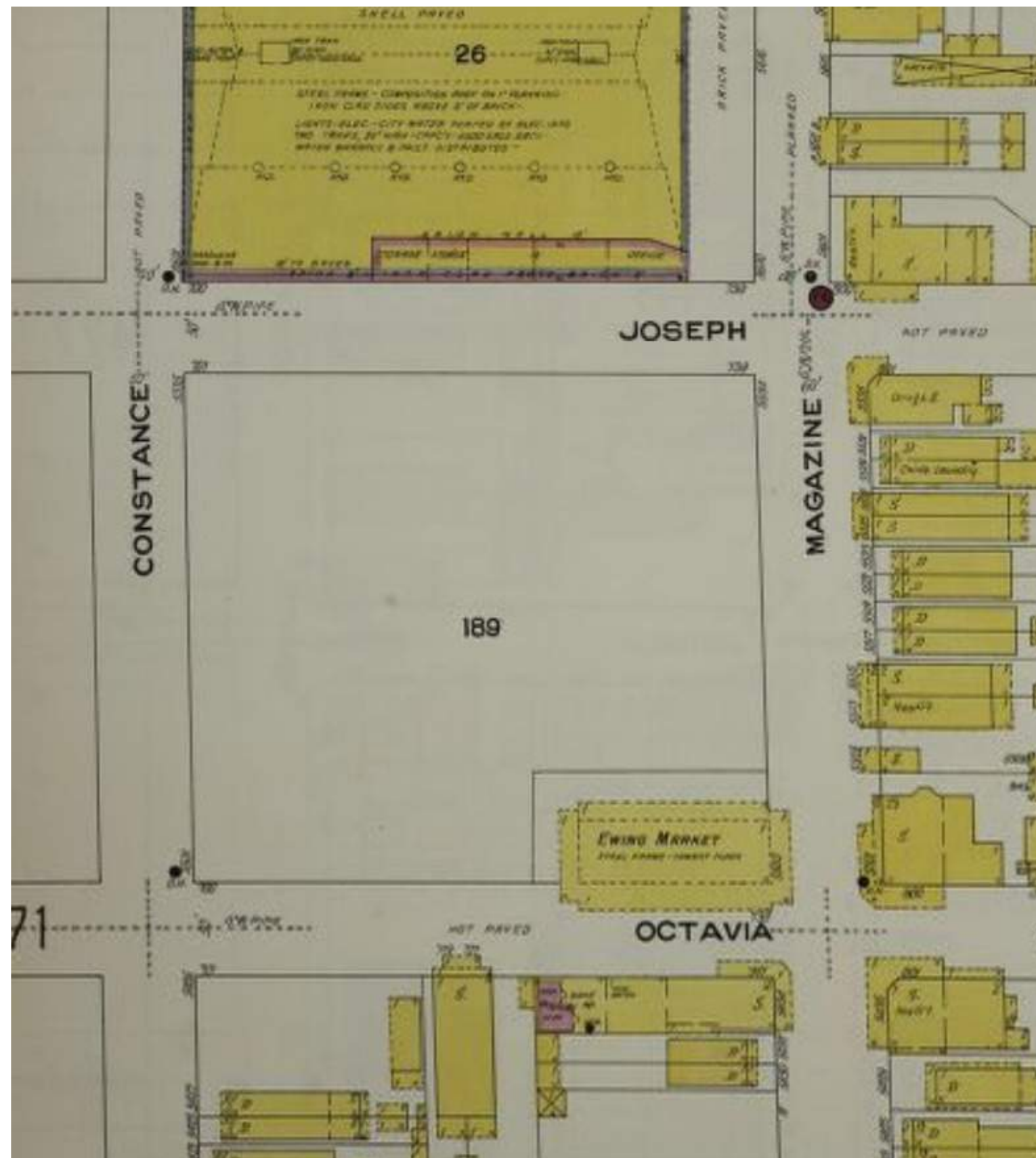


**SCOPE OF WORK NARRATIVE**

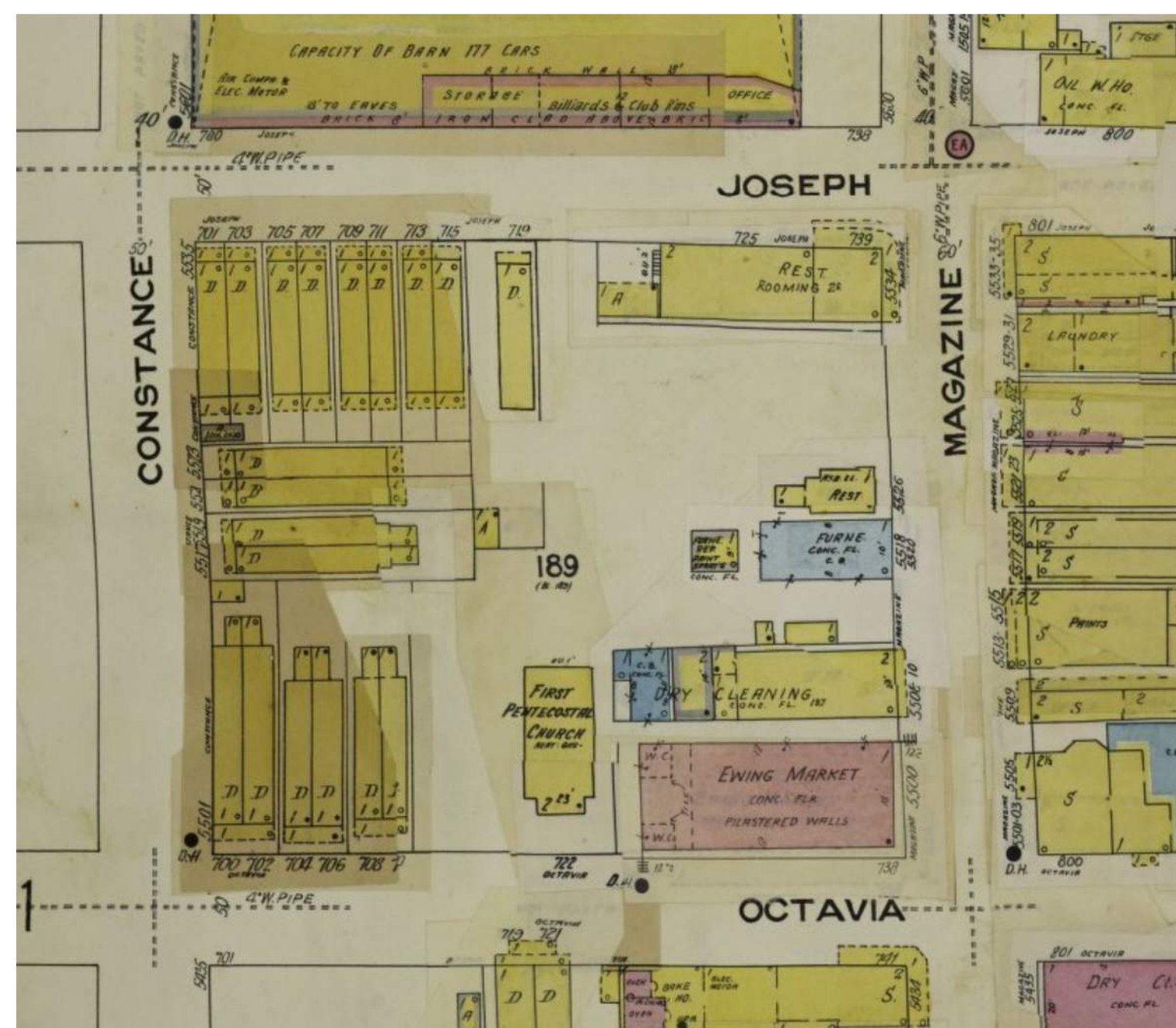
THE SCOPE OF WORK FOR THIS PROJECT IS THE INTERIOR RENOVATION OF THE GROUND FLOOR AND MINOR EXTERIOR MODIFICATIONS TO A HISTORIC BUILDING LOCATED AT THE CORNER OF MAGAZINE AND JOSEPH STREET ACROSS FROM THE FORMER ARABELLA STREET CAR BARN (CURRENTLY WHOLE FOODS). THE BUILDING, LOCATED AT 5538 MAGAZINE STREET, IS ZONED AS HU-B1 HISTORIC URBAN NEIGHBORHOOD DISTRICT AND LOCATED IN A CPC CHARACTER PRESERVATION CORRIDOR DESIGN OVERLAY DISTRICT. THE ORIGINAL DATE OF CONSTRUCTION IS UNKNOWN AND WAS BUILT SOMETIME BETWEEN 1909 AND 1940 AS A RESTAURANT ON THE GROUND FLOOR AND ROOMING ABOVE WITH A PERMANENT WOOD AWNING AT THE PRIMARY CORNER ELEVATION AS SEEN IN HISTORIC SANBORN MAPS AND PHOTOGRAPHS.

THE BUILDING'S GROUND FLOOR HAS SERVED AS A NUMBER OF RESTAURANTS OVER THE YEARS AND THE CURRENT PROPOSED PROGRAM IS TO RETAIN A RESTAURANT OCCUPANCY ON THE GROUND FLOOR. THE EXTERIOR WILL MOSTLY REMAIN UNCHANGED WITH THE EXCEPTION OF REPLACING THE EXISTING ROUND, "PORTHOLE" WINDOWS WITH NEW RECTANGULAR STOREFRONT WINDOWS TO PRESERVE THE RHYTHM OF FENESTRATION FOUND THROUGHOUT THE AREA. THE LARGER STOREFRONT WINDOWS ALSO ALLOW FOR MORE VISIBILITY FROM THE INTERIOR OF THE RESTAURANT TO THE OUTSIDE AND VISA VERSA TO ENHANCE COMMUNITY WELFARE. THE EXISTING WOOD AWNING IS PROPOSED TO EITHER BE CLAD WITH A NEW CANVAS FABRIC AWNING CONSISTENT WITH OTHER PROPERTIES IN THE AREA, OR TO BE RETAINED AND REPAINTED. EXTERIOR SEATING IS PROPOSED UNDERNEATH THE AWNING STRENGTHENING THE CHARACTER OF MAGAZINE BEING A VIABLE, PEDESTRIAN FRIENDLY STREET.

AT THE REAR OF THE BUILDING FURTHER ALONG JOSEPH STREET, THE EXISTING STAIR TO THE 2ND FLOOR, RAMP TO THE RAISED GROUND FLOOR AREA, AND REAR FENCING WILL BE RETAINED AND REPAIRED IN PLACE AS REQUIRED.



1 SANBORN 1909  
12" = 1'-0"



2 SANBORN 1940  
12" = 1'-0"



3 ARBELLA STATION STREET VIEW 1950s  
N.T.S.



5 EXISTING CONDITIONS FRONT VIEW FROM MAGAZINE STREET  
N.T.S.



7 EXISTING CONDITIONS SIDE VIEW FROM SIDE PARKING LOT  
N.T.S.



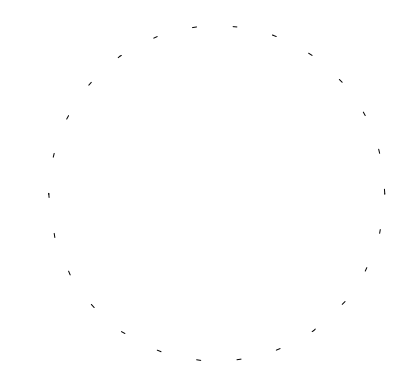
4 ARBELLA STATION TRACKS 1920s  
N.T.S.



6 EXISTING CONDITIONS SIDE VIEW FROM JOSEPH STREET  
N.T.S.



8 EXISTING CONDITIONS BACK VIEW FROM JOSEPH STREET  
N.T.S.



REVISION	ISSUE	DATE



1 5535 MAGAZINE ST. PRECEDENT  
N.T.S.



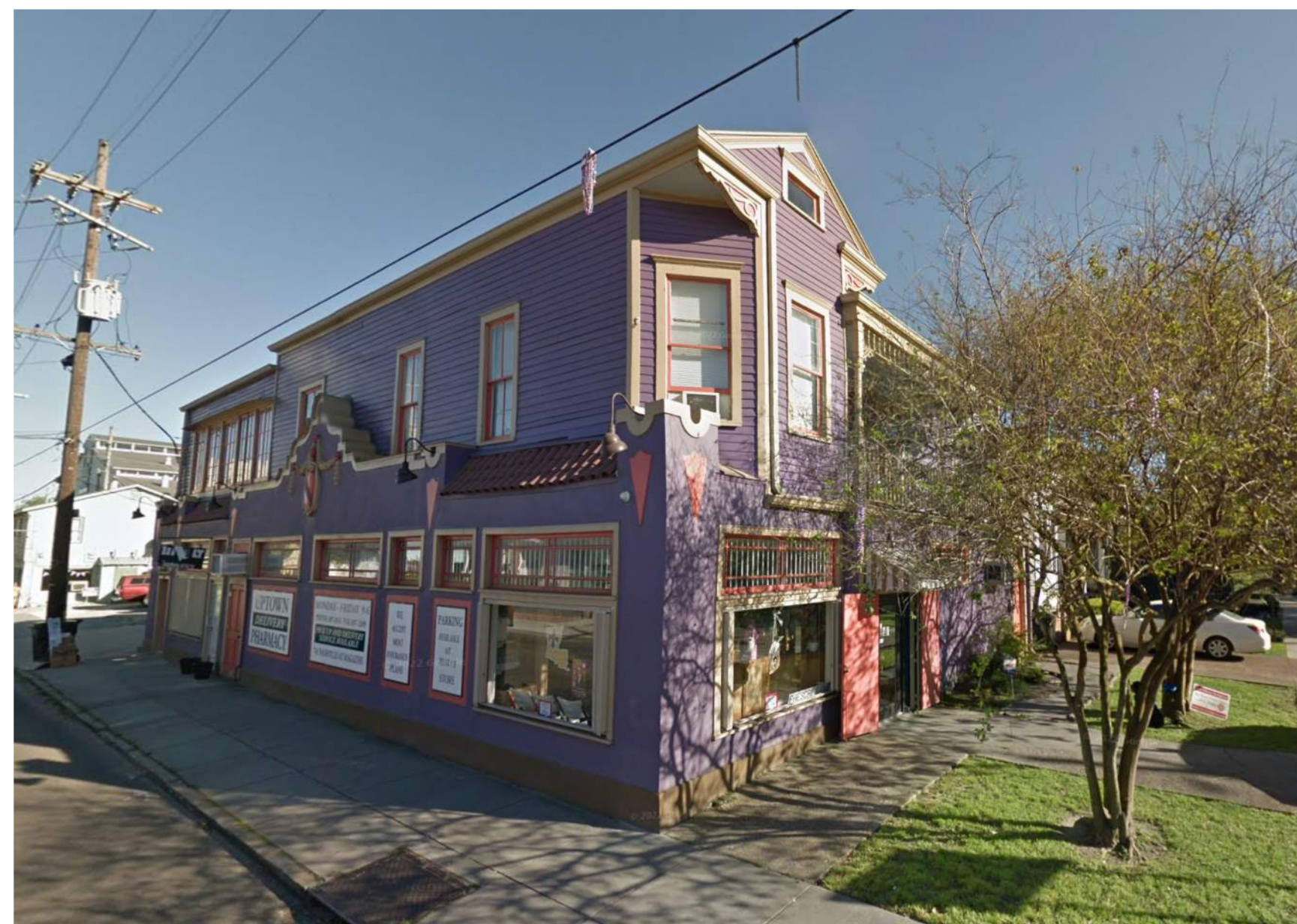
2 5434 MAGAZINE ST. PRECEDENT  
N.T.S.



3 5501 MAGAZINE ST. PRECEDENT  
N.T.S.



4 5956 MAGAZINE ST. PRECEDENT  
N.T.S.



5 5720 MAGAZINE ST. PRECEDENT  
N.T.S.

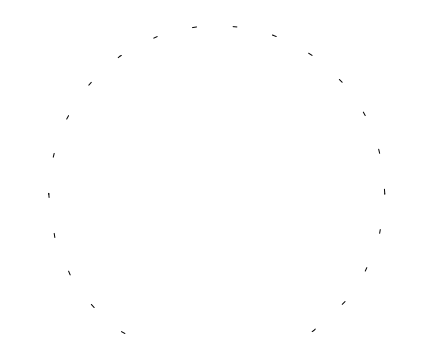


6 5700 MAGAZINE ST. PRECEDENT  
N.T.S.

MEDIUM RARE NOLA  
5538 MAGAZINE STREET  
NEW ORLEANS, LA 70115

AGENCY REVIEW:

SEAL:



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REVISION	ISSUE	DATE

GTM PROJECT NUMBER: 22.0309  
ISSUE: DAC SUBMISSION  
ARCHITECT PROJECT NO: 257  
DRAWN BY: EOR/K  
ISSUE DATE: 11/30/2022

SHEET TITLE  
SITE VICINITY  
IMAGES

SHEET NO.

REVISION	ISSUE	DATE

GTM PROJECT NUMBER: 22.0309  
ISSUE: DAC SUBMISSION  
ARCHITECT PROJECT NO: 257  
DRAWN BY: EOR/K  
ISSUE DATE: 11/30/2022

SHEET TITLE

PROPOSED SIGNAGE

SHEET NO.

003



1 DAC PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"



2 DAC PROPOSED WEST ELEVATION  
3/16" = 1'-0"

Sign Type: D/F Channel Letter Blade Mounted ID QTY: 1  
Primary Corporate Identity

22.5" | 2" | 7.969 SqFt | 5" | 10" | 5" | 51" | 7.75" Copy | 17" Knife

Details  
TOTAL SIGN AREA = 7.969 SF

Fabrication Notes:  
1) 2" x 125" Steel Strap Painted PMS 485C Red  
2) 1/2" Hardware (Bolts, Washers, Nuts)  
3) 10" Aluminum Cabinet Painted PMS 485C Red Including 2" x 187" Mounting Clips  
4) 10" Aluminum Faces Chemically Bonded to the Cabinet Painted Satin Black  
5) 2" Deep Channel Letter with .187" Clear Acrylic Faces  
6) 2" Deep Channel Logo with .187" Clear Acrylic Face Painted PMS 485C Red Inside for the Knife with 13mm Ruby Red Neon  
7) Neon Transformer  
8) Removable Bottom Panel Complete with Countersunk Screws Painted to Match

Channel Letter  
5"  
A) .063" Aluminum Painted Satin Black Exterior White Inside Letter  
B) Black Trim Cap  
C) Clear Acrylic Face  
D) 13mm White Neon

Installation Concept  
Existing Building  
60" (Assumed)  
2" Existing Support (Assumed)  
PROPOSED TO BE RELOCATED HIGHER FOR BOTTOM OF BLADE SIGN TO ALIGN WITH TOP OF TRANSOM TRIM AT ENTRY.

3 SIGNAGE VENDOR DETAILS  
N.T.S.

AGENCY REVIEW:

SEAL:

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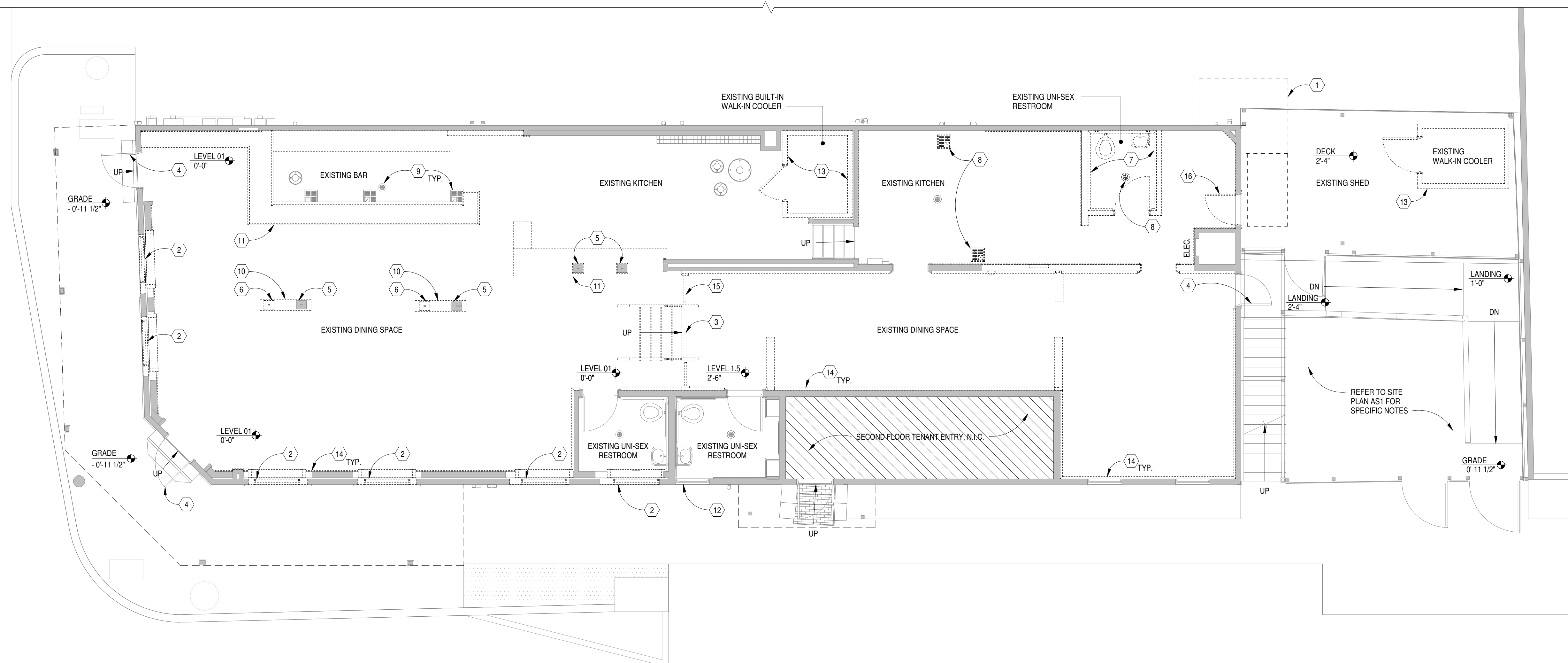
REVISION	ISSUE	DATE

GTM PROJECT NUMBER: 22.0309  
ISSUE: DAC SUBMISSION  
ARCHITECT PROJECT NO: 257  
DRAWN BY: EOR/K  
ISSUE DATE: 11/30/2022  
SHEET TITLE

**DEMOLITION PLAN**

SHEET NO.

**D100**

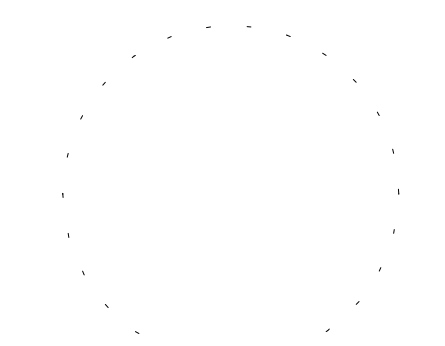


**1** EXISTING / DEMOLITION PLAN  
3/16" = 1'-0"  
0' 3' 6' 12'

**NOTE:** REFER TO PROPOSED SITE PLAN AND PROPOSED FLOOR PLAN FOR ADDITIONAL INFORMATION

GENERAL DEMOLITION NOTES		DEMOLITION KEY NOTES	
1.	THE SITE SHOULD REMAIN SECURE AT ALL TIMES DURING ALL PHASES OF CONSTRUCTION.	①	EXISTING EQUIPMENT PLATFORM ABOVE TO REMAIN.
2.	GC SHALL VERIFY ALL EXISTING CONDITIONS, AND COORDINATE ANY OUTSTANDING DEMOLITION ISSUES WITH ARCHITECT PRIOR TO PROCEEDING WITH DEMOLITION.	②	REMOVE EXISTING CIRCULAR WINDOWS AND TRIM. REFER TO ELEVATION.
3.	GC SHALL PROTECT INTERIOR & EXTERIOR AREAS ADJACENT TO DESIGNATED AREAS OF DEMOLITION. COORDINATE WITH OWNER AS REQUIRED.	③	REMOVE EXISTING INTERIOR STAIR, TO BE RELOCATED. REFER TO PROPOSED PLAN.
4.	CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION OF PEDESTRIAN ACCESS ON SITE AS REQUIRED BY LOCAL CODES.	④	EXISTING DOOR TO REMAIN.
5.	TEMPORARY WALLS & DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DUST/DIRT INTO PORTIONS OF THE BUILDING THAT ARE NOT PART OF THE AREA OF WORK.	⑤	EXISTING COLUMN TO REMAIN.
6.	GC TO COORDINATE DEBRIS REMOVAL/RECYCLING MEANS & METHODS WITH OWNER AND IN COMPLIANCE WITH APPLICABLE CODES & ORDINANCES.	⑥	REMOVE EXISTING COLUMN.
7.	GC TO MAINTAIN ALL EXISTING FIRE RATINGS. PATCH & REPAIR AS REQUIRED DUE TO DEMOLITION.	⑦	REMOVE EXISTING RESTROOM WALLS, PLUMBING FIXTURES, FINISHES AND ACCESSORIES
8.	REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.	⑧	REMOVE EXISTING FLOOR DRAINS.
9.	GC TO CAP ALL PLUMBING LINES TO BE REMOVED.	⑨	EXISTING FLOOR DRAIN AND FLOOR SINK TO REMAIN.
10.	REFER TO DEMOLITION ELEVATIONS FOR MORE INFORMATION.	⑩	REMOVE EXISTING COLUMN SURROUNDS AND WAJNSCOTING.
11.	GC TO REFER TO FS SPECIAL CONDITIONS PLAN FOR REQUIRED BLOCKING LOCATIONS.	⑪	REMOVE EXISTING BAR AND COUNTER.
		⑫	EXISTING WINDOW TO REMAIN.
		⑬	REMOVE EXISTING WALK-IN COOLER
		⑭	REMOVE EXISTING WOOD WAJNSCOTING, WOOD WALL BASE, AND TRIM, TYP.
		⑮	REMOVE EXISTING RAILING.
		⑯	REMOVE EXISTING REAR DOOR. REFER TO ELEVATIONS. THIS DOOR IS UNDER THE EXISTING SHED AND NOT VISIBLE FROM THE STREET.

DEMOLITION LEGEND	
	EXISTING ELEMENT TO REMAIN.
	DEMOLITION DEMOLISH EXISTING ELEMENT AS SHOWN.
①	KEYNOTE
LEVEL 0'-0"	SPOT ELEVATION
	AREA NOT IN CONTRACT.



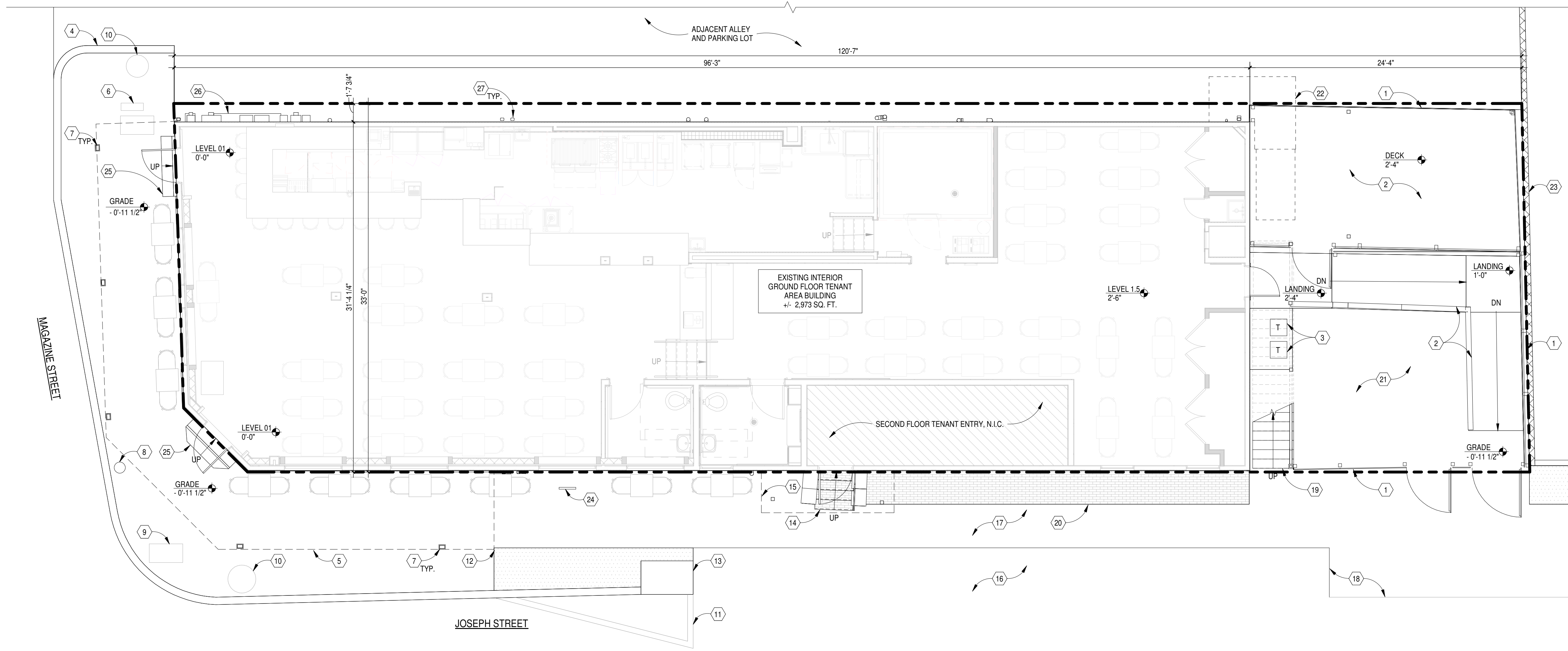
REVISION	ISSUE	DATE

GTM PROJECT NUMBER: 22.0309  
ISSUE: DAC SUBMISSION  
ARCHITECT PROJECT NO: 257  
DRAWN BY: EOR/K  
ISSUE DATE: 11/30/2022  
SHEET TITLE

**SITE PLAN**

SHEET NO.

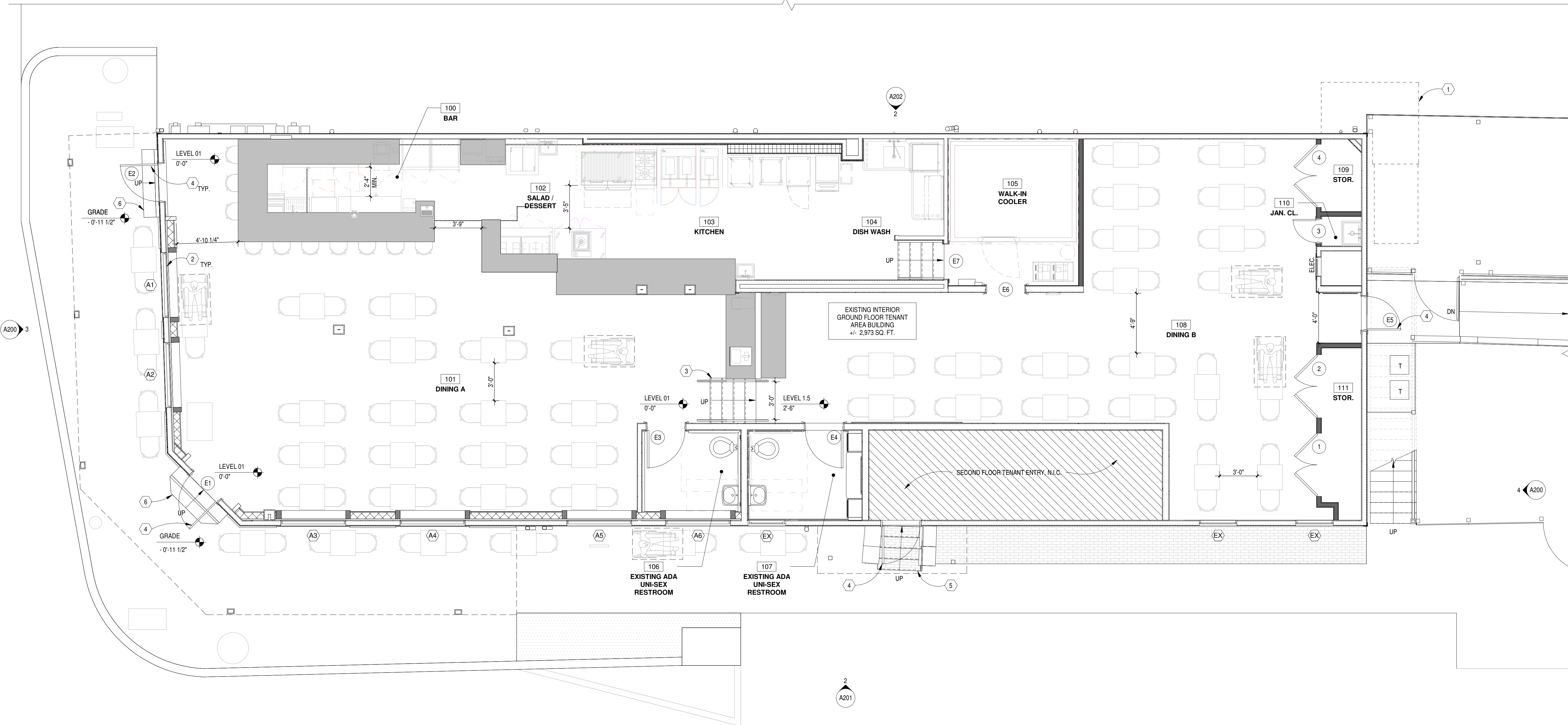
**AS1**



**1 PROPOSED SITE PLAN**  
3/16" = 1'-0"  
0' 3' 6' 12'

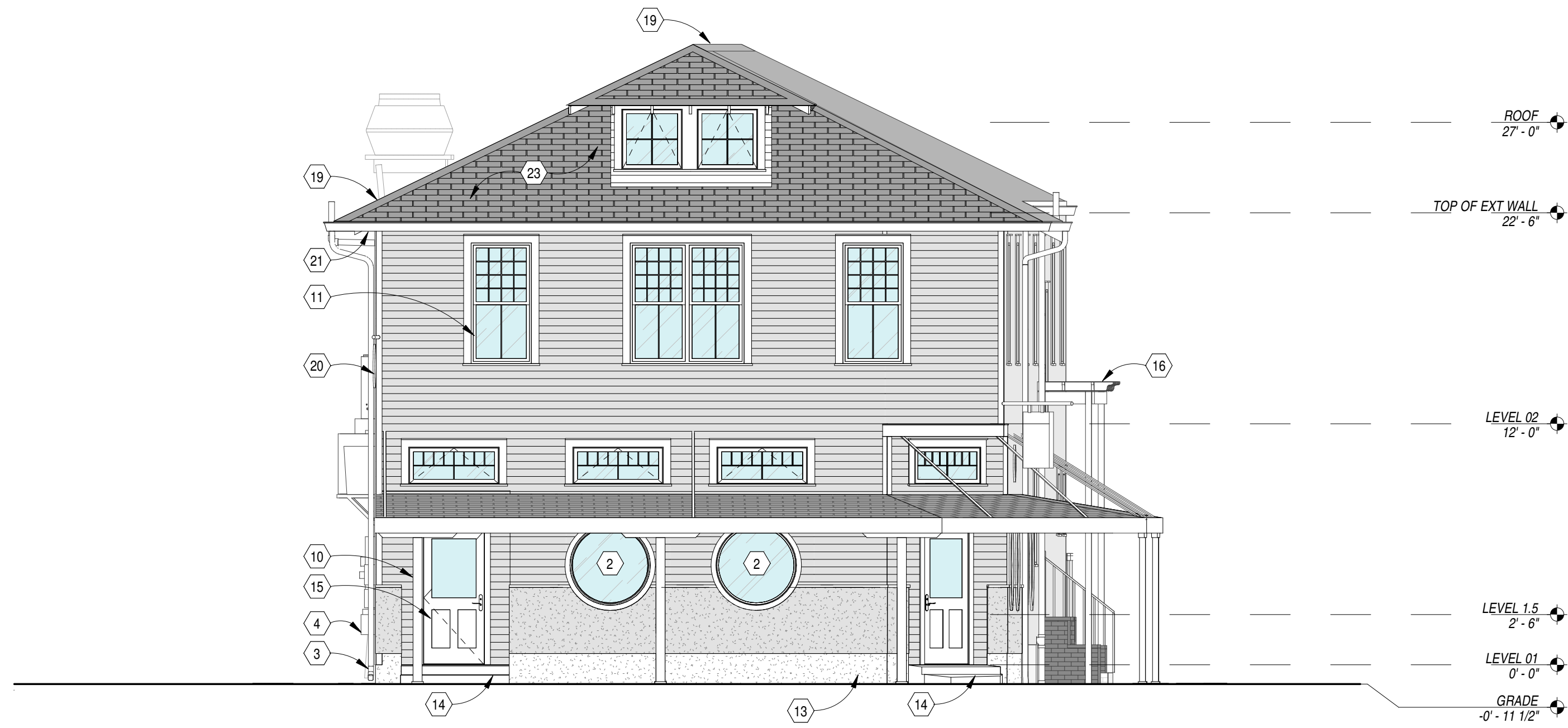
SITE PLAN LEGEND	
	AREA NOT IN CONTRACT
	PROPERTY LINE
	KEYNOTE
	SPOT ELEVATION

SITE PLAN KEY NOTES	
①	EXISTING WOOD FENCE TO REMAIN. PATCH AND REPAIR AS NEEDED.
②	EXISTING WOOD RAMP AND PLATFORM TO REMAIN. PATCH AND REPAIR AS NEEDED.
③	TRASH BIN LOCATION
④	EXISTING ADJACENT CURB CUT TO REMAIN.
⑤	LINE OF EXISTING CANOPY OVERHEAD.
⑥	EXISTING UTILITY COVER TO REMAIN.
⑦	EXISTING CANOPY SUPPORT POSTS TO REMAIN, TYP.
⑧	EXISTING UTILITY POLE TO REMAIN.
⑨	EXISTING TACTILE WARNING TO REMAIN.
⑩	EXISTING MANHOLE COVER TO REMAIN.
⑪	EXISTING STRIPING TO REMAIN.
⑫	EXISTING GRAVEL TO REMAIN.
⑬	EXISTING STORM DRAIN TO REMAIN.
⑭	EXISTING STAIR CONSTRUCTION TO REMAIN.
⑮	LINE OF EXISTING PERGOLA OVERHEAD.
⑯	EXISTING ON-STREET PARKING TO REMAIN (NO STRIPING.)
⑰	EXISTING SIDEWALK TO REMAIN.
⑱	EXISTING CURB CUT TO REMAIN.
⑲	EXISTING STAIR TO REMAIN, NO WORK.
⑳	EXISTING BRICK PAVERS TO REMAIN.
㉑	EXISTING PAVING TO REMAIN.
㉒	EXISTING EQUIPMENT PLATFORM ABOVE TO REMAIN.
㉓	EXISTING ADJACENT CMU WALL ON NEIGHBORS PROPERTY TO REMAIN.
㉔	EXISTING BIKE PARKING TO REMAIN.
㉕	EXISTING CONCRETE STAIR WITH PAINTED WARNING TO REMAIN.
㉖	EXISTING PANELS AND METERS TO REMAIN.
㉗	EXISTING DOWNSPOUTS TO REMAIN, TYP.

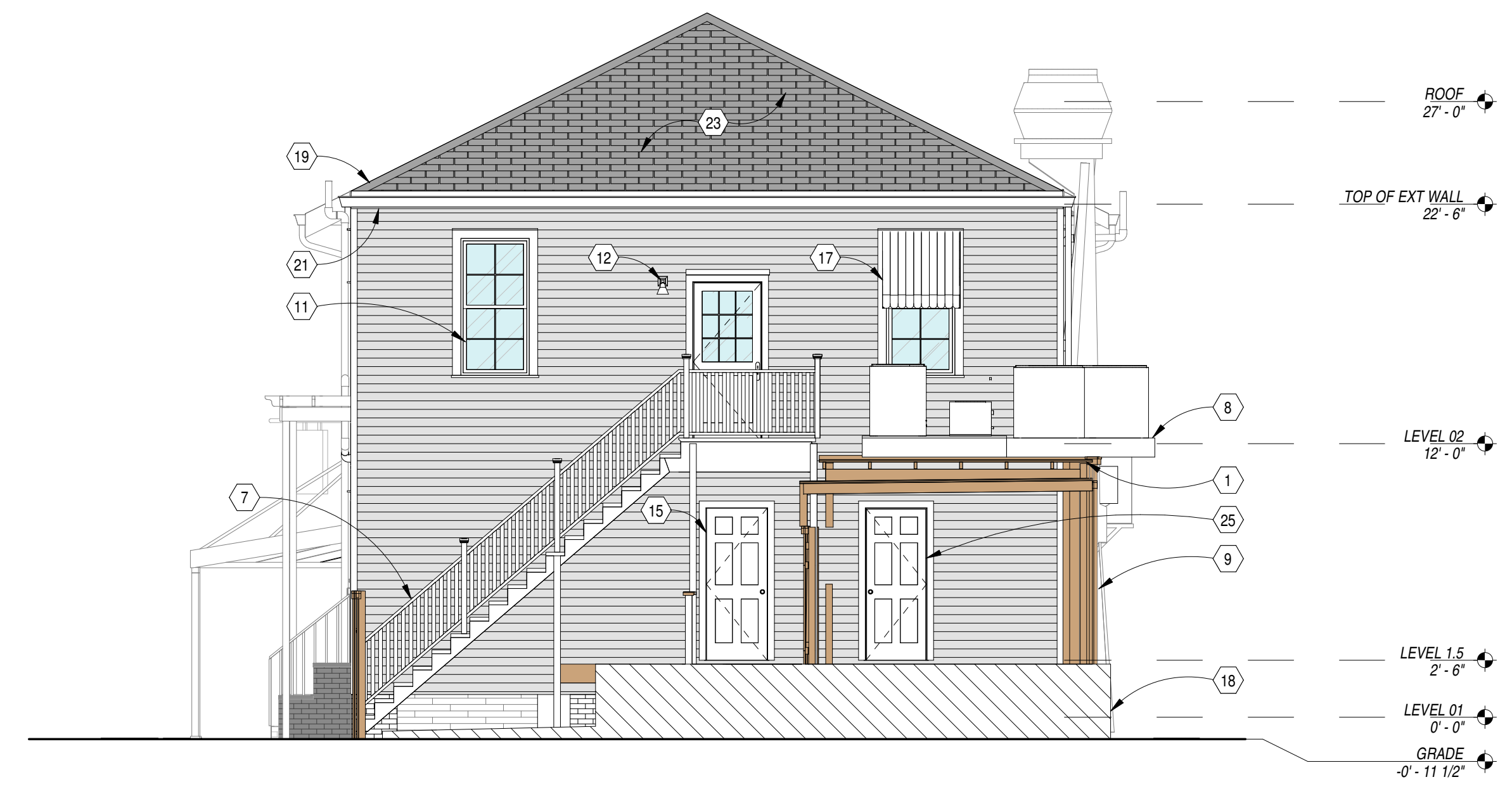


**1 PROPOSED FLOOR PLAN**  
1/4" = 1'-0"  
0 2 4 8

PLAN LEGEND	
	EXISTING PARTITION TO REMAIN.
	NEW PARTIAL HEIGHT PARTITION.
	NEW FULL HEIGHT PARTITION.
	AREA NOT IN CONTRACT.
	KEYNOTE
	SPOT ELEVATION
	NEW WINDOW, EX = EXISTING WINDOW TO REMAIN.
	NEW DOOR, EX = EXISTING DOOR TO REMAIN.
CONSTRUCTION KEY NOTES	
	EXISTING EQUIPMENT PLATFORM ABOVE TO REMAIN.
	NEW STOREFRONT WINDOW, TYP.
	EXISTING INTERIOR STAIR TO BE RELOCATED PLAN SOUTH ADJACENT TO EXISTING RESTROOM WALL.
	EXISTING DOORS TO REMAIN, TYP.
	EXISTING STAIR CONSTRUCTION TO REMAIN.
	EXISTING CONCRETE STAIR WITH PAINTED WARNING TO REMAIN.



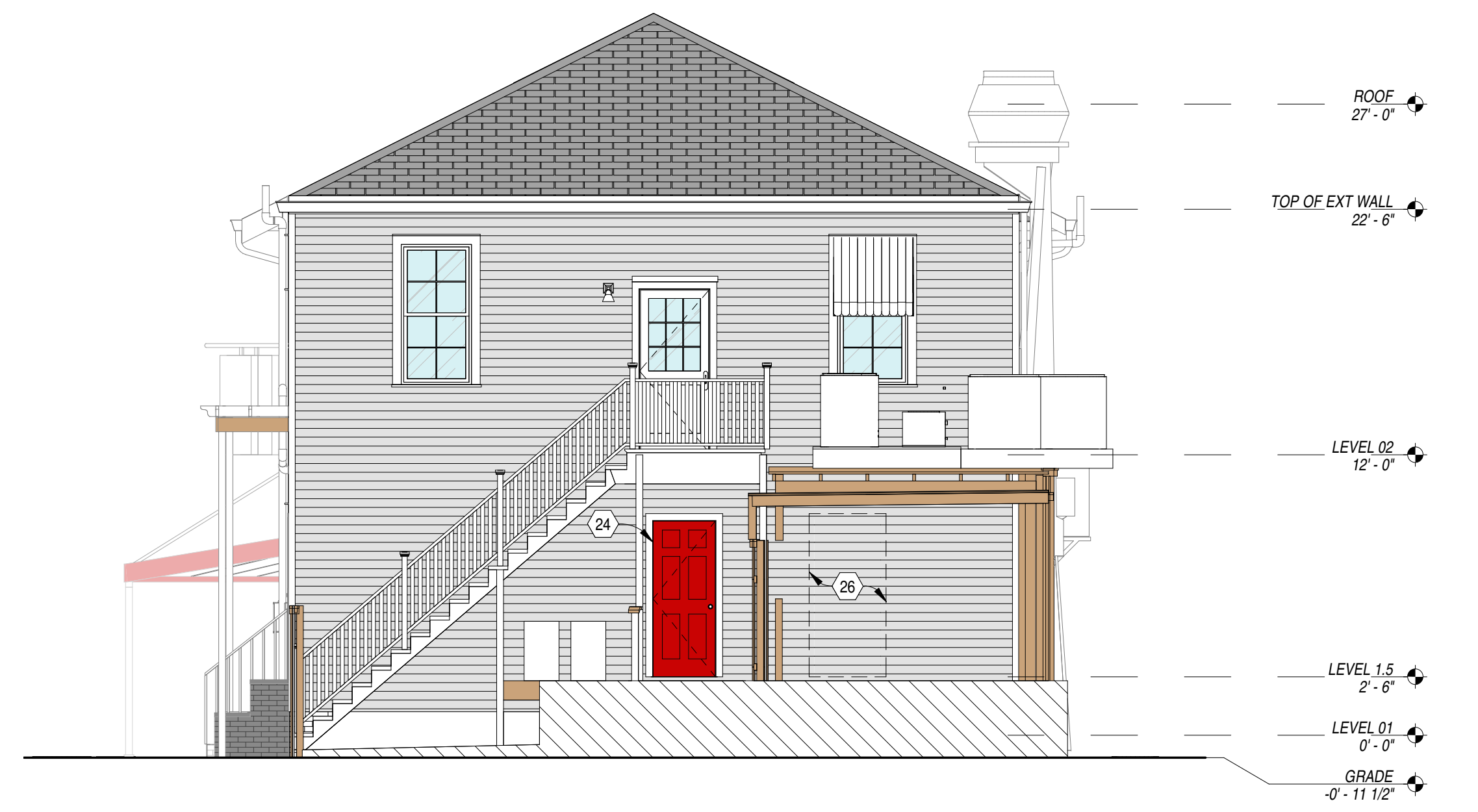
**1** EXISTING WEST ELEVATION  
3/16" = 1'-0"



**2** EXISTING EAST ELEVATION  
3/16" = 1'-0"



**3** PROPOSED WEST ELEVATION  
3/16" = 1'-0"



**4** PROPOSED EAST ELEVATION  
3/16" = 1'-0"



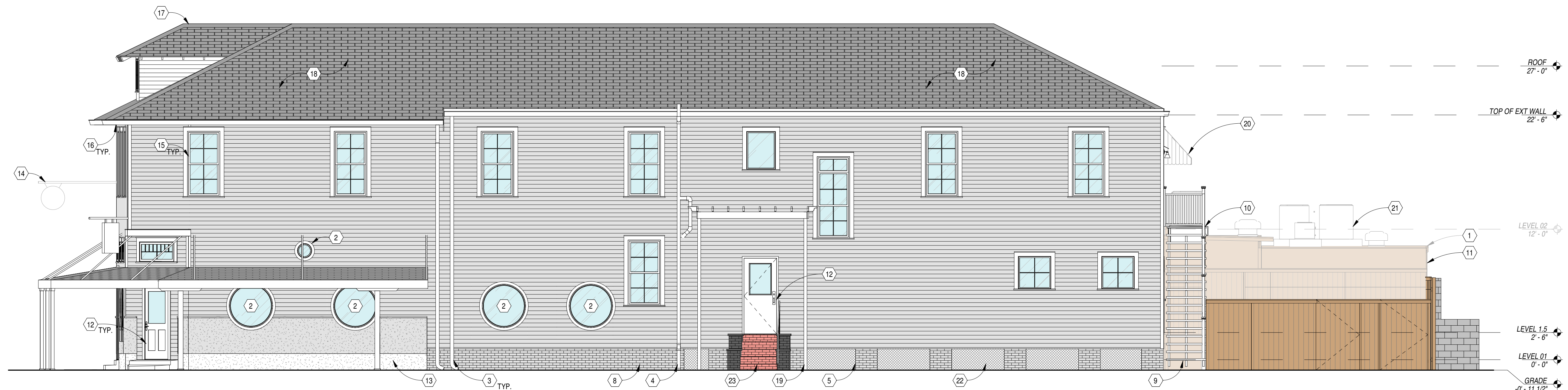
**5** OUTDOOR WALL SCONCE - L16  
6" = 1'-0"

**CONSTRUCTION KEY NOTES**

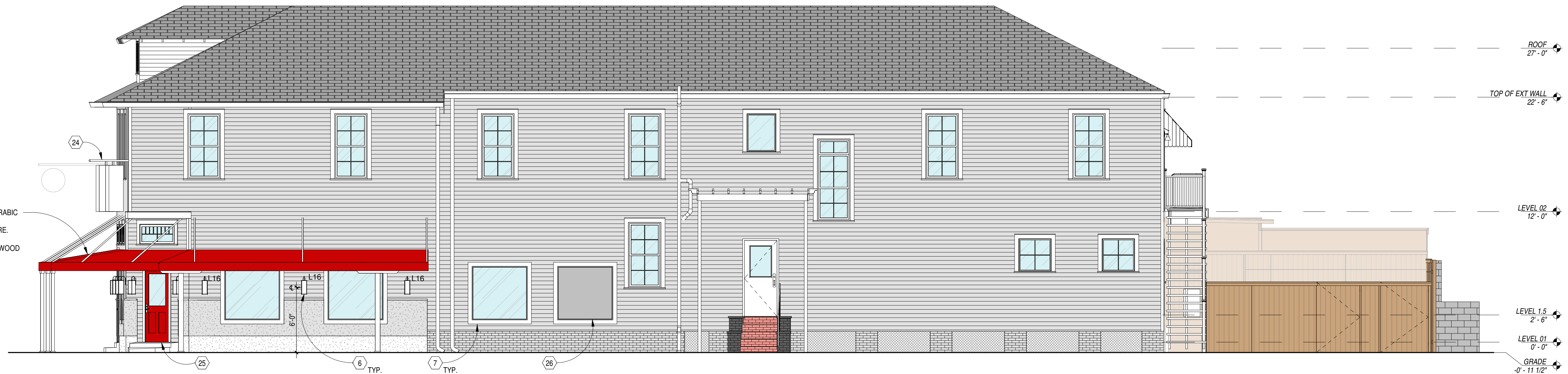
(1) EXISTING SHED TO REMAIN. REPAIR AS REQUIRED.	(14) EXISTING CONCRETE ENTRY STAIRS WITH PAINTED WARNING TO REMAIN.
(2) REMOVE EXISTING CIRCULAR WINDOWS.	(15) EXISTING DOORS TO REMAIN.
(3) EXISTING DOWNSPOUTS TO REMAIN. TYP.	(16) EXISTING PERGOLA TO REMAIN.
(4) EXISTING ELECTRICAL METERS TO REMAIN.	(17) EXISTING AWNING TO REMAIN.
(5) MODIFY EXISTING OPENINGS FOR NEW 5'-8" X 5'-9 1/2" WOOD STOREFRONT WINDOWS.	(18) EXISTING RAMP AND RAISED WOOD PLATFORM TO REMAIN. REPAIR AS REQUIRED.
(6) NEW OUTDOOR WALL SCONCE, L16.	(19) EXISTING ROOF RIDGE TILES TO REMAIN, TYP.
(7) EXISTING STAIRS TO REMAIN.	(20) EXISTING BUILDING TENANT SIGN TO REMAIN.
(8) EXISTING EQUIPMENT PLATFORM TO REMAIN.	(21) EXISTING GUTTERS TO REMAIN, TYP.
(9) EXISTING WOOD FENCE TO REMAIN. PATCH AND REPAIR AS NEEDED.	(22) RAISE EXISTING SIGN POST AS NEEDED FOR NEW BLADE SIGN - ALIGN BOTTOM OF SIGN WITH TOP OF TRIM.
(10) EXISTING CANOPY SUPPORT WOOD POSTS TO REMAIN.	(23) EXISTING SHINGLE ROOF TO REMAIN, TYP.
(11) EXISTING WINDOWS TO REMAIN, TYP. UNO.	(24) DOORS TO BE PAINTED RED TO MATCH AWNING.
(12) EXISTING WALL SCONCE TO REMAIN.	(25) REMOVE EXISTING DOOR.
(13) EXISTING STUCCO TO REMAIN.	(26) INFILL DOOR OPENING - MATCH EXISTING HARDI SIDING & PATCH TO MATCH BUILDING - STAGGER JOINTS.

**LEGEND**

GLAZING (EXISTING & NEW)	EXISTING WOODEN SHED & FENCE	EXISTING STUCCO PAINTED WHITE
EXISTING PAINTED SIDING	EXISTING STUCCO GRAY PAINTED	EXISTING LATTICE
EXISTING PAINTED BRICK	EXISTING RED BRICK	EXISTING PAINTED BRICK
EXISTING CMU WALL	EXISTING ASPHALT SHINGLE ROOF	NEW FABRIC AWNING OR PAINT EXISTING WOOD AWNING SEE OPTION KEYNOTES



1 EXISTING SOUTH ELEVATION  
3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"



3 OUTDOOR WALL SCONCE - L16  
6" = 1'-0"

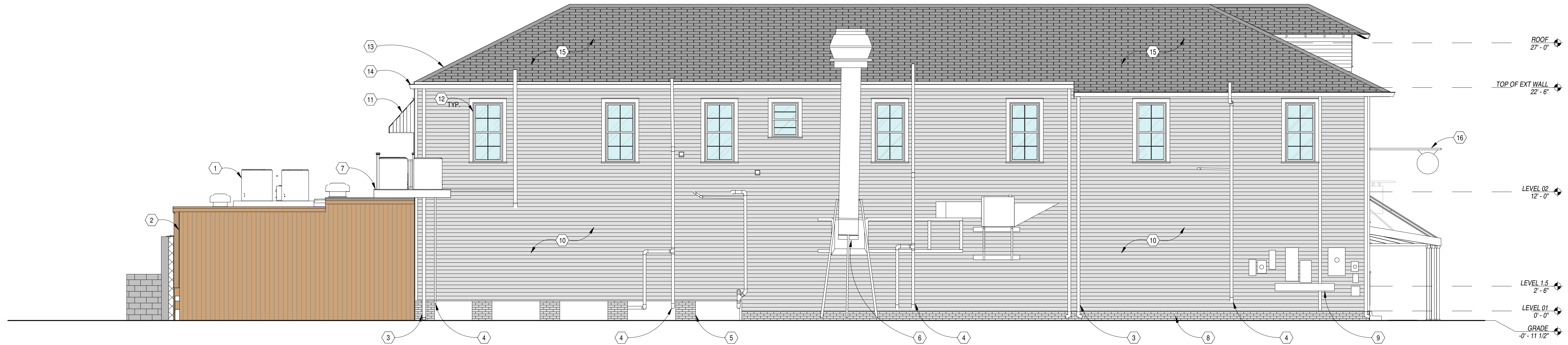
CONSTRUCTION KEY NOTES

(1) EXISTING SHED TO REMAIN.	(14) EXISTING BUILDING TENANT SIGN.
(2) REMOVE EXISTING CIRCULAR WINDOWS.	(15) EXISTING WINDOWS TO REMAIN, TYP.
(3) EXISTING DOWNSPOUTS TO REMAIN, TYP.	(16) EXISTING GUTTERS TO REMAIN, TYP.
(4) EXISTING PLUMBING VENTS TO REMAIN.	(17) EXISTING ROOF RIDGE TILES TO REMAIN, TYP.
(5) EXISTING BRICK FOOTINGS TO REMAIN.	(18) EXISTING SHINGLE ROOF TO REMAIN, TYP.
(6) NEW OUTDOOR WALL SCONCE, L16.	(19) EXISTING PERGOLA TO REMAIN
(7) MODIFY EXISTING OPENINGS FOR NEW 5'-8" X 5'-9 1/2" WOOD STOREFRONT WINDOWS.	(20) EXISTING AWNING TO REMAIN.
(8) EXISTING BRICK CHAIN WALL TO REMAIN.	(21) REMOVE EXISTING MECHANICAL UNITS ABOVE.
(9) EXISTING STAIRS TO REMAIN.	(22) EXISTING WOOD LATTICE TO REMAIN.
(10) EXISTING MECHANICAL PLATFORM BEYOND TO REMAIN.	(23) EXISTING ENTRY STAIR AND RAILING TO REMAIN.
(11) EXISTING WOOD FENCE TO REMAIN. PATCH AND REPAIR AS NEEDED.	(24) RAISE EXISTING SIGN POST AS NEEDED FOR NEW BLADE SIGN - ALIGN BOTTOM OF SIGN WITH TOP OF TRIM.
(12) EXISTING DOOR TO REMAIN, TYP.	(25) DOORS TO BE PAINTED RED TO MATCH AWNING.
(13) EXISTING STUCCO TO REMAIN.	(26) OPAQUE WHITE FILM APPLIED TO INTERIOR AT RESTROOM WINDOW.

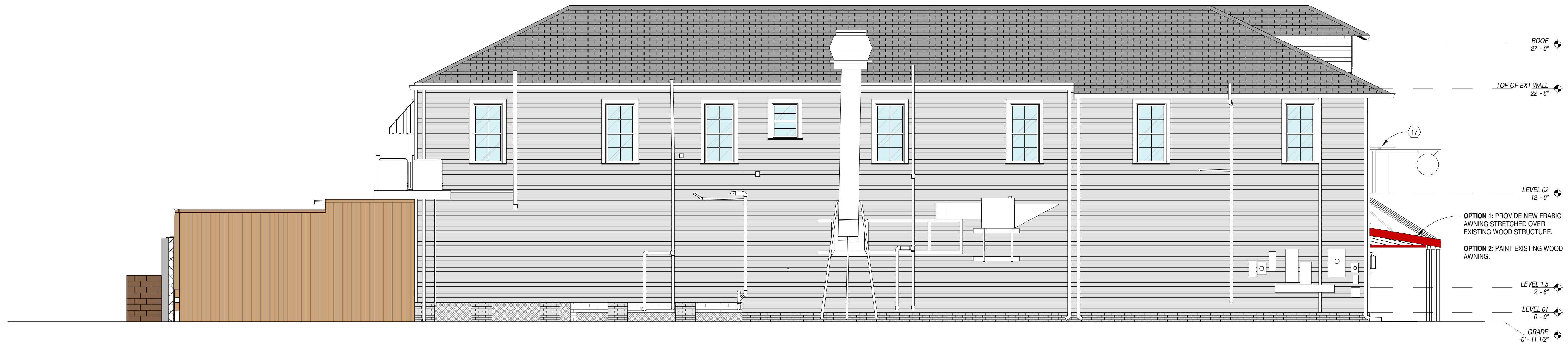
LEGEND

GLAZING (EXISTING & NEW)	EXISTING WOODEN SHED & FENCE	EXISTING STUCCO PAINTED WHITE
EXISTING PAINTED SIDING	EXISTING STUCCO GRAY PAINTED	EXISTING LATTICE
EXISTING PAINTED BRICK	EXISTING RED BRICK	EXISTING PAINTED BRICK
EXISTING CMU WALL	EXISTING ASPHALT SHINGLE ROOF	NEW FABRIC AWNING OR PAINT EXISTING WOOD AWNING SEE OPTION KEYNOTES





**1** EXISTING NORTH ELEVATION  
3/16" = 1'-0"



**2** PROPOSED NORTH ELEVATION  
3/16" = 1'-0"

**CONSTRUCTION KEY NOTES**

(1) REMOVE EXISTING MECHANICAL UNITS ABOVE.	(10) EXISTING SIDING AND PAINT TO REMAIN, TYP.
(2) EXISTING WOOD FENCE TO REMAIN. PATCH AND REPAIR AS NEEDED, TYP.	(11) EXISTING AWNING TO REMAIN.
(3) EXISTING DOWNSPOUTS TO REMAIN, TYP.	(12) EXISTING WINDOWS TO REMAIN, TYP.
(4) EXISTING PLUMBING VENTS TO REMAIN, TYP.	(13) EXISTING ROOF RIDGE TILES TO REMAIN, TYP.
(5) EXISTING BRICK FOOTINGS TO REMAIN, TYP.	(14) EXISTING GUTTERS TO REMAIN, TYP.
(6) EXISTING MECHANICAL UNIT AND VENT TO REMAIN.	(15) EXISTING SHINGLE ROOF TO REMAIN, TYP.
(7) EXISTING EQUIPMENT PLATFORM TO REMAIN.	(16) EXISTING BUILDING TENANT SIGN, TO REMAIN.
(8) EXISTING BRICK CHAIN WALL TO REMAIN, TYP.	(17) RAISE EXISTING SIGN POST AS NEEDED FOR NEW BLADE SIGN - ALIGN BOTTOM OF SIGN WITH TOP OF TRIM.
(9) EXISTING ELECTRICAL METERS TO REMAIN, TYP.	

**LEGEND**

GLAZING (EXISTING & NEW)	EXISTING WOODEN SHED & FENCE	EXISTING STUCCO PAINTED WHITE
EXISTING PAINTED SIDING	EXISTING STUCCO GRAY PAINTED	EXISTING LATTICE
EXISTING PAINTED BRICK	EXISTING RED BRICK	EXISTING PAINTED BRICK
EXISTING CMU WALL	EXISTING ASPHALT SHINGLE ROOF	NEW FABRIC AWNING OR PAINT EXISTING WOOD AWNING SEE OPTION KEYNOTES



Building/Construction  
Related Permit



Date 12/7/22 Received by RB  
Tracking Number 22-1581

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

**Covid-19 Submittal Protocol: Please submit complete applications via email to [CPCinfo@nola.gov](mailto:CPCinfo@nola.gov). Applicants without the ability to submit via email should contact (504) 658-7100 to make alternative arrangements. Incomplete applications will not be accepted and will be returned to the applicant. Review time depends on the complexity of the project and can take up to 90 days.**

Type of application:    Design Review                                Interim Zoning Districts Appeal                                Moratorium Appeal  
Property Location \_\_\_\_\_

### APPLICANT INFORMATION

Applicant Identity:                    Property Owner                                Agent  
Applicant Name \_\_\_\_\_  
Applicant Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Applicant Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROPERTY OWNER INFORMATION                                SAME AS ABOVE

Property Owner Name \_\_\_\_\_  
Property Owner Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Property Owner Contact Number \_\_\_\_\_ Email \_\_\_\_\_

### PROJECT DESCRIPTION

### REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

Design Overlay District Review	Non-Design Overlay District Review	Mural Reviews
Character Preservation Corridor	Development over 40,000 sf	Electric Utility Substations and Transmission Lines
Riverfront Design Overlay	Public Market	CBD FAR Bonus
Enhancement Corridor	Parking Lots with over 10 spaces or loading zones	Changes to Approved Plans
Corridor Transformation	Wireless Antenna/Tower	DAC Review of Public Projects
Greenway Corridor	Educational Facility	Others as required
Others as required		

### ADDITIONAL INFORMATION

Current Use \_\_\_\_\_ Proposed Use \_\_\_\_\_  
 Square Number \_\_\_\_\_ Lot Number \_\_\_\_\_ Permeable Open Space (sf) \_\_\_\_\_

New Development?	Yes	No	Addition?	Yes	No	Tenant Width _____
Existing Structure(s)?	Yes	No	Renovations?	Yes	No	Building Width _____
Change in Use?	Yes	No	Existing Signs?	Yes	No	Lot Width (sf) _____
New Sign(s)?	Yes	No	Lot Area (sf)	_____		Building Area (sf) _____



Date _____	Received by _____
Tracking Number _____	

## DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

### REQUIRED ATTACHMENTS (One digital copy)

#### 1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

#### 2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

#### 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

#### 4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

#### 5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

*Planting proposed in the right-of-way must have Parks and Parkways approval*

#### 7. PHOTOS

- Photographs of the subject site and/or building

#### 8. NARRATIVE

Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

#### 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

### FEES

Compliant Plan	\$225
CBD Demolitions	\$500
Moratorium Appeals	\$1,000