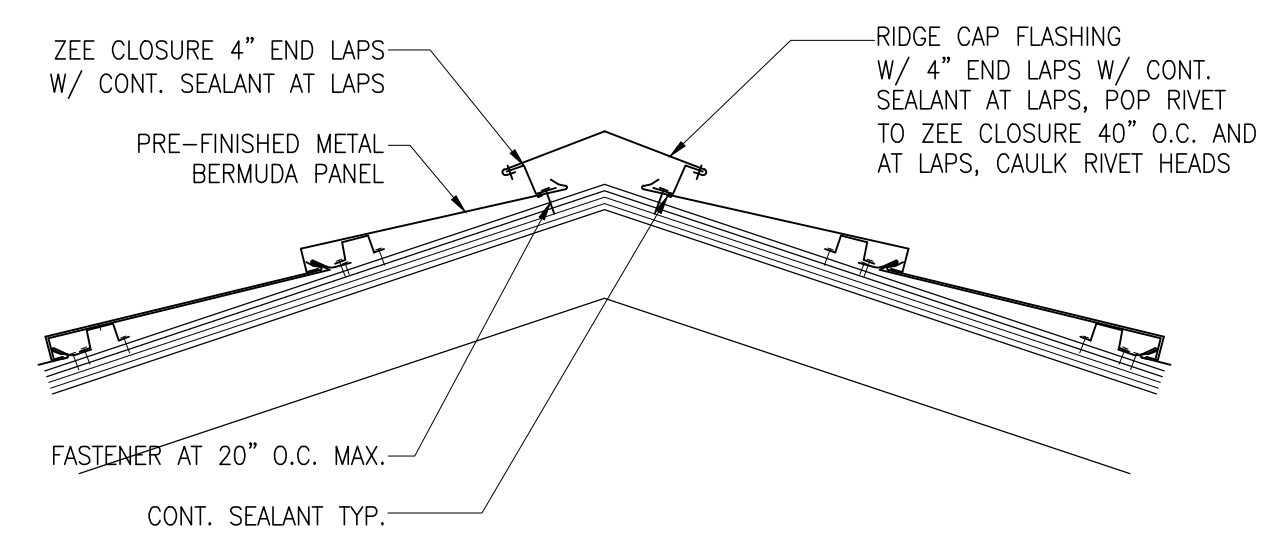
- INDICATES LIMITS OF ICE & WATER SHIELD ADHERED DIRECTLY TO PLYWOOD ROOF DECKING (IN ALL VALLEYS)
- 24 GA. PRE-FINISHED BERMUDA STYLE METAL ROOF BY BERRIDGE MANUF. CO. PROVIDE & INSTALL ICE & WATER SHIELD OVER ENTIRETY OF ROOF DECK. 8 IN 12 ROOF SLOPE
- INDICATES SMOKE PARTITION IN ATTIC. EXTEND GYPSUM BOARD TO ROOF DECK AT ONE SIDE OF WALL, INSTALL ONE 3'-0" WIDE X 5'-0" HIGH, SELF CLOSING ACCESS DOOR IN EACH WALL.
- CONTINUOUS SHINGLE-TYPE RIDGE VENT (18 SQ. IN. PER LINEAL FOOT MIN.)



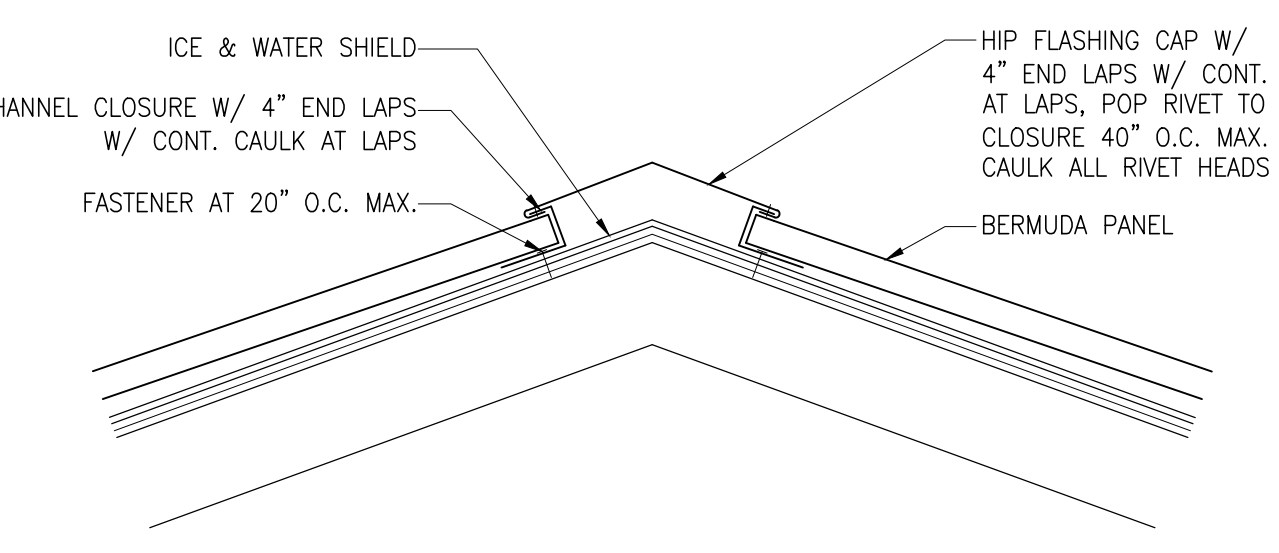
1 ROOF PLAN
A3.1 1/8" = 1'-0"



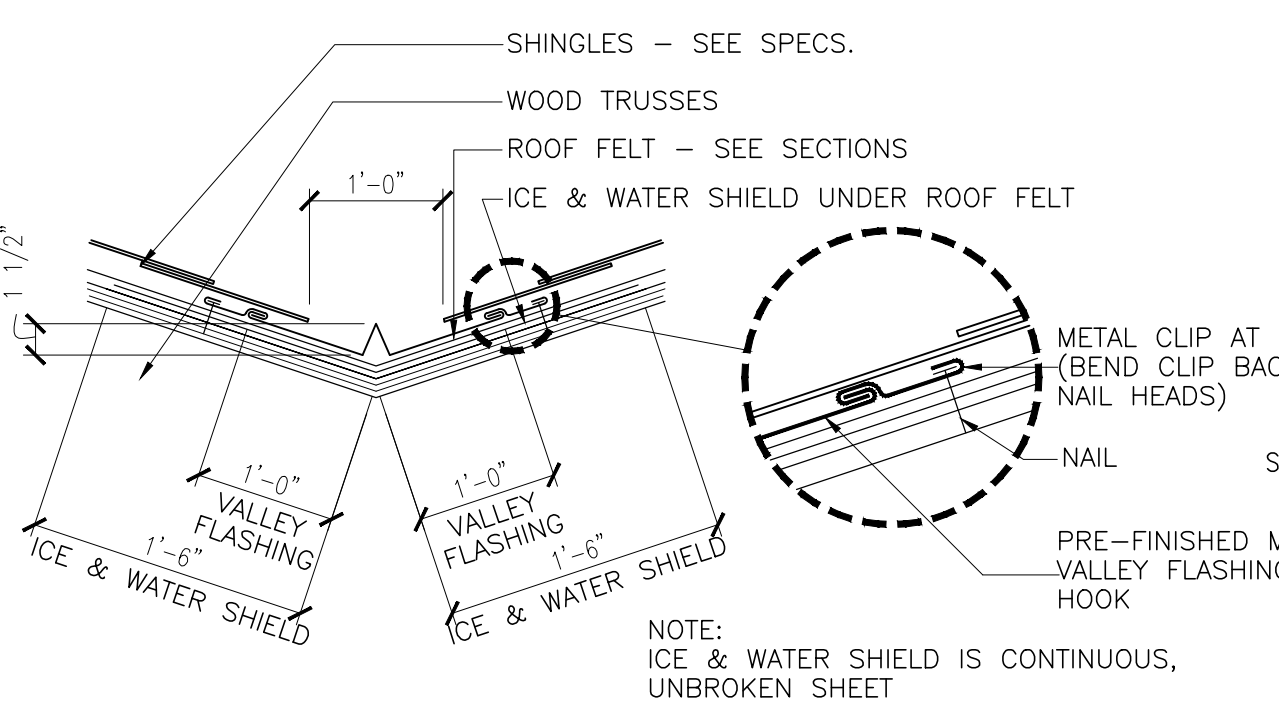
2 ATTIC ACCESS
A3.1 NO SCALE



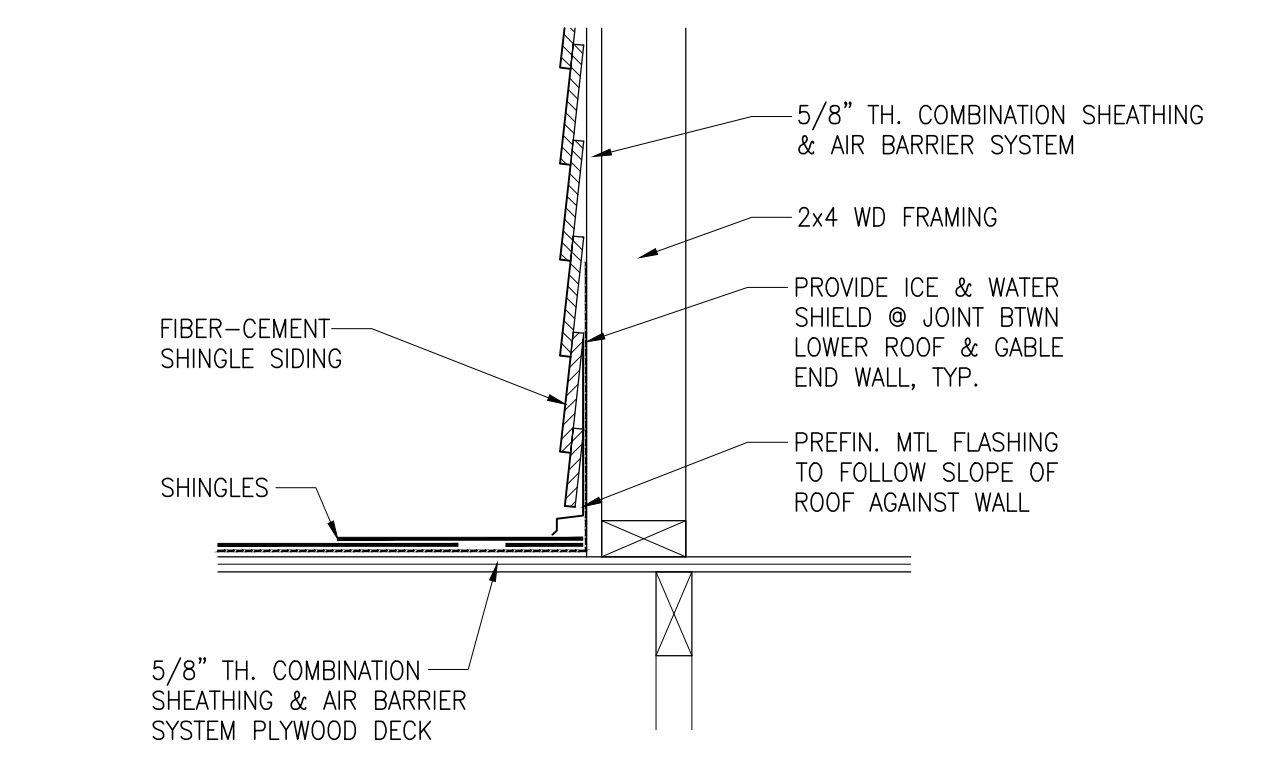
4 RIDGE DETAIL (BERMUDA)
A3.1 3/4" = 1' - 0"



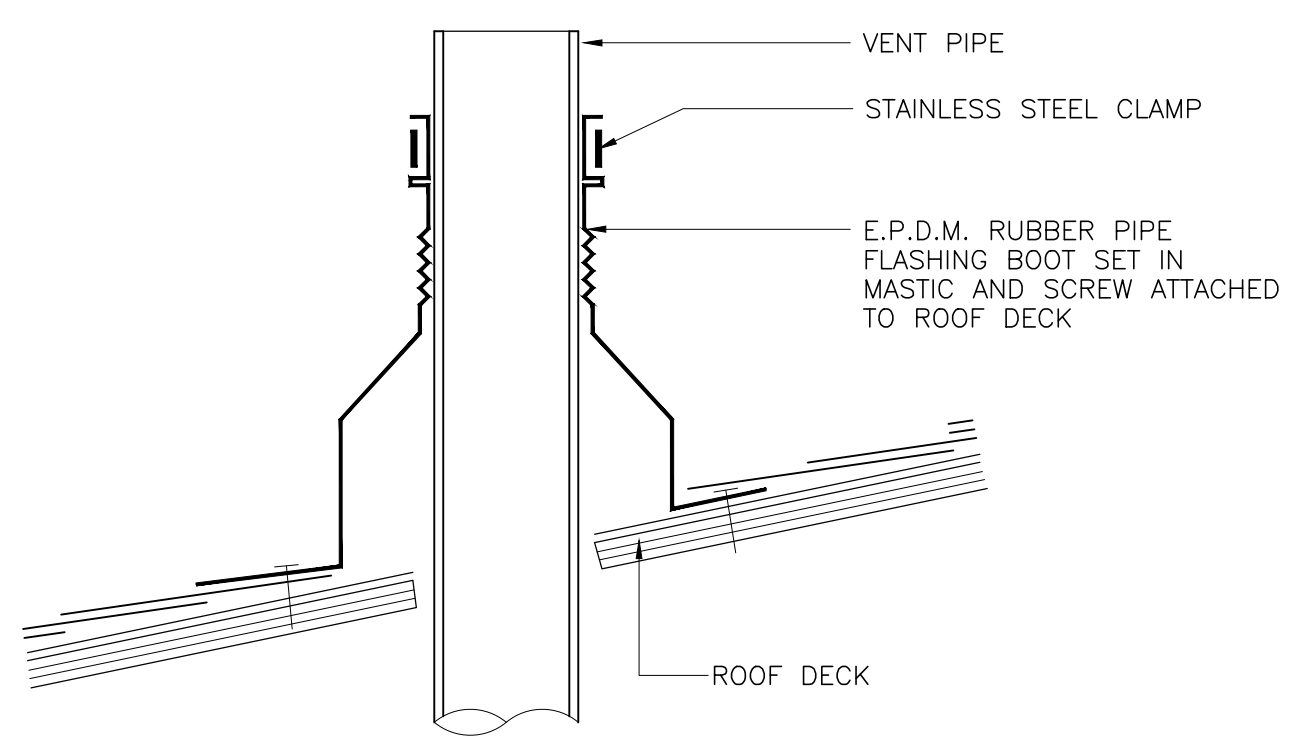
6 HIP DETAIL (BERMUDA)
A3.1 3/4" = 1' - 0"



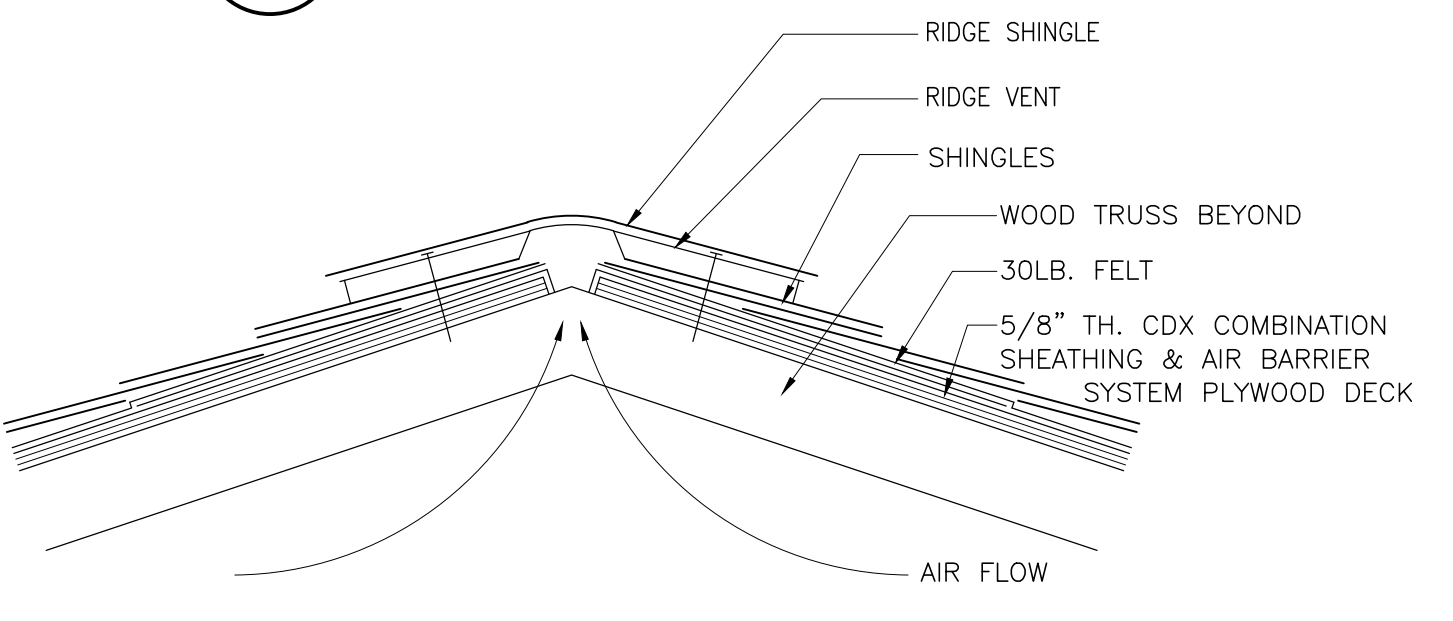
8 VALLEY DETAIL (SHINGLES)
A3.1 3/4" = 1' - 0"



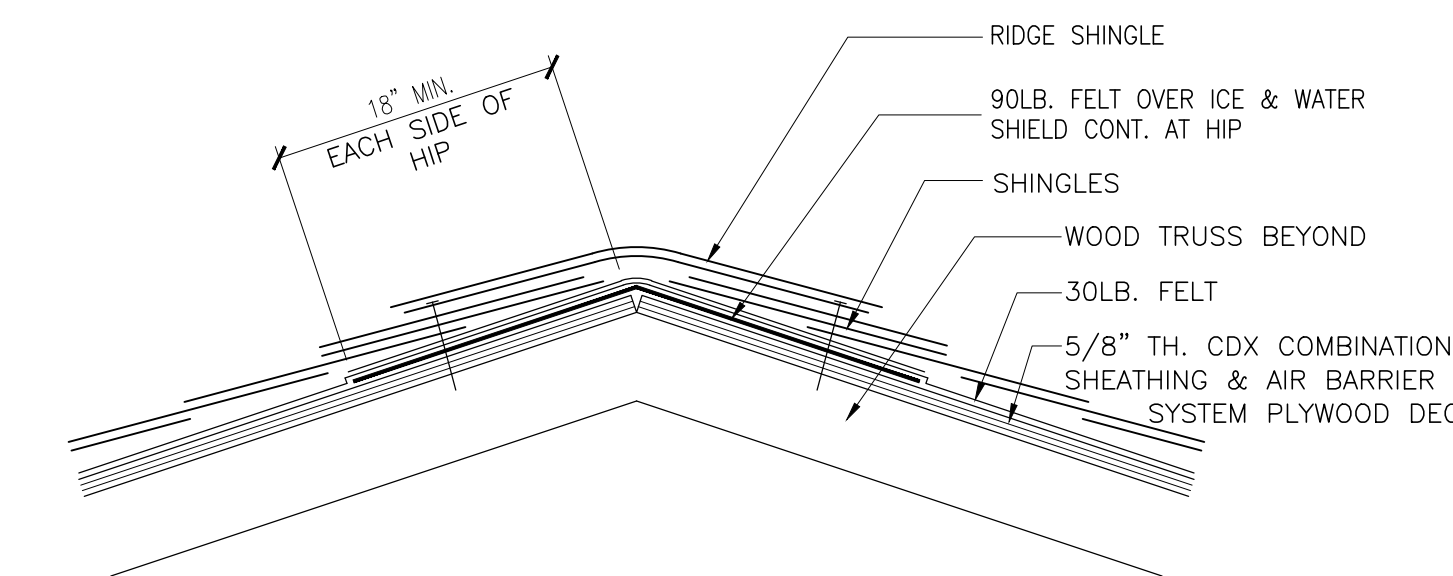
10 ROOF TO GABLE DETAIL
A3.1 3/4" = 1' - 0"



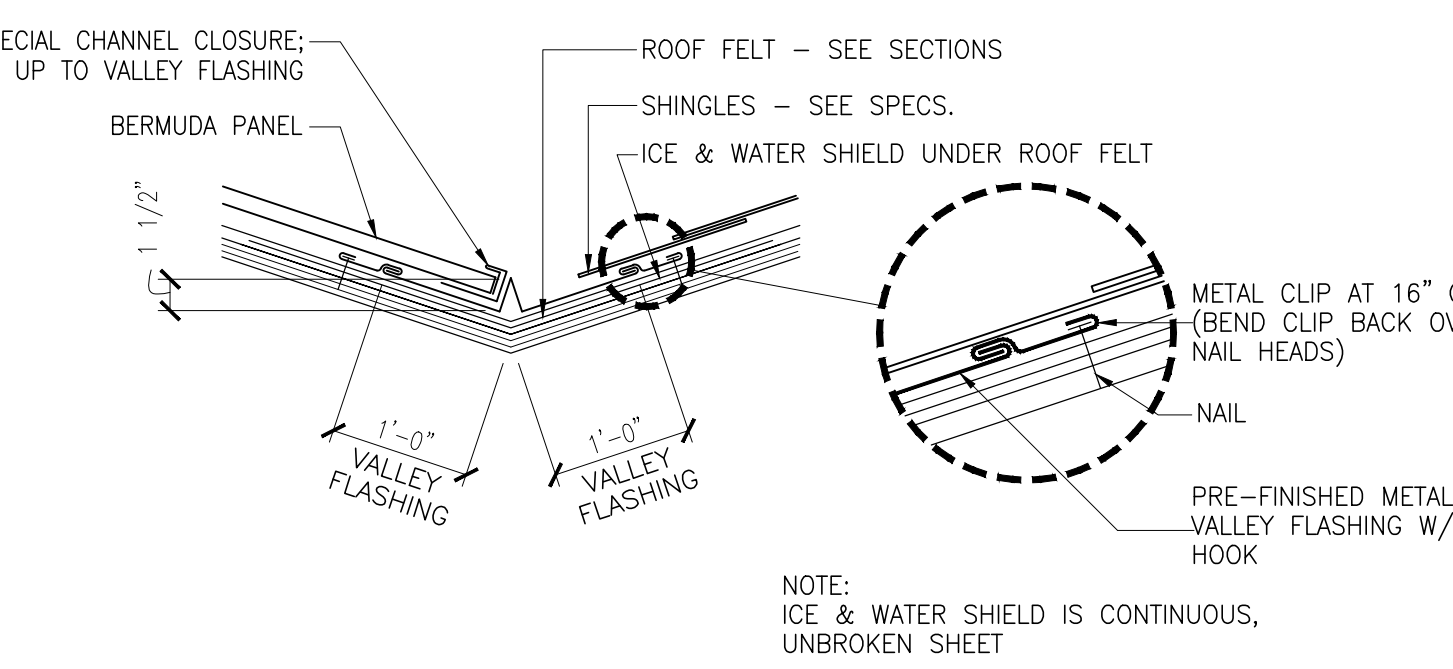
3 PENETRATION DETAIL
A3.1 3/4" = 1' - 0"



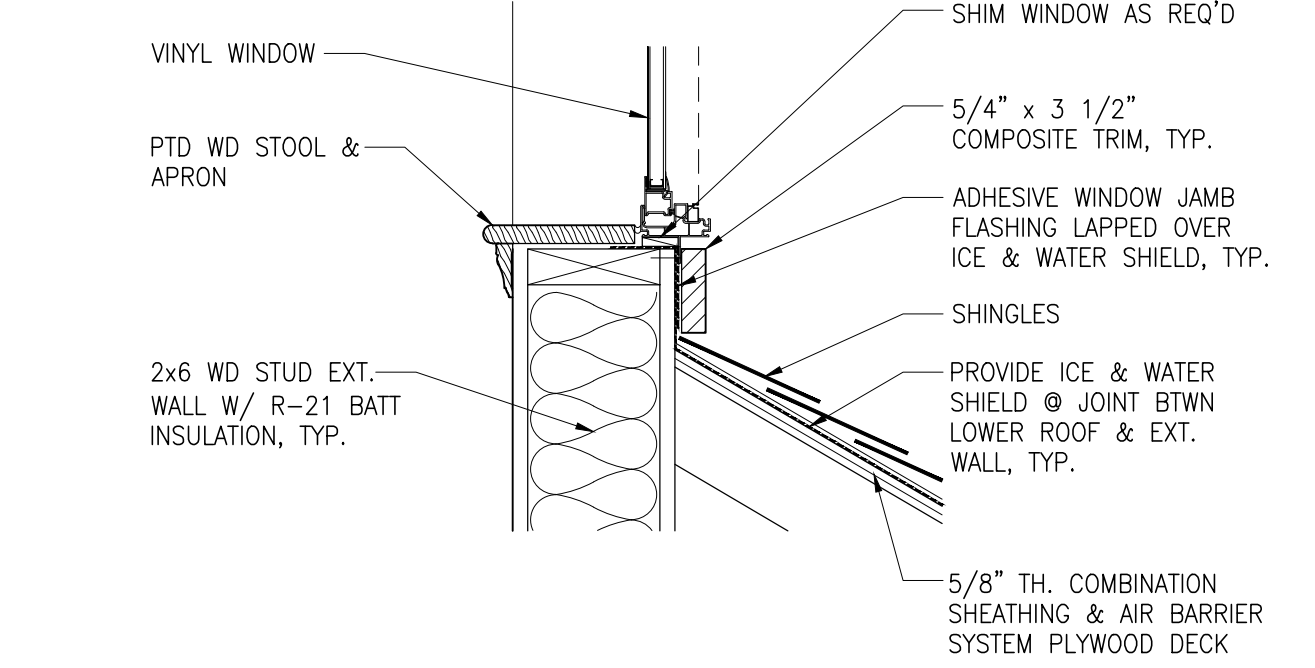
5 RIDGE DETAIL (SHINGLES)
A3.1 3/4" = 1' - 0"



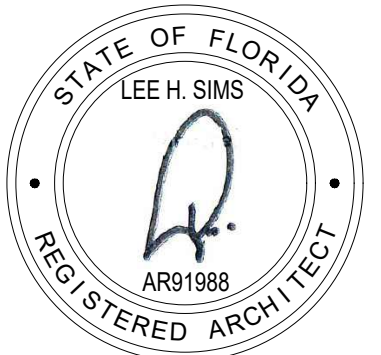
7 HIP DETAIL (SHINGLES)
A3.1 3/4" = 1' - 0"



9 VALLEY DETAIL (BERMUDA)
A3.1 3/4" = 1' - 0"



11 WINDOW SILL TO ROOF DETAIL
A3.1 1 1/2" = 1' - 0"



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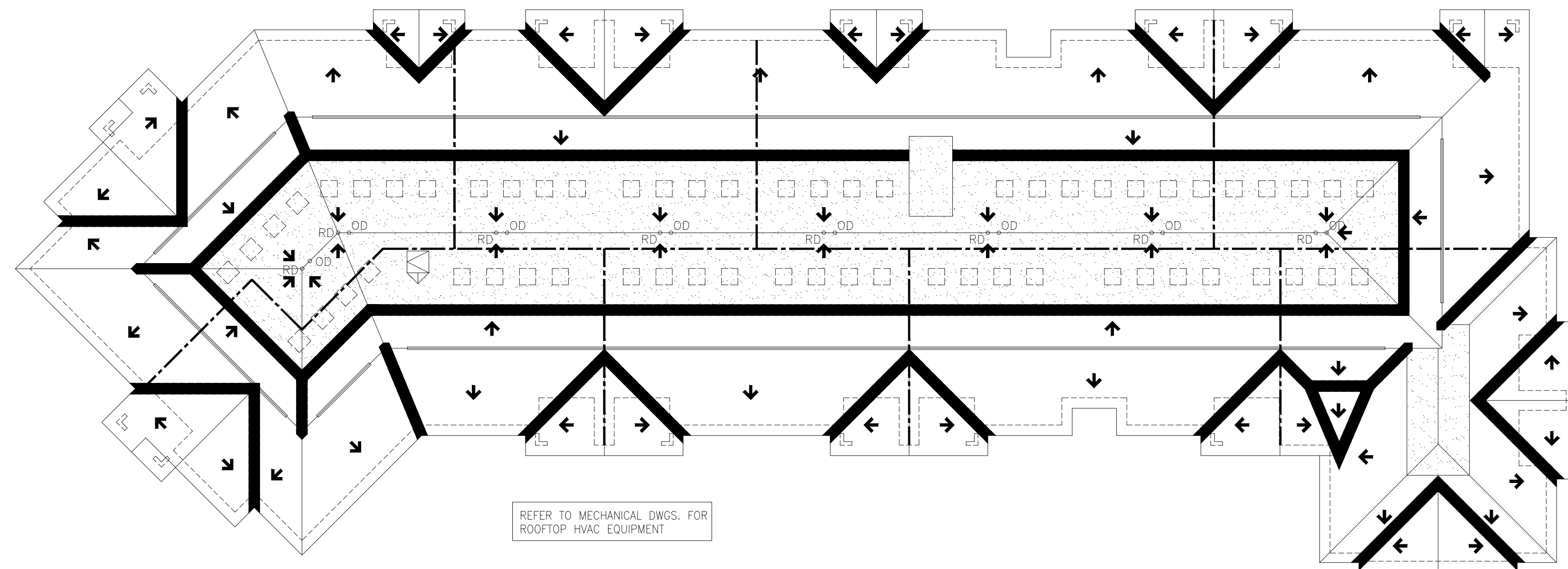
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The Village @ English Turn
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 DESIGN DOCUMENTS

**ROOF PLAN
 BUILDING TYPE II**

A3.2

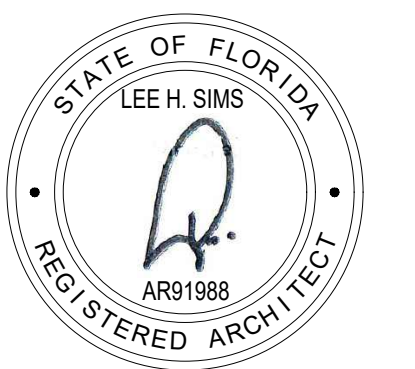


1 ROOF PLAN
 A3.2 1/16" = 1' - 0" BUILDINGS:

ROOF KEY NOTES	
(R1)	PROVIDE & INSTALL ICE & WATER SHIELD WHERE SLOPING ROOF MEETS VERTICAL WALL. EXTEND ICE & WATER SHIELD UP VERTICAL WALL 18" MINIMUM & ACROSS ROOF SURFACE 18" MINIMUM
(R2)	PROVIDE & INSTALL SHINGLE-TYPE RIDGE VENT (18 SQ. IN. PER LINEAL FOOT MIN.)
(R3)	8" MEMBRANE ROOF CURB - SEE DETAIL
(R4)	PROVIDE & INSTALL 4" X 6" ALUMINUM TUBE AT EACH END W/ SKYLIGHT PANEL SYSTEM INLAY: WASCO PRODUCTS "PINNACLE HU" SKYLIGHT SYSTEM OR APPROVED EQUAL

LEGEND	
	INDICATES LIMITS OF ICE & WATER SHIELD ADHERED DIRECTLY TO PLYWOOD ROOF DECKING (IN ALL VALLEYS & AT VERTICAL WALL/SLOPING ROOF JUNCTIONS)
	26 GA. PRE-FINISHED BERMUDA STYLE METAL ROOF PANEL SOLAR REFLECTIVE INDEX (SRI) OF 29 MINIMUM - PROVIDE & INSTALL ICE & WATER SHIELD OVER ENTIRETY OF ROOF DECK. 6 IN 12 ROOF SLOPE
	SINGLE-PLY ROOF MEMBRANE ROOF OVER 1" TH. RIGID INSULATION OVER 5/8" TH. PLYWOOD ROOF DECK. PROVIDE & INSTALL TAPERED INSULATION TO DIVERT WATER TO DRAINS AS INDICATED. SLOPE 1/4" IN 12 UNLESS NOTED OTHERWISE. (ROOF SLOPE 1/4" IN 12 MINIMUM)
	INDICATES SMOKE PARTITION IN ATTIC. EXTEND GYPSUM BOARD TO ROOF DECK AT ONE SIDE OF WALL, INSTALL ONE 3'-0" WIDE X 5'-0" HIGH, SELF CLOSING ACCESS DOOR IN EACH WALL.
	CONTINUOUS SHINGLE-TYPE RIDGE VENT (18 SQ. IN. PER LINEAL FOOT MIN.)
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
	AIR-CONDITIONER COMPRESSOR UNIT

GENERAL ROOF NOTES	
1.	REFER TO MECHANICAL & PLUMBING DRAWINGS FOR FULL EXTENT OF REQUIRED ROOF PENETRATIONS
2.	ALL ROOF SLOPES SHALL BE A MINIMUM OF 1/4" IN 12, AND A MAXIMUM OF 3/8" IN 12. SEE WALL SECTIONS FOR DESIRED SLOPES. COORDINATE W/ STRUCTURAL DWGS.
3.	WHERE SINGLE-PLY MEMBRANE ROOF IS INDICATED ON ROOF PLAN, INSULATED ROOF W/ MIN. 1" TH. RIGID INSULATION.
4.	FURNISH & INSTALL CRICKETS AT ALL ROOF PENETRATIONS AS REQUIRED TO DIVERT WATER AROUND PENETRATION.
5.	FURNISH AND INSTALL TWO ROOF ACCESS HATCHES AS INDICATED ON PLANS, SEE SHEET A3.0 FOR DETAIL.
6.	SUBSTRATE BOARD: 5/8" TH. PLYWOOD COVERBOARD: A PRIMED 1/4" TH. COVER BOARD SHALL BE PROVIDED OVER THE ENTIRE ROOF
7.	WALKING PADS SHALL BE PROVIDED AROUND ALL EQUIPMENT ABUTTING THE EDGE OF EQUIPMENT TO A WIDTH OF 4'-0" AROUND EQUIPMENT. WALKING SURFACES SHALL BE PROVIDED FROM ALL ROOF ACCESS POINTS TO ALL EQUIPMENT INSTALLED ON THE ROOF WHETHER NOTED OR NOT ON THE ROOF DRAWINGS. SEE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION AND KITCHEN EQUIPMENT DRAWINGS FOR ALL ROOFTOP EQUIPMENT
8.	PROVIDE ALL TAPERED INSULATION NECESSARY TO PROPERLY DIRECT RAIN WATER OFF OF THE ROOF SUCH AS, BUT NOT LIMITED TO, PROVIDING "CRICKETS" AT ALL ROOFTOP EQUIPMENT AND CRICKETS AT PARAPETS ASSOCIATED WITH THE LOW-SIDE OF THE SLOPING ROOF
9.	DOWNSPOUTS SHALL BE PREFINISHED STEEL 4"X 6" UNLESS BUILDING CODES REQUIRE DOWNSPOUTS TO BE LARGER. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND INCLUDING IN THE PRICE OF THE BID. COORDINATE WITH DOWNSPOUT BOOTS BEFORE PURCHASING ANY DOWNSPOUTS OR DOWNSPOUT MATERIAL.
10.	ALL ROOF INFORMATION SHOWN IN ALL CONSTRUCTION DOCUMENTS SHALL BE CONSIDERED MINIMUM REQUIREMENTS. WHERE ROOFING MANUFACTURER REQUIRES MORE STRINGENT DETAILS IN ORDER TO MEET ROOF WARRANTY, THE MANUFACTURER REQUIREMENTS SHALL RULE AND SHALL BE INCLUDED IN THE PRICE OF THE BID.
11.	LAPS, FLASHING, SEALANT AND FASTENERS SHALL BE PER SPECIFIED MANUFACTURER'S REQUIREMENTS TO MEET WARRANTY.
12.	VERTICAL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER ROOF MANUFACTURER'S RECOMMENDATIONS TO MEET SPECIFIED WARRANTY.
13.	FURNISH & INSTALL FIRE-RATED ATTIC ACCESS DOOR AT ALL BREEZEWAYS: 22" X 36" 20 GA. PTD. STEEL ACCESS DOOR KARP ASSOC. INC, MODEL# KRP-150FR
14.	ATTIC IS NOT DESIGNED FOR STORAGE.
15.	PROVIDE 1" PAINTED LETTERS AT ALL DRAFTSTOPPING TO READ: "DRAFTSTOPPING - DO NOT CUT"
16.	SEE SHEET A3.0 FOR TYPICAL ROOF DETAILS.
17.	FURNISH & INSTALL (1) LAYER OF ICE & WATER SHIELD IN ALL VALLEYS AND AT VERTICAL WALLS AT ROOF - SEE DETAILS THIS SHEET.
18.	ALL METAL ROOFS AND SHINGLE ROOFS SHALL SLOPE 6 IN 12 UNLESS NOTED OTHERWISE.
19.	REFER TO EXTERIOR ELEVATIONS FOR DOWNSPOUT LOCATIONS.
20.	ATTIC SPACE IS NOT DESIGNED FOR STORAGE.
21.	TRUSS SHOP DRAWINGS SHALL BE AVAILABLE ON THE JOB SITE DURING THE TIME OF INSPECTION. SHOP DRAWINGS SHALL BE SEALED, SIGNED & APPROVED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.



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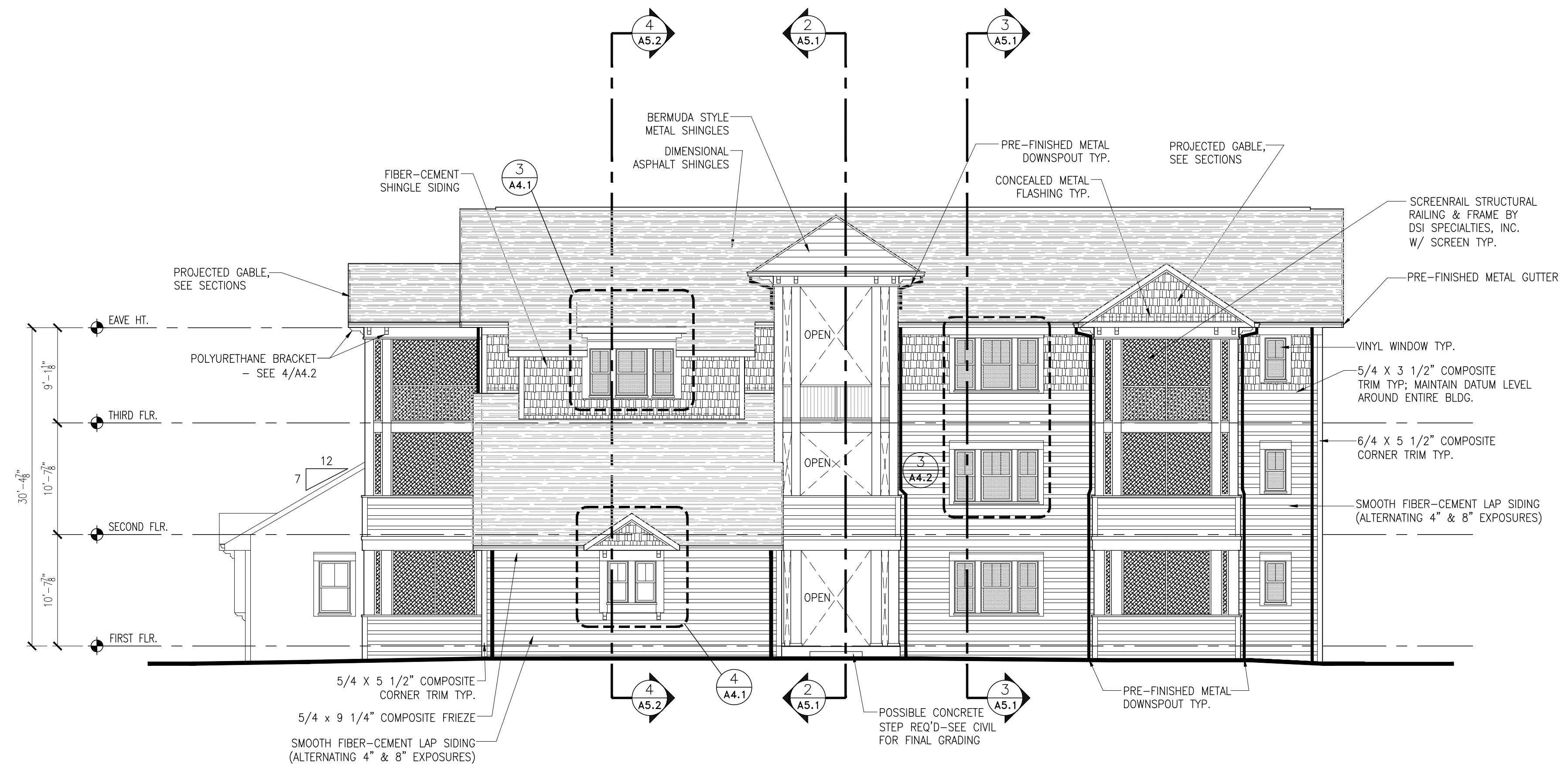
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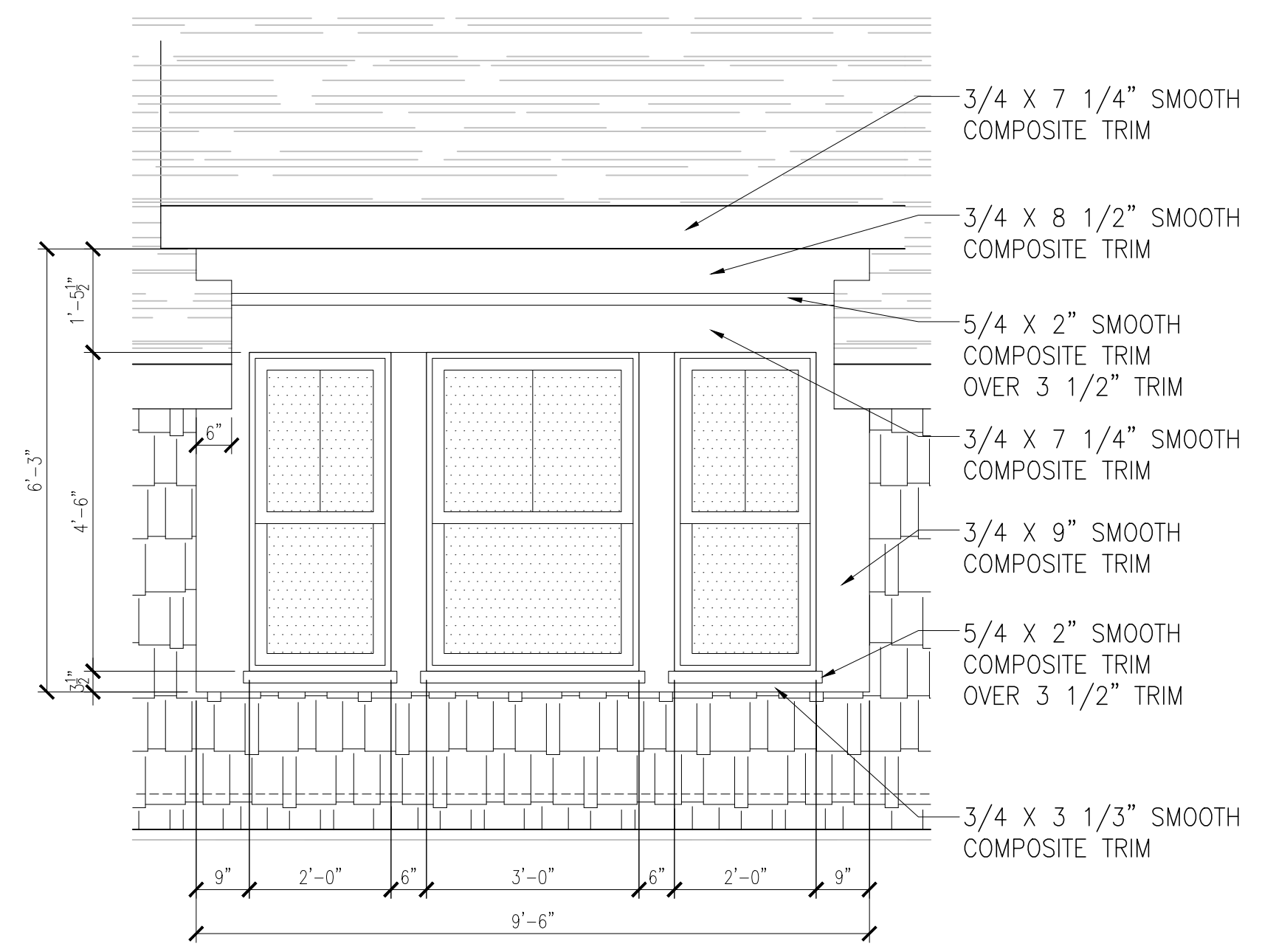
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 DESIGN DOCUMENTS

EXTERIOR
 ELEVATIONS
 BUILDING TYPE I

A4.1

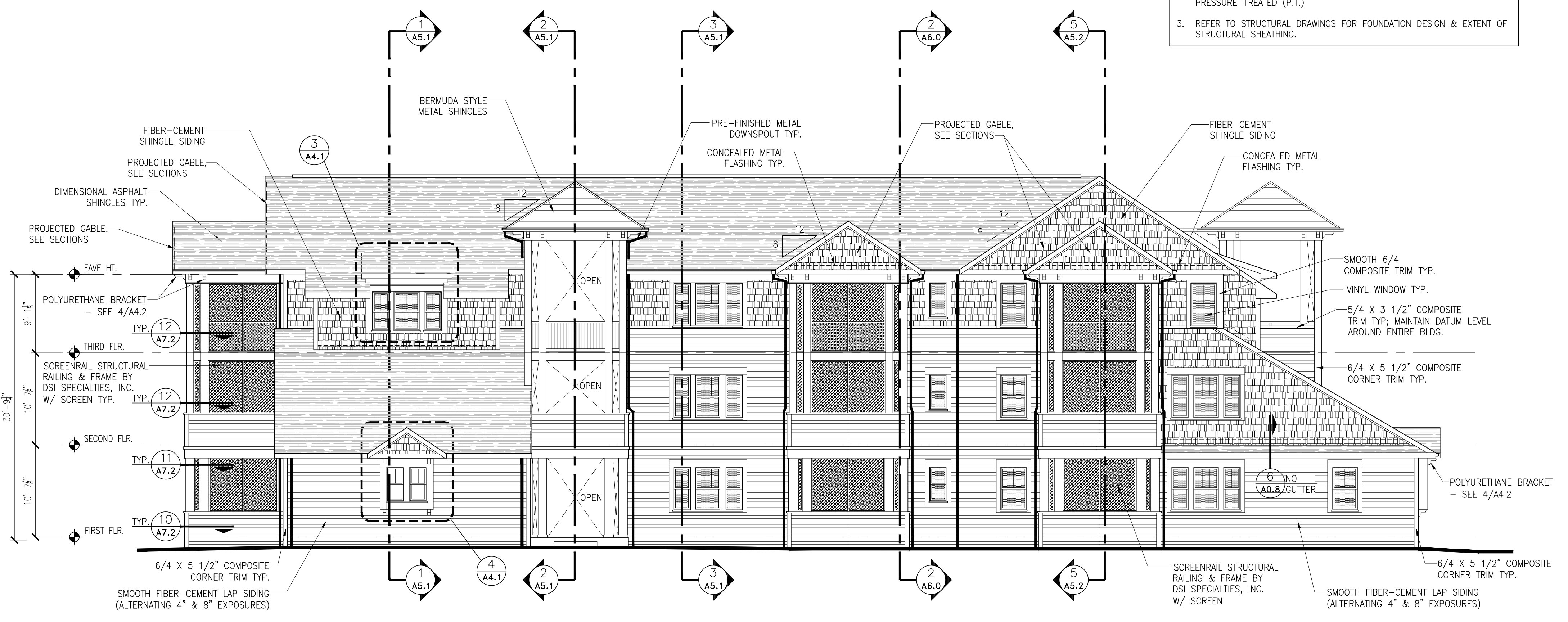


1 FRONT ELEVATION
 A4.1 1/8" = 1' - 0"

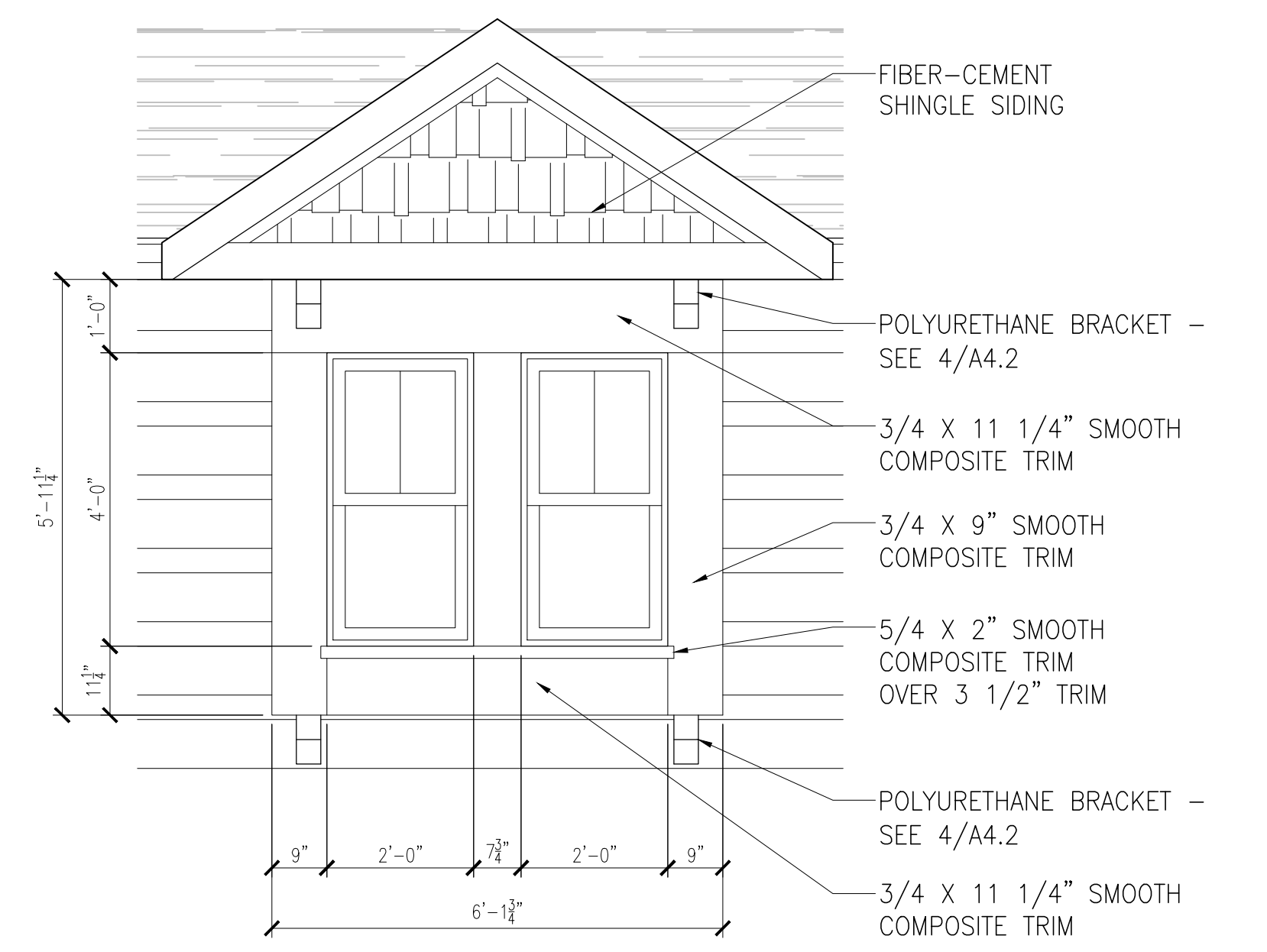


3 DORMER WINDOW DETAIL
 A4.1 1/2" = 1'-0"

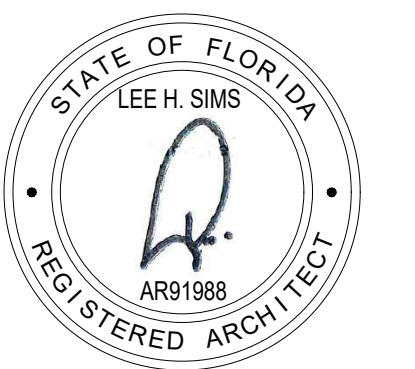
- GENERAL NOTES**
- ALL WINDOW/DOOR TRIM, DECORATE TRIM, FRIEZE BOARDS, COLUMN & COLUMN TRIM, FASCIA BOARDS, RAKE TRIM, CORNER TRIM & SIDING SHALL BE MIRATEC COMPOSITE TRIM, OR EQUIVALENT.
 - ALL EXPOSED EXTERIOR WOOD FRAMING MEMBERS, SHALL BE PRESSURE-TREATED (P.T.)
 - REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN & EXTENT OF STRUCTURAL SHEATHING.



2 SIDE ELEVATION
 A4.1 1/8" = 1' - 0"



4 BAY WINDOW DETAIL
 A4.1 1/2" = 1'-0"



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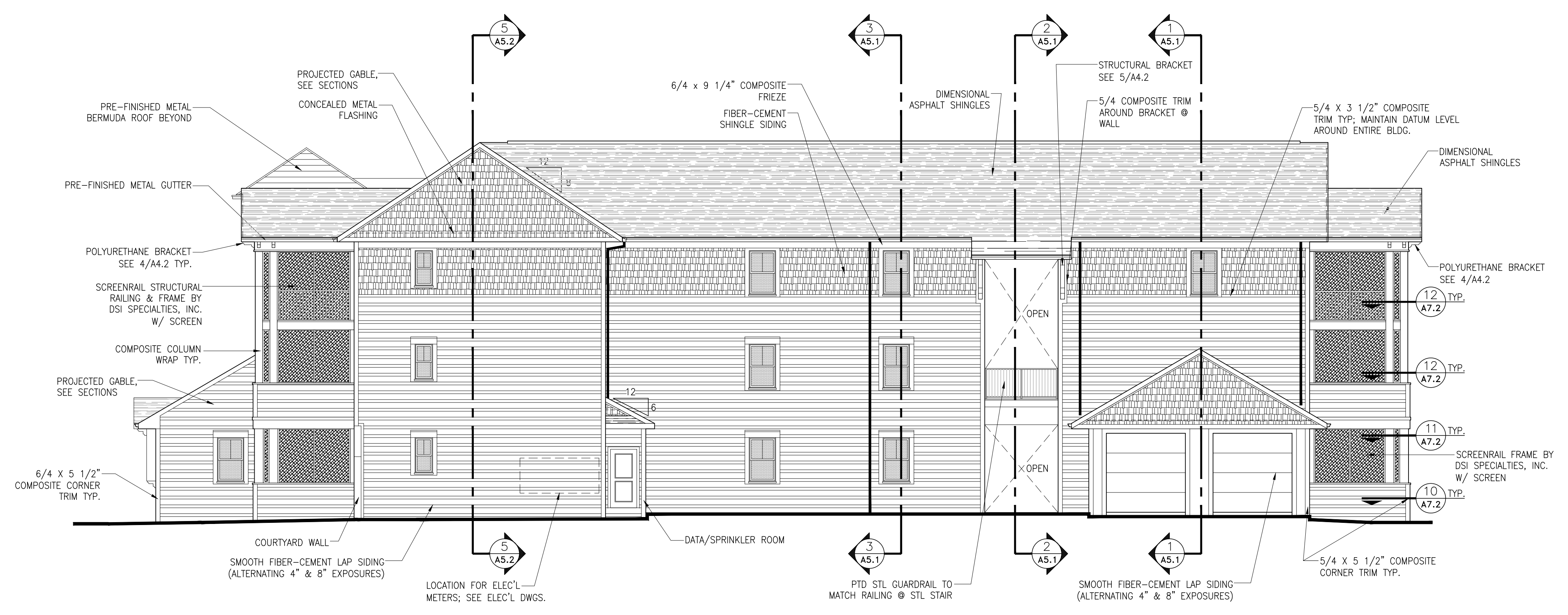
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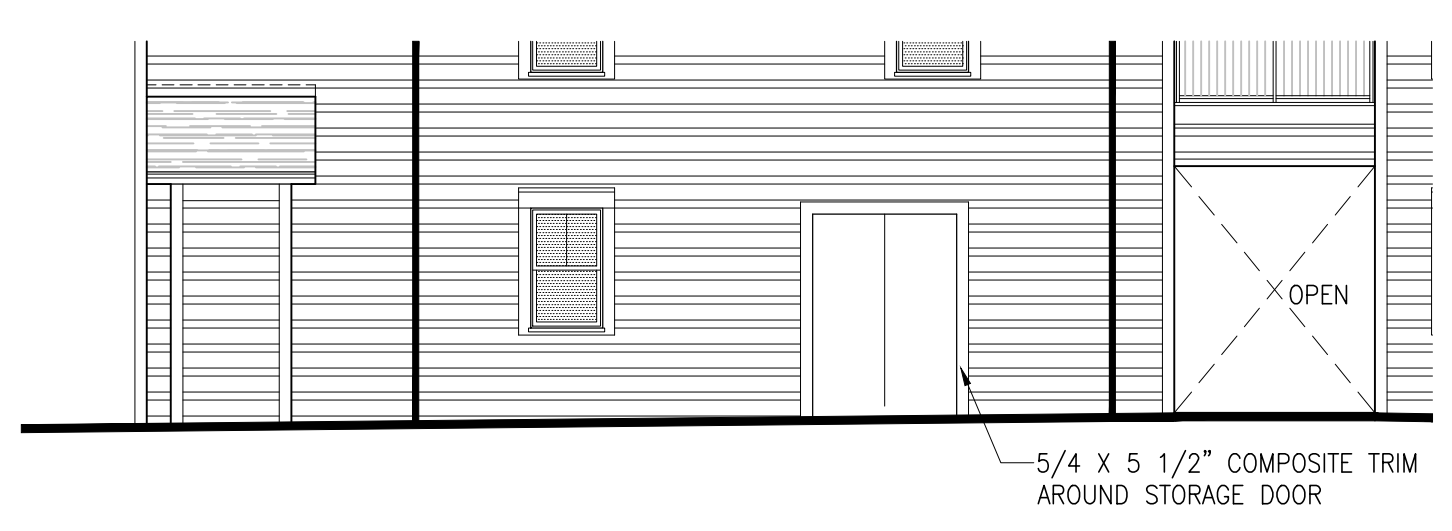
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EXTERIOR
 ELEVATIONS
 BUILDING TYPE 1

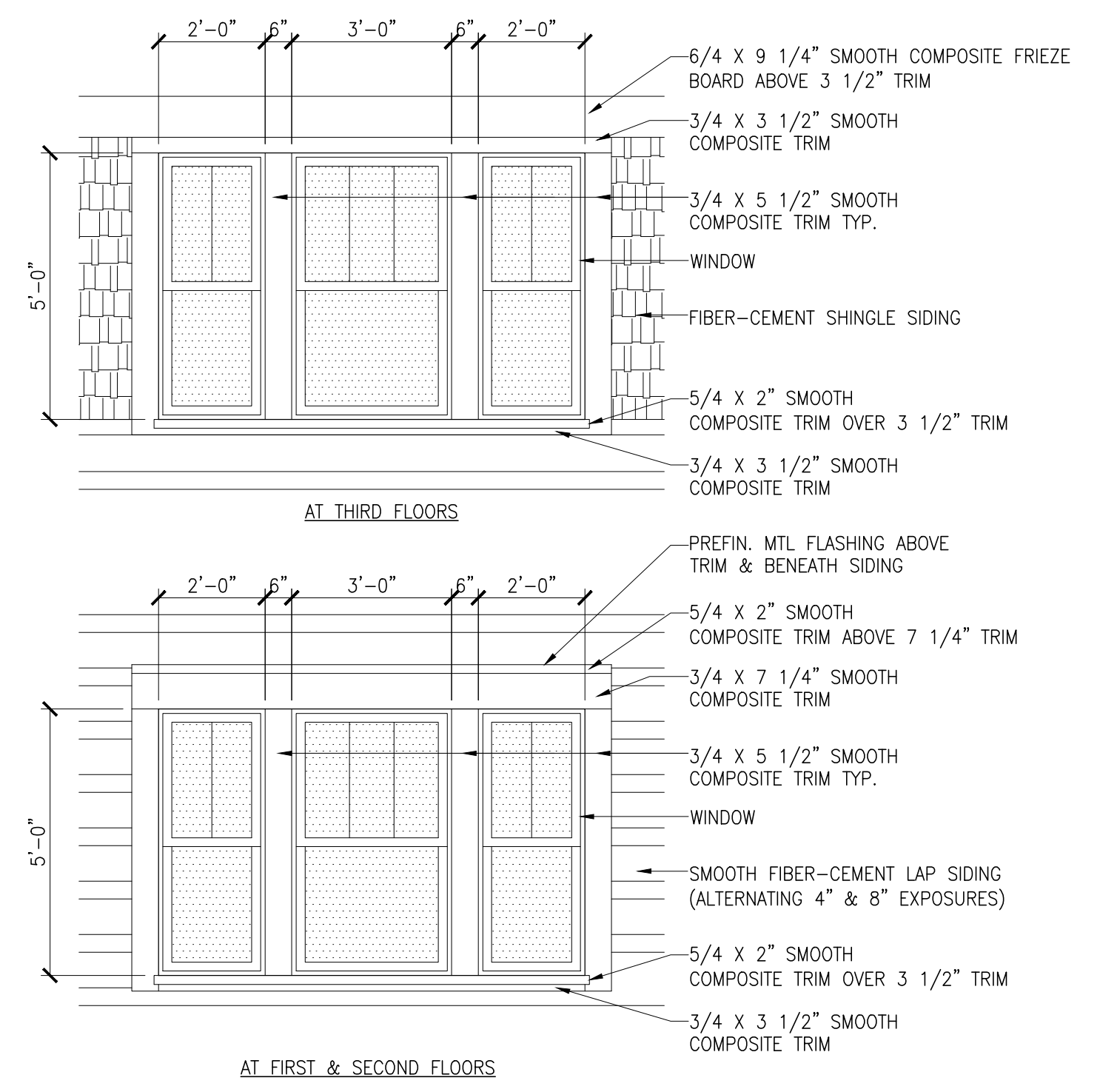
A4.2



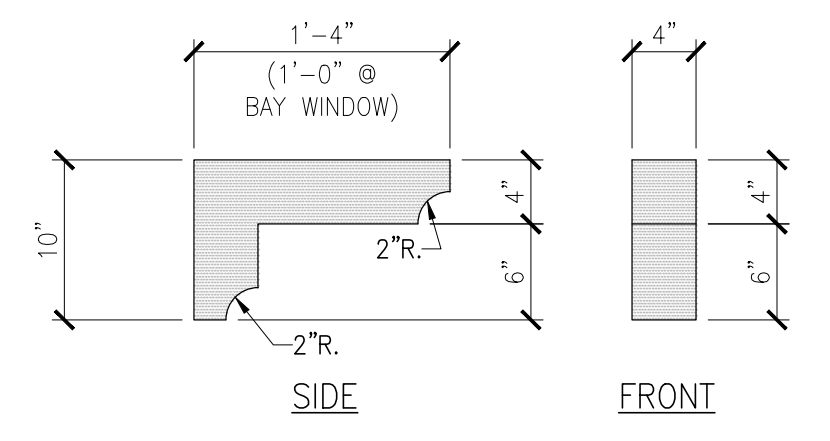
1 REAR ELEVATION
 A4.2 1/8" = 1' - 0"



7 PARTIAL REAR ELEVATION @ 1BR HC UNIT
 A4.2 1/8" = 1' - 0"



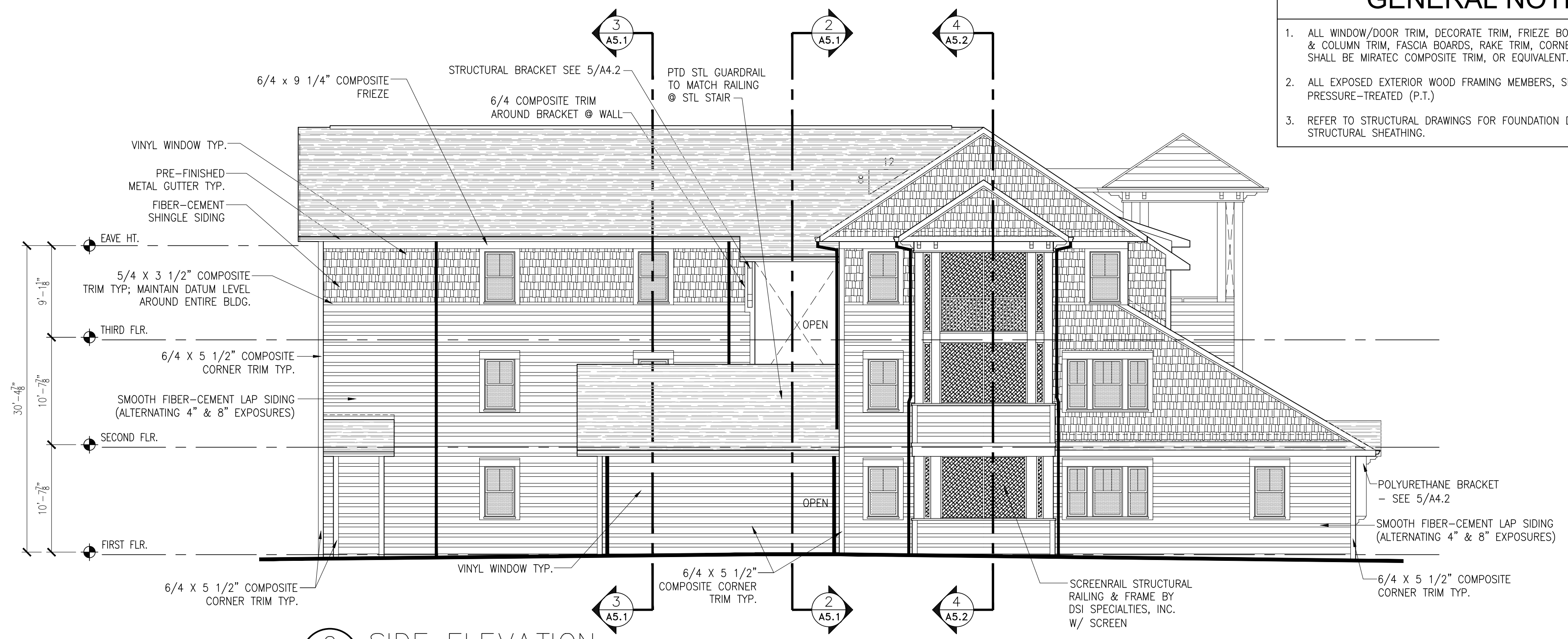
3 WINDOW DETAIL
 A4.2 1/2" = 1'-0"



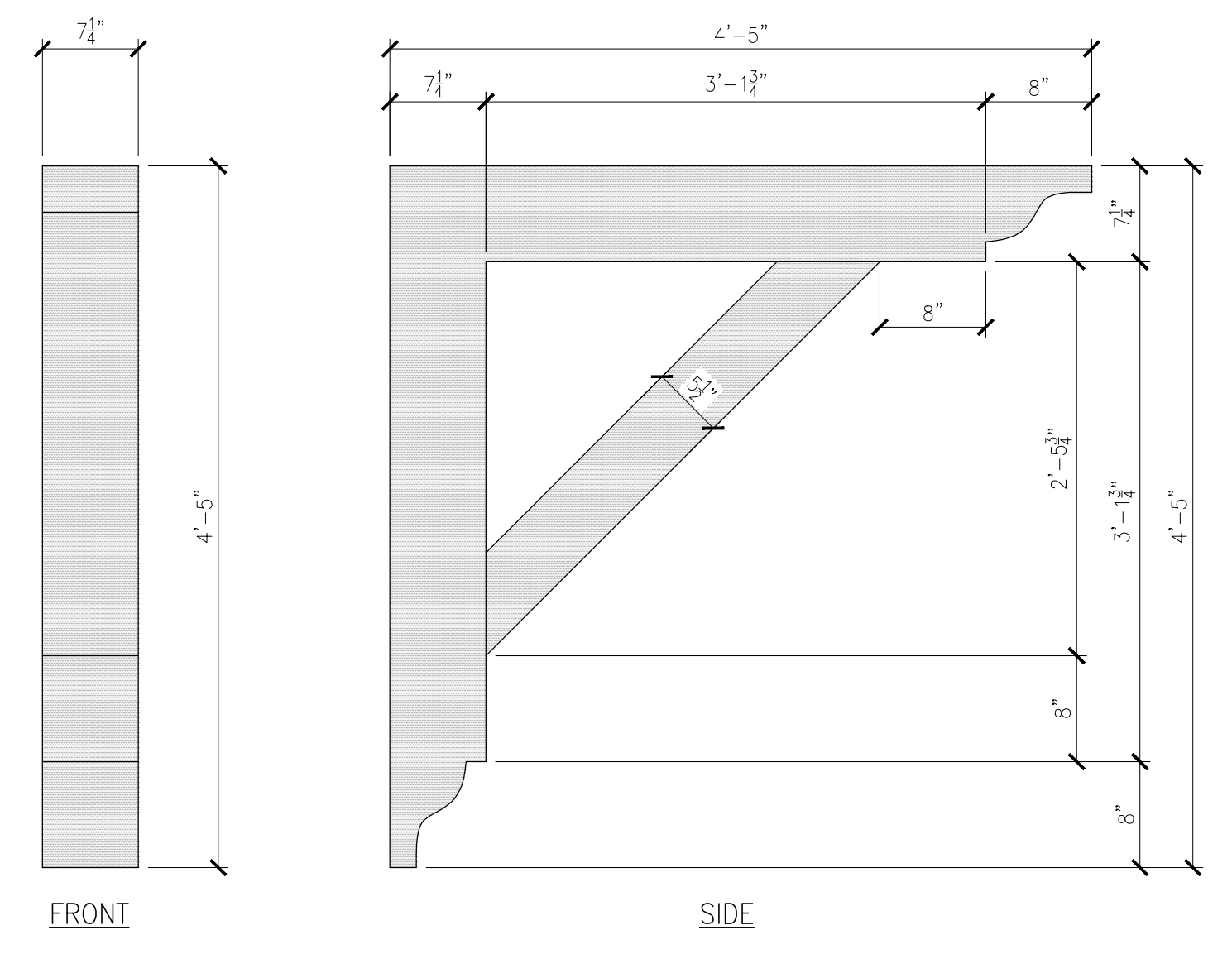
4 BRACKET DETAIL
 A4.2 1" = 1'-0"

GENERAL NOTES

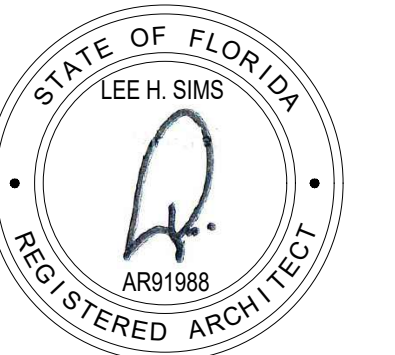
- ALL WINDOW/DOOR TRIM, DECORATE TRIM, FRIEZE BOARDS, COLUMN & COLUMN TRIM, FASCIA BOARDS, RAKE TRIM, CORNER TRIM & SIDING SHALL BE MIRATEC COMPOSITE TRIM, OR EQUIVALENT.
- ALL EXPOSED EXTERIOR WOOD FRAMING MEMBERS, SHALL BE PRESSURE-TREATED (P.T.)
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN & EXTENT OF STRUCTURAL SHEATHING.



2 SIDE ELEVATION
 A4.2 1/8" = 1' - 0"



5 BRACKET DETAIL
 A4.2 1" = 1'-0"



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EXTERIOR
 ELEVATIONS
 BUILDING TYPE II

A4.3



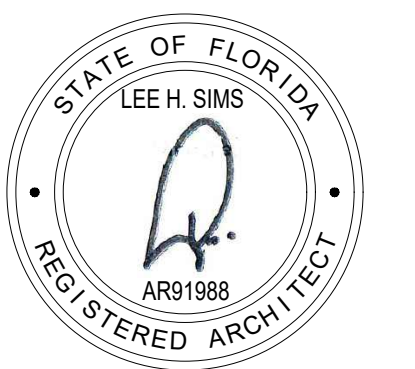
1 FRONT ELEVATION
 1/8" = 1' - 0"



2 FRONT ELEVATION (CONT'D)
 1/8" = 1' - 0"



3 END ELEVATION
 1/8" = 1' - 0"



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EXTERIOR
 ELEVATIONS
 BUILDING TYPE II

A4.4



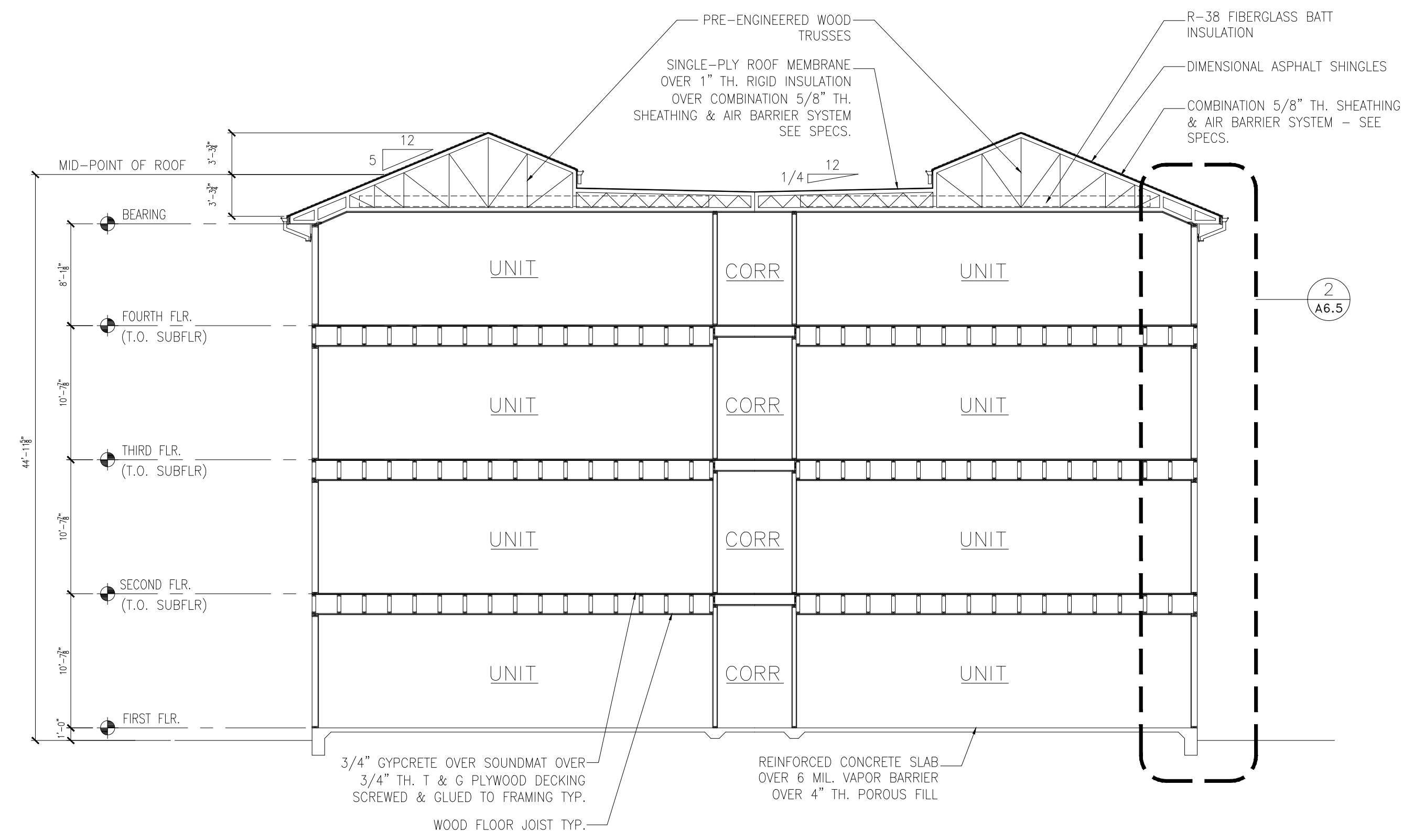
1 REAR ELEVATION
 A4.4 1/8" = 1' - 0"



2 REAR ELEVATION (CONT'D)
 A4.4 1/8" = 1' - 0"



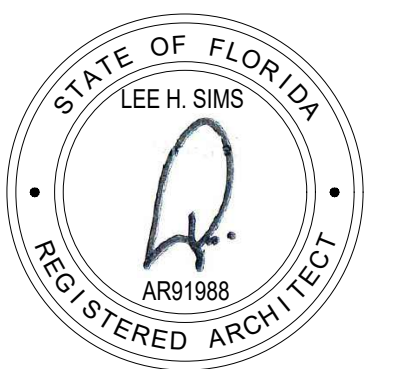
3 END ELEVATION
 A4.4 1/8" = 1' - 0"



1 BUILDING SECTION
 A6.0 1/8" = 1' - 0"

GENERAL NOTES

1. ALL WINDOW/DOOR TRIM, DECORATE TRIM, FRIEZE BOARDS, COLUMN & COLUMN TRIM, FASCIA BOARDS, RAKE TRIM, CORNER TRIM & SIDING SHALL BE FIBER-CEMENT TYPE.
2. ALL EXPOSED EXTERIOR WOOD FRAMING MEMBERS, A SHALL BE PRESSURE-TREATED (P.T.)
3. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION DESIGN & EXTENT OF STRUCTURAL SHEATHING.
4. FURNISH & INSTALL EXPANSION/CONTRACTION JOINTS IN GYPSUM BOARD WALLS/CEILINGS EXCEEDING 24'-0" IN LENGTH AND/OR 12'-0" IN HEIGHT. JOINTS TO COINCIDE W/ C.J. IN FLOOR OR CEILING. NO JOINTS ALLOWED IN FIRE-RATED WALLS.
5. ALL FOUNDATIONS ARE DIAGRAMMATIC, REFER TO STRUCTURAL DRAWINGS FOR EXACT SIZE & CONFIGURATION.



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ISSUE	DATE
DAC SUBMITTAL	08/17/22

studioSCARAB #2022.1

The Village @ English Turn
 a new development for
 Stanton Square, LLC
 New Orleans, Louisiana
 DESIGN DOCUMENTS

BUILDING SECTIONS
 BUILDING TYPE II

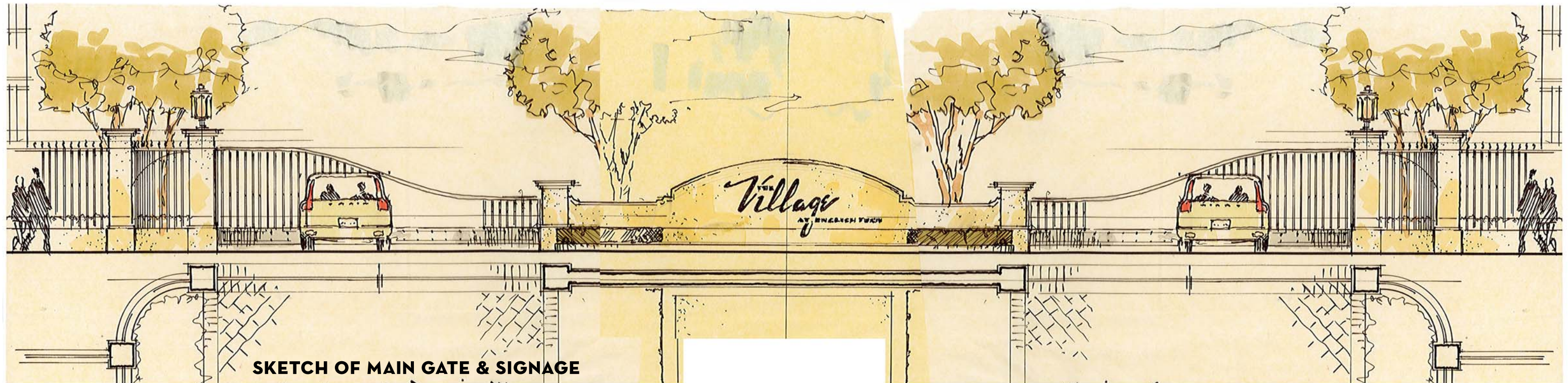
A6.0



PROPOSED RENDERING



EXTERIOR COLOR PALETTE



SKETCH OF MAIN GATE & SIGNAGE