



Date _____	Received by _____
Tracking Number _____	

DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One paper copy and one digital copy)

1. SITE PLAN

- North arrow, scale, and date of plan
- Location, dimensions, and area of permeable open space
- Name, address of the professional who prepared the plan
- Legend of symbols, patterns, and abbreviations used
- The entire lot(s), including area and property lines dimensioned (including gross area of the site)
- Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf)
- Location and dimensions of buildings and structures, including total floor area and distance from property lines
- Location of refuse storage locations
- Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways
- Fence location, height, and materials

2. FLOOR PLAN

- Indicating the dimensions and square footage of proposed development
- Room use
- Location of all walls, doors, and windows
- Location of all plumbing fixtures
- Location of major appliances/mechanical equipment
- Stairway location
- Firewall location (if applicable)

3. ARCHITECTURAL ELEVATIONS

- Architectural elevations of each side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

4. LIGHTING PLAN

- Location of all exterior lighting, including those mounted on poles and walls
- Types, style, height, and the number of fixtures
- Manufacturer's illustrations and specifications of fixtures

5. SIGNAGE PLAN

- Proposed Signage with overall height, width, and materials
- Building Elevation (including building width and height)
- Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

6. LANDSCAPE PLAN

- Name and address of professional who prepared the plan.
- Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission
- All landscape plans shall meet the minimum requirements of site plans
- Legend defining all symbols, patterns, and abbreviations used
- Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.
- Description of all tree preservation measures on-site and in the public right-of-way
- Width, depth, and area of landscaped area(s)
- Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

7. PHOTOS

- Photographs of the subject site and/or building

8. NARRATIVE

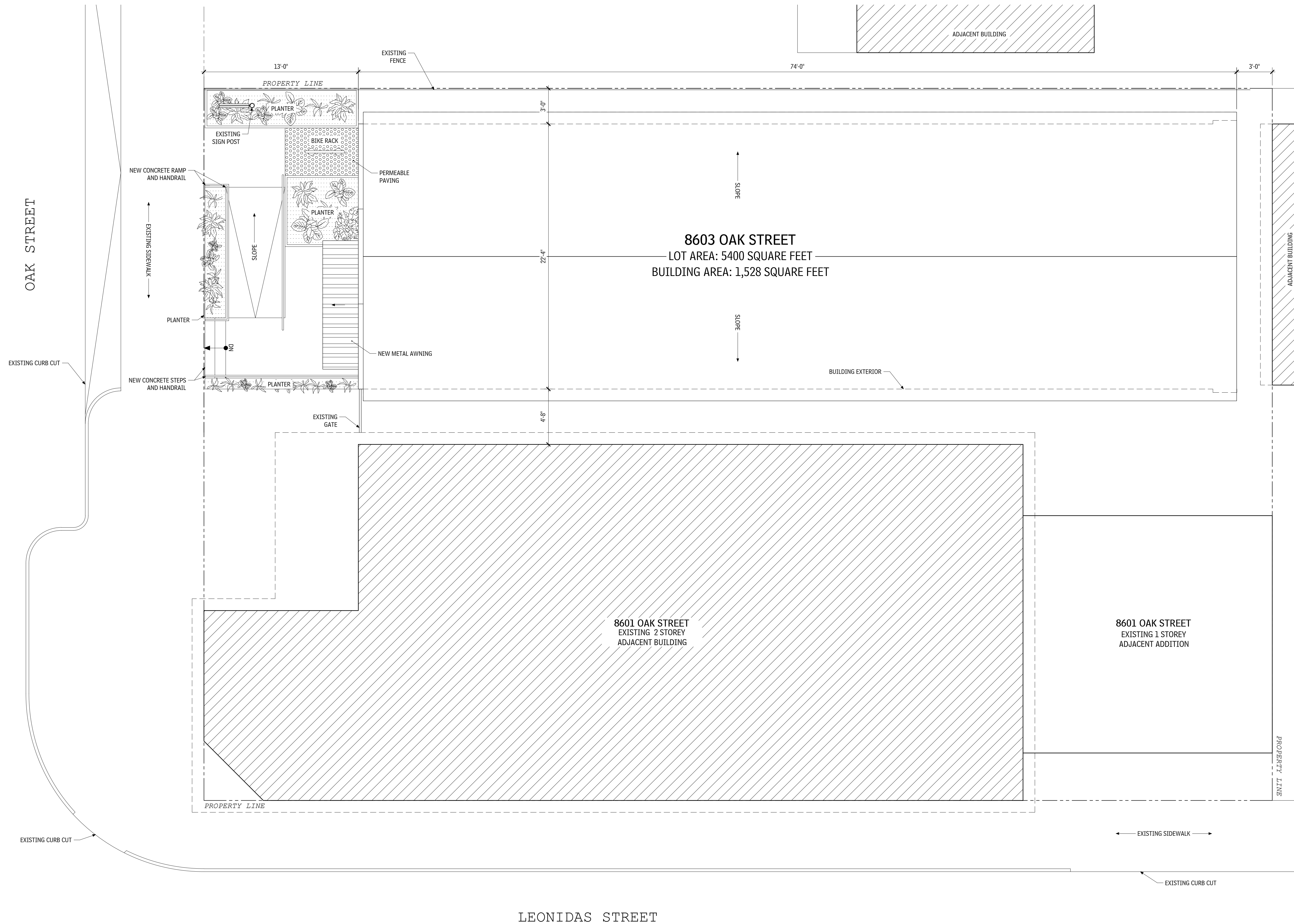
- Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

- Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee

FEES

Design Review	\$225
Moratorium Appeals	\$1,000



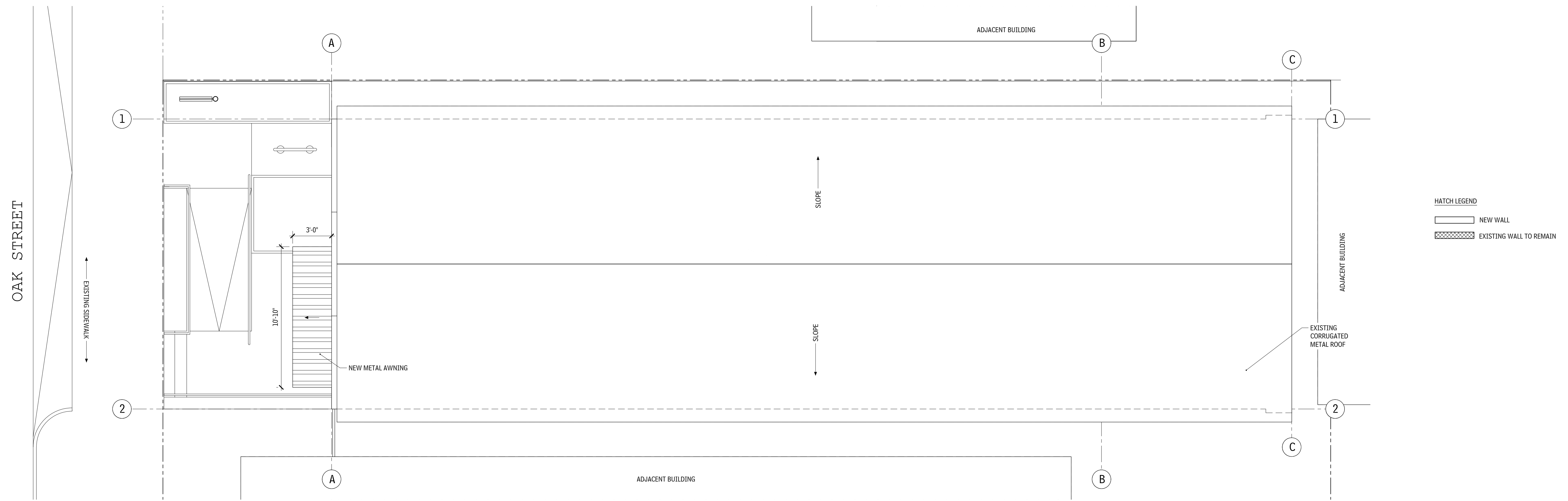
1 SITE PLAN — PROPOSED
 SCALE: 1/4" = 1'-0"



OJT
 OFFICE OF JONATHAN TATE
 1075 RACE STREET
 NEW ORLEANS 70130
 504 383 4203
 OFFICE@JT.COM

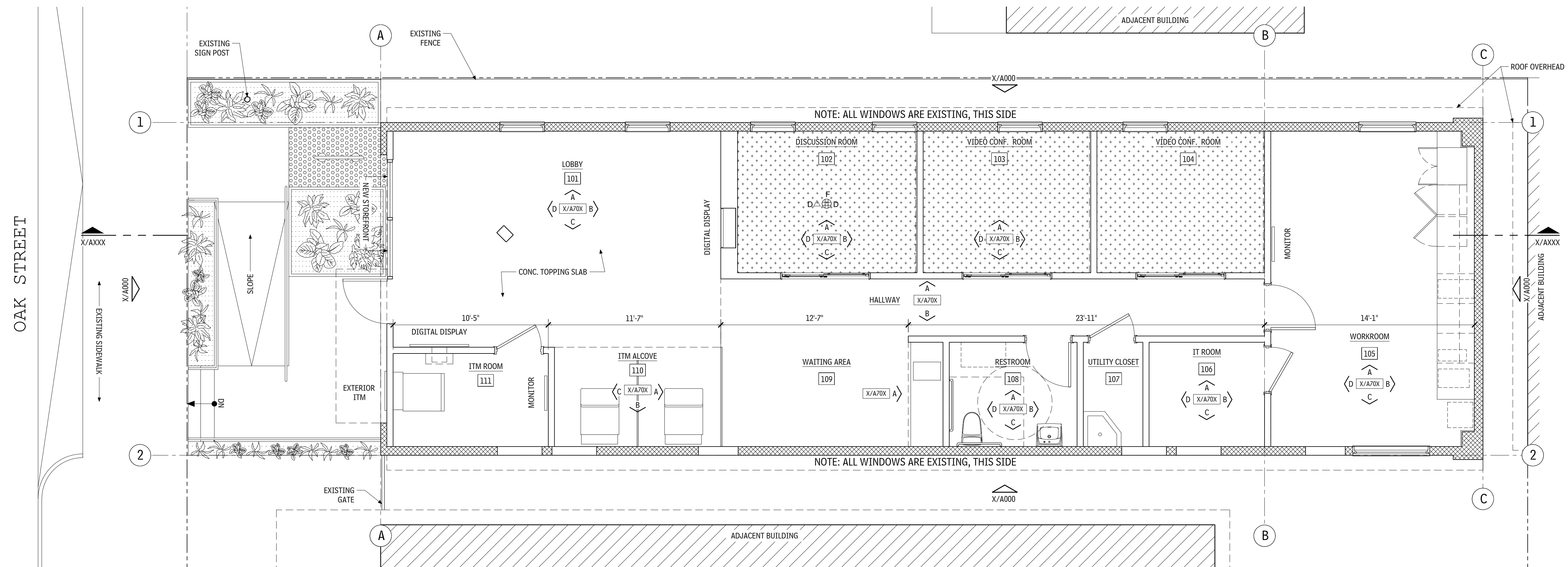
CH-FCH 02
 8603 OAK STREET
 NEW ORLEANS, LA 70118
 OFFICE
 RENOVATION

1 JUNE 2022
 DAC SUBMISSION



2 ROOF PLAN — PROPOSED

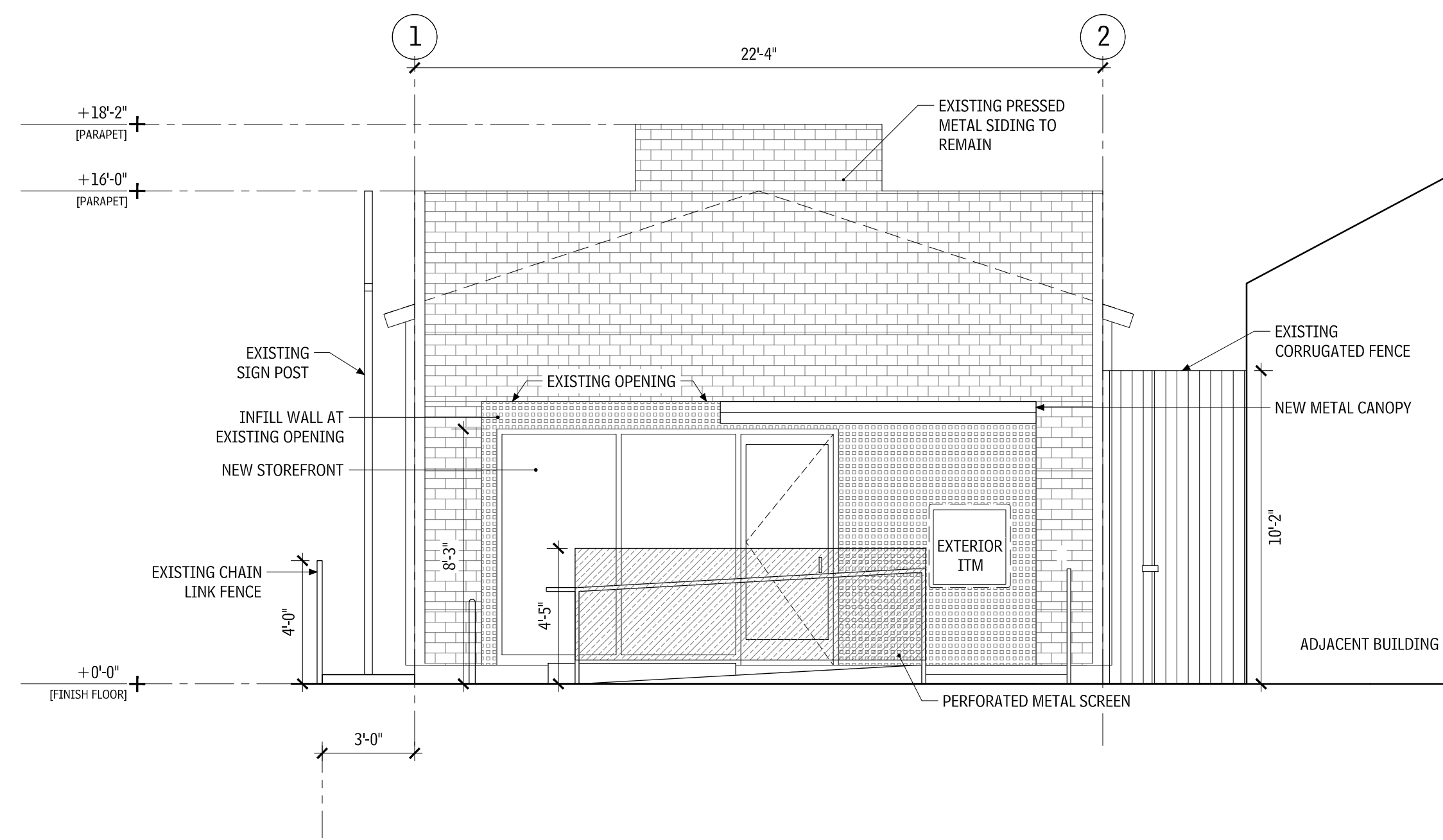
SCALE: 1/4" = 1'-0"



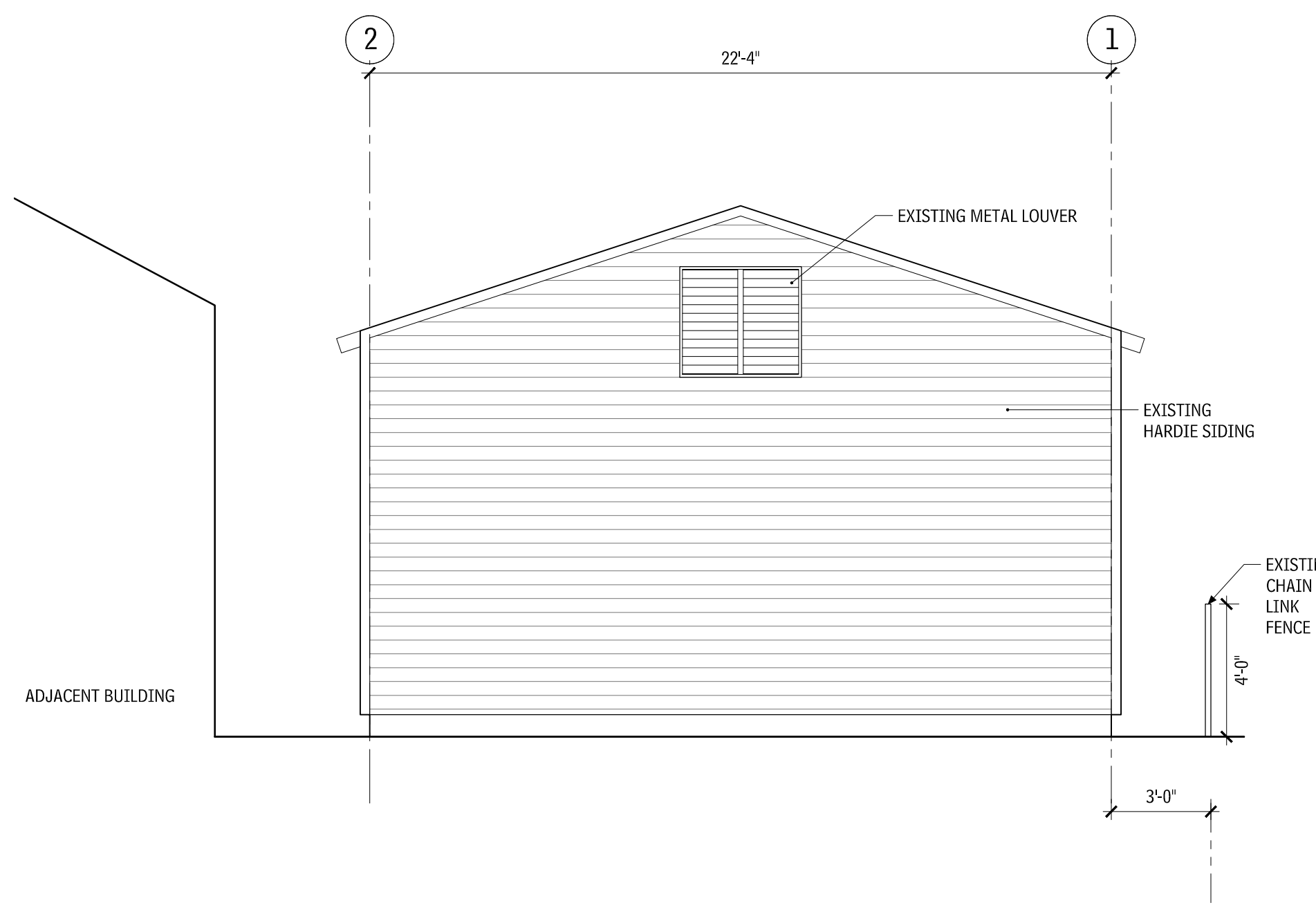
1 FIRST FLOOR PLAN — PROPOSED

SCALE: 1/4" = 1'-0"

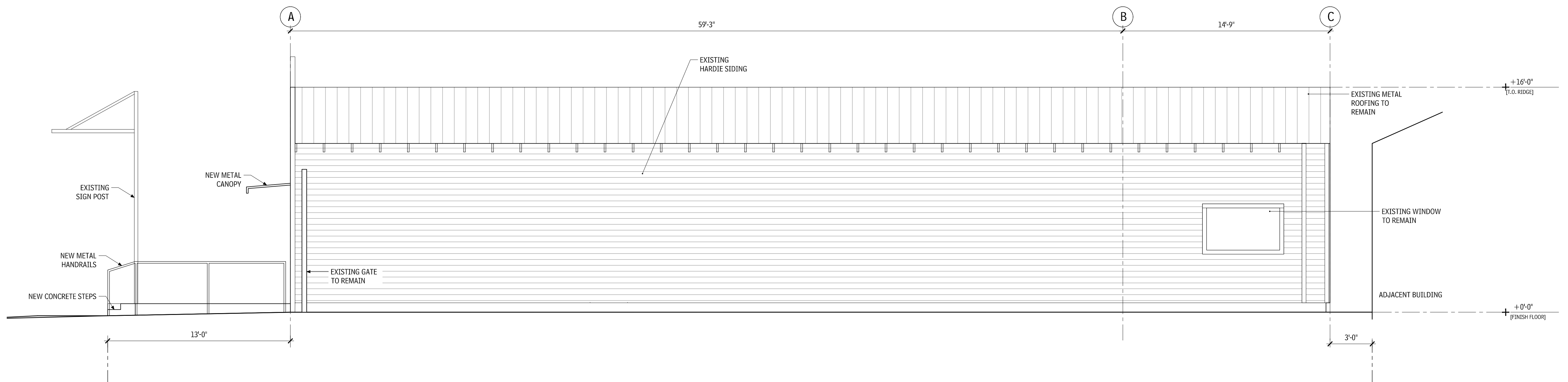




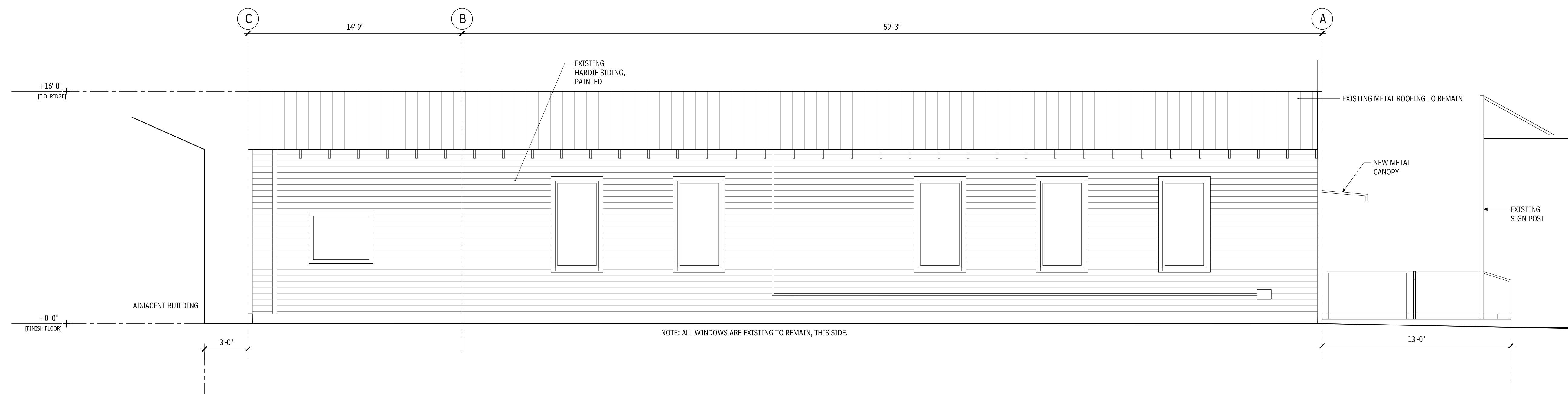
1 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



2 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



3 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



4 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

8603 Oak Street

DAC Submission / 1 June 2022

OJT



Rendered Elevation
Scale: 1/4" = 1'



Existing Building Photo
Oak Street



Existing Building Photo
Oak Street



Existing Building Photo
Oak Street