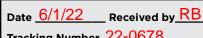


Building/Construction **Related Permit** 



Tracking Number 22-0678

# **DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION**

Applications must be complete and submitted in person. Faxed, emailed or incomplete applications will not be accepted.									
Review time depends on the complexity of the project and can take up to 90 days.									
Type of application:	Design Review	Interim Zoning Districts Appeal	Moratorium Appeal						
Property Location									
APPLICANT IN	FORMATION								
Applicant Identity:	Property Owner	Agent							
Applicant Name									
City	State		_ Zip						
Applicant Contact Nur	nber	Email							
PROPERTY OWNER INFORMATION SAME AS ABOVE									
Property Owner Name	2								
Property Owner Addre									
City	State		_ Zip						
Property Owner Conta	act Number	Email							
PROJECT DESCRIPTION									

# REASON FOR REVIEW (REQUIRED FOR DESIGN REVIEW)

#### **Design Overlay District Review**

Character Preservation Corridor **Riverfront Design Overlay Enhancement Corridor** Corridor Transformation **Greenway** Corridor Others as required

Non-Design Overlay District Review Development over 40,000 sf Public Market Parking Lots with over 10 spaces or loading zones Wireless Antenna/Tower **Educational Facility** 

**Mural Reviews** Campus Development Plan **CBD FAR Bonus** Changes to Approved Plans DAC Review of Public Projects Others as required

# ADDITIONAL INFORMATION

Current Use			Ρ	roposed l	Jse	
Square Number			Lot Number			Permeable Open Space (sf)
Zoning District			Local Historic District/Landmark			
New Development?	Yes	No	Addition?	Yes	No	Tenant Width
Existing Structure(s)?	Yes	No	Renovations?	Yes	No	Building Width
Change in Use?	Yes	No	Existing Signs?	Yes	No	Lot Width (sf)
New Sign(s)?	Yes	No	Lot Area (sf)			BuildingArea (sf)

1300 PERDIDO ST, NEW ORLEANS, LA 70112 • (504) 658-7100



Building/Construction Related Permit \_\_\_\_\_ Received by

Tracking Number

Date \_

# DEVELOPMENT PLAN AND DESIGN REVIEW APPLICATION

REQUIRED ATTACHMENTS (One paper copy and one digital copy)

#### 1. SITE PLAN

North arrow, scale, and date of plan

Location, dimensions, and area of permeable open space Name, address of the professional who prepared the plan Legend of symbols, patterns, and abbreviations used The entire lot(s), including area and property lines dimensioned (including gross area of the site) Curb cuts, interior streets, driveways, and parking and loading areas with dimensions and total area (sf) Location and dimensions of buildings and structures, including total floor area and distance from property lines

Location of refuse storage locations

Proposed right-of-way improvements including sidewalks and plantings, and pedestrian walkways Fence location, height, and materials

# 2. FLOOR PLAN

Indicating the dimensions and square footage of proposed development

Room use

Location of all walls, doors, and windows

Location of all plumbing fixtures

Location of major appliances/mechanical equipment

Stairway location

Firewall location (if applicable)

# 3. ARCHITECTURAL ELEVATIONS

Architectural elevations of easch side of the proposed structure drawn to scale indicating height, architectural elements, materials, colors, and textures proposed for any structures.

# 4. LIGHTING PLAN

Location of all exterior lighting, including those mounted on poles and walls

Types, style, height, and the number of fixtures

Manufacturer's illustrations and specifications of fixtures

# FEES

Design Review	\$225
Moratorium Appeals	\$1,000

#### 5. SIGNAGE PLAN

Proposed Signage with overall height, width, and materials Building Elevation (including building width and height) Site plan showing the location of all proposed detached sign(s) along with setback dimensions.

#### 6. LANDSCAPE PLAN

Name and address of professional who prepared the plan. Landscape plans shall be prepared by a registered landscape architect licensed by the Louisiana Horticulture Commission All landscape plans shall meet the minimum requirements of

site plans

Legend defining all symbols, patterns, and abbreviations used

Location, quantity, size, name, and condition (both botanical and common) of all existing and proposed plant materials and trees.

Description of all tree preservation measures on-site and in the public right-of-way

Width, depth, and area of landscaped area(s)

Proposed right-of-way improvements and pedestrian walkways

Planting proposed in the right-of-way must have Parks and Parkways approval

# 7. PHOTOS

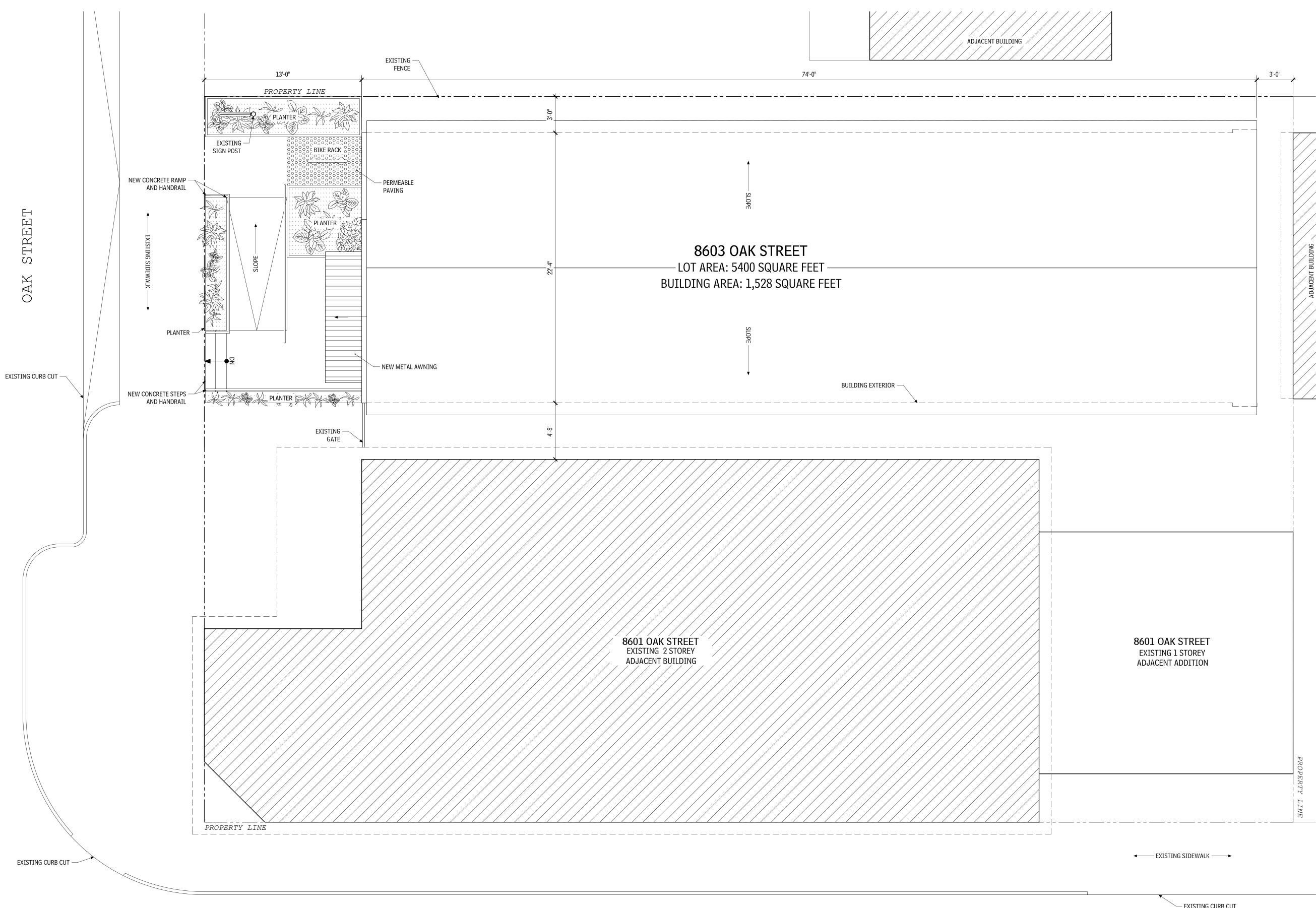
Photographs of the subject site and/or building

#### 8. NARRATIVE

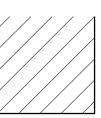
Narrative addressing compliance with applicable Comprehensive Zoning Ordinance requirements and design goals

# 9. COLOR ELEVATIONS/RENDERING (DAC ONLY)

Color elevations and/or renderings are required for projects that trigger review by the Design Advisory Committee



LEONIDAS STREET



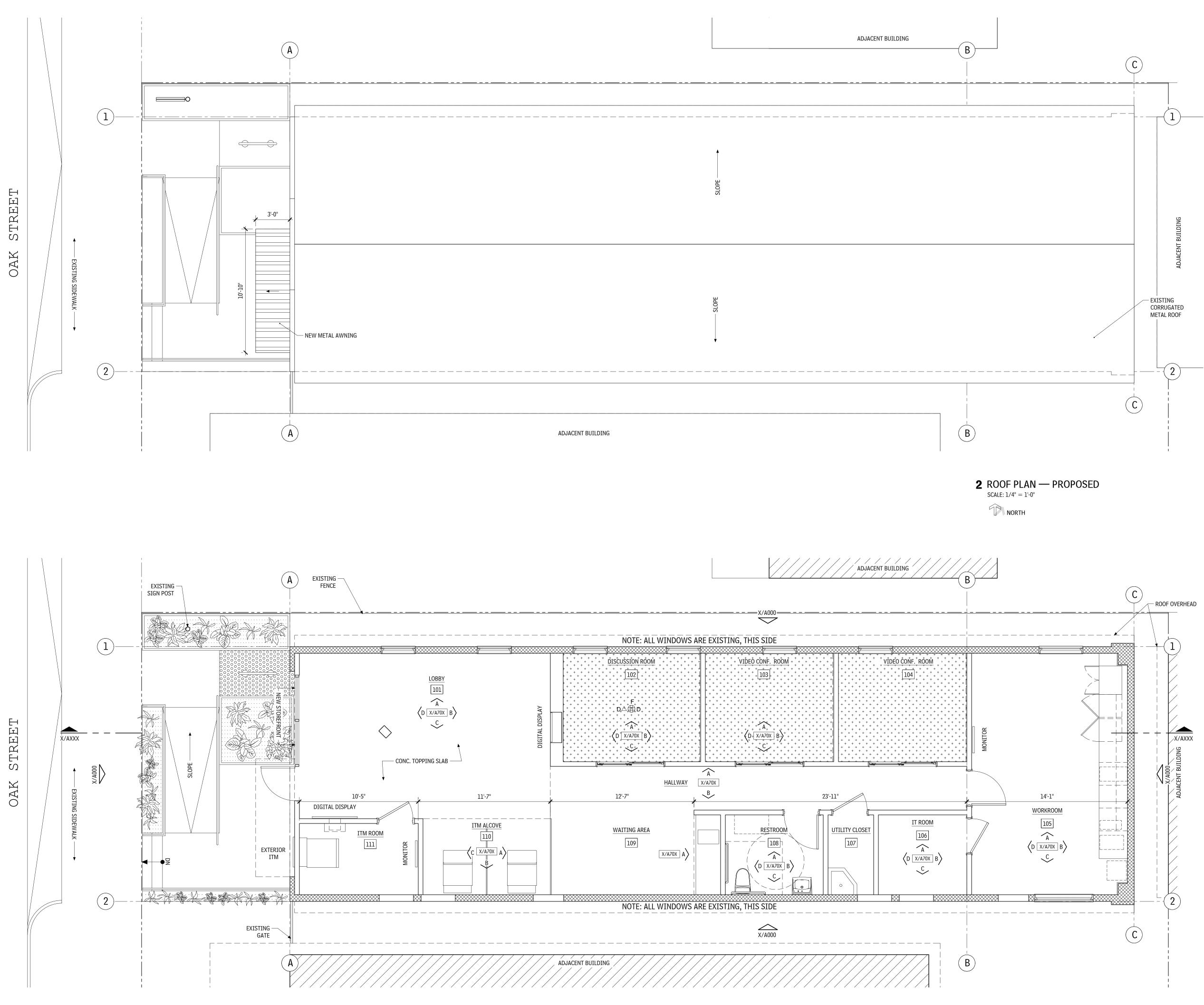
— EXISTING CURB CUT

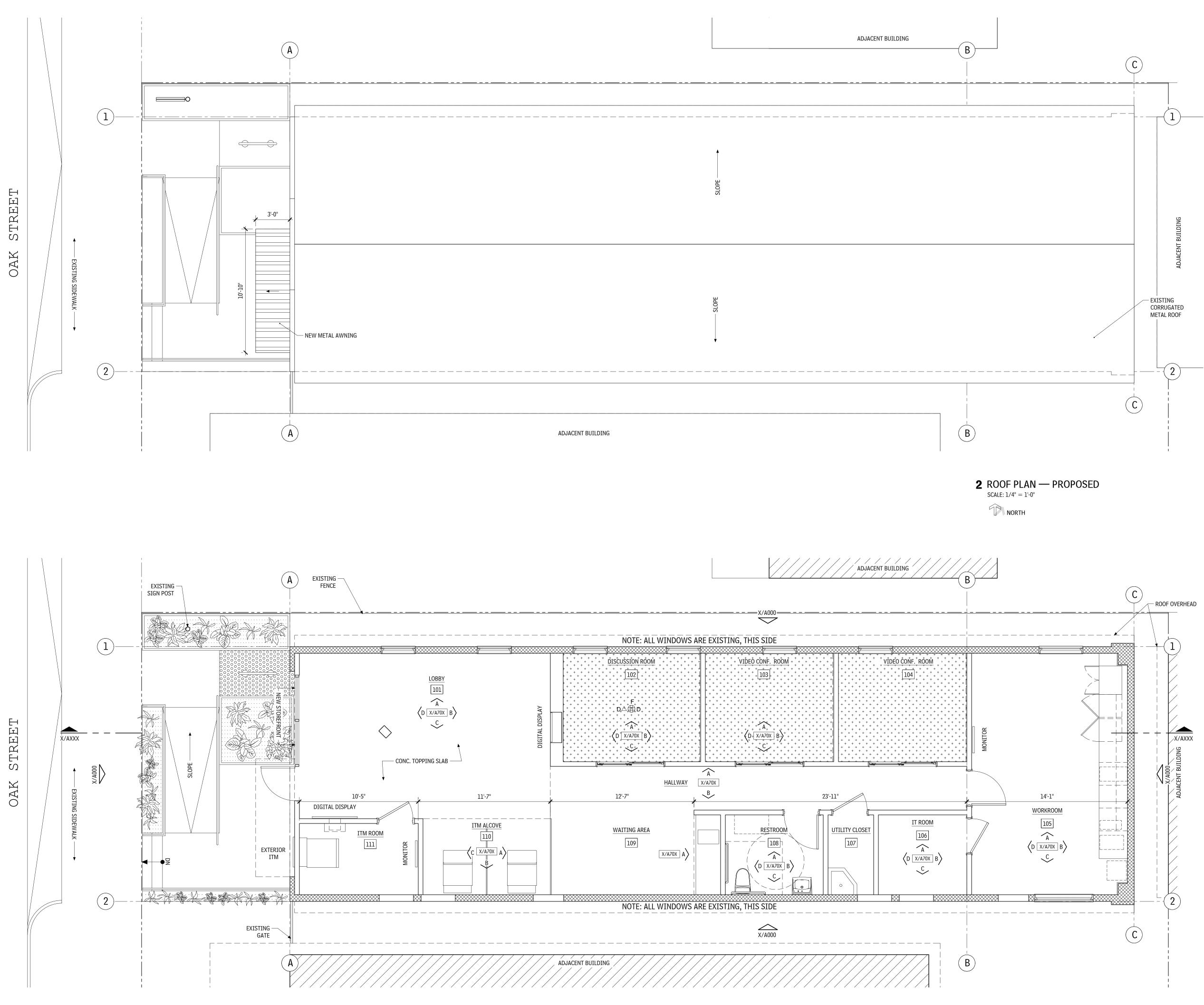


# CH-FCH 02

8603 OAK STREET NEW ORLEANS, LA 70118 OFFICE RENOVATION

1 JUNE 2022







EXISTING WALL TO REMAIN

**1** FIRST FLOOR PLAN — PROPOSED SCALE: 1/4" = 1'-0"

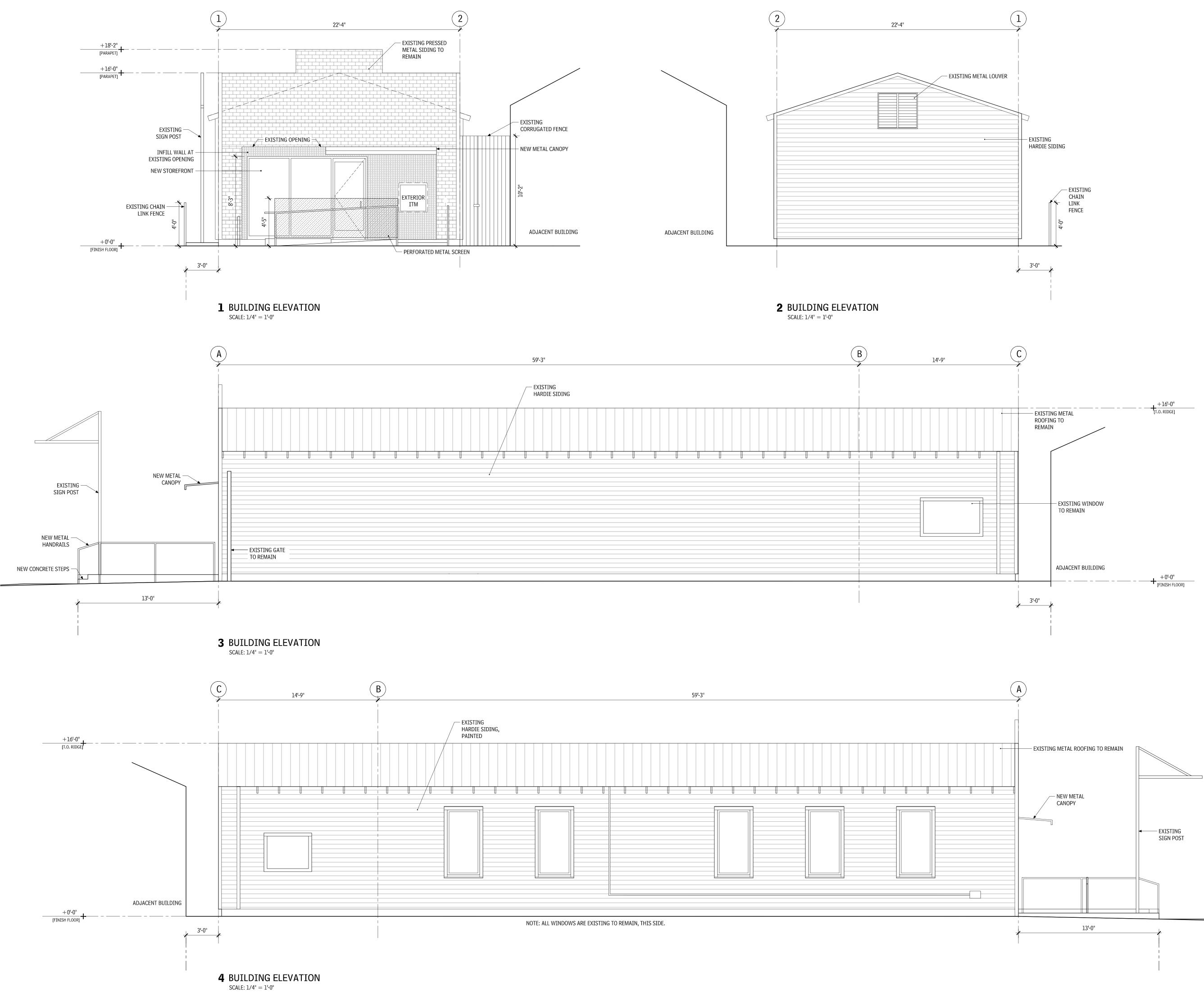
**OJT** OFFICE OF JONATHAN TATE 1075 RACE STREET NEW ORLEANS 70130 504 383 4203 OFFICEJT.COM

CH-FCH 02

8603 OAK STREET NEW ORLEANS, LA 70118 OFFICE RENOVATION

1 JUNE 2022 DAC SUBMISSION

A101





CH-FCH 02

8603 OAK STREET NEW ORLEANS, LA 70118 OFFICE RENOVATION

1 JUNE 2022 DAC SUBMISSION

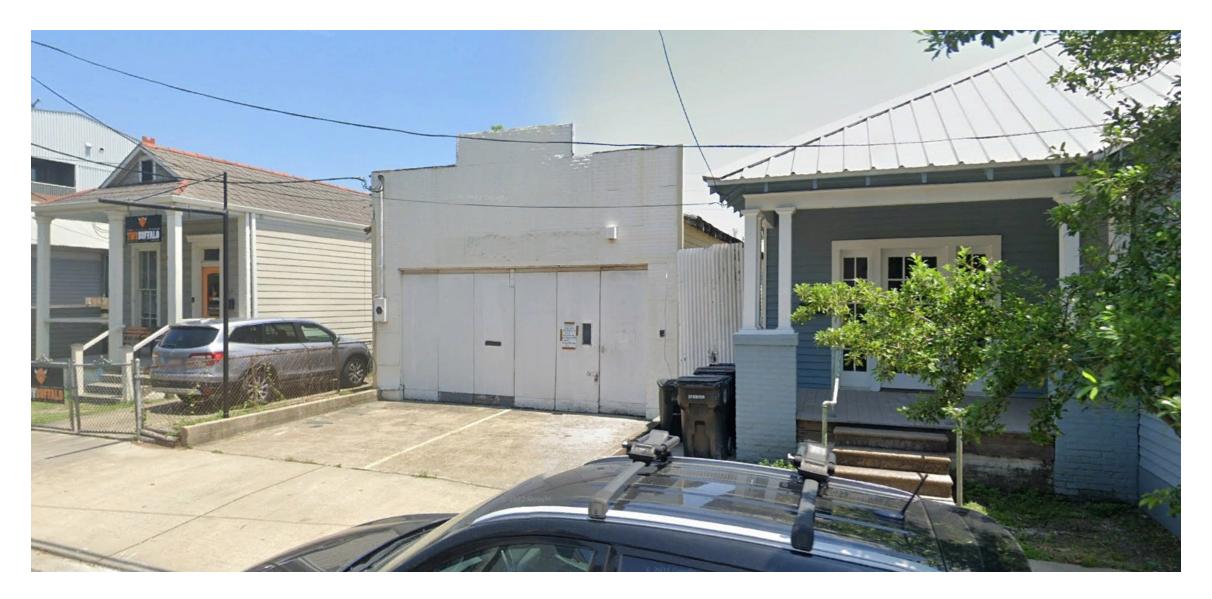
A201

# 8603 Oak Street

DAC Submission / 1 June 2022 OJT



**Rendered Elevation** Scale: 1/4" = 1'



**Existing Building Photo** Oak Street



**Existing Building Photo** Oak Street



**Existing Building Photo** Oak Street